



DEVELOPMENT APPLICATION

PDPLANPMTD-2024/042769

PROPOSAL: Additions & Alterations (Dwelling & Garage)

LOCATION: 57B Derwent Avenue, Geilston Bay

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 24 April 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 24 April 2024. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 24 April 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

ALTERATIONS & ADDITIONS TO EXISTING DWELLING & GARAGE

Location:

Address... 57B DERWENT AVENUE

Suburb/Town... GEILTON BAY Postcode... 7075

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$ 700,000-

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

38 Bligh Street, Rosny Park, Tasmania • Address correspondence to: General Manager, PO Box 96, Rosny Park 7018 • Dx: 70402
Telephone (03) 6217 9550 • Email cityplanning@ccc.tas.gov.au • Website www.ccc.tas.gov.au

Page 1 of 4

SEARCH OF TORRENS TITLE

VOLUME 248541	FOLIO 4
EDITION 4	DATE OF ISSUE 14-Dec-2012

SEARCH DATE : 21-Feb-2024

SEARCH TIME : 11.06 AM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 4 on Plan 248541
 Derivation : Part of 194Ac. Gtd. to E P Wilson & Ors. Part of
 2560Ac. Gtd. to T G Gregson
 Prior CT 2920/54

SCHEDULE 1

C181124 TRANSFER to RODNEY LEONARD KING and FIONA LOUISE KING
 Registered 04-Aug-1999 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 BURDENING EASEMENT: Right of Drainage [appurtenant to the
 balance of land comprised in Certificate of Title
 Volume 2711 Folio 92) over the drainage easement on
 Sealed Plan 64750
 SP 64750 FENCING PROVISION in Schedule of Easements
 FENCING PROVISION AND COVENANT created by Sealed Plan No. 61846

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1469
TASMANIA
REAL PROPERTY ACT, 1862, as amended



CERTIFICATE OF TITLE

Register Book
Vol. Fol.

2920 54

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.

Handwritten signature of Recorder of Titles



DESCRIPTION OF LAND

TOWN OF LINDISPARNE
ONE ROOD TWENTY EIGHT PERCHES AND SIX TENTHS OF A PERCH on the
Plan hereon

FIRST SCHEDULE (continued overleaf)

COLIN FERGUS STANLEY FITZGERALD of Rosny, Business Manager, and
ROSALIND DEAN FITZGERALD, his wife AS TENANTS IN COMMON IN 2/3 PARTS SHARES

SECOND SCHEDULE (continued overleaf)

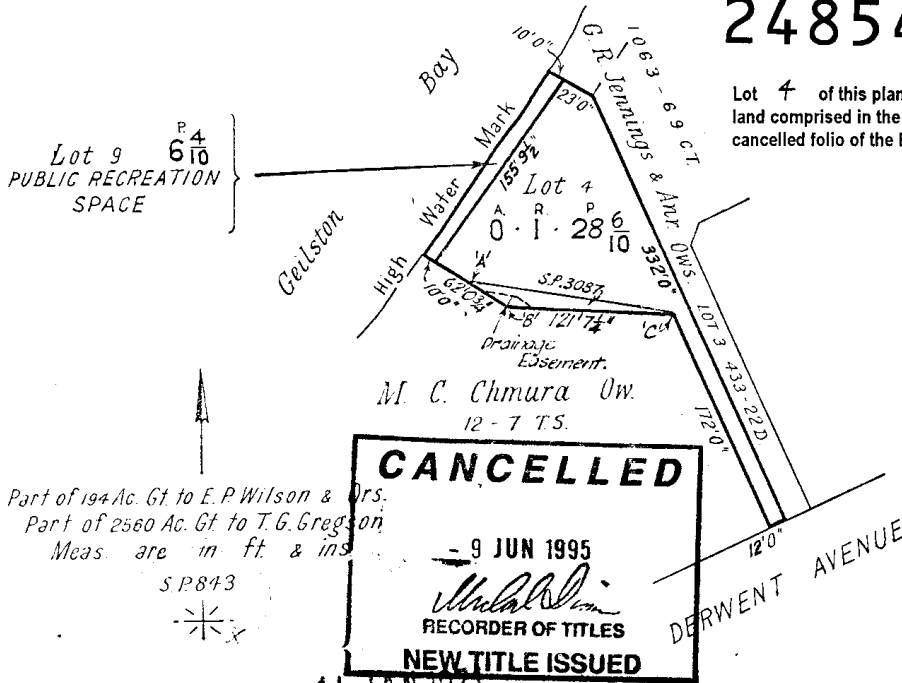
- SUBJECT TO a right of drainage (appurtenant to the balance of land comprised in Certificate of Title Volume 2711 Folio 92) over the drainage easement shown hereon SP 64750
FENCING PROVISION created by Sealed Plan No. 3087 relating to the boundary marked A.B.C. hereon.
FENCING PROVISION and COVENANT created by Sealed Plan No. 843 relating to the boundaries of the land comprised herein except the boundary marked A.B.C.

REGISTERED NUMBER

248541

Lot 4 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.

NOTE.—ENTRIES CANCELLED UNDER SIGNATURE OF THE RECORDER OF TITLES ARE NO LONGER SUBSISTING.



CANCELLED
9 JUN 1995
RECORDED OF TITLES
NEW TITLE ISSUED
14 JAN 1971

FIRST Edition. Registered
Derived from C.T. Vol. 2190 Fol. 62. Transfer A312698- D.P. Mackey & anor.
" " 2711 " 92. " A348412- M.C. Chmura

57b DERWENT AVENUE, GEILSTON BAY, TAS 7015

GENERAL NOTES

DESIGN DETAILS

DESIGNER
 LICHT ARCHITECTURE
 CERTIFIED ARCHITECT: JASON LICHT
 ACCREDITATION No: CC5860K
 ARCHITECTS ADDRESS: LEVEL 1, THE WALNUT BUILDING
 199 MACQUARIE ST.
 HOBART TAS 7000

PROPERTY INFORMATION
 CERTIFICATE FOLIO: 248541
 VOLUME: 4
 PROPERTY ID: 5114680

PLANNING INFORMATION
 MUNICIPALITY: CLARENCE
 PLANNING SCHEME: TASMANIAN PLANNING SCHEME
 PLANNING ZONE: ZONE 8 - GENERAL RESIDENTIAL
 PLANNING OVERLAYS: LOW COASTAL INUNDATION HAZARD BAND, AIRPORT OBSTACLE
 LIMITATION AREA, WATERWAY AND COASTAL PROTECTION AREA, MEDIUM
 COASTAL INUNDATION HAZARD BAND, FLOOD PRONE AREAS,
 POTENTIALLY CONTAMINATED LAND

SITE DETAILS
 BAL: N/A
 CLIMATE ZONE: ZONE 7
 WIND SPEED: REFER ENG
 SOIL CLASS: REFER ENG
 ALPINE AREA: N/A
 CORROSION: TBC



AREA SUMMARY	
SITE AREA	1737m ²
EXISTING GROUND FLOOR	200 m ²
EXISTING LOWER GROUND FL.	32m ²
EXISTING GARAGE	63 m ²
EXISTING PAVED & POOL	293 m ²
EXISTING DRIVEWAY	343 m ²
TOTAL EXISTING	931 m ²
PROPOSED GROUND FLOOR	210 m ²
PROPOSED LOWER GROUND FL.	32 m ²
PROPOSED GARAGE	90m ²
PROPOSED PAVED AREAS + COVERED TERRACE	128 m ² + 28 m ²
TOTAL PROPOSED INTERNAL	246 m ²
TOTAL PROPOSED EXTERNAL	242 m ²

DA DRAWING LIST - ARCHITECTURAL		15/08/2023	20/09/2023	12/10/2023	24/01/2024														
DRAWING NUMBER	TITLE																		
A00-00	Cover Sheet	-	B	C	D														
A00-01	Existing Condition Images	-	B	C	D														
A00-10	Site Plan - Proposed	-	B	C	D														
A01-00	Demolition - Ground Floor	-	B	C	D														
A01-10	Demolition Plan - First Floor	-	B	C	D														
A02-00	Floor Plan - Ground Floor	A	B	C	D														
A02-10	Floor Plan - First Floor	A	B	C	D														
A04-00	Roof Plan - Existing & Demolition	-	-	-	D														
A04-01	Roof Plan - Proposed	A	B	C	D														
A05-00	Elevations - Existing & Demolition	-	B	-	D														
A05-01	Elevations - Existing & Demolition	-	B	-	D														
A05-10	Elevations - Proposed	-	B	C	D														
A05-11	Elevations - Proposed	-	B	C	D														
A05-12	Elevations - Proposed	-	-	C	D														
A06-00	Sections A & B - Proposed	-	-	C	D														
A06-01	Sections C & D - Proposed	-	-	C	D														

copyright LICHT ARCHITECTURE Accreditation No: CC 5860 K Level 1, The Walnut Building, 199 Macquarie St Hobart TAS 7000 t: helpline@lichtarchitecture.com.au p: 0488 488 825	ISSUE	DATE	REASON	DRAWN	CHECKED	general notes These drawings show design intent & are suitable as a guide only. Do not scale off the drawings. All dimensions in millimetres. Dimensions of existing buildings are indicative only - they should not be relied on and are to be verified on site before commencing work. All documents shall be read in conjunction with specifications and any consultants detail. All work shall be in accordance with the Building Code of Australia, relevant Australian Standards & local authority by-laws and regulations. Any discrepancies, errors or omissions shall be referred to the Architects. Drawings are not to be used for construction until issued construction.	client F & R King project DERWENT AVE 57b Derwent Avenue Geilston Bay TAS 7015	reason of issue	DEVELOPMENT APPLICATION	
	A	15/08/23	ISSUED FOR CONCEPT DEVELOPMENT	DK	JL			drawing	scale	
	B	20/09/23	ISSUED FOR CLIENT REVIEW	DK	JL			COVER SHEET	1:100 @ A3	
	C	12/10/23	ISSUED FOR PRELIMINARY COSTING	DK	JL			project n°	drawing n°	issue
D	21/02/24	ISSUED FOR DEVELOPMENT APPLICATION	DK	JL	2305	A00-00	D			



EXISTING FRONT (SE) FACADE



EXISTING DRIVEWAY



EXISTING CARPORT & ENTRY



EXISTING REAR (NW) FACADE



EXISTING SIDE (SW) FACADE



EXISTING SIDE SETBACK AND TERRACE



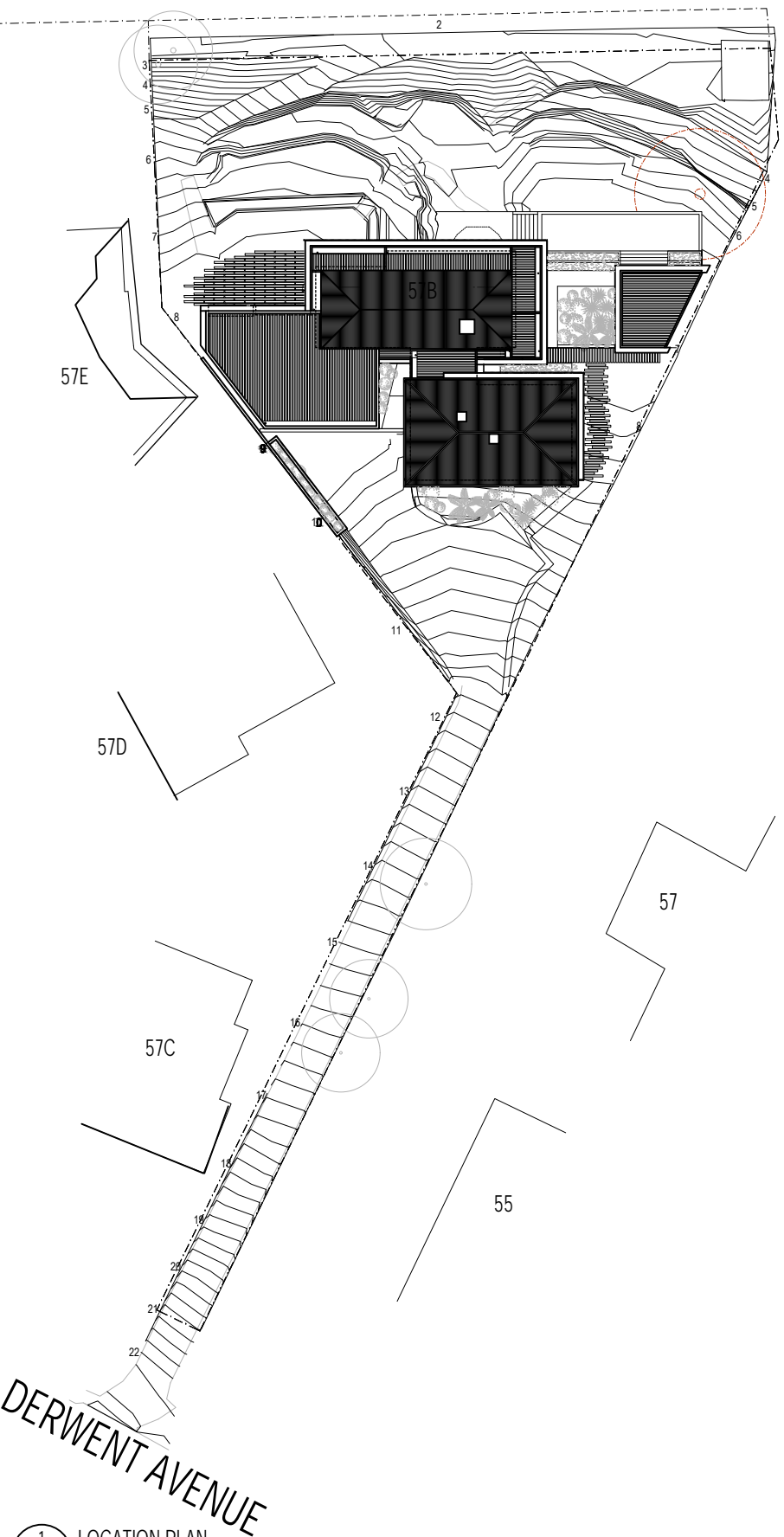
EXISTING POOL AREA AND ASSOCIATED TERRACES



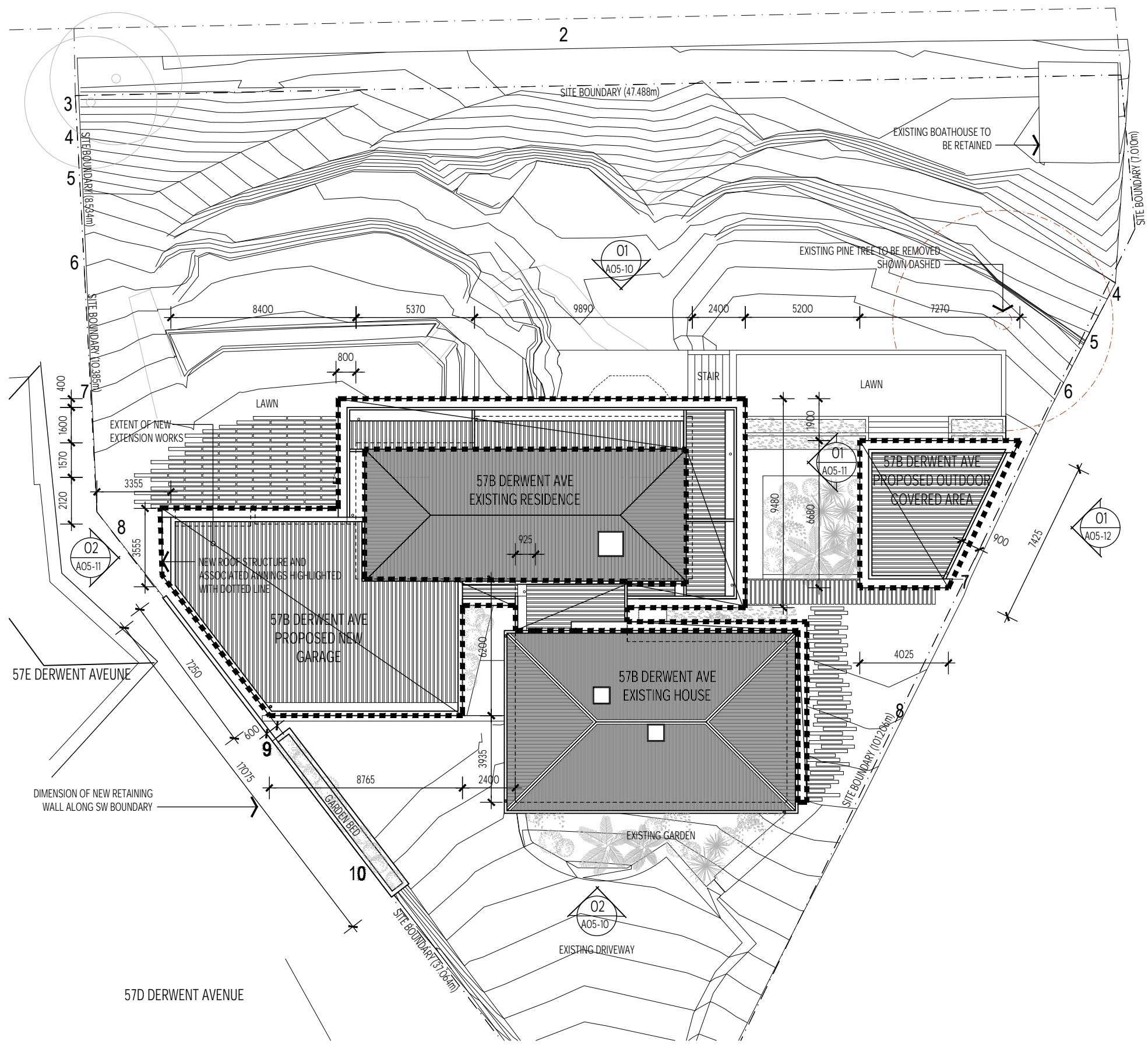
EXISTING EXTERIOR AND SHEDS

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	B	20/09/23	ISSUED FOR CLIENT REVIEW	DK	JL			project n°	2305	drawing n°	AOO-01
	C	12/10/23	ISSUED FOR PRELIMINARY COSTING	DK	JL			issue	D		
D	21/02/24	ISSUED FOR DEVELOPMENT APPLICATION	DK	JL							

DERWENT RIVER

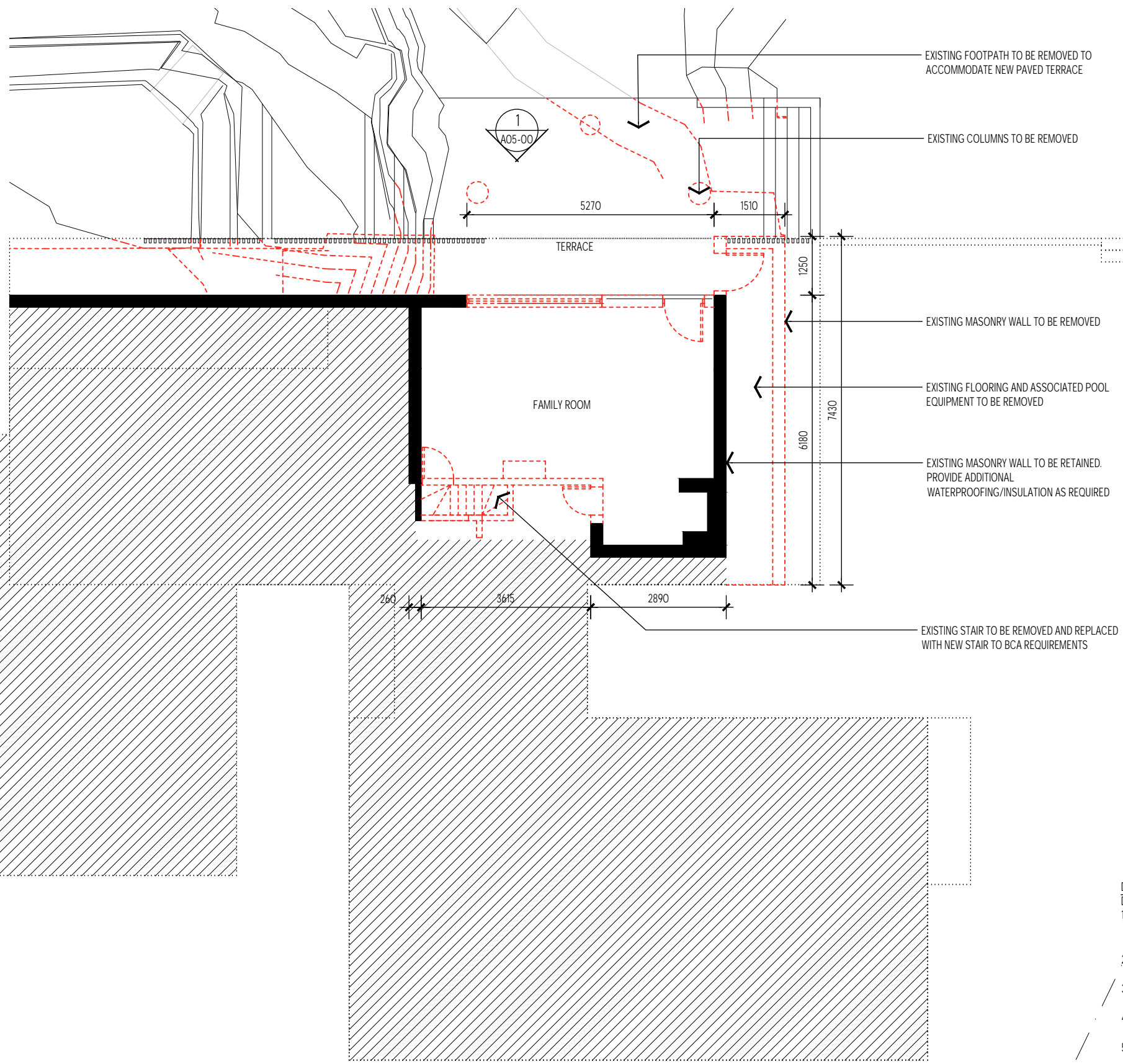


1 LOCATION PLAN
1:500




2 SITE PLAN (PARTIAL - NOT INCLUDING DRIVEWAY)
1:200

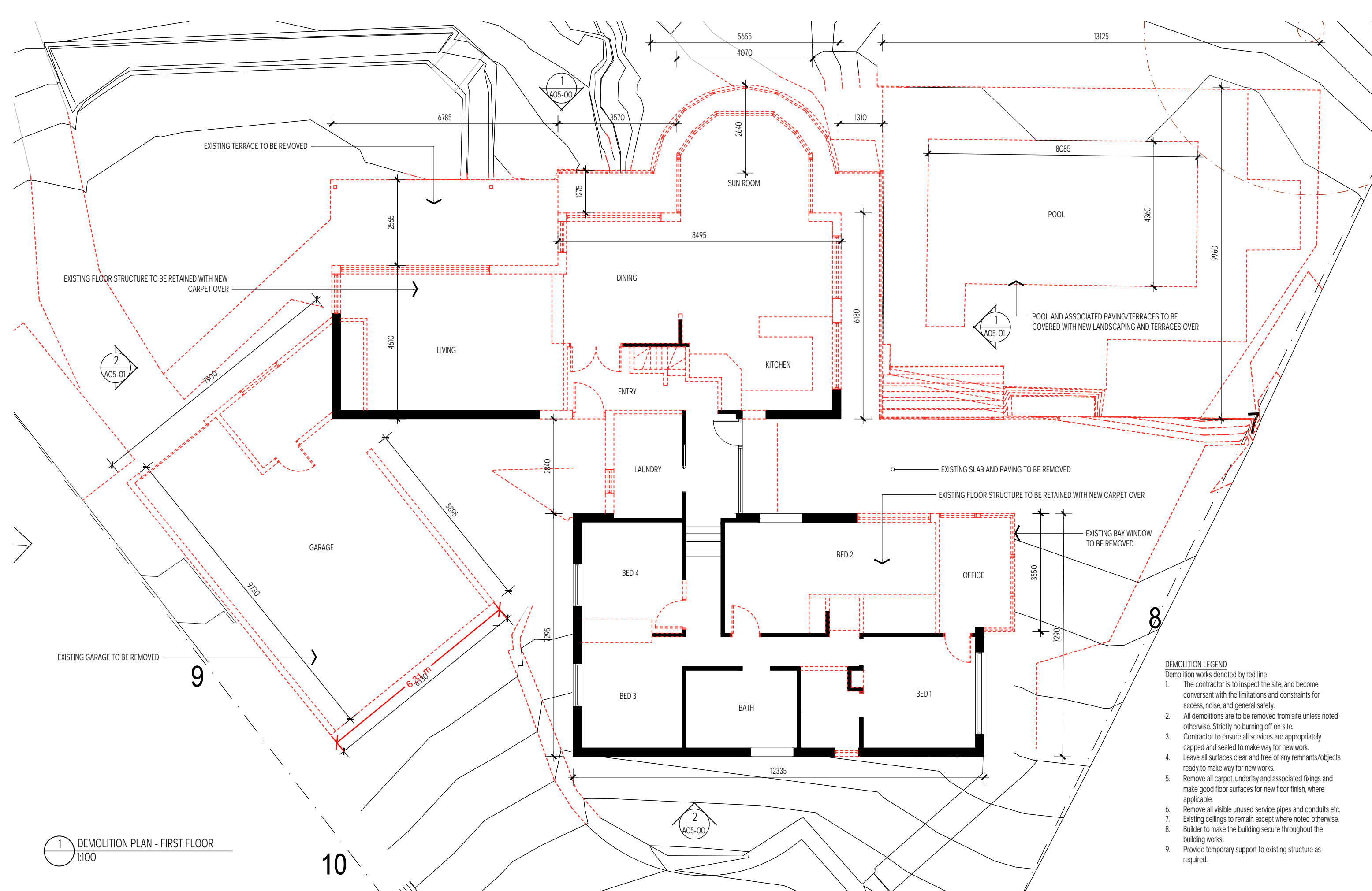
copyright LICHT ARCHITECTURE Accreditation No. CC 5860 K Level 1 The Mains Building 191 Macquarie St Hobart TAS 7000 t: helpline@lichtarchitecture.com.au p: 0488 488 825	ISSUE	DATE	REASON	DRAWN	CHECKED	general notes These drawings show design intent & are suitable as a guide only. Do not scale off the drawings. All dimensions in millimetres. Dimensions of existing building are indicative only - they should not be relied on and are to be verified on site before commencing work. All documents shall be read in conjunction with specifications and any consultants detail. All work shall be in accordance with the Building Code of Australia, relevant Australian Standards & local authority by-laws and regulations. Any discrepancies, errors or omissions shall be referred to the Architects. Drawings are not to be used for construction until issued Construction	client F & R King project DERWENT AVE 57b Derwent Avenue Geilston Bay TAS 7015	reason of issue	
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	B	20/08/23	ISSUED FOR CLIENT REVIEW	DK	JL			drawing	scale
C	12/10/23	ISSUED FOR PRELIMINARY COSTING	DK	JL	LOCATION & SITE PLAN	1:200 & 1:500	project n°	drawing n°	issue
D	21/02/24	ISSUED FOR DEVELOPMENT APPLICATION	DK	JL	2305	AOO-10	D		



- DEMOLITION LEGEND**
Demolition works denoted by red line
- The contractor is to inspect the site, and become conversant with the limitations and constraints for access, noise, and general safety.
 - All demolitions are to be removed from site unless noted otherwise. Strictly no burning off on site.
 - Contractor to ensure all services are appropriately capped and sealed to make way for new work.
 - Leave all surfaces clear and free of any remnants/objects ready to make way for new works.
 - Remove all carpet, underlay and associated fixings and make good floor surfaces for new floor finish, where applicable.
 - Remove all visible unused service pipes and conduits etc.
 - Existing ceilings to remain except where noted otherwise.
 - Builder to make the building secure throughout the building works.
 - Provide temporary support to existing structure as required.

1 DEMOLITION PLAN - GROUND FLOOR
1:100

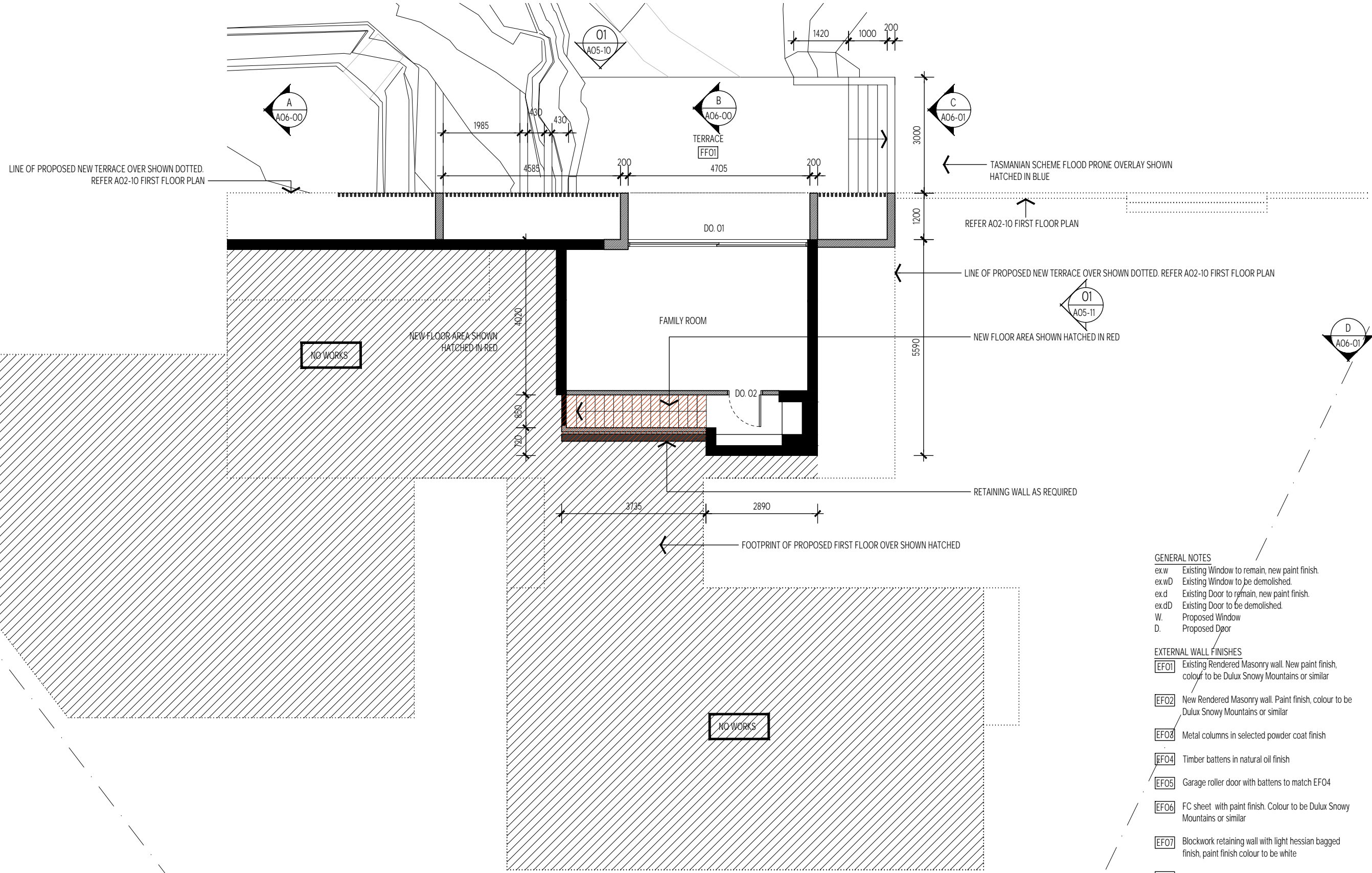
copyright LICHT ARCHITECTURE Accreditation No. CC 5860 X Level 1, The Mosaic Building, 199 Macquarie St, Hobart TAS 7000 t: helloworld@lichtarchitecture.com.au p: 0488 488 828	ISSUE DATE REASON DRAWN CHECKED A 15/08/23 ISSUED FOR CONCEPT DEVELOPMENT DK JL B 20/09/23 ISSUED FOR CLIENT REVIEW DK JL C 12/10/23 ISSUED FOR PRELIMINARY COSTING DK JL D 21/02/24 ISSUED FOR DEVELOPMENT APPLICATION DK JL	general notes These drawings show design intent & are suitable as a guide only. Do not scale off the drawings. All dimensions in millimetres. Dimensions of existing building are indicative only - they should not be relied on and are to be verified on site before commencing work. All documents shall be read in conjunction with specifications and any consultants detail. All work shall be in accordance with the Building Code of Australia, relevant Australian Standards & local authority by-laws and regulations. Any discrepancies, errors or omissions shall be referred to the Architects. Drawings are not to be used for construction until issued Construction.	client F & R King project DERWENT AVE 57b Derwent Avenue Geilston Bay TAS 7015	reason of issue DEVELOPMENT APPLICATION drawing DEMOLITION PLAN GROUND FLOOR project n ^o 2305 drawing n ^o AO1-00 issue D	scale 1:100 @ A3 
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1 DEMOLITION PLAN - FIRST FLOOR
1:100

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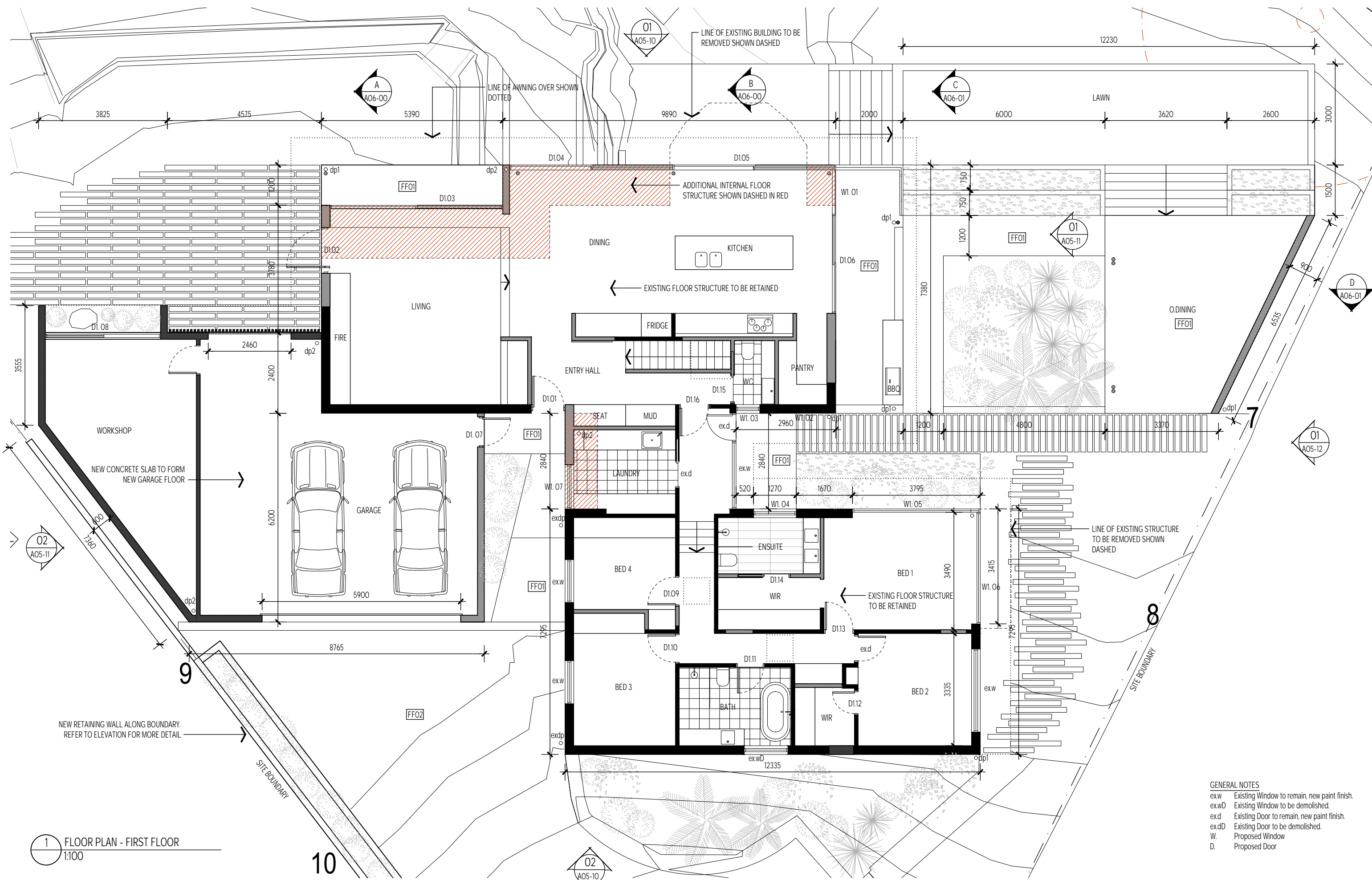
copyright LICHT ARCHITECTURE Accreditation No. CC 5860 K Level 1, The Mains Building, 191 Macquarie St, Hobart TAS 7000 t: hofelich@lichtarchitecture.com.au p: 0488 488 825		<table border="1"> <thead> <tr> <th>ISSUE</th> <th>DATE</th> <th>REASON</th> <th>DRAWN</th> <th>CHECKED</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>15/08/23</td> <td>ISSUED FOR CONCEPT DEVELOPMENT</td> <td>DK</td> <td>JL</td> </tr> <tr> <td>B</td> <td>20/08/23</td> <td>ISSUED FOR CLIENT REVIEW</td> <td>DK</td> <td>JL</td> </tr> <tr> <td>C</td> <td>12/10/23</td> <td>ISSUED FOR PRELIMINARY COSTING</td> <td>DK</td> <td>JL</td> </tr> <tr> <td>D</td> <td>21/02/24</td> <td>ISSUED FOR DEVELOPMENT APPLICATION</td> <td>DK</td> <td>JL</td> </tr> </tbody> </table>	ISSUE	DATE	REASON	DRAWN	CHECKED	A	15/08/23	ISSUED FOR CONCEPT DEVELOPMENT	DK	JL	B	20/08/23	ISSUED FOR CLIENT REVIEW	DK	JL	C	12/10/23	ISSUED FOR PRELIMINARY COSTING	DK	JL	D	21/02/24	ISSUED FOR DEVELOPMENT APPLICATION	DK	JL	general notes These drawings show design intent & are suitable as a guide only. Do not scale off the drawings. All dimensions in millimetres. Dimensions of existing building are indicative only - they should not be relied on and are to be verified on site before commencing work. All documents shall be read in conjunction with specifications and any consultants detail. All work shall be in accordance with the Building Code of Australia, relevant Australian Standards & local authority by-laws and regulations. Any discrepancies, errors or omissions shall be referred to the Architects. Drawings are not to be used for construction until issued construction.	client F & R King project DERWENT AVE 57b Derwent Avenue Geilston Bay TAS 7015	reason of issue DEVELOPMENT APPLICATION drawing DEMOLITION PLAN FIRST FLOOR project n ^o 2305 drawing n ^o AO1-10 issue D	scale 1:100 @ A3
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- GENERAL NOTES**
- ex.w Existing Window to remain, new paint finish.
 - ex.wD Existing Window to be demolished.
 - ex.d Existing Door to remain, new paint finish.
 - ex.dD Existing Door to be demolished.
 - W. Proposed Window
 - D. Proposed Door
- EXTERNAL WALL FINISHES**
- EF01 Existing Rendered Masonry wall. New paint finish, colour to be Dulux Snowy Mountains or similar
 - EF02 New Rendered Masonry wall. Paint finish, colour to be Dulux Snowy Mountains or similar
 - EF03 Metal columns in selected powder coat finish
 - EF04 Timber battens in natural oil finish
 - EF05 Garage roller door with battens to match EF04
 - EF06 FC sheet with paint finish. Colour to be Dulux Snowy Mountains or similar
 - EF07 Blockwork retaining wall with light hessian bagged finish, paint finish colour to be white
 - EF08 Glazed balustrade in clear glass
 - EF09 Garage roller door in colorbond surfmist
 - EF10 Polished concrete BBQ bench
- EXTERNAL FLOOR FINISHES**
- FF01 Paving to future selection

01 FLOOR PLAN - GROUND FLOOR
1:100

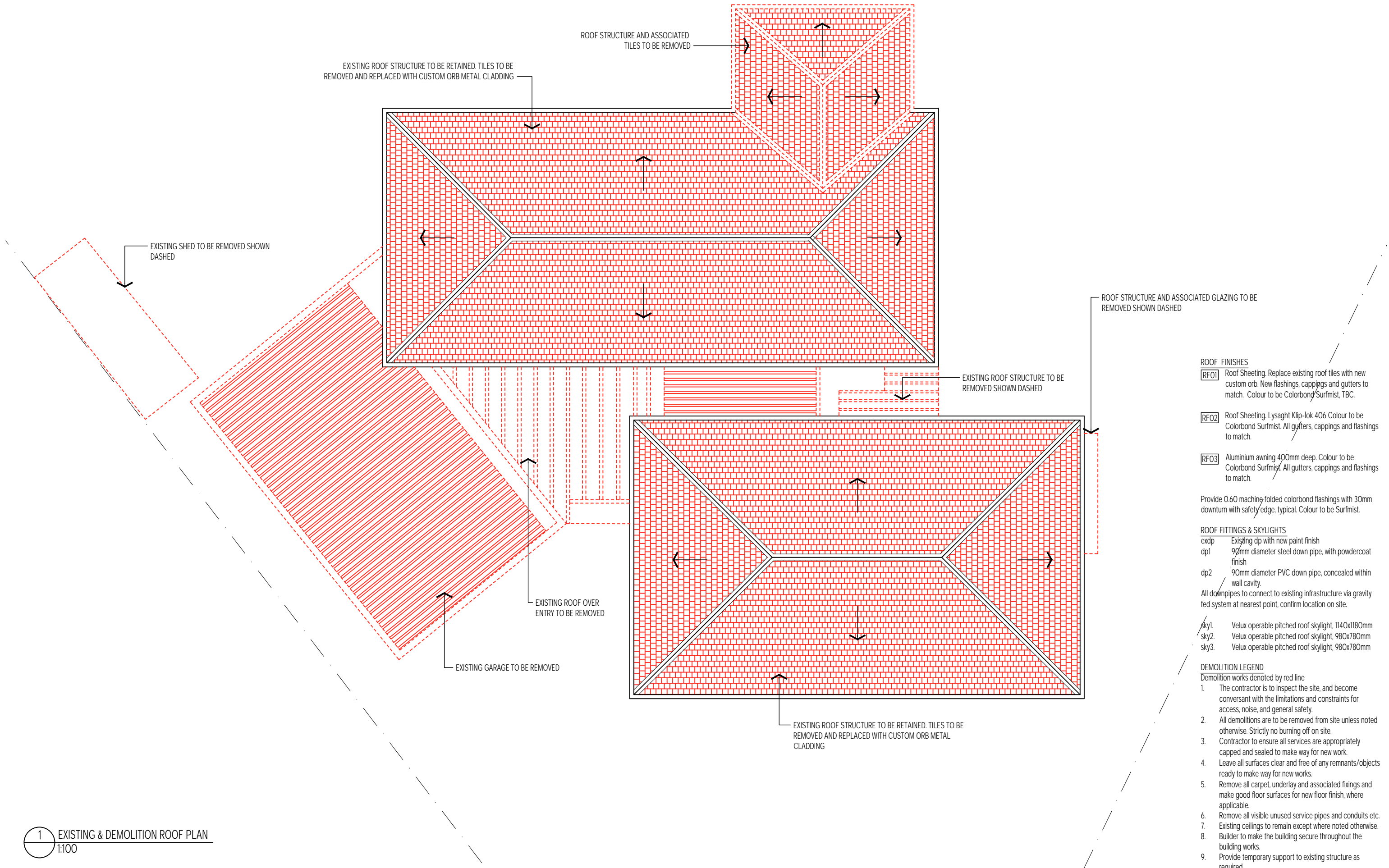
copyright LICHT ARCHITECTURE Accreditation No. CC 5860 X Level 1, The Mosaic Building, 199 Macquarie St, Hobart TAS 7000 t: hobotlicharchitecture.com.au p: 0488 488 825	ISSUE DATE REASON DRAWN CHECKED A 15/08/23 ISSUED FOR CONCEPT DEVELOPMENT DK JL B 20/09/23 ISSUED FOR CLIENT REVIEW DK JL C 12/10/23 ISSUED FOR PRELIMINARY COSTING DK JL D 21/02/24 ISSUED FOR DEVELOPMENT APPLICATION DK JL	general notes These drawings show design intent & are suitable as a guide only. Do not scale off the drawings. All dimensions in millimetres. Dimensions of existing building are indicative only - they should not be relied on and are to be verified on site before commencing work. All documents shall be read in conjunction with specifications and any consultants detail. All work shall be in accordance with the Building Code of Australia, relevant Australian Standards & local authority by-laws and regulations. Any discrepancies, errors or omissions shall be referred to the Architects. Drawings are not to be used for construction until issued Construction	client F & R King project DERWENT AVE 57b Derwent Avenue Geilston Bay TAS 7015	reason of issue DEVELOPMENT APPLICATION drawing FLOOR PLAN GROUND FLOOR project n ^o 2305 drawing n ^o AO2-00 issue D	scale 1:100 @ A3
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1 FLOOR PLAN - FIRST FLOOR
1:100

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	C	12/10/23	ISSUED FOR PRELIMINARY COSTING	DK	JL			FIRST FLOOR	project n°	drawing n°
	D	21/02/24	ISSUED FOR DEVELOPMENT APPLICATION	DK	JL	2305	AO2-10	D		



EXISTING ROOF STRUCTURE TO BE RETAINED. TILES TO BE REMOVED AND REPLACED WITH CUSTOM ORB METAL CLADDING

ROOF STRUCTURE AND ASSOCIATED TILES TO BE REMOVED

EXISTING SHED TO BE REMOVED SHOWN DASHED

EXISTING ROOF STRUCTURE TO BE REMOVED SHOWN DASHED

ROOF STRUCTURE AND ASSOCIATED GLAZING TO BE REMOVED SHOWN DASHED

EXISTING ROOF OVER ENTRY TO BE REMOVED

EXISTING GARAGE TO BE REMOVED

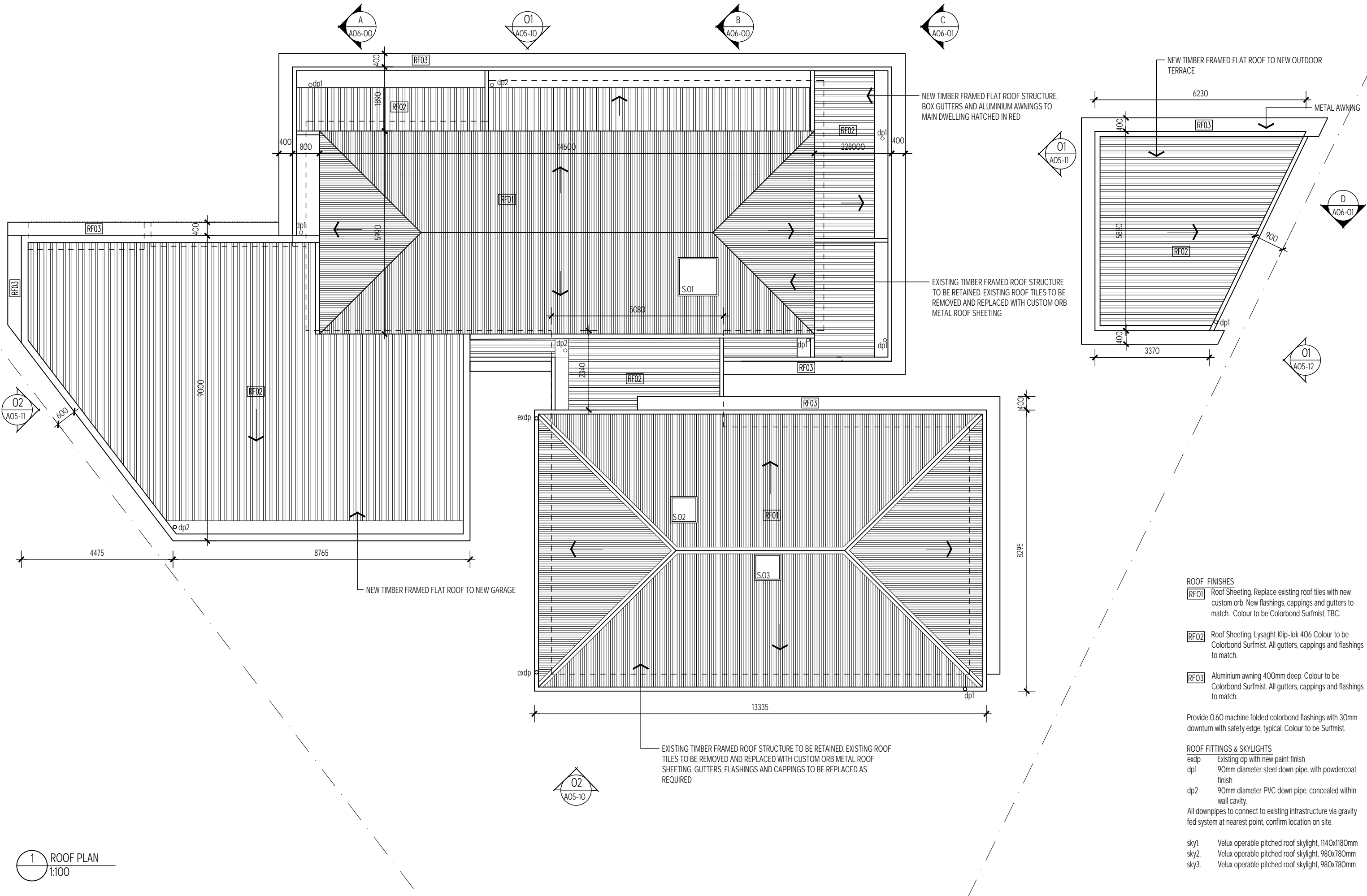
EXISTING ROOF STRUCTURE TO BE RETAINED. TILES TO BE REMOVED AND REPLACED WITH CUSTOM ORB METAL CLADDING

- ROOF FINISHES**
- [RF01]** Roof Sheetting. Replace existing roof tiles with new custom orb. New flashings, cappings and gutters to match. Colour to be Colorbond Surfsmist, TBC.
 - [RF02]** Roof Sheetting. Lysaght Klip-lok 406 Colour to be Colorbond Surfsmist. All gutters, cappings and flashings to match.
 - [RF03]** Aluminium awning 400mm deep. Colour to be Colorbond Surfsmist. All gutters, cappings and flashings to match.
- Provide 0.60 machine folded colorbond flashings with 30mm downturn with safety edge, typical. Colour to be Surfsmist.
- ROOF FITTINGS & SKYLIGHTS**
- expd Existing dp with new paint finish
 - dp1 90mm diameter steel down pipe, with powdercoat finish
 - dp2 90mm diameter PVC down pipe, concealed within wall cavity.
- All downpipes to connect to existing infrastructure via gravity fed system at nearest point, confirm location on site.
- sky1. Velux operable pitched roof skylight, 1140x1180mm
 - sky2. Velux operable pitched roof skylight, 980x780mm
 - sky3. Velux operable pitched roof skylight, 980x780mm

- DEMOLITION LEGEND**
- Demolition works denoted by red line
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 6. Remove all visible unused service pipes and conduits etc.
 7. Existing ceilings to remain except where noted otherwise.
 8. Builder to make the building secure throughout the building works.
 9. Provide temporary support to existing structure as required.

1 EXISTING & DEMOLITION ROOF PLAN
1:100

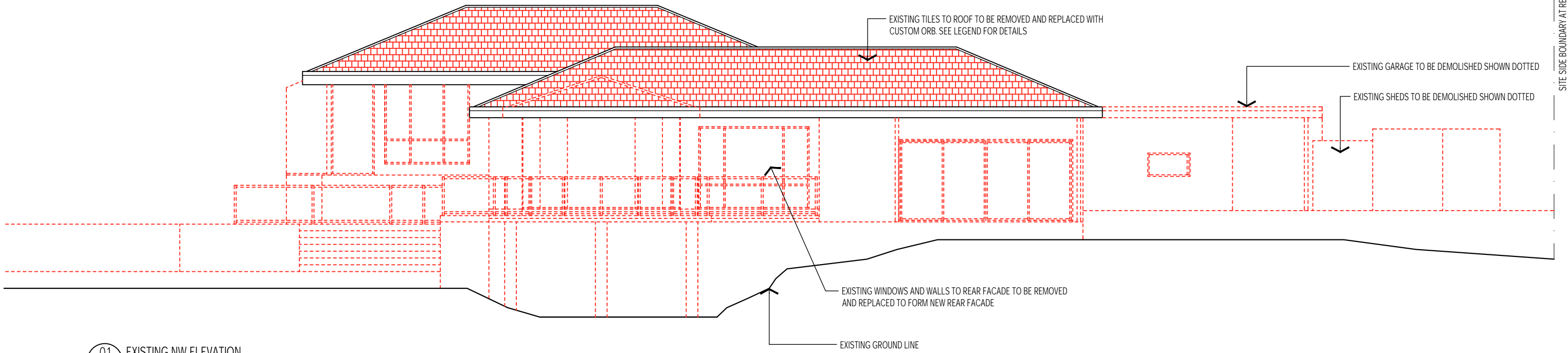
copyright LICHT ARCHITECTURE Accreditation No. CC 5860 X Level 1, The Mosaic Building, 191 Macquarie St, Hobart TAS 7000 t: helpline@lichtarchitecture.com.au p: 0488 488 825	ISSUE	DATE	REASON	DRAWN	CHECKED	general notes These drawings show design intent & are suitable as a guide only. Do not scale off the drawings. All dimensions in millimetres. Dimensions of existing buildings are indicative only - they should not be relied on and are to be verified on site before commencing work. All documents shall be read in conjunction with specifications and any consultants detail. All work shall be in accordance with the Building Code of Australia, relevant Australian Standards & local authority by-laws and regulations. Any discrepancies, errors or omissions shall be referred to the Architects. Drawings are not to be used for construction until issued construction.	client F & R King project DERWENT AVE 57b Derwent Avenue Geilston Bay TAS 7015	reason of issue
	A	15/08/23	ISSUED FOR CONCEPT DEVELOPMENT	DK	JL			drawing
	B	20/09/23	ISSUED FOR CLIENT REVIEW	DK	JL			scale
C	12/10/23	ISSUED FOR PRELIMINARY COSTING	DK	JL	EXISTING & DEMOLITION ROOF PLAN	1:100 @ A3		
D	21/02/24	ISSUED FOR DEVELOPMENT APPLICATION	DK	JL			project #	
							2305	drawing #
							AO4-00	ISSUE
							D	



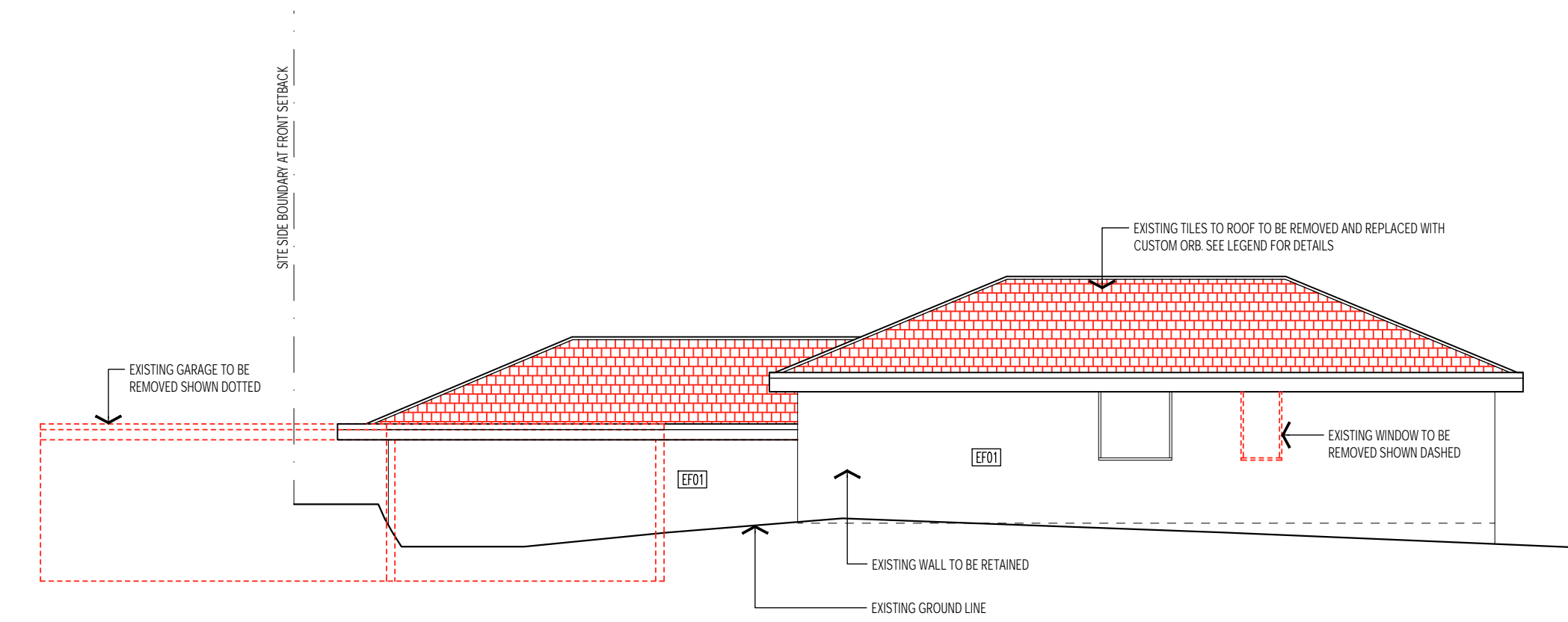
1 ROOF PLAN
1:100

- ROOF FINISHES**
- RF01** Roof Sheetting, Replace existing roof tiles with new custom orb. New flashings, cappings and gutters to match. Colour to be Colorbond Surfsmist, TBC.
 - RF02** Roof Sheetting, Lysaght Klip-lok 406 Colour to be Colorbond Surfsmist. All gutters, cappings and flashings to match.
 - RF03** Aluminium awning 400mm deep. Colour to be Colorbond Surfsmist. All gutters, cappings and flashings to match.
- Provide 0.60 machine folded colorbond flashings with 30mm downturn with safety edge, typical. Colour to be Surfsmist.
- ROOF FITTINGS & SKYLIGHTS**
- exdp Existing dp with new paint finish
 - dp1 90mm diameter steel down pipe, with powdercoat finish
 - dp2 90mm diameter PVC down pipe, concealed within wall cavity.
- All downpipes to connect to existing infrastructure via gravity fed system at nearest point, confirm location on site.
- sky1. Velux operable pitched roof skylight, 1140x1180mm
 - sky2. Velux operable pitched roof skylight, 980x780mm
 - sky3. Velux operable pitched roof skylight, 980x780mm

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	A	15/08/23	ISSUED FOR CONCEPT DEVELOPMENT	DK	JL			drawing	scale	
	B	20/09/23	ISSUED FOR CLIENT REVIEW	DK	JL			ROOF PLAN	1:100 @ A3	
	C	12/10/23	ISSUED FOR PRELIMINARY COSTING	DK	JL			project n ^o	drawing n ^o	issue
D	21/02/24	ISSUED FOR DEVELOPMENT APPLICATION	DK	JL	2305	AO4-01	D			



01 EXISTING NW ELEVATION
1:100



02 EXISTING SE ELEVATION
1:100

GENERAL NOTES

- ex.w Existing Window to remain, new paint finish.
- ex.wD Existing Window to be demolished.
- ex.d Existing Door to remain, new paint finish.
- ex.dD Existing Door to be demolished.
- W. Proposed Window
- D. Proposed Door

EXTERNAL WALL FINISHES

- EF01** Existing Rendered Masonry wall. New paint finish, colour to be Dulux Snowy Mountains or similar
- EF02** New Rendered Masonry wall. Paint finish, colour to be Dulux Snowy Mountains or similar
- EF03** Metal columns in selected powder coat finish
- EF04** Timber battens in natural oil finish
- EF05** Garage roller door with battens to match EF04
- EF06** FC sheet with paint finish. Colour to be Dulux Snowy Mountains or similar
- EF07** Blockwork retaining wall with light hessian bagged finish, paint finish colour to be white
- EF08** Glazed balustrade in clear glass
- EF09** Garage roller door in colorbond surfmist
- EF10** Polished concrete BBQ bench

EXTERNAL FLOOR FINISHES

- FF01** Paving to future selection

ROOF FINISHES

- RF01** Roof Sheeting. Replace existing roof tiles with new custom orb. New flashings, cappings and gutters to match. Colour to be Colorbond Surfmist, TBC.
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- RF03** Aluminium awning 400mm deep @2100 cnt. Colour to be Colorbond Surfmist. All gutters, cappings and flashings to match.

Provide 0.60 machine folded colorbond flashings with 30mm downturn with safety edge, typical. Colour to be Surfmist.

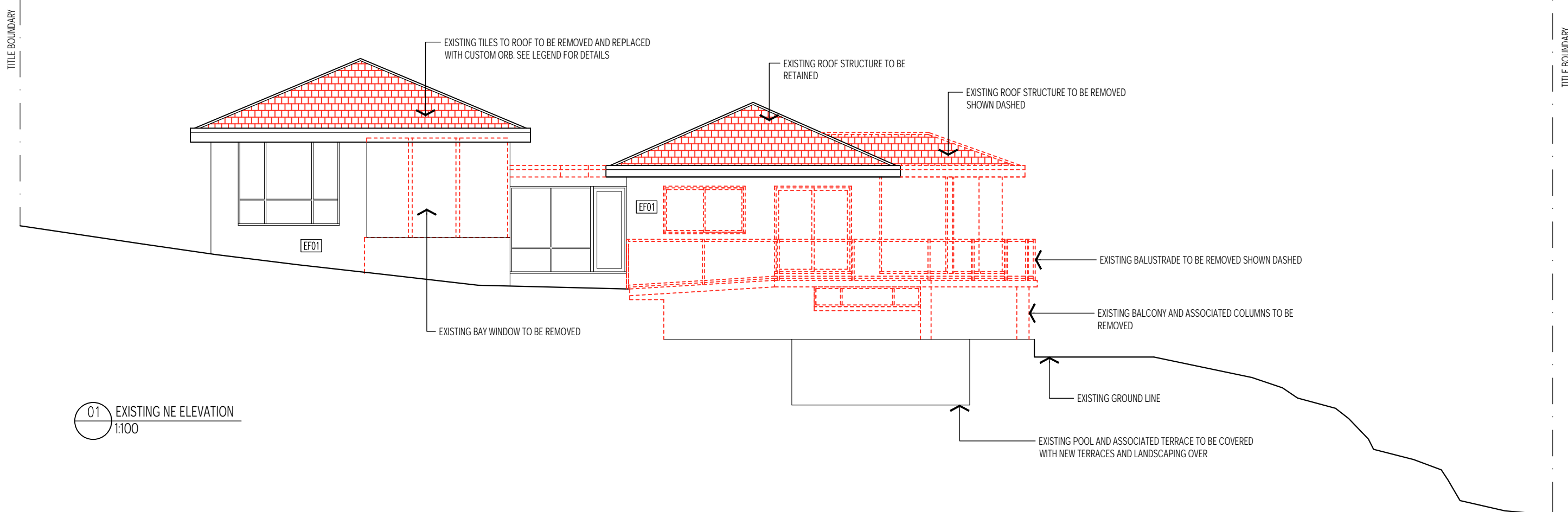
ROOF FITTINGS & SKYLIGHTS

- exp Existing dp with new paint finish
 - dp1 90mm diameter steel down pipe, with powdercoat finish
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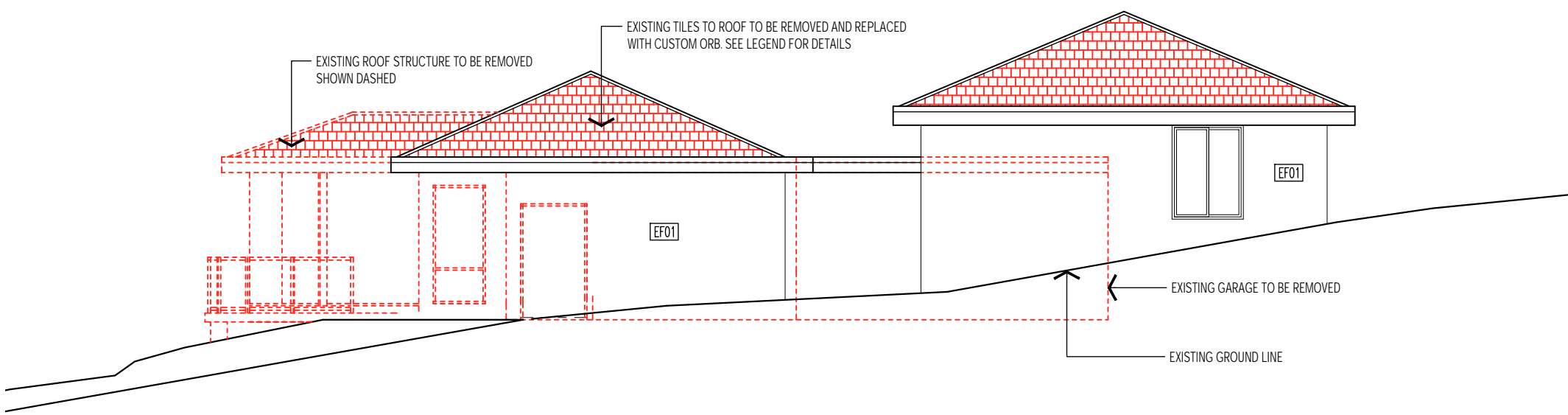
DEMOLITION LEGEND

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 - Leave all surfaces clear and free of any remnants/objects ready to make way for new works.
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 - Remove all visible unused service pipes and conduits etc.
 - Existing ceilings to remain except where noted otherwise.
 - Builder to make the building secure throughout the building works.
 - Provide temporary support to existing structure as required.

copyright LICHT ARCHITECTURE Accreditation No. CC 5860 K Level 1 The Mosaic Building 191 Macquarie St Hobart TAS 7000 t: helpline@lichtarchitecture.com.au p: 0488 488 805	ISSUE DATE REASON DRAWN CHECKED A 15/08/23 ISSUED FOR CONCEPT DEVELOPMENT DK JL B 20/09/23 ISSUED FOR CLIENT REVIEW DK JL C 12/10/23 ISSUED FOR PRELIMINARY COSTING DK JL D 21/02/24 ISSUED FOR DEVELOPMENT APPLICATION DK JL	general notes These drawings show design intent & are suitable as a guide only. Do not scale off the drawings. All dimensions in millimetres. Dimensions of existing building are indicative only - they should not be relied on and are to be verified on site before commencing work. All documents shall be read in conjunction with specifications and any consultants detail. All work shall be in accordance with the Building Code of Australia, relevant Australian Standards & local authority by-laws and regulations. Any discrepancies, errors or omissions shall be referred to the Architects. Drawings are not to be used for construction until issued Construction.	client F & R King project DERWENT AVE 57b Derwent Avenue Geilston Bay TAS 7015	reason of issue DEVELOPMENT APPLICATION drawing scale ELEVATIONS 1:100 @ A3 EXISTING & DEMOLITION project no drawing no issue 2305 A05-00 D
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01 EXISTING NE ELEVATION
1:100



02 EXISTING SW ELEVATION
1:100

GENERAL NOTES

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- ex.wD Existing Window to be demolished.
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- EF05 Garage roller door with battens to match EF04
- EF06 FC sheet with paint finish. Colour to be Dulux Snowy Mountains or similar
- EF07 Blockwork retaining wall with light hessian bagged finish, paint finish colour to be white
- EF08 Glazed balustrade in clear glass
- EF09 Garage roller door in colorbond surfmist
- EF10 Polished concrete BBQ bench

EXTERNAL FLOOR FINISHES

- FF01 Paving to future selection

ROOF FINISHES

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- RF02 Roof Sheeting. Lysaght Klip-lok 406 Colour to be Colorbond Surfsmist. All gutters, cappings and flashings to match.

RF03 Aluminium awning 400mm deep @2100 cnt. Colour to be Colorbond Surfsmist. All gutters, cappings and flashings to match.

Provide 0.60 machine folded colorbond flashings with 30mm downturn with safety edge, typical. Colour to be Surfsmist.

ROOF FITTINGS & SKYLIGHTS

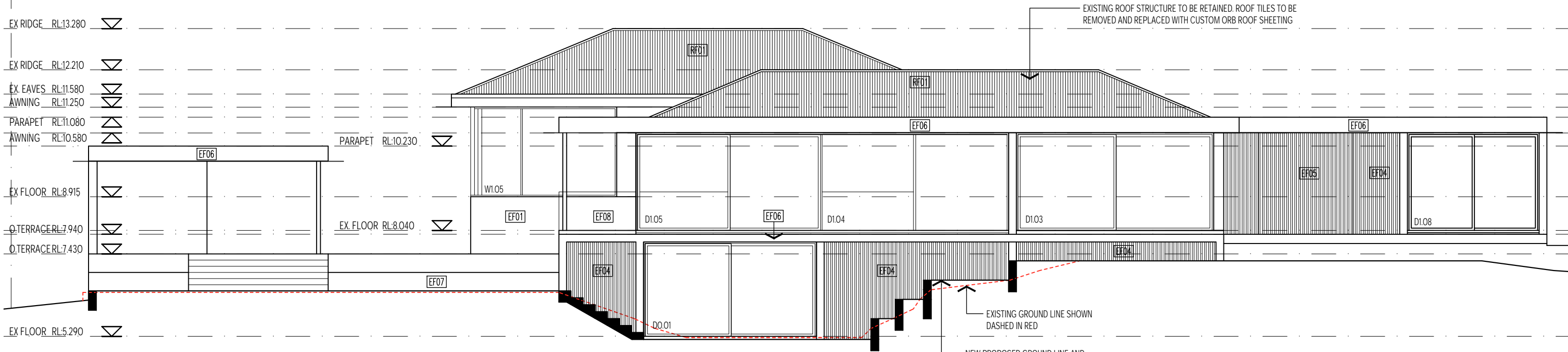
- ex.dp Existing dp with new paint finish
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- sky2 Velux operable pitched roof skylight, 980x780mm
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DEMOLITION LEGEND

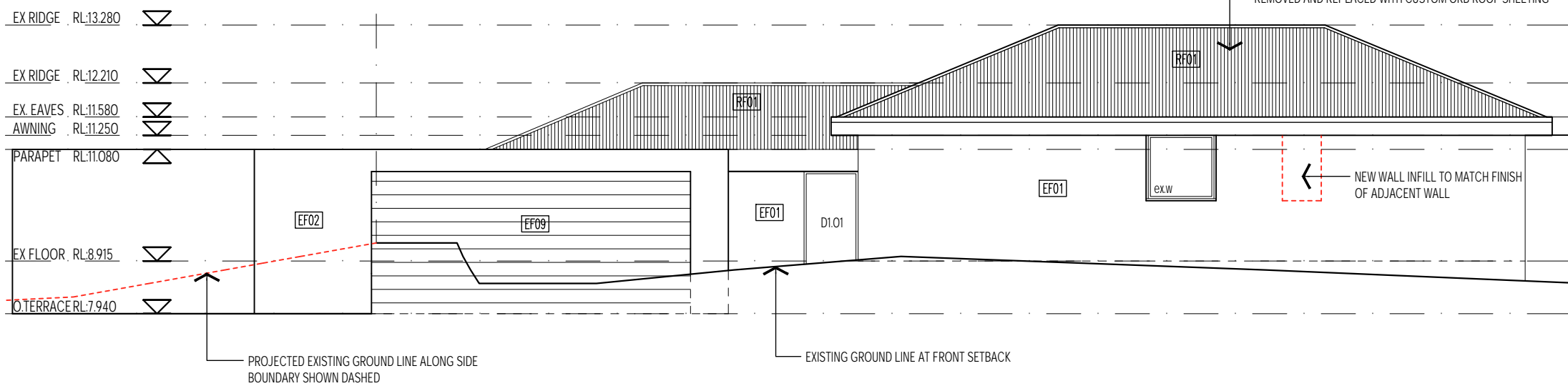
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1. The contractor is to inspect the site, and become conversant with the limitations and constraints for access, noise, and general safety.
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 5. Remove all carpet, underlay and associated fixings and make good floor surfaces for new floor finish, where applicable.
 6. Remove all visible unused service pipes and conduits etc.
 7. Existing ceilings to remain except where noted otherwise.
 8. Builder to make the building secure throughout the building works.
 9. Provide temporary support to existing structure as required.

copyright LICHT ARCHITECTURE Accreditation No. CC 5860 X Level 1 The Mains Building 191 Macquarie St Hobart TAS 7000 t: helloworld@lichtarchitecture.com.au p: 0488 488 825	ISSUE	DATE	REASON	DRAWN	CHECKED	general notes These drawings show design intent & are suitable as a guide only. Do not scale off the drawings. All dimensions in millimetres. Dimensions of existing building are indicative only - they should not be relied on and are to be verified on site before commencing work. All documents shall be read in conjunction with specifications and any consultants detail. All work shall be in accordance with the Building Code of Australia, relevant Australian Standards & local authority by-laws and regulations. Any discrepancies, errors or omissions shall be referred to the Architects. Drawings are not to be used for construction until issued construction.	client F & R King project DERWENT AVE 57b Derwent Avenue Geilston Bay TAS 7015	reason of issue	DEVELOPMENT APPLICATION		
								drawing	scale	ELEVATIONS 1:100 @ A3	
									EXISTING & DEMOLITION		
							project n°	drawing n°	ISSUE		
							2305	A05-01	D		

TITLE BOUNDARY



01 NW ELEVATION
1:100



02 SE ELEVATION
1:100

GENERAL NOTES

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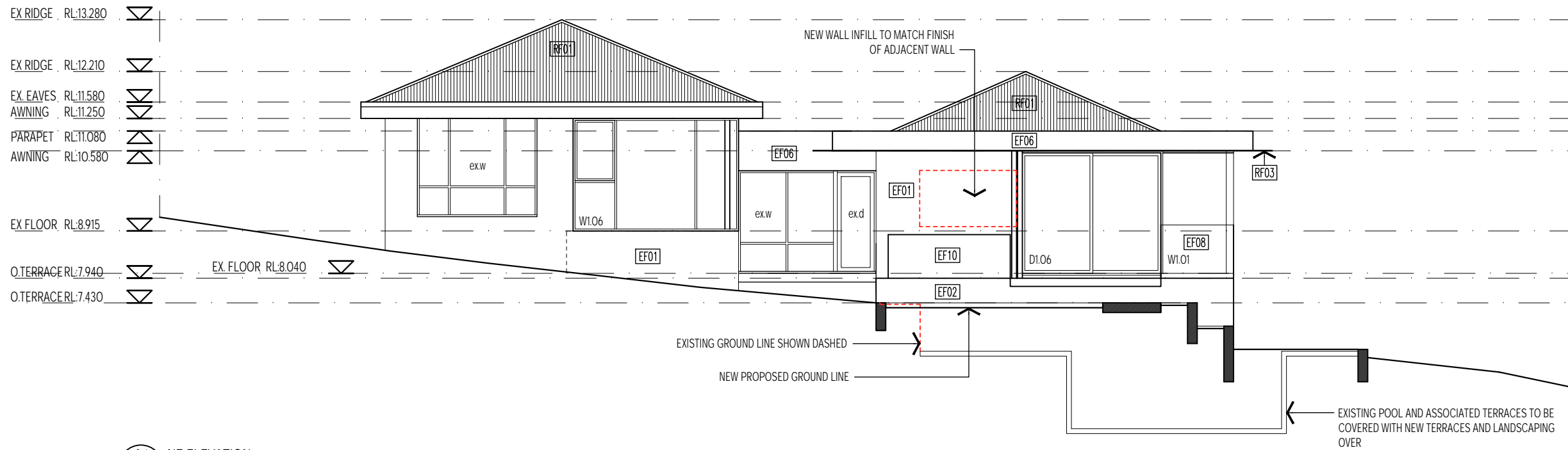
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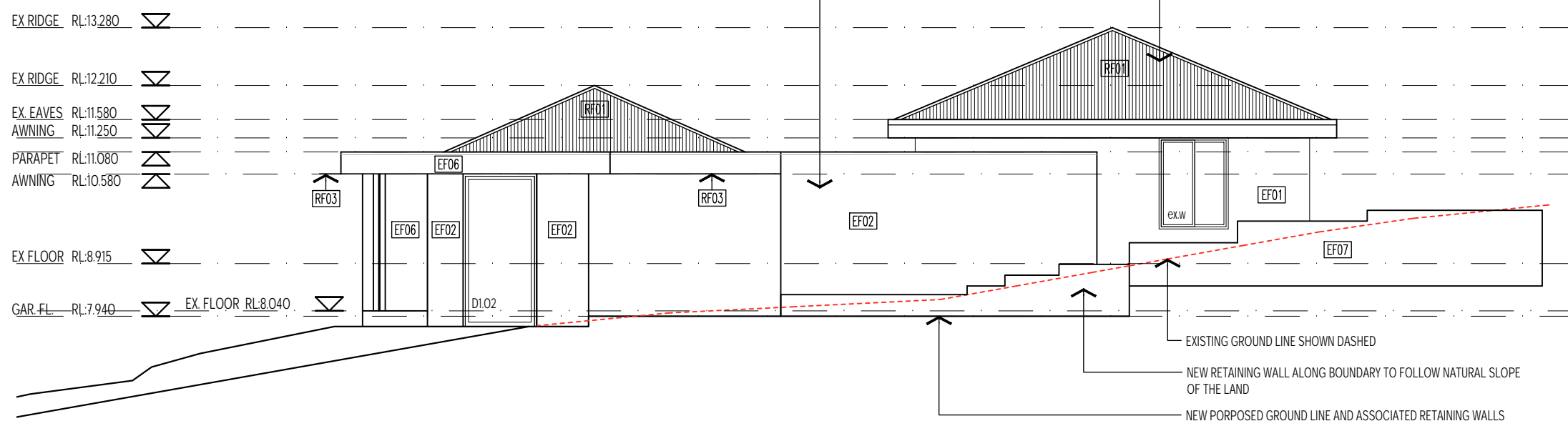
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01 NE ELEVATION
1:100



02 SW ELEVATION
1:100

GENERAL NOTES

- ex.w Existing Window to remain, new paint finish.
- ex.wD Existing Window to be demolished.
- ex.d Existing Door to remain, new paint finish.
- ex.dD Existing Door to be demolished.
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- D. Proposed Door

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- EF06 FC sheet with paint finish. Colour to be Dulux Snowy Mountains or similar
- EF07 Blockwork retaining wall with light hessian bagged finish, paint finish colour to be white
- EF08 Glazed balustrade in clear glass
- EF09 Garage roller door in colorbond surfmist
- EF10 Polished concrete BBQ bench

EXTERNAL FLOOR FINISHES

- FF01 Paving to future selection

ROOF FINISHES

- RF01 Roof Sheeting. Replace existing roof tiles with new custom orb. New flashings, cappings and gutters to match. Colour to be Colorbond Surfmist, TBC.
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ROOF FITTINGS & SKYLIGHTS

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01 NE ELEVATION
1:100

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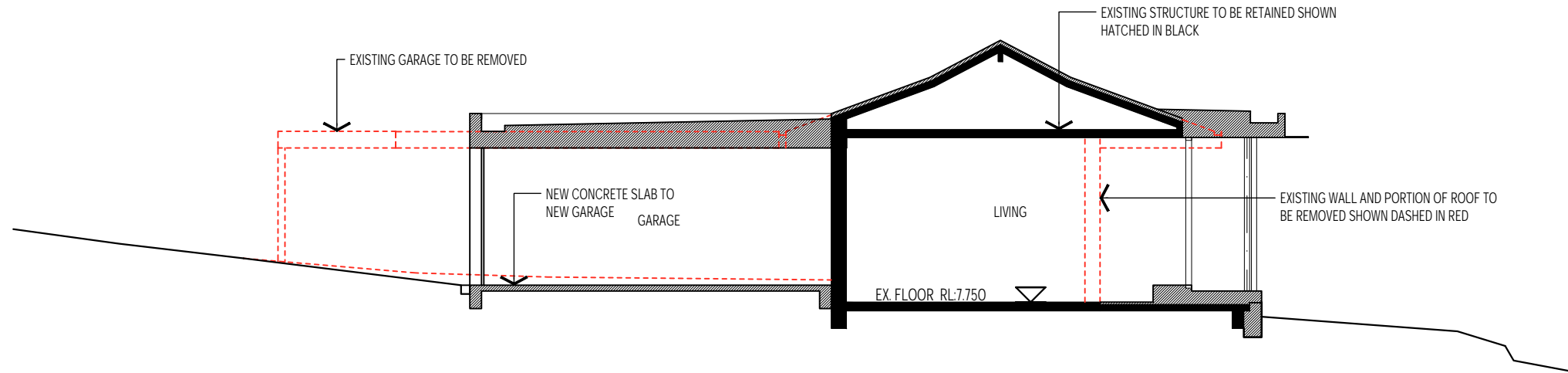
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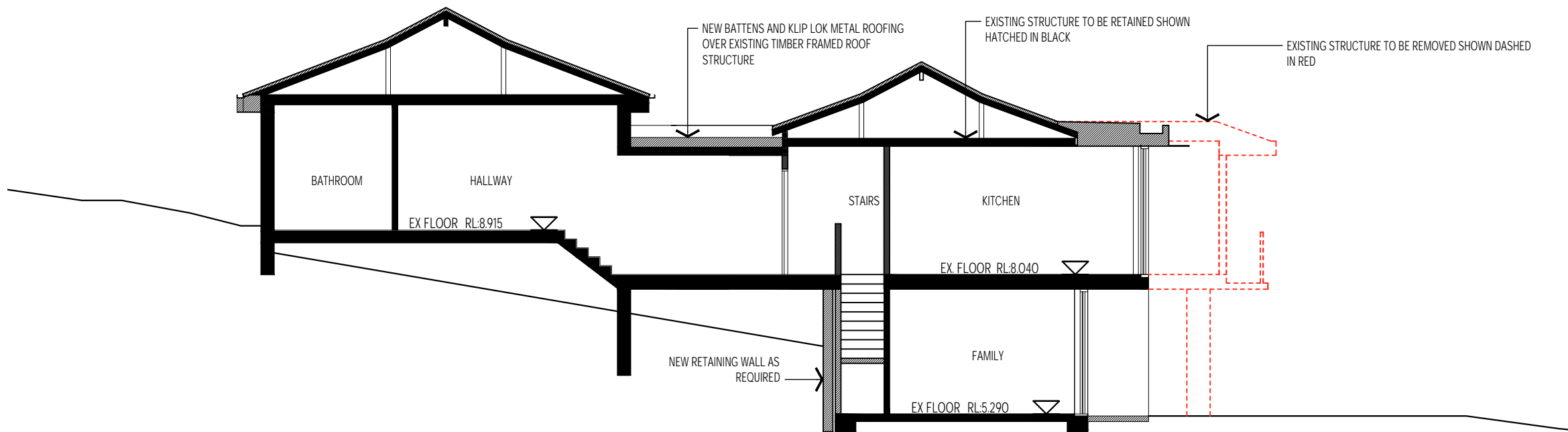
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copyright LICHT ARCHITECTURE Accreditation No. CC 5860 K Level 1, The Mirani Building, 199 Macquarie St, Hobart TAS 7000 t: hobo@lichtarchitecture.com.au p: 0488 488 805	ISSUE	DATE	REASON	DRAWN	CHECKED	general notes These drawings show design intent & are suitable as a guide only. Do not scale off the drawings. All dimensions in millimetres. Dimensions of existing building are indicative only - they should not be relied on and are to be verified on site before commencing work. All documents shall be read in conjunction with specifications and any consultants detail. All work shall be in accordance with the Building Code of Australia, relevant Australian Standards & local authority by-laws and regulations. Any discrepancies, errors or omissions shall be referred to the Architects. Drawings are not to be used for construction until issued construction.	client F & R King project DERWENT AVE 57b Derwent Avenue Geilston Bay TAS 7015	reason of issue	DEVELOPMENT APPLICATION	
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	C	12/10/23	ISSUED FOR PRELIMINARY COSTING	DK	JL			PROPOSED		
D	21/02/24	ISSUED FOR DEVELOPMENT APPLICATION	DK	JL	project n°	drawing n°	ISSUE			
						2305	A05-12	D		



A SECTION
- 1:100



B SECTION
- 1:100

GENERAL NOTES

- ex.w Existing Window to remain, new paint finish.
- ex.wD Existing Window to be demolished.
- ex.d Existing Door to remain, new paint finish.
- ex.dD Existing Door to be demolished.
- W. Proposed Window
- D. Proposed Door

EXTERNAL WALL FINISHES

- EF01 Existing Rendered Masonry wall. New paint finish, colour to be Dulux Snowy Mountains or similar
- EF02 New Rendered Masonry wall. Paint finish, colour to be Dulux Snowy Mountains or similar
- EF03 Metal columns in selected powder coat finish
- EF04 Timber battens in natural oil finish
- EF05 Garage roller door with battens to match EFO4
- EF06 FC sheet with paint finish. Colour to be Dulux Snowy Mountains or similar
- EF07 Blockwork retaining wall with light hessian bagged finish, paint finish colour to be white
- EF08 Glazed balustrade in clear glass
- EF09 Garage roller door in colorbond surfmist
- EF10 Polished concrete BBQ bench

EXTERNAL FLOOR FINISHES

- FF01 Paving to future selection

ROOF FINISHES

- RF01 Roof Sheeting, Replace existing roof tiles with new custom orb. New flashings, cappings and gutters to match. Colour to be Colorbond Surfsmist, TBC.
- RF02 Roof Sheeting, Lysaght Klip-lok 406 Colour to be Colorbond Surfsmist. All gutters, cappings and flashings to match.

RF03 Aluminium awning 400mm deep @2100 cnt. Colour to be Colorbond Surfsmist. All gutters, cappings and flashings to match.

Provide 0.60 machine folded colorbond flashings with 30mm downturn with safety edge, typical. Colour to be Surfsmist.

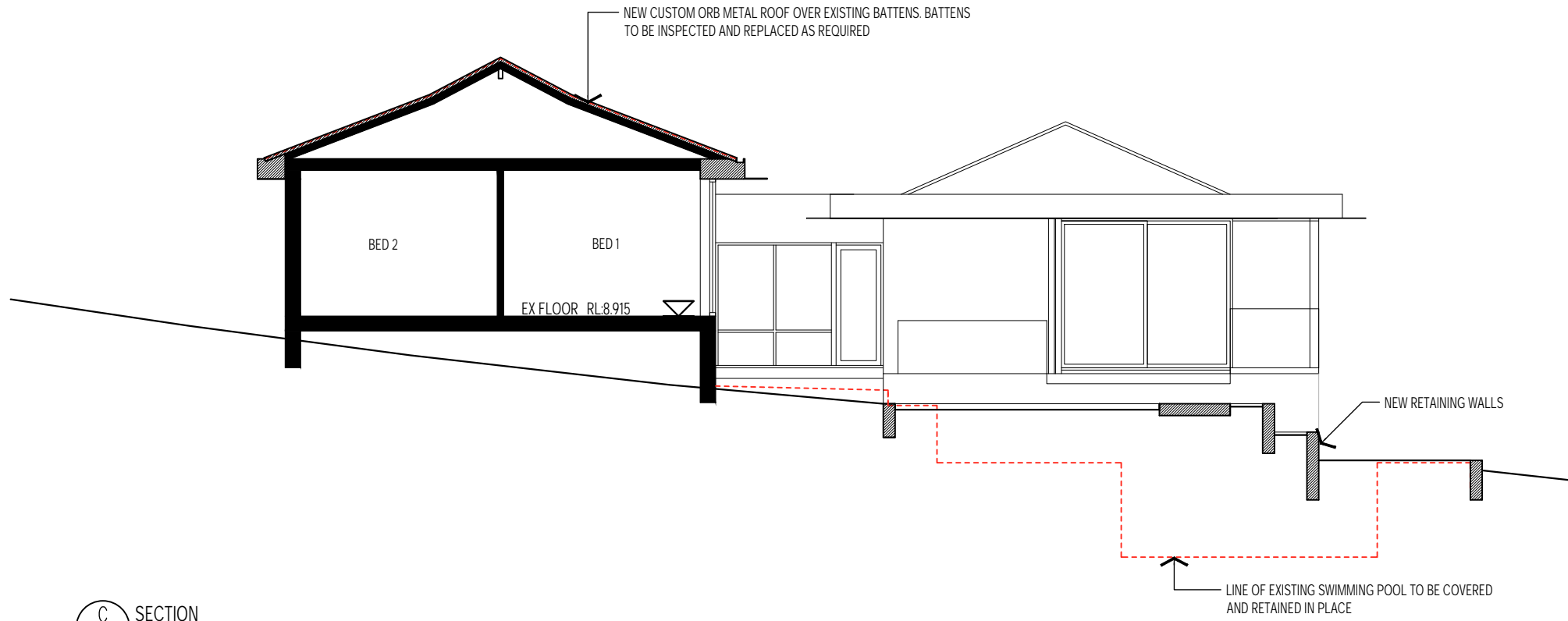
ROOF FITTINGS & SKYLIGHTS

- exdp Existing dp with new paint finish
- dp1 90mm diameter steel down pipe, with powdercoat finish
- dp2 90mm diameter PVC down pipe, concealed within wall cavity.
- All downpipes to connect to existing infrastructure via gravity fed system at nearest point, confirm location on site.
- sky1 Velux operable pitched roof skylight, 1140x1180mm
- sky2 Velux operable pitched roof skylight, 980x780mm
- sky3 Velux operable pitched roof skylight, 980x780mm

DEMOLITION LEGEND

- Demolition works denoted by red line
1. The contractor is to inspect the site, and become conversant with the limitations and constraints for access, noise, and general safety.
 2. All demolitions are to be removed from site unless noted otherwise. Strictly no burning off on site.
 3. Contractor to ensure all services are appropriately capped and sealed to make way for new work.
 4. Leave all surfaces clear and free of any remnants/objects ready to make way for new works.
 5. Remove all carpet, underlay and associated fixings and make good floor surfaces for new floor finish, where applicable.
 6. Remove all visible unused service pipes and conduits etc.
 7. Existing ceilings to remain except where noted otherwise.
 8. Builder to make the building secure throughout the building works.
 9. Provide temporary support to existing structure as required.

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	A	15/08/23	ISSUED FOR CONCEPT DEVELOPMENT	DK	JL			DEVELOPMENT APPLICATION	
	B	20/09/23	ISSUED FOR CLIENT REVIEW	DK	JL			drawing	scale
	C	12/10/23	ISSUED FOR PRELIMINARY COSTING	DK	JL			SECTIONS A & B	1:100 at A3
	D	21/02/24	ISSUED FOR DEVELOPMENT APPLICATION	DK	JL	project n ^o	drawing n ^o	issue	
						2305	AO6-00	D	



C SECTION
1:100

GENERAL NOTES

- ex.w Existing Window to remain, new paint finish.
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- [EF04] Timber battens in natural oil finish
- [EF05] Garage roller door with battens to match EFO4
- [EF06] FC sheet with paint finish. Colour to be Dulux Snowy Mountains or similar
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EXTERNAL FLOOR FINISHES

- [FF01] Paving to future selection

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- [RF02] Roof Sheetting, Lysaght Klip-lok 406 Colour to be Colorbond Surfsmist. All gutters, cappings and flashings to match.

[RF03] Aluminium awning 400mm deep @2100 cnt. Colour to be Colorbond Surfsmist. All gutters, cappings and flashings to match.

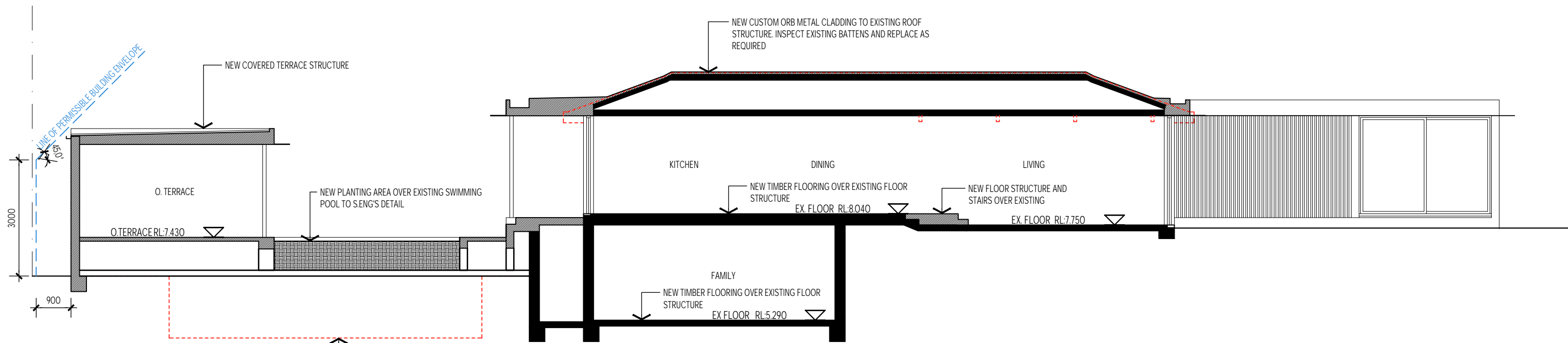
Provide 0.60 machine folded colorbond flashings with 30mm downturn with safety edge, typical. Colour to be Surfsmist.

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 9. Provide temporary support to existing structure as required.



D SECTION
1:100

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D	21/02/24	ISSUED FOR DEVELOPMENT APPLICATION	DK	JL	project n°	drawing n°	issue		
						2305	AO6-01	D	

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Wednesday, 21 February 2024

Attn: Planning Officer
Clarence City Council
c/: Development Portal

Development Application – 57b Derwent Avenue, Geilston Bay

Dear Planning Officer,

I am writing this letter to accompany the Application for Planning Permit, on behalf of our clients, for the residential alterations and extension at their property – 57b Derwent Avenue, Geilston Bay.

This application is for partial demolition plus alterations and extension to the existing house and attached garage. The property is referred to as Title Reference 248541/4 (Property ID 5114680).

The site is not listed on the Tasmanian Heritage Register nor highlighted as a Heritage Place within the Tasmanian planning scheme Map – Clarence Local Provision Schedule: Local Historic Heritage Overlay.

We believe this application is non-discretionary as it falls within the permitted envelope, the proposal does not modify the streetscape and no major excavation is proposed as part of the works.

Tasmanian Planning Scheme – 8.0 General Residential Zone

8.4.2 Setbacks and building envelope for all dwellings.

- The new proposed garage is well setback from the front boundary as well as from the front building line. A portion of the garage has a setback of 600mm from the side boundary. The length of this wall is less than 9m in compliance with Council's controls. The garage is fully contained within the permissible building envelope. See elevation no. 02 on drawing A05-10.
- The new proposed outdoor covered terrace has a setback of 900mm to the side boundary. The length of the wall adjacent to the side boundary is less than 9m in compliance with Council's controls. The structure is contained within the permissible building envelope as demonstrated on section D, drawing A06-01.
- The side setbacks of the existing dwelling remained unchanged by the proposal.

11.4.6 Privacy for all dwellings

- The new proposed covered terrace which sits 1m above the existing terrace and pool level, proposes a solid wall facing the shared boundary with 57a Derwent Ave and will have no impact on the privacy of the adjacent neighbour. See elevation 01 on drawing A05-12.

Tasmanian Planning Scheme – C.7.0 Natural Assets code

The property has a waterway and coastal protection overlay. The proposed works do not protrude beyond the existing rear building line and do not alter the floor levels of the existing dwelling. The

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proposed alterations and additions are located with sufficient separation from the waterway. An erosion and sediment control will be in place prior to the commencement of works on site. New downpipes will connect to the existing stormwater discharge point. No clearance of native vegetation is proposed as part of the works. The removal of a non-native large pine tree is part of the proposal.

Tasmanian Planning Scheme – C.11.0 Coastal Inundation Hazard Code

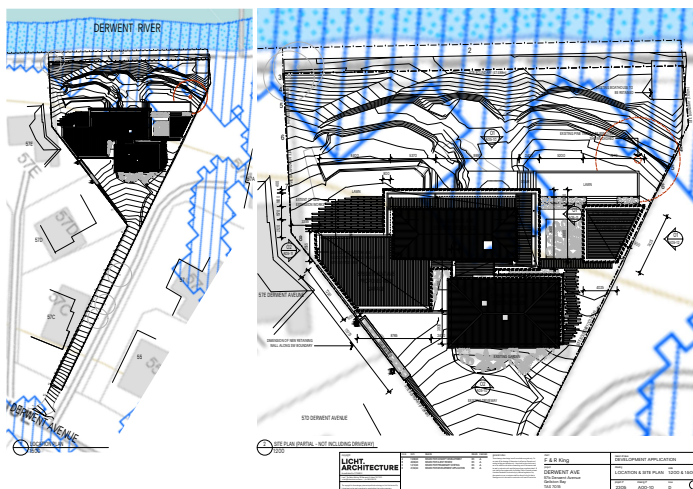
The property has a Low Coastal inundation and medium inundation hazard band overlay. The proposed works do not protrude beyond the existing rear building line and do not alter the floor levels of the existing dwelling.



Image obtained from LIST showing Coastal Inundation Hazard Band

Tasmanian Planning Scheme – C.12.0 Flood-prone Areas Hazard Code

The property has a Flood Prone Area overlay. Unfortunately, the lower level of the house falls within the flood prone area. The room is an existing room which is currently connected to the first floor via a non-compliant staircase. The proposal includes the replacement of these stairs with new compliant stairs. The existing floor level and rear setback at ground level are not altered by the proposal. See site plan and ground floor with Tasmanian Planning Scheme Flood prone area overlay below.



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Wednesday, 20 March 2024

Attn: I
Clarence City Council
c/: Development Portal

Development Application PDPLANPMTD-2024/042769 – 57b Derwent Avenue, Geilston Bay – Additional Information

Dear | ,

Please find additional information as requested below.

8.4.2 Setbacks and building envelopes

Shadow diagrams have been provided for 9am, 12pm and 3pm during the winter solstice, showing minimal changes in the solar access of the private open space and living areas of the neighbouring properties at 57A, 57D & 57E Derwent Avenue. Due to the orientation of the site, most of the impact of the addition is to the own site at 57B Derwent Ave, Geilston Bay.

11.4.6 Privacy for all dwellings

The new proposed covered terrace which sits 1m above the existing terrace and pool level, proposes a solid wall facing the shared boundary with 57a Derwent Ave and will have no impact on the privacy of the adjacent neighbour. See elevation O1 on drawing A05-12.

Additional survey levels as well as the finished RL of the terrace have been added to plan A02-01 as per Council's request.

C.12.0 Flood-prone Areas Hazard Code

The total m2 of site currently covered by roofed buildings is 328m2 and the proposed site coverage is 383m2.

C.14.0 Potentially Contaminated Land

The two areas where excavation will need to be undertaken is for the additional footprint of the garage as well as for the new retaining wall shown on section B on drawing A06-00 to form the new external wall for the new proposed stairs from ground floor to first floor.

The additional footprint of the garage is 29m2 where we estimate footings will need to be excavated to a maximum depth of 600mm under existing ground level.

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At basement level we estimate a total of 2.5m² will need to be disturbed to a maximum depth of 1.8m.

I trust that the information contained within this letter and the attached documents provide the additional information you requested. However, please do not hesitate to contact me via email at hello@lichtarchitecture.com.au should you have any questions or concerns.

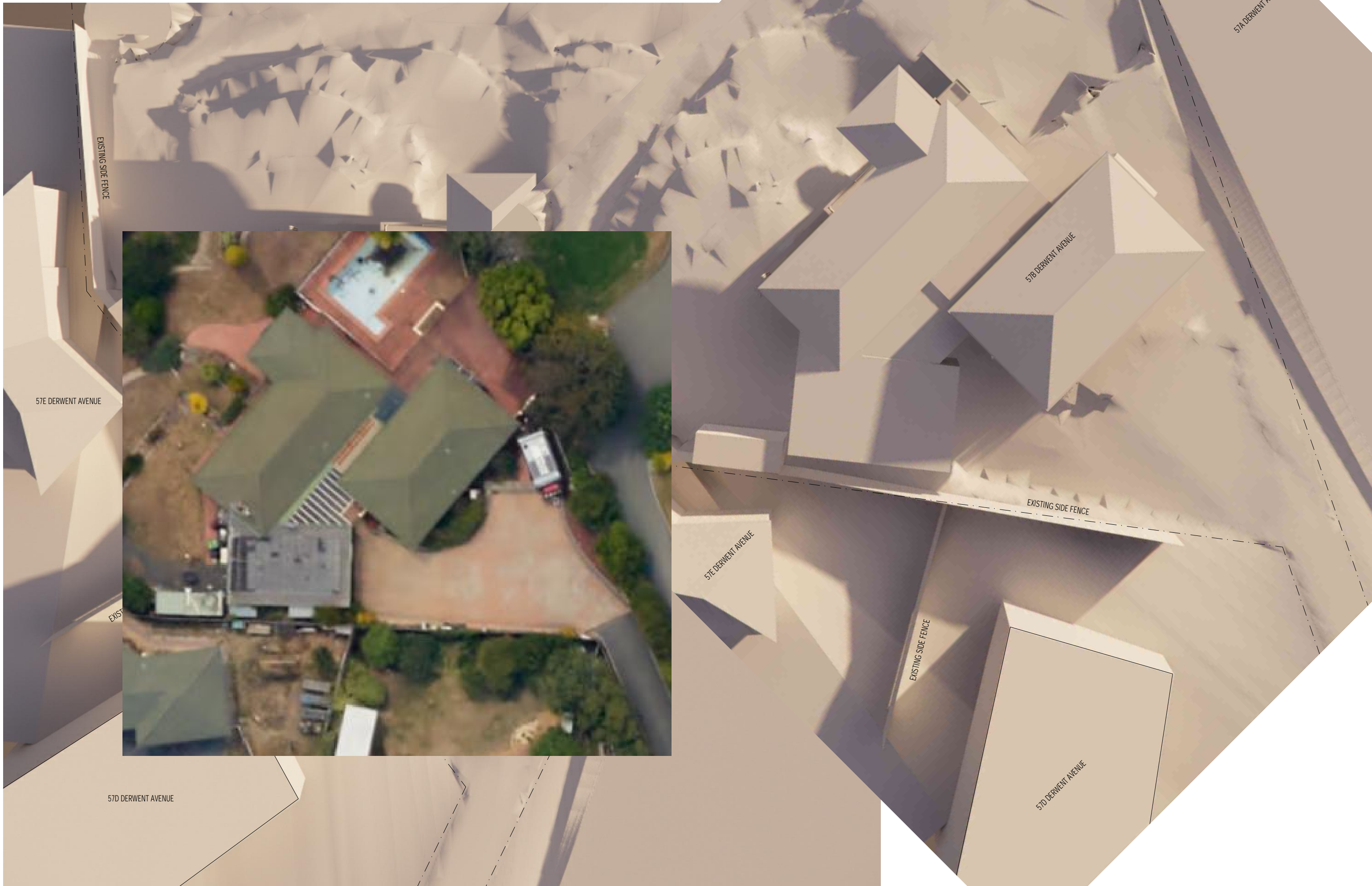
Yours Sincerely,

Jason Licht

A handwritten signature in black ink, appearing to read 'Jason Licht', written in a cursive style.

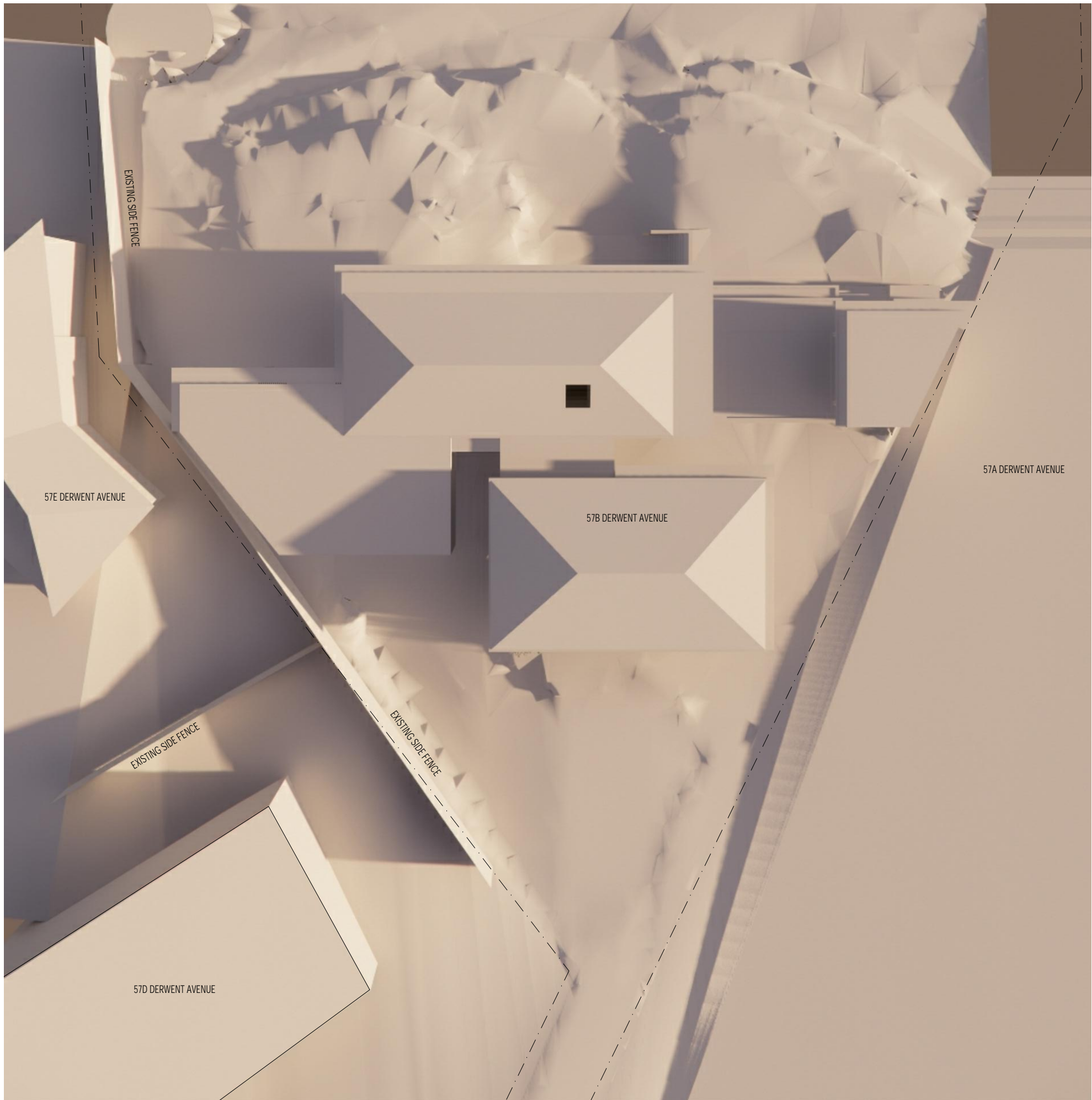
Registered Architect

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1 SHADOW DIAGRAM - 9AM EXISTING
1:200

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1 SHADOW DIAGRAM - 9AM PROPOSED
1:200

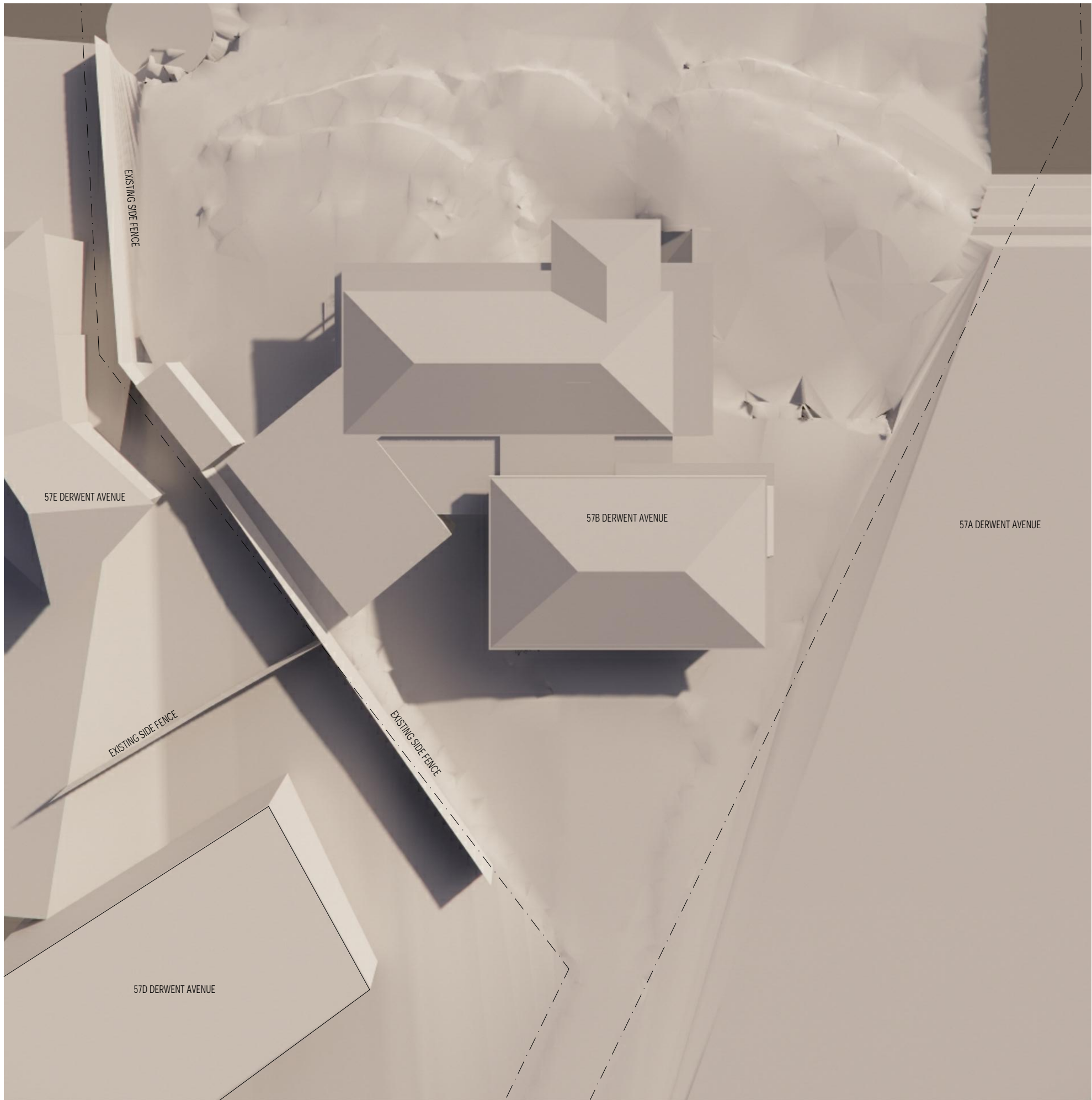
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general notes
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client
F & R KING
 project
DERWENT AVE
57B DERWENT AVENUE
GEILSTON BAY
TAS 7015

reason of issue		
DEVELOPMENT APPLICATION		
drawing	scale	
SHADOW DIAGRAM	1:200 @ A3	
project n°	drawing n°	issue
2305	SH D-02	E



1 SHADOW DIAGRAM - 12PM EXISTING
1:200

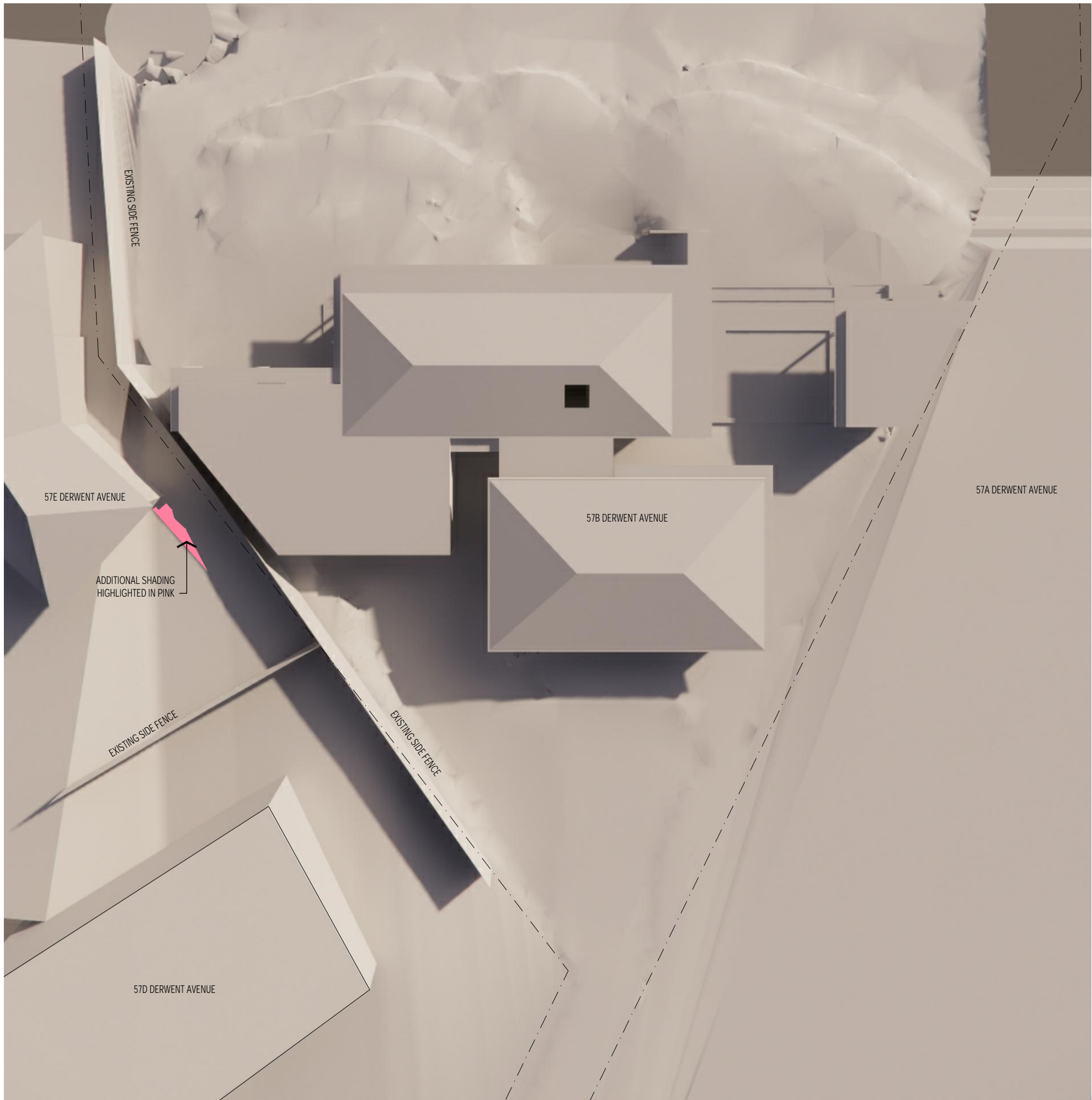
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**DERWENT AVE
 57B DERWENT AVENUE
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reason of issue		
DEVELOPMENT APPLICATION		
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SHADOW DIAGRAM	1:200 @ A3	
project n°	drawing n°	issue
2305	SH D-03	E



1 SHADOW DIAGRAM - 12PM PROPOSED
1:200

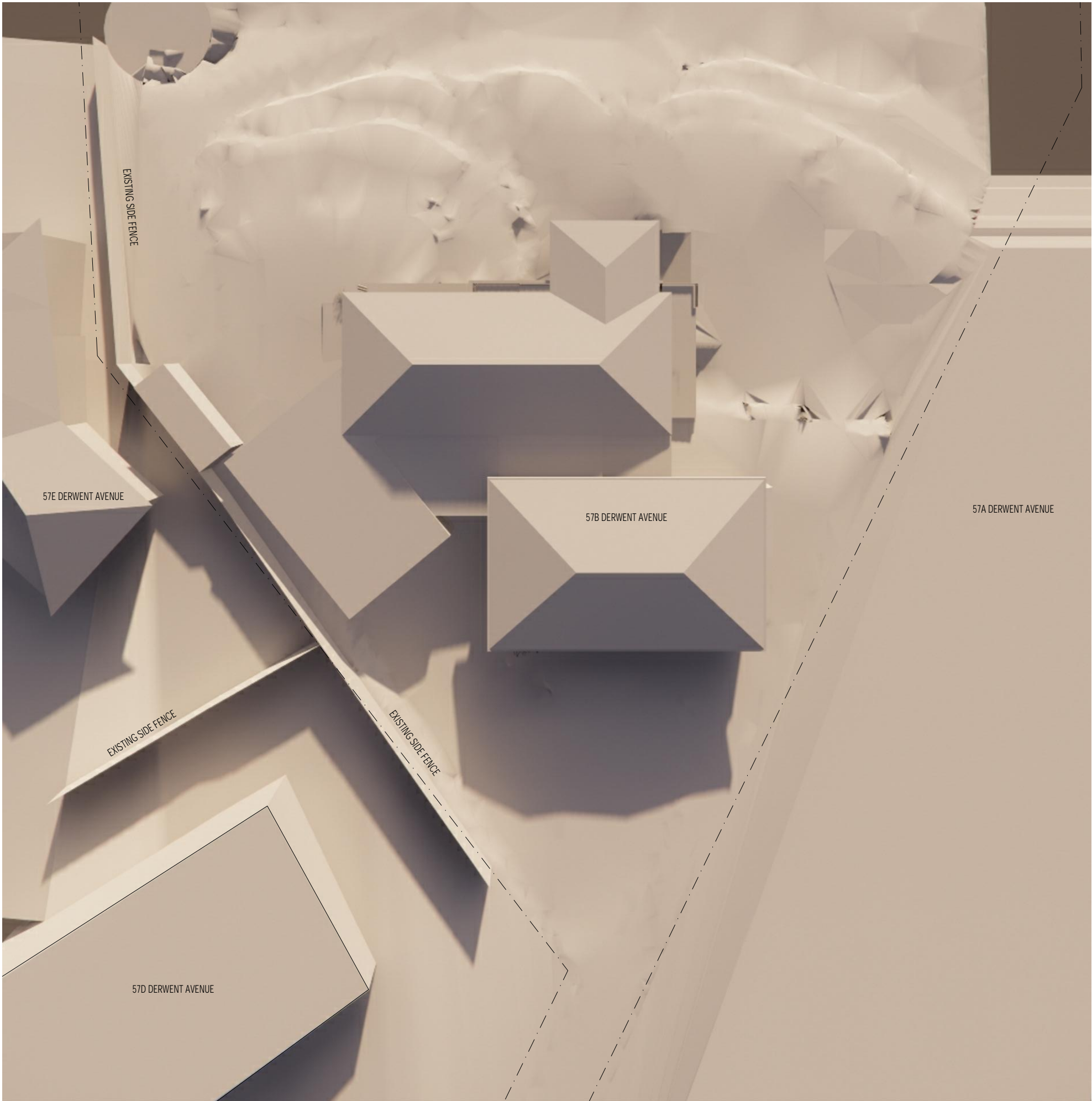
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 GEILSTON BAY
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reason of issue		
DEVELOPMENT APPLICATION		
drawing	scale	
SHADOW DIAGRAM	1:200 @ A3	
project n°	drawing n°	issue
2305	SH D-04	E



1 SHADOW DIAGRAM - 3PM EXISTING
1:200

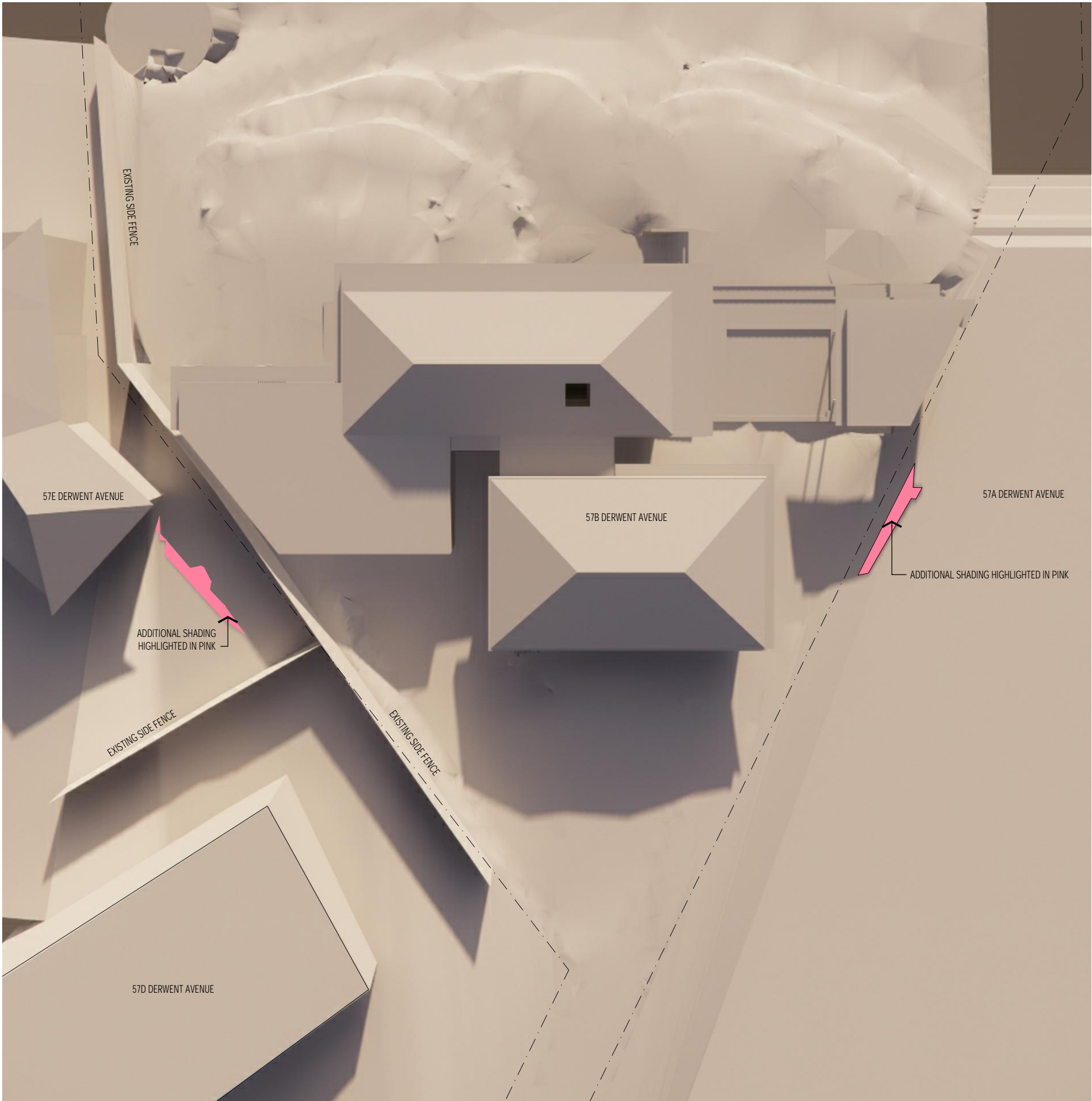
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**DERWENT AVE
 57B DERWENT AVENUE
 GEILSTON BAY
 TAS 7015**

reason of issue		
DEVELOPMENT APPLICATION		
drawing	scale	
SHADOW DIAGRAM 3PM EXISTING	1:200 @ A3	
project n°	drawing n°	issue
2305	SH D-05	E



1 SHADOW DIAGRAM - 3PM PROPOSED
1:200

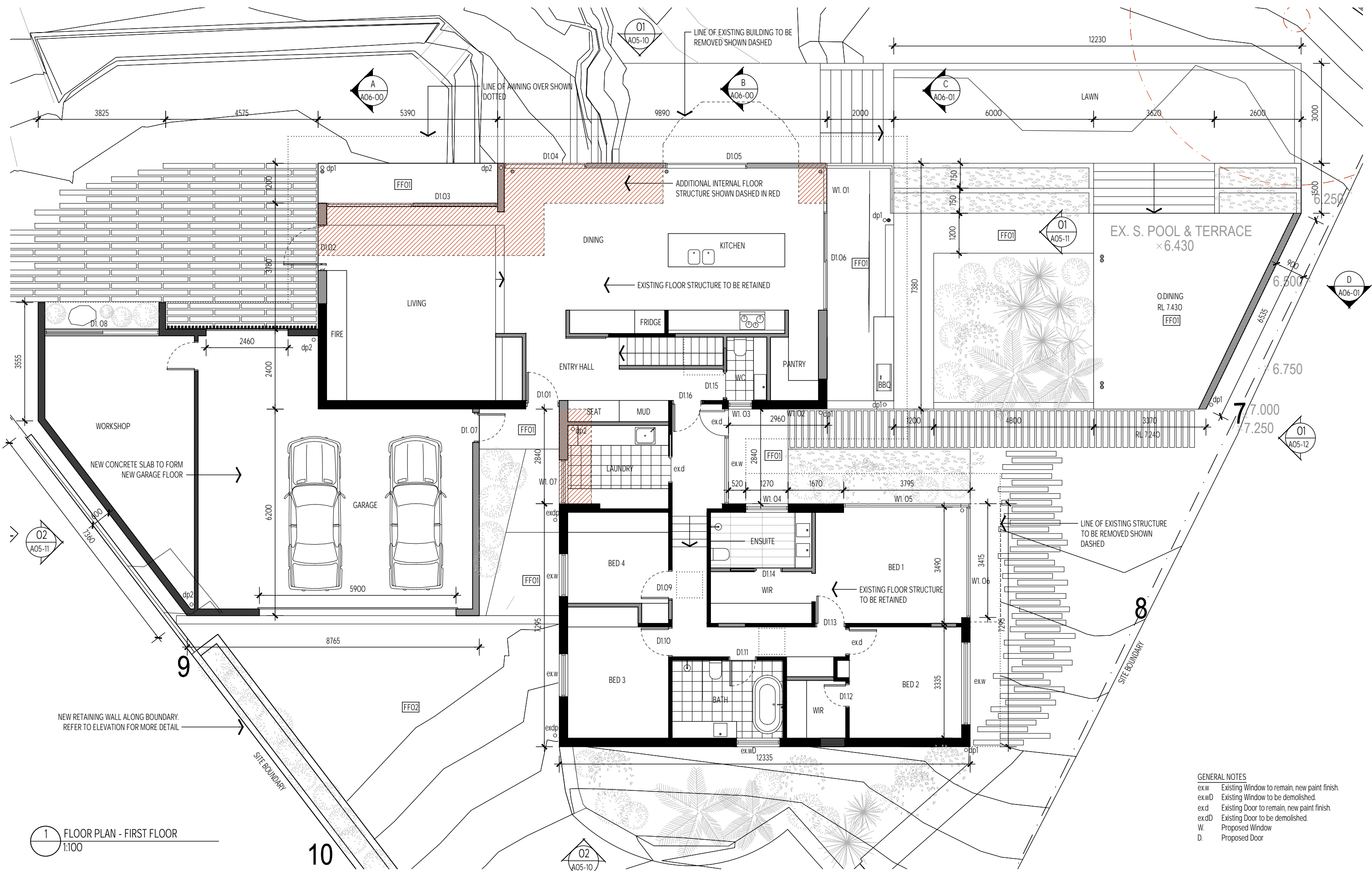
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 57B DERWENT AVENUE
 GEILSTON BAY
 TAS 7015**

reason of issue		
DEVELOPMENT APPLICATION		
drawing	scale	
SHADOW DIAGRAM	1:200 @ A3	
3PM PROPOSED		
project n°	drawing n°	issue
2305	SH D-06	E



1 FLOOR PLAN - FIRST FLOOR
1:100

- GENERAL NOTES**
- ex.w Existing Window to remain, new paint finish.
 - ex.wD Existing Window to be demolished.
 - ex.d Existing Door to remain, new paint finish.
 - ex.dD Existing Door to be demolished.
 - W. Proposed Window
 - D. Proposed Door

copyright LICHT ARCHITECTURE Accreditation No. CC 5860 K Level 1, The Mosaic Building, 199 Macquarie St, Sydney NSW 2000 t: 02 9550 4444 f: 02 9550 4445 www.lichtarchitecture.com.au	ISSUE	DATE	REASON	DRAWN	CHECKED	general notes These drawings show design intent & are suitable as a guide only. Do not scale off the drawings. All dimensions in millimetres. Dimensions of existing buildings are indicative only - they should not be relied on and are to be verified on site before commencing work. All documents shall be read in conjunction with specifications and any consultants detail. All work shall be in accordance with the Building Code of Australia, relevant Australian Standards & local authority by-laws and regulations. Any discrepancies, errors or omissions shall be referred to the Architects. Drawings are not to be used for construction until issued Construction.	client F & R King project DERWENT AVE 57b Derwent Avenue Geilston Bay TAS 7015	reason of issue	DEVELOPMENT APPLICATION	
	A	15/08/23	ISSUED FOR CONCEPT DEVELOPMENT	DK	JL			drawing	scale	
	B	20/09/23	ISSUED FOR CLIENT REVIEW	DK	JL			FLOOR PLAN	1:100 @ A3	
	C	12/10/23	ISSUED FOR PRELIMINARY COSTING	DK	JL			FIRST FLOOR		
	D	21/02/24	ISSUED FOR DEVELOPMENT APPLICATION	DK	JL			project n ^o	2305	
E	20/03/24	ISSUED FOR DEVELOPMENT APPLICATION	DK	JL	drawing n ^o	AO2-10	issue	E		



SITE INVESTIGATION REPORT

Date of Test:	14 th May 2009
Client:	Rodney & Fiona King
Project Address:	57B Derwent Avenue Geilston Bay, Tasmania
Proposal:	Extension of an existing dwelling at the above address.
Project Number:	09E46-4

1. Report Summary Table

A summary of important on-site observations and testing results:

Investigation	Findings/Observations
Soil Classification:	P due to fill overlying natural soil profile.
Indicative Surface Movement (Y_s):	NA
Wind Classification:	N3
Geology & Depth of Profile:	Tertiary basalt deposits, hardpad of weathered basalt at 1700-1850mm but depth to solid bedrock unknown
Site Conditions:	~8-10° uniform slope with grass, shrubs and assorted small trees
Emerson Class:	Class 7 (slaking) for B2 clay.
Site Limitations:	Erosion will occur if the site is disturbed and not re-vegetated/retained. Careful management of cutting material should be undertaken as natural onsite soils may be dispersive under reworked conditions. Footings must not be founded on fill.
Bearing Pressure:	>100KPa at time of inspection.

2. Site Conditions

On-site observations at the time of the inspection:

Observations	Results
Slope and Aspect:	~8-10° natural slope with NW aspect.
Vegetation:	Variable cover of lawn grasses, shrubs and assorted small trees
Existing Structures:	Existing dwelling with decks and a swimming pool
Rainfall:	Approx 15mm precipitation in previous 2 weeks.
Topography:	Lower slope of Natone hill tending towards Geilston Bay, within the developed suburb of Geilston Bay
Drainage:	Moderate surface drainage and imperfect to poor subsoil drainage.
Erosion:	Erosion may occur if site is disturbed further and not re-vegetated/retained. Careful management of cutting material should be undertaken as natural onsite soils may be dispersive under reworked conditions.
Cuttings:	No cuttings nearby

3. Site Stability

There was no evidence of land slide activity, significant erosion or problematic soil creep movement.

The site is below the accepted landslide threshold for Tertiary basalt soils of 12 degrees. Refer to Scope of Report in the following section for more information relating to instability.

4. Scope of Report

The aim of this report is to determine a soil classification and wind rating for the site in accordance with AS 2870 – 1996 *Residential slabs and footings*, and AS 1170.2 – 2002 and AS 4055 – 1992 *Wind loads for housing* relying on the information provided to us by clients/client's agent(s). The site stability section of this report is a general indication of current conditions for the site based on site observations at the time of the inspection. It is not intended to be used to determine specific stability issues or as a guide to possible future instability of the site. It is not in the scope of this report to address any potential landslide or instability issues for the site.

Methodology includes taking test samples over the proposal where deemed appropriate according to site conditions such as slope, drainage courses, erosion implications and vegetation, all in conjunction with the intended location of the dwelling(s)/building(s). We can only assess the specific area within the proposal. For lots of land 1000m² and less, the classification may be applicable to the whole property given uniform site conditions or unless otherwise stated by us. Where not stated, the client should contact Aldanmark for advice on soil classification outside of the specific proposed footprint.

Our aim on-site is to gather information to determine the variations in subsurface conditions, encompassing soil type and depth. This is undertaken through excavation of test pits with a 5.5 tonne excavator or test holes with a 75mm diameter hand auger. Depending on the site, the number of test pits/auger holes required will vary. Whilst every attempt is made to describe sub-surface conditions, natural variation will occur that cannot be determined by soil testing. Therefore discrepancies are possible between test results and observations during construction. Shrink swell testing of selected clay core samples is completed in accordance with AS 1289.7.1.1 – 2003 *Soil reactivity tests-determination of the shrinkage index of a soil-shrink swell index*.

Note that not all sites have been tested in this manner and some have been classified on data previously gathered together with professional judgement. Such classifications have been given when site circumstances such as parent material, slope, site conditions and soil types and depths are similar. However this does not alter the fact that sub-surface conditions may vary to those indicated in this report.

5. Soil Log

Selected auger test holes or excavated test pits are described below including the different horizons (layers) of the soil profile.

Horizon	Depth (mm)		Soil Description	Classification
	Auger 1	Auger 2		
FILL	0-900	0-500	FILL material including clay, loam and gravel, live coarse roots	
A1	900-1000		Sandy LOAM, dark brown, moderately moist, weakly structured	SM
A3	1000-1100		Clayey SAND, light grey brown, slightly moist, weakly structured	SC
B1		500-800	Medium CLAY, dark brown, moderately moist, moderate to high plasticity, moderately developed structure, some weathered angular basalt gravels	CI
B2 ₁	1100-1450		Heavy CLAY, olive brown, moderately moist, high plasticity, strongly structured	CH
B2 ₂		800-1250	Heavy CLAY, grey brown with common moderate orange mottles, moderately moist, high plasticity, moderately developed structure	CH
C	1450-1850	1250-1700	CLAYEY SAND, light grey/orange, dry, weakly structured, common highly weathered very fine basalt gravels	SC
	1850+	1700+	Refusal on hardpan of highly weathered basalt clayey sand	

6. Geological Survey

The site is underlain by Tertiary-aged alkali basalt (Tba) according to Mineral Resources Tasmania, Geological Atlas 1:25 000 series, Hobart sheet.

The geological survey suggests that a base may be obtainable on Tertiary basalt bedrock. Our test holes confirm the likely presence of such bedrock below highly weathered basalt gravels. The exact depth to solid basalt bedrock could not be determined.

7. Classifications

This site has been classified as class **P** due to fill >500mm deep overlying the natural soil profile.

Footings are not to be founded on fill.

This classification is in accordance with AS 2870-1996.

The building foundations should be designed by an engineer and the builder must take adequate precautions to ensure the area in the immediate vicinity of the dwelling is well drained to ensure a stable moisture level around and beneath the house.

The builder must, and owner should review the CSIRO notes contained in BTF18, 12 and 22 and adopt all the necessary recommendations in these documents. A copy of BTF18 is provided with our certification. Additional copies of these documents are available from CSIRO publishing, www.publish.csiro.au.

8. Wind Speed Classifications

In accordance with Australian Standards AS 1170.2 – 2002 and AS 4055 – 1992 *Wind loads for housing*, the following wind load classifications are assigned for the proposed residential development:

- Geographic region – A
- Terrain Category – TC 2.5 (Terrain with few obstructions)
- Topographic classification – T1 (Lower third of hill, average slope $\geq 1:5$ and $< 1:3$)
- Shielding – PS (Partial shielding)
- Wind classification – N3
- Max. Design Gust Wind Speed – 41ms^{-1} [Permissible stress method (Vh,p)]

The designer is to ensure that the dwelling is adequately braced to the latest standards to withstand the design wind speed classification.

9. General Notes and Report Limitations

The method of obtaining soil samples and logging soil profiles is based on representative points over the site. These sample locations are selected according to information provided to us from either the client directly or material from agent(s) acting on behalf of the client.

Our observations and findings can only be based on climate and site conditions at the time of the inspection. Subsurface moisture levels can change depending on several factors, some of which include rainfall intensity and duration, alteration of site circumstances, and the type of soil horizons and structure of the profile.

It is our intention to accurately indicate the most probable soil type(s) and conditions for the area assessed. However due to the nature of sampling an area, variations in soil type, soil depth and site conditions may occur. We accept no responsibility for any differences between what we have reported and actual site and soil conditions for the particular regions we could not directly assess at the time of inspection. We recommend the client or agent of the client contact Aldanmark to inform us of any differences and to seek advice.

Shrink swell testing results are used as an indicative guide to the movement of the profile at a particular point of the site, that is, at the specific test hole or test pit location. Variations in movement will occur over areas not directly tested. As such, we give a range of surface movement (Y_s) in mm to endeavour to give the likely range of vertical movement over the site. Certain horizons within the profile will not be tested due to problems associated with obtaining samples or soil types not being suitable for testing. In our calculations we assume a certain shrink swell index value for these layers based on previously tested samples and professional opinion. Variations in actual shrink swell index values compared to estimated shrink swell index values may occur.

The classification is limited only to areas tested within the proposed works footprint. Therefore our findings cannot be used for areas outside the scope of this report. If the client intends on altering the location of their proposal or wishes to extend the footprint of the original plan, they must consult Aldanmark for advice before proceeding with any site works.

Moisture levels in soil can change the cohesive strength and affect movement. Excessive water can lead to a loss in soil bearing capacity whilst allowing reactive clays to take up additional moisture that may result in unanticipated movement. Therefore certain actions can alter the performance of the designed structure. Examples may include (but not limited to) over watering of gardens, gardens too close to the structure, ineffective drainage, alteration of site conditions to cause improper flow of surface run-off and sub-surface drainage, and incorrect positioning of trees.

Any changes to the site through excavations may alter the site classification. In these cases it is expected the owner consult the author for a reclassification. This report requires certification via a form 55 certificate for Aldanmark to validate its contents.

Because site discrepancies may occur between this report and actual site conditions, it is a condition of certification of this report that the builder be provided with a copy of this report.

10. Endorsement

Aldanmark Pty Ltd confirms that the information contained within this document has been prepared in accordance with the relevant Australian Standards. All information is intended to be used for the purposes of assessing site soil classification and site wind classification only and is not to be used for any other purpose.



Samuel Walters BAggr Sc.

Geotechnician
Aldanmark Pty Ltd
Consulting Engineers

Approximate site plan for 57B Derwent Avenue, Geilston Bay (not to scale)

