



DEVELOPMENT APPLICATION

PDPLANPMTD-2024/043321

PROPOSAL: Outbuilding

LOCATION: 17 Gray Court, Acton Park

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 30 April 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 30 April 2024. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 30 April 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

Prefabricated colorbond garage - 5.92m x 5.92m

Location:

Address 17 Gray Court

Suburb/Town Acton Park

Postcode 7170

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$ 15,000 approx.

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

38 Bligh Street, Rosny Park, Tasmania • Address correspondence to: General Manager, PO Box 96, Rosny Park 7018 • Dx: 70402 Telephone (03) 6217 9550 • Email cityplanning@ccc.tas.gov.au • Website www.ccc.tas.gov.au

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Clarence City Council

If you had pre-application discussions with a Council Officer, please give their name

N/A

Current Use of Site:

Single dwelling & outbuilding.

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

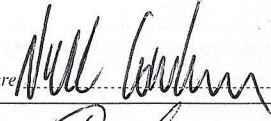
Declaration:

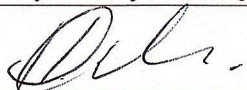
- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement:

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Applicant's Signature:

Signature  SIGN HERE Date 03/04/24

 03/04/2024

PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



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Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

(please refer to <http://www.ccc.tas.gov.au/fees> or phone (03) 6217 9550 to determine applicable fees).

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis plan and site plan**, including where relevant:
 - Existing and proposed use(s) on site.
 - Boundaries and dimensions of the site.
 - Topography, including contours showing AHD levels and major site features.
 - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
 - Soil type.
 - Vegetation types and distribution, and trees and vegetation to be removed.
 - Location and capacity of any existing services or easements on/to the site.
 - Existing pedestrian and vehicle access to the site.
 - Location of existing and proposed buildings on the site.
 - Location of existing adjoining properties, adjacent buildings and their uses.
 - Any natural hazards that may affect use or development on the site.
 - Proposed roads, driveways, car parking areas and footpaths within the site.
 - Any proposed open space, communal space, or facilities on the site.
 - Main utility service connection points and easements.
 - Proposed subdivision lot boundaries.

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



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- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 109577	FOLIO 94
EDITION 8	DATE OF ISSUE 10-Mar-2020

SEARCH DATE : 08-May-2023

SEARCH TIME : 10.56 AM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 94 on Sealed Plan 109577
 Derivation : Part of 300 Acres Located to R.Lewis and part of
 200 Acres Located to R.Troy
 Prior CT 53932/203

SCHEDULE 1

M519490 TRANSFER to HELEN CARITA COWHAN and NICHOLAS AUSTIN
 COWHAN Registered 14-Jul-2015 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SPS 53932 & 109577 COVENANTS in Schedule of Easements
 SPS 53932 & 109577 FENCING PROVISION in Schedule of Easements
 SP 109577 COUNCIL NOTIFICATION under Section 83[5] of The
 Local Government [Building and Miscellaneous
 Provisions] Act 1993
 E211180 MORTGAGE to National Australia Bank Limited
 Registered 10-Mar-2020 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



SCHEDULE OF EASEMENTS

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

Lots 84 and 89 on The Plan are each:-

Subject to a right of drainage for the Mayor Aldermen and Citizens of the City of Clarence over the drainage easements marked "B" and "A" respectively shown on the plan passing through such lot.

COVENANTS:-

The owner of each lot shown on the plan covenants with the Vendor (Rob Lynch Insurance Agencies Pty Ltd) and the owner for the time being of every other lot shown on the plan to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot shown on the plan to observe the following stipulations:-

1. Not to remove from such lot any trees growing thereon unless absolutely necessary for safety or for the construction of roads the installation of services or the erection of buildings.
2. Not to construct more than one (1) single dwelling on such lot.
3. Not to use on such lot plain unpainted galvanised roofing iron on any dwelling or other building but only roofing tiles or colorbond roofing iron.

4. Not to use any dwelling or other building on such lot for any purpose apart from usual residential purposes. The keeping of family pets such as horses or dogs in a separate building shall not be a breach of this stipulation.
5. The said Vendor reserves the right for itself its successors and assignees to sell lease or otherwise deal with any lot either subject to the above stipulations or any one of them and subject to such modification or amendment or full release thereof as it thinks fit. The exercise of such right in relation to any lot shall not release the owner of any other lot from any of the stipulations effected or imposed upon such other lots or give the owner of any lot any right of action against the Vendor or any other person or persons.

Each lot on the plan is affected by covenants set forth in Sealed Plan No 53932, as follows:-

1. Not to remove from such lot any trees growing thereon unless absolutely necessary for safety or for the construction of any roads the installation of services or the erection of buildings.
2. Not to construct more than one (1) single dwelling on such lot.
3. Not to use on such lot plain unpainted galvanised roofing iron on any dwelling or other building but only roofing tiles or colourbond roofing iron.
4. Not to use any dwelling or other building on such lot for any purpose apart from usual residential purposes. The keeping of family pets such as horses or dogs in a separate building shall not be a breach of this stipulation.
5. The said Vendor reserves the right for itself its successors and assigns to sell lease or otherwise deal with any lot either subject to the above stipulations or any one of them and subject to such modifications or amendment or full release thereof as it thinks fit. The exercise of any such right in relation to any lot shall not release the owner of any other lot from any of the stipulations effected or imposed upon such other lots or give the owner of any lot any right of action against the Vendor or any other person or persons.

FENCING PROVISION:-

In respect of each lot shown on the plan the Vendor (Bob Lynch Insurance Agencies Pty Ltd) shall not be required to fence.

The common seal of BOB LYNCH INSURANCE)
 AGENCIES PTY LTD (ACN 009 580 212) the)
 registered proprietor of the land comprised)
 in Folio of the Register Volume 53932 Folio)
 203 was hereunto affixed in the presence of:)

Director: *Rhgl*
 Secretary: *Rm*



109577

This is the schedule of easements attached to the plan of
(Insert Subdivider's Full Name)

Bob Lynch Insurance Agencies Pty Ltd affecting land in

Certificate of Title Volume 53932 Folio 203
(Insert Title Reference)

Sealed by The City of Clarence on 31 January 1994

Solicitor's Reference JWH AO 91-3038
Council Clerk/Town Clerk GENERAL MANAGER

OS-K 3134

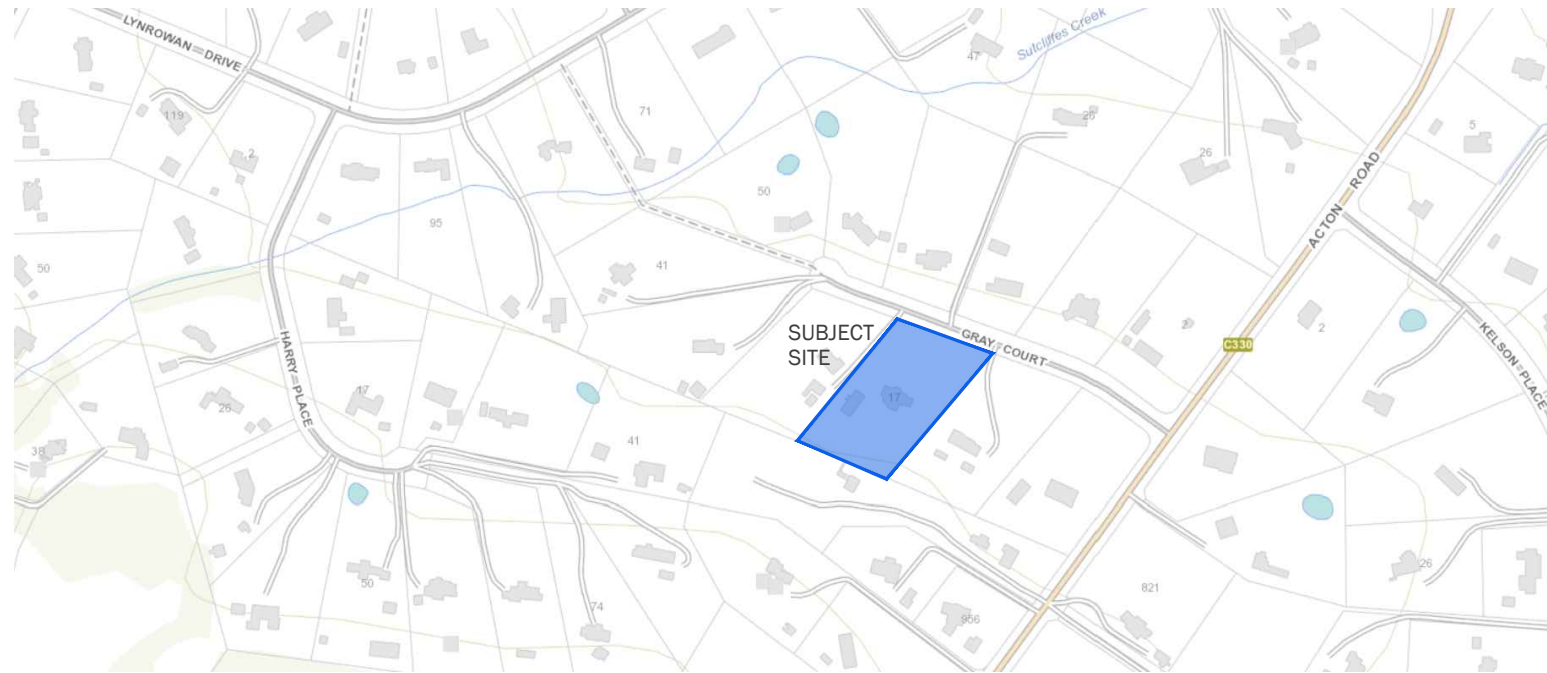
PROPOSED OUTBUILDING

No. 17 GRAY COURT, ACTON PARK
N. + H. COWHAN

SCHEDULE OF DRAWINGS

ARCHITECTURAL

A01	DRAWING SCHEDULE & LOCATION PLAN
A02	SITE PLAN
A03	GENERAL NOTES
A04	FLOOR PLAN
A05	ELEVATIONS
A06	SECTION A-A



LOCATION PLAN
NOT TO SCALE

GENERAL INFORMATION

LAND CERTIFICATE OF TITLE REFERENCE No. - Volume 109577 Folio 94

SOIL REPORT CONSULTANT & CLASSIFICATION - 'DOYLE SOIL CONSULTING' (DR. RICHARD DOYLE) - SOIL REACTIVITY CLASS 'H-2' (highly reactive) IS APPLICABLE TO THE SITE IN ACCORDANCE WITH AS2870.

DESIGN WIND SPEED - N3 (50m/s)

CLIMATE ZONE FOR THERMAL DESIGN (building code of australia) - ZONE 7

BUSHFIRE-PRONE AREA BAL RATING (bushfire attack level) - N/A. THE PROPERTY IS LOCATED NOT IN A COUNCIL DESIGNATED BUSHFIRE PRONE AREA, AND IS GREATER THAN 100m FROM AN AREA OF BUSH-FIRE PRONE VEGETATION EQUAL TO OR GREATER THAN 1 HECTARE.

ALPINE AREA (fire safety) - NO

CORROSION ENVIRONMENT - MEDIUM (mild steel corrosion rate 25 to 50µm/year). TYPICALLY MORE THAN 1km FROM BREAKING SURF OR AGGRESSIVE INDUSTRIAL AREAS OR MORE THAN 50m FROM SHELTERED BAYS.

EXTERNAL BUILDING AREAS (proposed)

PROPOSED COLORBOND SHED - 35.05m²

PO BOX 224 LINDISFARNE
TASMANIA 7015

matt.gilley@bigpond.com
0437 499 238
LICENCE No. CC5666C

PROJECT:

OUTBUILDING

No. 17 GRAY COURT
ACTON PARK

N. + H. COWHAN

DATE: APR 2024
PROJECT No. 1880

ISSUE/REV:

A. DA ISSUE. 2.4.24

TITLE:

DRAWING SCHEDULE

SCALE: N/A (A3)

DRAWING No:

A01

SHEET: 1 OF 7

IMPORTANT

1. USE WRITTEN DIMENSIONS ONLY.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR IS TO CHECK ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH THE WORK OR SHOP DRAWINGS.
4. ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.
5. THE PROPRIETOR IS TO ENSURE THAT ANY "CONDITIONS OF APPROVAL" ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ONTO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
6. MATERIALS AND WORKMANSHIP SHALL CONFORM WITH RELEVANT STANDARDS, BUILDING CODE OF AUSTRALIA AND PRODUCT MANUFACTURERS WRITTEN INSTRUCTIONS.
7. ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY THE DESIGNER, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.
8. IF IN DOUBT- ASK!! CONTACT THE BUILDING DESIGNER AND/OR RELEVANT CONSULTANT.

SITE COVERAGE (as per Tasmanian Planning Scheme - Clarence)

EXISTING RESIDENCE/VERANDAHS - 288.50m ²
PREVIOUSLY DA APPROVED ALTERATIONS + ADDITIONS TO EX. RESIDENCE (construction has commenced) - 272.70m ²
EXISTING COLORBOND OUTBUILDING - 186m ² (approx).
PROPOSED COLORBOND GARAGE - 35.05m ²
TOTAL - 782.25m ²
SITE AREA - 10 200m ²
TOTAL SITE COVERAGE - 7.67%

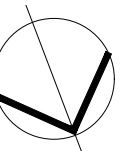
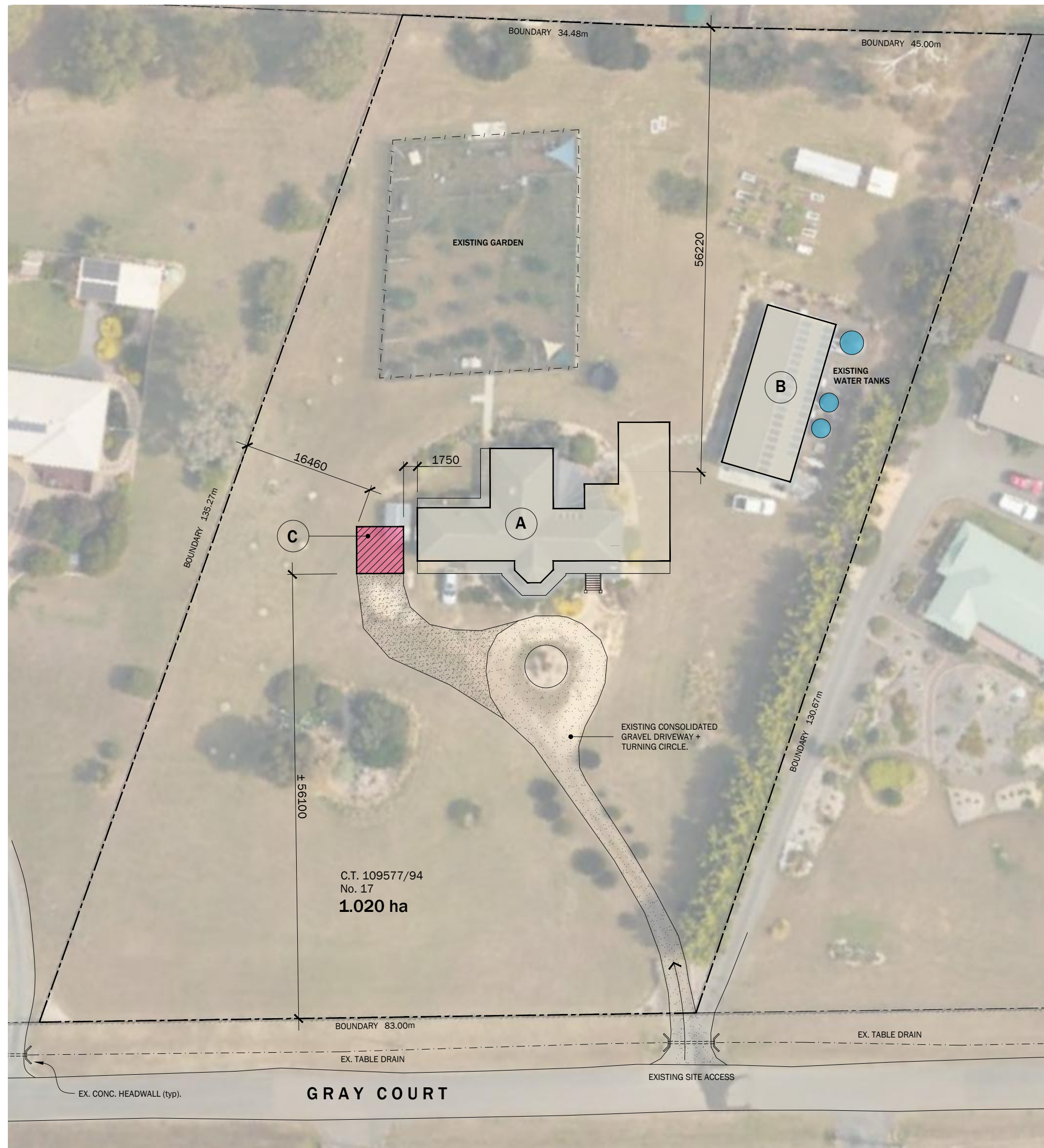
SITE IS LOCATED WITHIN THE AREAS OF THE TASMANIAN PLANNING SCHEME (CLARENCE) :-

- 11.0 RURAL LIVING ZONE 'B'
- AIRPORT OBSTACLE LIMITATION AREA.

SITE KEY

- A** EXISTING MASONRY RESIDENCE WITH PREVIOUSLY APPROVED ADDITIONS (currently under construction).
- B** EXISTING OUTBUILDING (shed/garage).
- C** PROPOSED 5.92m x 5.92m COLORBOND GARAGE.
- D** PROPOSED CONSOLIDATED GRAVEL DRIVEWAY EXTENSION.

SITE PLAN 1:500



CARRYING OUT BUILDING WORK

- PREVENTION OF NUISANCES

A PERSON MUST NOT ALLOW DIRT, DUST, FUMES, NOISE, SMOKE, BUILDING MATERIALS, SEWAGE OR CONCENTRATIONS OF WATER WHICH ARE CAUSED BY, OR OCCUR IN THE COURSE OF, BUILDING WORK TO BECOME –

- (a) A PUBLIC HEALTH RISK; OR
- (b) A NUISANCE FOR AN OWNER, OCCUPIER OR USER OF ADJOINING LAND.

- PROTECTION FOR PUBLIC AND ADJOINING PROPERTIES

(1) A BUILDER MUST PROVIDE AND MAINTAIN A GUARD IN RESPECT OF AN EXCAVATION OR VOID IF THE EXCAVATION OR VOID –

- (a) CONSTITUTES, OR IS MADE IN THE COURSE OF, BUILDING WORK; AND
- (b) IS A DANGER TO THE PUBLIC.

- REQUIREMENTS BEFORE BUILDING DEMOLITION OR REMOVAL – GENERAL

A PERSON MUST NOT DEMOLISH OR REMOVE A BUILDING UNLESS THE PERSON HAS –

(a) RECEIVED WRITTEN ADVICE FROM THE APPROPRIATE ELECTRICITY SUPPLY ENTITY THAT ALL SUPPLY OF ELECTRICITY TO THE

BUILDING HAS BEEN DISCONNECTED AND ALL AERIAL OR UNDERGROUND ELECTRICITY SUPPLY CABLES HAVE BEEN REMOVED

FROM THE SITE; AND

(b) RECEIVED WRITTEN ADVICE FROM THE OPERATOR OF THE APPROPRIATE GAS NETWORK THAT ALL GAS SUPPLY TO THE BUILDING HAS BEEN DISCONNECTED AND ALL SUPPLY LINES HAVE BEEN REMOVED FROM THE SITE; AND

(c) ADVISED THE GENERAL MANAGER IN WRITING OF THE TIMETABLE FOR CAPPING STORMWATER DRAINS; AND

(d) ADVISED THE CHIEF OFFICER IN WRITING, WITHIN THE SPECIFIED PERIOD, OF THE TIMETABLE IN WHICH THE FOLLOWING ACTIONS ARE TO OCCUR:

(i) DISCONNECTION OF ALL TELEPHONE LINES OR OTHER SIGNALING DEVICES ASSOCIATED WITH THE MONITORING OF ALL FIRE PROTECTION EQUIPMENT MONITORED BY THE TASMANIA FIRE SERVICE;

(ii) THE REMOVAL, DISMANTLING OR ALTERATION OF ANY WATER SUPPLY TO A BUILDING OR WATER SUPPLY DEVICE, BOOSTER OR OTHER ASSEMBLY ASSOCIATED WITH FIRE PROTECTION EQUIPMENT;

(iii) THE REMOVAL, DISMANTLING OR ALTERATION OF ALL OCCUPANT SAFETY SYSTEMS INCLUDING AN EMERGENCY WARNING INTERCOMMUNICATION SYSTEM, AIR-HANDLING SYSTEM, STAIRWELL PRESSURISATION SYSTEM OR SMOKE OR FIRE DOOR; AND

(e) ADVISED IN WRITING THE REGULATED ENTITY, WITHIN THE MEANING OF THE WATER AND SEWERAGE INDUSTRY ACT 2008, OF THE TIMETABLE FOR CAPPING ANY SEWERS AND SEALING OFF ANY WATER SUPPLY LINES.

- REQUIREMENTS BEFORE BUILDING DEMOLITION OR REMOVAL – ASBESTOS

(1) A PERSON MUST NOT DEMOLISH OR REMOVE A BUILDING UNLESS THE PERSON HAS –

(a) TAKEN ALL REASONABLY PRACTICABLE STEPS TO IDENTIFY THE PRESENCE OF ASBESTOS IN THE BUILDING; AND

- (b) COMPLIED WITH CHAPTER 8 OF THE WORK HEALTH AND SAFETY REGULATIONS 2012.

(2) A PERSON MUST NOT REMOVE A BUILDING UNLESS THE PERSON HAS REMOVED ALL ASBESTOS (INCLUDING MATERIAL IDENTIFIED AS CONTAINING ASBESTOS) FROM THE BUILDING IN ACCORDANCE WITH CHAPTER 8 OF THE WORK HEALTH AND SAFETY REGULATIONS 2012.

- REQUIREMENTS DURING BUILDING DEMOLITION OR REMOVAL

A PERSON MUST NOT DEMOLISH OR REMOVE A BUILDING UNLESS –

(a) THE DEMOLITION OR REMOVAL IS CARRIED OUT –

- (i) IN ACCORDANCE WITH A PERMIT GRANTED UNDER THESE REGULATIONS; AND
- (ii) IN A SAFE AND PROFESSIONAL MANNER; AND

(b) THE DEMOLITION OF ANY WALL WHICH ABUTS ON A PUBLIC STREET IS CARRIED OUT ONLY DURING THE HOURS PERMITTED BY THE PERMIT AUTHORITY; AND

(c) THE PERSON TAKES REASONABLE ACTION TO PREVENT BUILDING MATERIAL AND DEBRIS FALLING ONTO OR INTO –

- (i) A PLACE WHICH IS OPEN TO THE PUBLIC; AND
- (ii) ANY ADJACENT LAND OR WAY; AND

(d) THE POSITIONS OF CAPPED SEWER AND STORMWATER DRAINS AND SEALED-OFF WATER SUPPLY LINES ARE CLEARLY MARKED AT THE SITE; AND

(e) THE PERSON LEAVES THE SITE OF THE DEMOLITION OR REMOVAL CLEAN AND TIDY; AND

(f) THE PERSON REMOVES ALL BROKEN GLASS OR OTHER DANGEROUS OR HAZARDOUS BUILDING MATERIAL FROM THE SITE.

GENERAL NOTES

WHEN CARRYING OUT THE BUILDING WORK, A BUILDER (or owner builder) SHOULD BE FAMILIAR WITH GENERAL CONSTRUCTION PRACTICES, THE REQUIREMENTS OF THE NATIONAL CONSTRUCTION CODE (NCC) VOLUME TWO & HOUSING PROVISIONS, AS WELL AS LOCAL COUNCIL RULES/REGULATIONS.

A COPY OF ALL PLANNING, BUILDING & PLUMBING PERMITS, AND DRAWINGS STAMPED "APPROVED" BY THE LOCAL AUTHORITY MUST BE KEPT ON SITE.

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SHED MANUFACTURER'S PLANS, DETAILS & SPECIFICATIONS FOR ALL CONCRETE FOOTINGS & SLABS, & STEEL FRAMING.

EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1 OF THE NCC. EXCAVATION & FILL UTILISING UNPROTECTED EMBANKMENTS SHALL BE IN ACCORDANCE WITH TABLE 3.2.1 OF THE THE NCC.

IF RECOMMENDED IN SOIL REPORT OR BY STRUCTURAL ENGINEER, SUB-SOIL DRAINAGE AROUND THE BUILDING MUST BE CARRIED OUT IN ACCORDANCE WITH PART 3.3 OF THE THE NCC AND AS/NZS 3500.3.2 OR AS/NZS 3500.5 (domestic installations, section 5).

FOOTING & SLAB CONSTRUCTION (including vapour barriers & damp-proofing membranes) SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS 2870, AND MUST COMPLY WITH PART 4.1 OF THE THE NCC. NO EDGE REBATE SHALL BE LESS THAN 20mm. DESIGN & CERTIFICATION TO BE BY AN ACCREDITED PRACTICING STRUCTURAL ENGINEER.

CONCRETE MUST BE MANUFACTURED TO COMPLY WITH AS 3600 - AND HAVE A MINIMUM STRENGTH OF OF 25MPa (N25) AT 28 DAYS. STEEL REINFORCING MUST COMPLY WITH AS 2870. GENERALLY CONCRETE AND REINFORCING MUST COMPLY WITH PART 4.2 OF THE NCC, ALSO REFER TO STRUCTURAL ENGINEER'S GENERAL NOTES AND DETAILS.

FOOTING AND SLAB CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 4.2 OF THE NCC AND AS 2870. ALSO REFER TO STRUCTURAL ENGINEER'S GENERAL NOTES AND DETAILS.

ALL STEEL WALL & ROOF FRAMING SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 6.3 OF THE THE NCC, AS 4100 AND AS/NZS 4600. DESIGN & CERTIFICATION TO BE BY AN ACCREDITED PRACTICING STRUCTURAL ENGINEER. ALSO REFER TO STRUCTURAL ENGINEER'S GENERAL NOTES AND DETAILS.

ALL TIMBER FLOOR, WALL & ROOF FRAMING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 1684.2 AND/OR AS 1684.4. DESIGN & CERTIFICATION TO BE BY AN ACCREDITED PRACTICING STRUCTURAL ENGINEER. ALSO REFER TO STRUCTURAL NOTES AND DETAILS.

ROOF CLADDING SHALL BE INSTALLED IN ACCORDANCE WITH PART 7.1-7.5 OF THE NCC. COLORBOND FINISH TO SHEET ROOFS (uno) AS SELECTED BY OWNER. ALL RIDGES, FASCIAS, BARGE ENDS, HIP ENDS AND ROOF PENETRATIONS MUST BE PROPERLY FLASHED AND SEALED(i.e. watertight). REFER TO ARCHITECTURAL DWGS FOR TYPICAL SARKING DETAILS AND EXTENT OF ROOF CLADDINGS.

ALL GUTTERS AND DOWNPIPES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS/NZS 3500.3.2 OR AS/NZS 3500.5 (domestic installations, section 5). REFER TO ARCHITECTURAL DWGS FOR TYPICAL GUTTER & FASCIA DETAILS.

WHERE THE SITE IS LOCATED WITHIN A BUSHFIRE PRNE AREA, ALL FLOOR, WALL & ROOF CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 3959 - CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS. REFER TO ARCHITECTURAL DWGS FOR TYPICAL DETAILS AND BUSH FIRE HAZARD ASSESSMENT, MANAGEMENT PLAN & SPECIFICATION PROVIDED BY OTHER CONSULTANTS.

ALL WINDOWS AND INTERNAL GLAZING SHALL BE TAGGED OR CERTIFIED COMPLIANT WITH AS1288 (safety) AND AS2047(weatherproofing). GLAZING SHALL ALSO COMPLY WITH PART 8.1-8.4 OF THE NCC.

ROOM HEIGHTS SHALL COMPLY WITH PART 10.3 OF THE NCC. MINIMUM CEILING HEIGHTS SHALL BE GENERALLY 2.4m, UNLESS IN A KITCHEN, HALL, BATHROOM, LAUNDRY OR A CLASS 10 OUTBUILDING, WERE A MINIMUM OF 2.1m IS ACCEPTABLE. MINIMUM CEILING HEIGHTS ABOVE THE NOSINGS OF STAIR TREADS MUST BE 2.0m CLEAR.

PROVIDE ARTIFICIAL LIGHTING TO ALL ROOMS IN ACCORDANCE WITH PART 10.5.2 OF THE NCC, AS/NZS 1680.0. LIGHTING LAYOUT TO BE CO-ORDINATED BETWEEN THE OWNER AND BUILDER.

WHS REGULATIONS 2012

WORKPLACE HEALTH & SAFETY REGULATIONS 2012 (WHS REGULATIONS) REQUIRE THERE TO BE A PRINCIPAL CONTRACTOR (THE BUILDER) FOR ANY PROJECT WITH A CONSTRUCTION VALUE OVER \$250,000.

THE BUILDER SHALL SAFELY CARRY OUT ALL WORK IN ACCORDANCE WITH WHS REGULATIONS. THE WHS REGULATIONS REQUIRE THAT BEFORE STARTING WORK THE BUILDER MUST IDENTIFY ALL OF THE HIGH RISK CONSTRUCTION WORK THAT WILL BE UNDERTAKEN, DEVELOP SAFE WORK METHOD STATEMENTS FOR THESE, AND ENSURE THAT ALL WORK IS CARRIED OUT IN ACCORDANCE WITH THEM.

POWER SUPPLY

WHERE WORK IS IN PROXIMITY TO OVERHEAD POWER LINES, THE BUILDER SHALL FORM AN APPROPRIATE SAFE WORK STRATEGY. WHERE THE EXISTING POWER SUPPLY NEEDS TO BE RELOCATED, THE BUILDER SHALL CONSULT WITH 'AURORA' & ALL OTHER RELEVANT AUTHORITIES. POWER LINE RELOCATION SHALL BE CONDUCTED IN A SAFE MANNER, AND IN ACCORDANCE WITH ALL RELEVANT STANDARDS & REGULATIONS.

CONSTRUCTION WORK - CODE OF PRACTICE

THE CODE OF PRACTICE FOR CONSTRUCTION WORK IS AN APPROVED CODE OF PRACTICE UNDER SECTION 274 OF THE WORK HEALTH & SAFETY ACT (the WHS Act).

AN APPROVED CODE OF PRACTICE IS A PRACTICAL GUIDE TO ACHIEVING THE STANDARDS OF HEALTH, SAFETY AND WELFARE REQUIRED UNDER THE WHS ACT AND THE WORK HEALTH & SAFETY REGULATIONS (WHS regulations).

THE CODE PROVIDES GUIDANCE TO PRINCIPAL CONTRACTORS AND OTHER PERSONS CONDUCTING A BUSINESS OR UNDERTAKING, WHO CARRYOUT CONSTRUCTION WORK, ON HOW TO MEET THE HEALTH & SAFETY REQUIREMENTS UNDER THE WHS ACT & REGULATIONS RELATING TO CONSTRUCTION WORK.

THE CODE SHOULD BE READ IN CONJUNCTION WITH OTHER CODES OF PRACTICE ON SPECIFIC HAZARDS AND CONTROL MEASURES RELEVANT TO THE CONSTRUCTION INDUSTRY INCLUDING (but not limited to):-

- DEMOLITION WORK
- EXCAVATION WORK
- MANAGING ELECTRICAL RISK AT THE WORKPLACE
- MANAGING THE RISK OF FALLS AT WORKPLACES
- MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK
- PREVENTING FALLS IN HOUSING CONSTRUCTION
- CONFINED SPACES
- HAZARDOUS MANUAL TASKS
- FIRST AID IN THE WORKPLACE
- SAFE DESIGN OF STRUCTURES

A COPY OF THE CODE OF PRACTICE FOR CONSTRUCTION WORK CAN BE DOWNLOADED FROM THE FOLLOWING LINK:-

<http://www.safeworkaustralia.gov.au/sites/swa/about/publications/pages/construction-work>

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LICENCE No. CC5666C

PROJECT:

OUTBUILDING

**No. 17 GRAY COURT
ACTON PARK**

N. + H. COWHAN

DATE: **APR 2024**
PROJECT No. 1880

ISSUE/REV:

A. DA ISSUE. 2.4.24

TITLE:

GENERAL NOTES




SCALE: **N/A (A3)**

DRAWING No:

A03

SHEET: **3 OF 7**

WALL KEY

	COLORBOND METAL SHEET WALL CLADDING OVER STEEL WALL FRAMING. REFER TO DRAWINGS PROVIDED BY SHED MANUFACTURER/SUPPLIER.
	2300H x 2470W 'CENTURIAN WINDSHIELD' COLORBOND ROLLER DOOR.
	2040H x 820W ACCESS DOOR.

PLUMBING NOTES

ALL INTERNAL SEWER WORKS ARE TO BE IN ACCORDANCE WITH AS3500 PARTS 1, 2 & 3, THE NATIONAL PLUMBING CODE (NCC 2022 - VOLUME 3), LOCAL COUNCIL AND 'TAS WATER' REQUIREMENTS.

THE CONTRACTOR MUST DETERMINE AND CONFIRM THE LOCATION OF ALL EXISTING DRAINAGE & CONNECTION POINTS BEFORE COMMENCING WORK.

ALL DRAINS SHALL BE ADEQUATELY SUPPORTED. SUPPORTS SHALL ALLOW FOR EXPANSION, AND MUST BE FITTED AT THE TIME OF PIPE INSTALLATION.

UNLESS NOTED OTHERWISE, ALL SEWER AND STORMWATER DRAINS SHALL BE PVC SEWER CLASS "SN6" TO AS 1260.

THE PLUMBING CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS & PRESSURE TESTING REQUIRED BY TAS WATER OR LOCAL AUTHORITY PRIOR TO CONCEALMENT. PRESSURE TESTING SHOULD BE CARRIED OUT PROGRESSIVELY DURING CONSTRUCTION TO DETERMINE THE PRESENCE OF LEAKS.

ALL CONNECTIONS TO COUNCIL OR Tas Water SERVICES SHALL BE UNDERTAKEN BY BY THE COUNCIL OR Tas Water AUTHORITY AT THE DEVELOPER'S COST.

THE BUILDER SHALL CONFIRM THE PRESENCE AND LOCATION OF ALL EXISTING SERVICES ON THE SITE & WITHIN THE AREA OF WORKS. ALL DANGEROUS SERVICES (underground & overhead) MUST BE CLEARLY IDENTIFIED BEFORE COMMENCING WORK.

MINIMUM PIPE GRADES:- STORMWATER - 1.00% (1:100)

DP - NEW uPVC DOWNPIPE Ø75 (u.n.o.).

ROOF KEY & NOTES

R1 COLORBOND STEEL ROOF CLADDING. 10° FALL.

DP ○ NEW Ø75 uPVC DOWNPIPE. CONNECT INTO STORMWATER SYSTEM.

ROOFING NOTES

METAL ROOF SHEETING SHALL COMPLY WITH AS 1562.1 DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING: METAL.

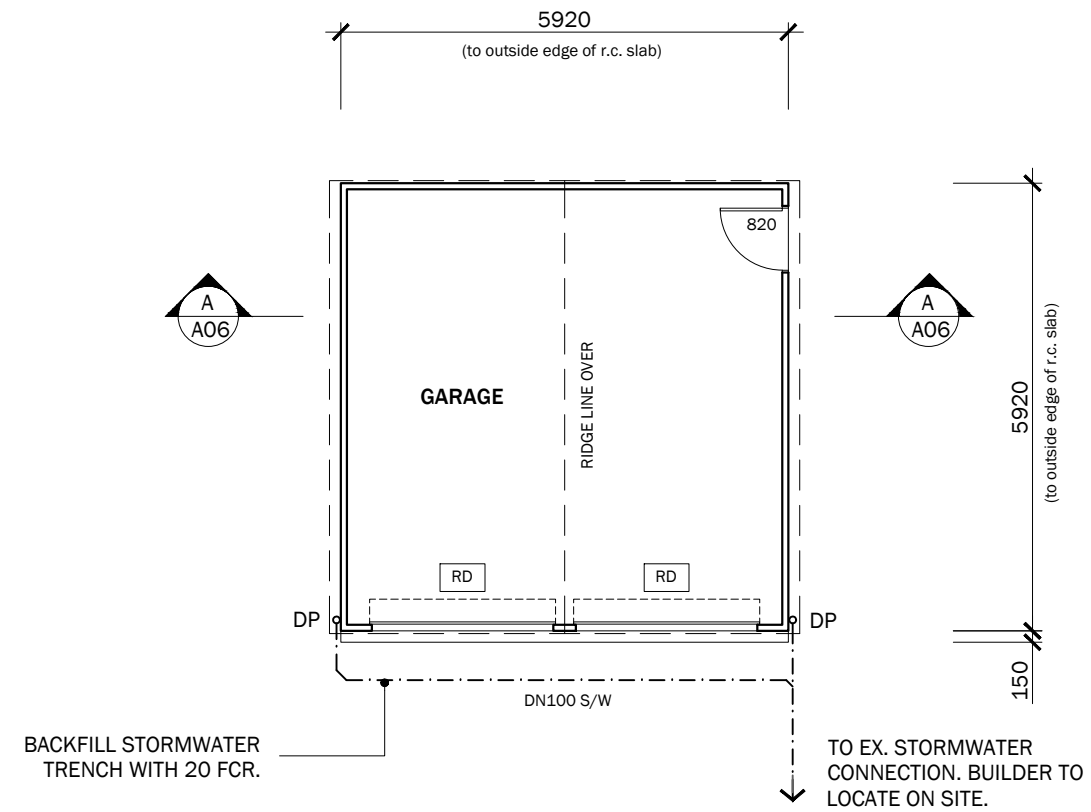
ALL ROOF SHEETING, FLASHINGS, CAPPINGS, FIXINGS AND PENETRATION FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH AS 1562.1 & MANUFACTURER'S DETAILS & SPECIFICATIONS.

ALL FIXINGS/FASTENERS SHALL BE GALVANISED, AND COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS. CUSTOM ORB SHEETS CREST FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.

WHEREVER POSSIBLE, ROOF SHEETS ARE TO BE LAID WITH ONE AND A HALF SIDE LAPS, ENSURING THAT THE SIDE LAP IS FACING AWAY FROM PREVAILING WEATHER.

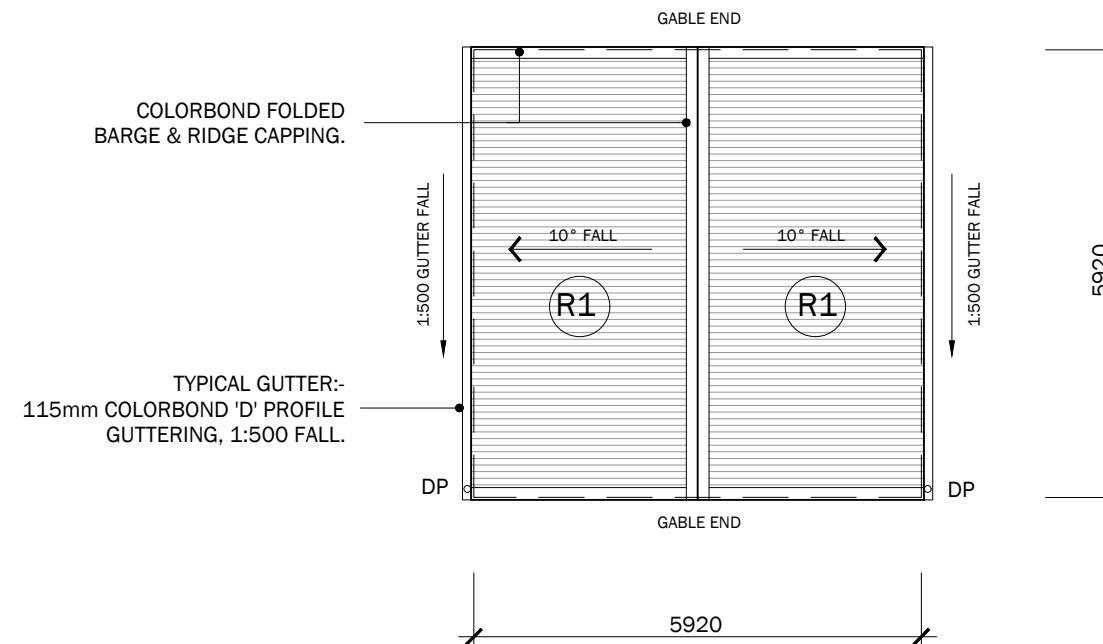
ROOF SHEETS MUST BE LAID, WHEREVER POSSIBLE, USING COMPLETE LENGTHS FROM FASCIA TO RIDGE.

ALL ROOF FLASHINGS AND CAPPINGS MUST BE PURPOSE MADE, MACHINE FOLDED COLORBOND SHEET. FLASHINGS THAT RUN PARALLEL WITH THE ROOF SHEET SHOULD HAVE THEIR EDGE TURNED DOWN TO DIP INTO THE ROOF SHEET PAN/VALLEY. FLASHINGS THAT RUN ACROSS THE TOP OF THE ROOF SHEETING SHALL ALSO HAVE THEIR EDGE TURNED DOWN AND NOTCHED TO FIT OVER THE 'TRIMDEK' SHEET RIBS. ALL FLASHINGS SHALL BE FIXED AT 600 cts. max.

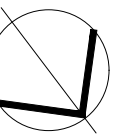


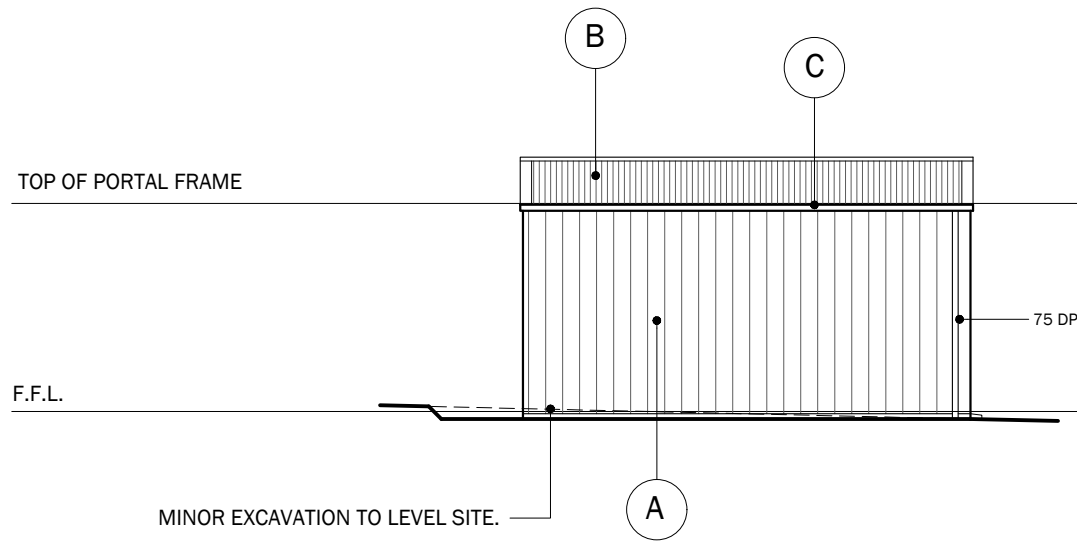
FLOOR PLAN 1:100

PROPOSED GARAGE - 35.05m²

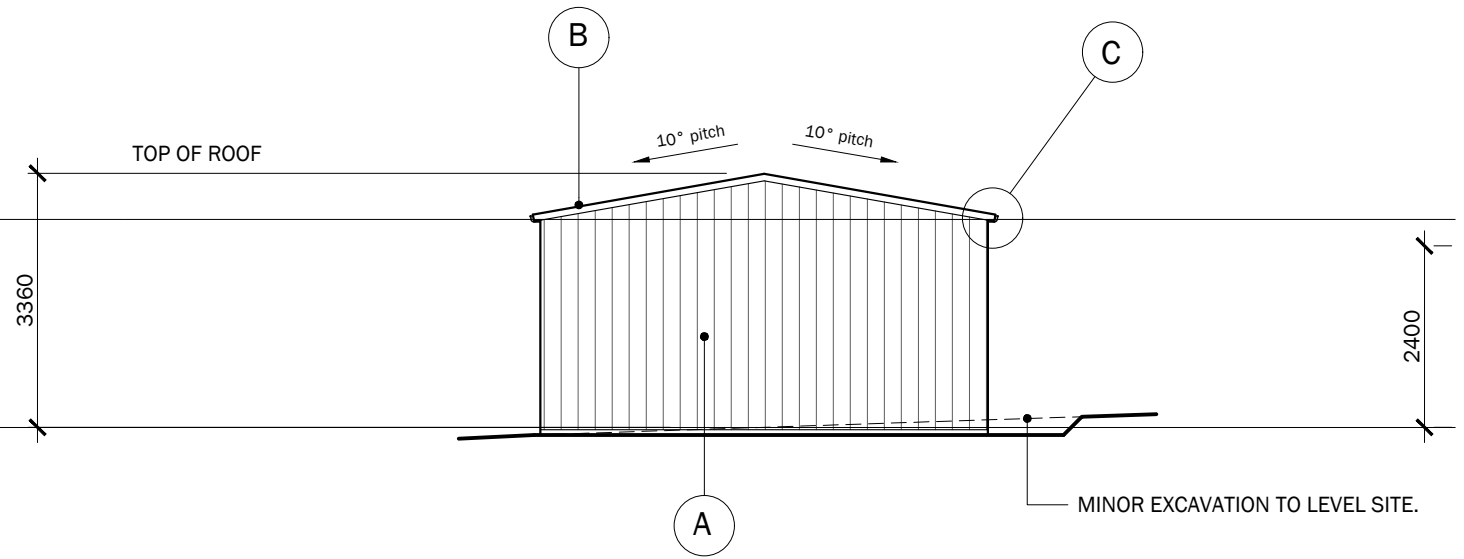


ROOF PLAN 1:100

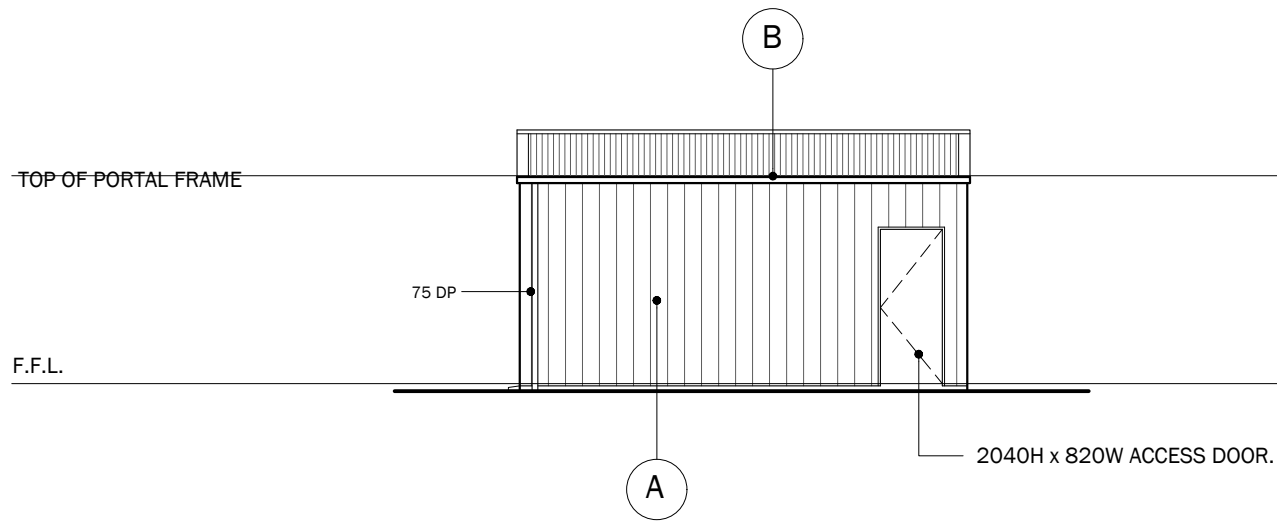




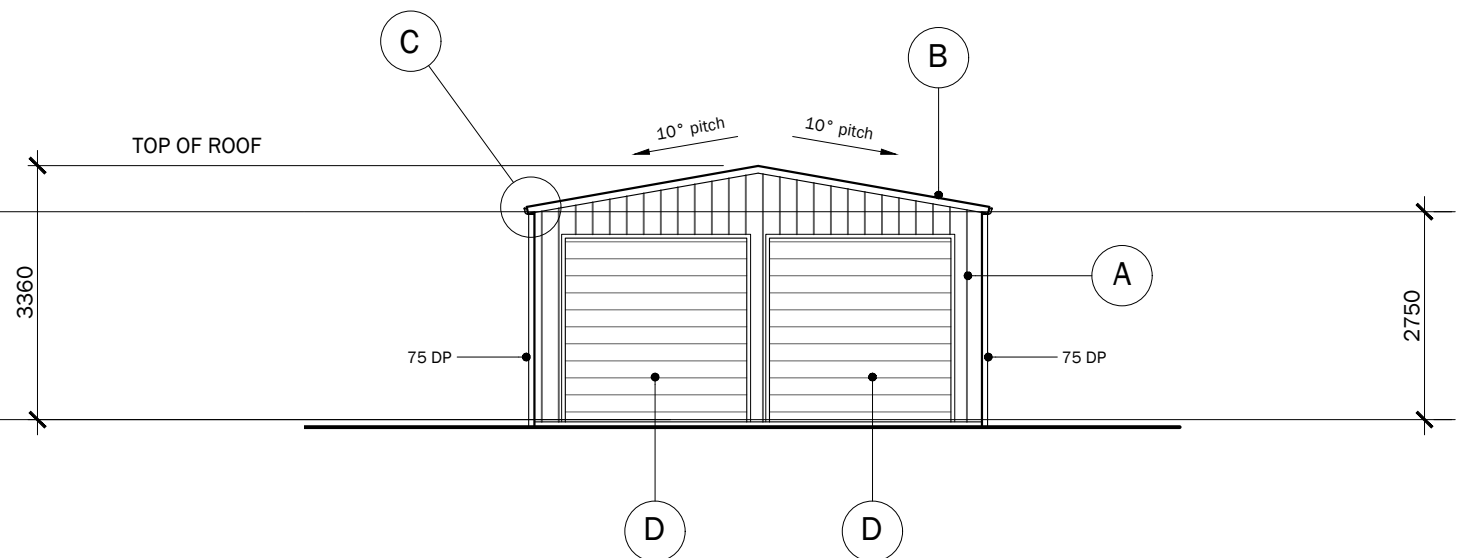
EAST ELEVATION 1:100



SOUTH ELEVATION 1:100



WEST ELEVATION 1:100



NORTH ELEVATION 1:100

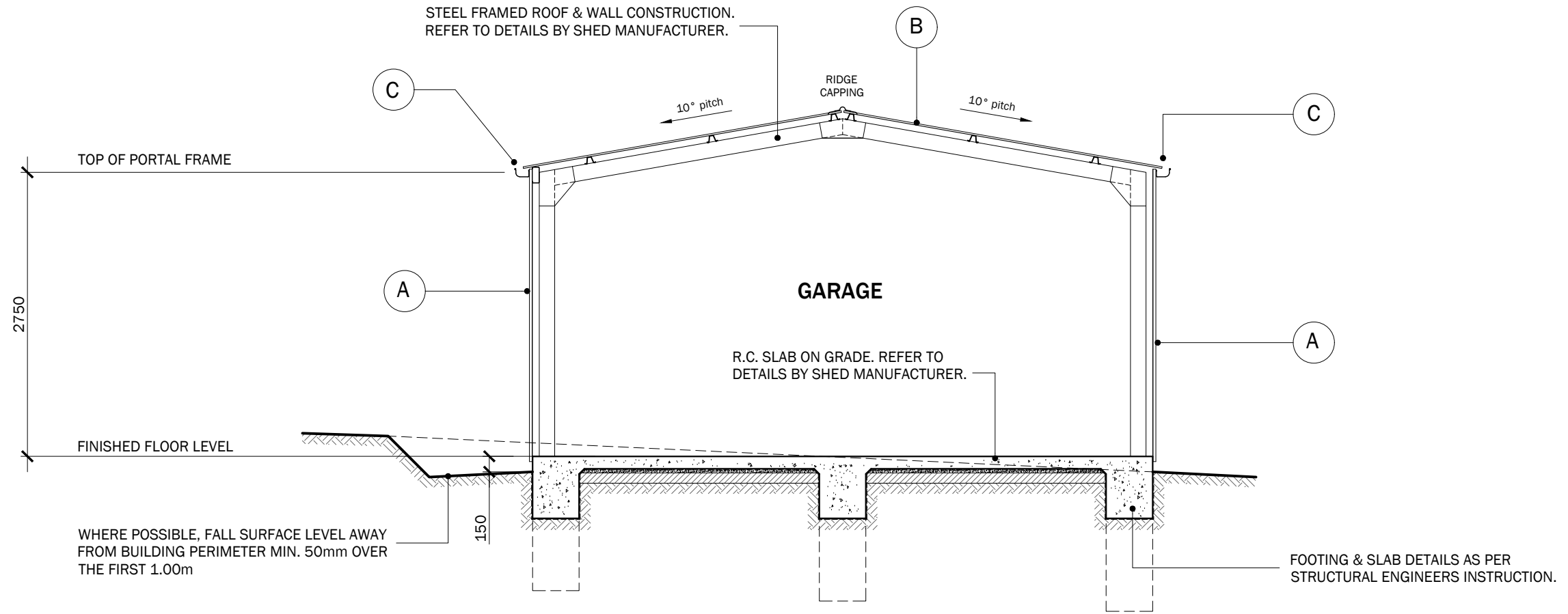
EXTERNAL MATERIALS & FINISHES

- A** COLORBOND METAL SHEET WALL CLADDING OVER STEEL WALL FRAMING. REFER TO DRAWINGS PROVIDED BY SHED MANUFACTURER/SUPPLIER.
- B** COLORBOND STEEL ROOF CLADDING. 10° FALL.
- C** COLORBOND 115mm QUAD GUTTERING, BARGE & CAPPING.
- D** 2300H x 2470W 'CENTURIAN WINDSHIELD' COLORBOND ROLLER DOOR. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

COLORBOND WALL CLADDING

INSTALL COLORBOND WALL SHEETING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. PROVIDE COLORBOND FLASHINGS TO ALL WINDOW HEAD, SILL & JAMBS; AND ALL INTERNAL/EXTERNAL CORNERS. COLORBOND TRIM/FLASHING TO BASE OF SHEETS.

REFER TO MANUFACTURER'S SPECIFICATION FOR SCREW FIXING GAUGE & SPACINGS.



A
A04 **SECTION A - A 1:50**

EXTERNAL MATERIALS & FINISHES

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