



DEVELOPMENT APPLICATION

PDPLANPMTD-2024/042586

PROPOSAL: Dwelling

LOCATION: 27 Creese Drive, Richmond

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 30 April 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 30 April 2024. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 30 April 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.



Clarence... a brighter place

Clarence City Council

APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New Residential Dwelling

Location:

Address (Lot 11) 9 Prossers Road
Suburb/Town Richmond Postcode 7025

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$407,695.00

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's Signature:

Signature Mark Page Date 01/03/2024

PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 186408	FOLIO 11
EDITION 1	DATE OF ISSUE 07-Feb-2024

SEARCH DATE : 01-Mar-2024

SEARCH TIME : 02.41 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 11 on Sealed Plan 186408

Derivation : Part of 569A-2R-0P Gtd. to Thomas Daniel Cosgrove

Prior CT 184978/103

SCHEDULE 1

M932992 & M933512 TRANSFER to JAC MULTI ASSET PTY LTD

Registered 27-May-2022 at 12.02 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP186408 FENCING PROVISION in Schedule of Easements

SP11304 & SP184978 FENCING COVENANT in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

N185049 PRIORITY NOTICE reserving priority for 90 days

TRANSFER JAC MULTI ASSET PTY LTD to PAMELA MARION

INCE Lodged by CAMPBELL CONVEYANCIN on 19-Feb-2024

BP: N185049

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 186408

PAGE 1 OF 4 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Drainage

Lot 103 is SUBJECT TO a right of drainage (appurtenant to lot 1 on Sealed Plan 26006) over the land marked "DRAINAGE EASEMENT 1.50 WIDE (SP.26374)" passing through that lot on the plan.

Lot 103 is SUBJECT TO a right of drainage in gross (in favour of Clarence City Council) over the land marked "DRAINAGE EASEMENT 10.00 WIDE (SP.184978)" passing through that lot on the plan.

Lot 103 is SUBJECT TO a right of drainage in gross (in favour of Clarence City Council) over the land marked "DRAINAGE EASEMENT 3.00 WIDE (SP.184978)" passing through that lot on the plan.

Lot 103 is SUBJECT TO a right of drainage in gross (in favour of Clarence City Council) over the land marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.50 WIDE (SP.184978)" passing through such lot on the plan.

Lot 103 is each SUBJECT TO a right of drainage in gross (in favour of Clarence City Council) over the land marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE (SP.184978)" passing through such lot on the plan.


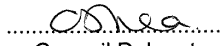
That part of Lot 103 formerly comprised in Lot 1 on Plan 174538

Lot 103 is TOGETHER WITH a right of drainage over the land marked "DRAINAGE EASEMENT 2.00 WIDE (SP.24958)" on the plan.

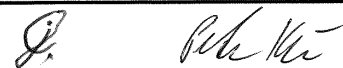
That part of Lot 103 formerly comprised in Lot 1 on Diagram 40183

Lot 103 is TOGETHER WITH a right of drainage over the land marked "DRAINAGE EASEMENT 1.00 WIDE (SP.2264)" on the plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: JAC MULTI ASSET PTY LTD FOLIO REF: 184978 / 103 SOLICITOR & REFERENCE: Butler McIntyre & Butler (JS:223201)	PLAN SEALED BY: ^{CLARENCE CITY} SORELL COUNCIL  DATE: 17 th January 2024 SA 2019/003190 REF NO. <i>Clare Snee</i>  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 186408</p>
<p>SUBDIVIDER: JAC MULTI ASSET PTY LTD</p> <p>FOLIO REFERENCE: 184978/103</p>	

Taswater

Lot 103 is SUBJECT TO a pipeline and services easement in gross ~~as defined herein~~ (in favour of the TasWater) over the land marked "PIPELINE AND SERVICES EASEMENT 3.50 WIDE (SP.184978)" ("the Easement Land") passing through that lot on the plan.

Lot 103 is SUBJECT TO a pipeline and services easement in gross ~~as defined herein~~ (in favour of the TasWater) over the land marked "PIPELINE AND SERVICES EASEMENT & DRAINAGE EASEMENT 3.00 WIDE (SP.184978)" ("the Easement Land") passing through such lot on the plan.

Lot 103 is SUBJECT TO a pipeline and services easement in gross ~~as defined herein~~ (in favour of the TasWater) over the land marked PIPELINE AND SERVICES EASEMENT VARIABLE WIDTH (SP.184978)" ("the Easement Land") passing through that lot on the plan.

Lot 103 is SUBJECT TO a pipeline and services easement in gross ~~as defined herein~~ (in favour of the TasWater) over the land marked "PIPELINE AND SERVICES EASEMENT 2.50 WIDE (SP.184978)" ("the Easement Land") passing through that lot on the plan.

Lot 103 are SUBJECT TO a pipeline and services easement in gross ~~as defined herein~~ (in favour of the TasWater) over the land marked "PIPELINE AND SERVICES EASEMENT ~~2.50~~ WIDE (SP.184978)" ("the Easement Land") passing through that lot on the plan.


FENCING COVENANT PROVISION


In respect to the lots on the plan the vendor (JAC Multi Asset Pty Ltd) shall not be required to fence

RESTRICTIVE COVENANT

The owner or owners of Lot 103 hereby covenant with the owner of each and every other Lot on the Plan and the Clarence City Council to the intent that the burden of this covenant may run with and bind the covenantor's Lot and every part and that the benefit may be created in favour of each and every other Lot on the Plan and in gross in favour of the Clarence City Council to observe the following stipulation:

1. Not to make any or permit or suffer the making of any alterations to the finished surface levels of the overland flowpath, swale drain or catch drain constructed within the area marked DRAINAGE EASEMENT 10.00 WIDE on the plan without prior consent in writing of Clarence City Council.
2. Not to make or permit or suffer the placement of any fencing within the drainage easement area with the exception of open style fencing that does not obstruct surface flows to or within the area marked DRAINAGE EASEMENT ~~10.00~~ WIDE on the plan.


.....
Director – JAC Multi Asset Pty Ltd


.....
Director – JAC Multi Asset Pty Ltd

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 186408</p>
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INTERPRETATION

“**Right of Drainage**” means a right of drainage as defined within Schedule 8 of the Conveyancing and Law of Property Act 1884 (Tas).

“**TasWater**” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors and assigns

“**Pipeline and Services Easement**” means-


FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

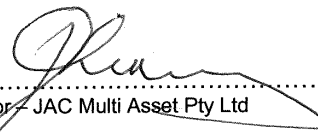
SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

“**Infrastructure**” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);



 Director – JAC Multi Asset Pty Ltd



 Director – JAC Multi Asset Pty Ltd

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 186408</p>
<p>SUBDIVIDER: JAC MULTI ASSET PTY LTD</p> <p>FOLIO REFERENCE: 184978/103</p>	

- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and where the context permits, any part of the Infrastructure

EXECUTED by **JAC MULTI ASSET PTY LTD (ACN 636 512 082)** pursuant to section 127 of the Corporations Act 2001 by:


.....
Director Signature
Signature


.....
Director/ Secretary

PETA KARIZ
.....
Director Full Name (print)
Name (print)

JOSEF CHROMY
.....
Director/ Secretary Full
Name (print)

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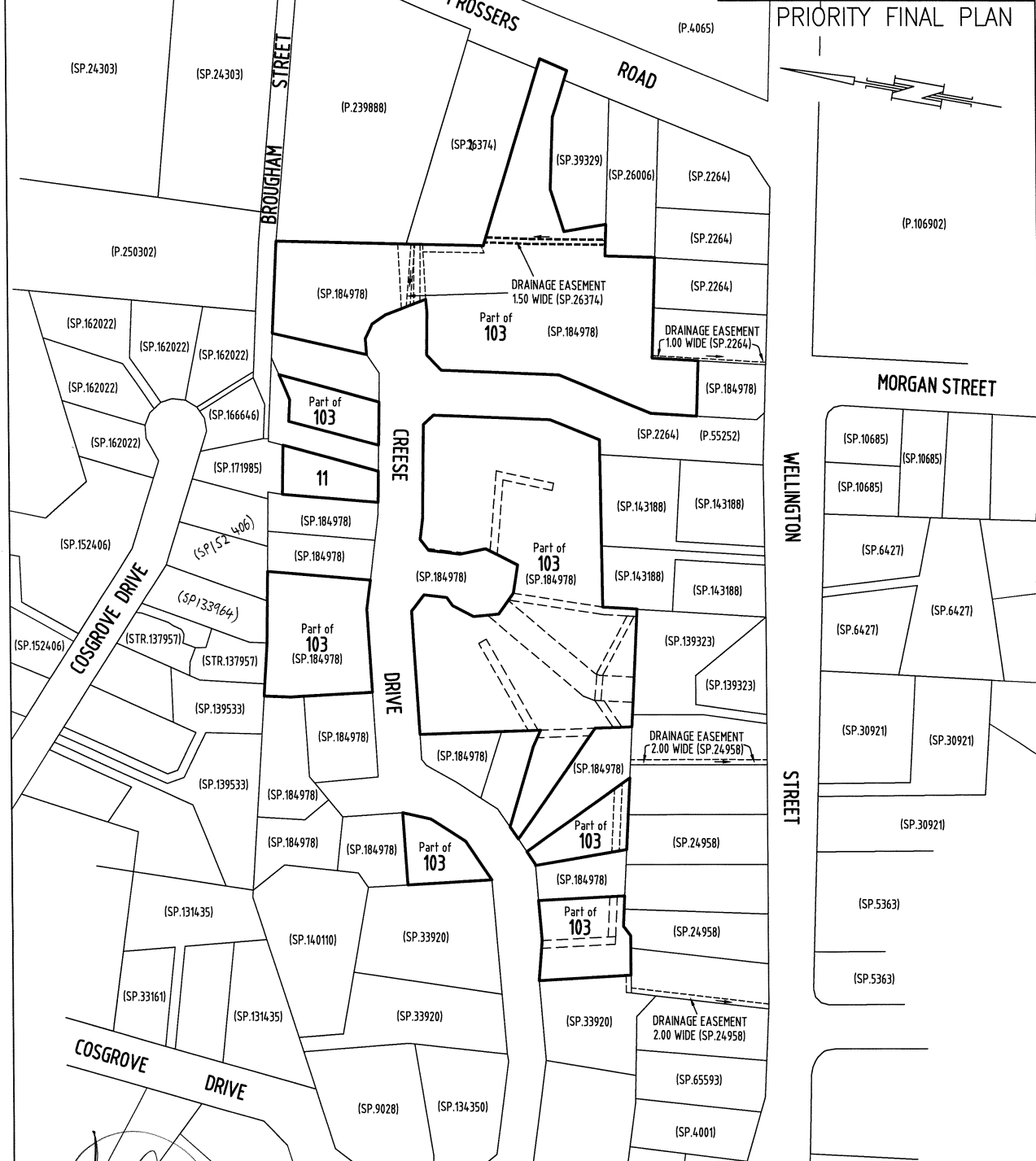
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<p>OWNER: JAC MULTI ASSET PTY LTD</p> <p>FOLIO REFERENCE: CT.184978-103</p> <p>GRANTEE: PART OF 569A-2R-0P GRANTED TO THOMAS DANIEL COSGROVE & PART OF 5A-1R-22P GRANTED TO CATHERINE SHELVERTON & BRIDGET WARTON</p>	<p align="center">PLAN OF SURVEY</p> <p align="center">BY SURVEYOR TIMOTHY LEIGH GOWLLAND ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898 MOB. 0419-594-966</p> <p align="center">CITY OF CLARENCE</p> <p>SCALE 1:1500 LENGTHS IN METRES</p>	<p>REGISTERED NUMBER SP186408</p> <p>APPROVED EFFECTIVE FROM 7 FEB 2024</p> <p align="right">Recorder of Titles</p>
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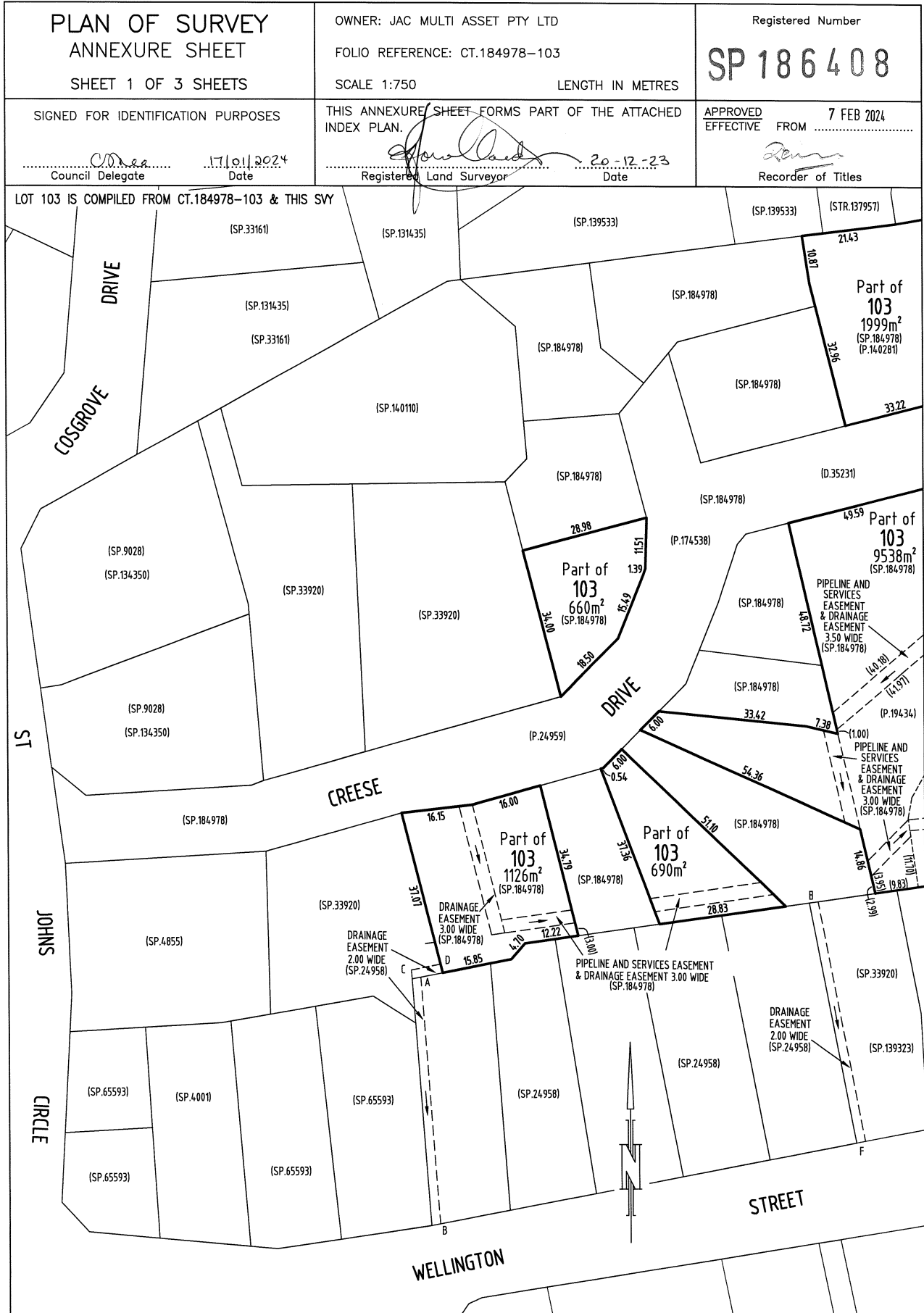
LOT 103 IS COMPILED FROM CT.184978-103 & THIS SVY

INDEX PLAN

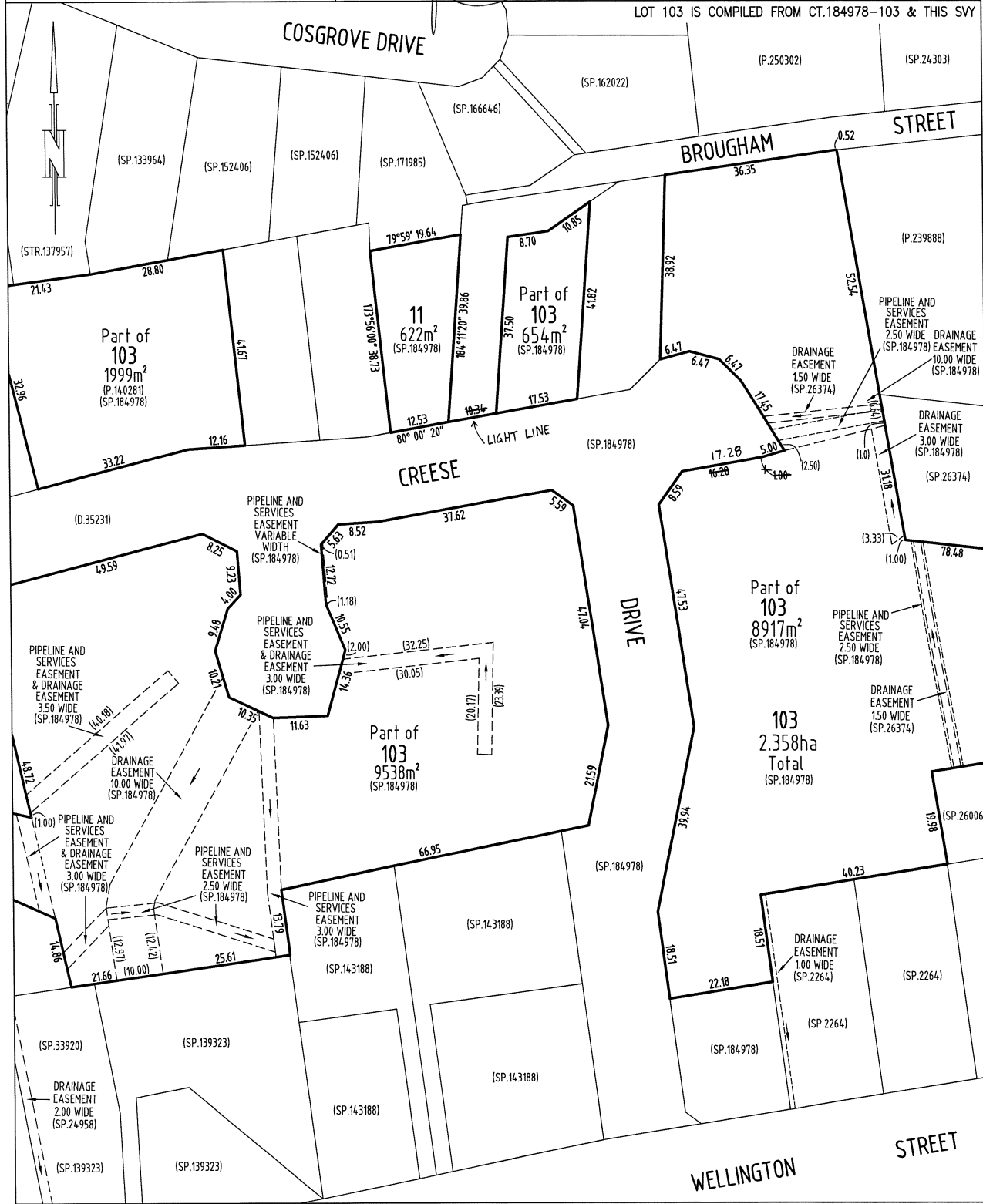
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

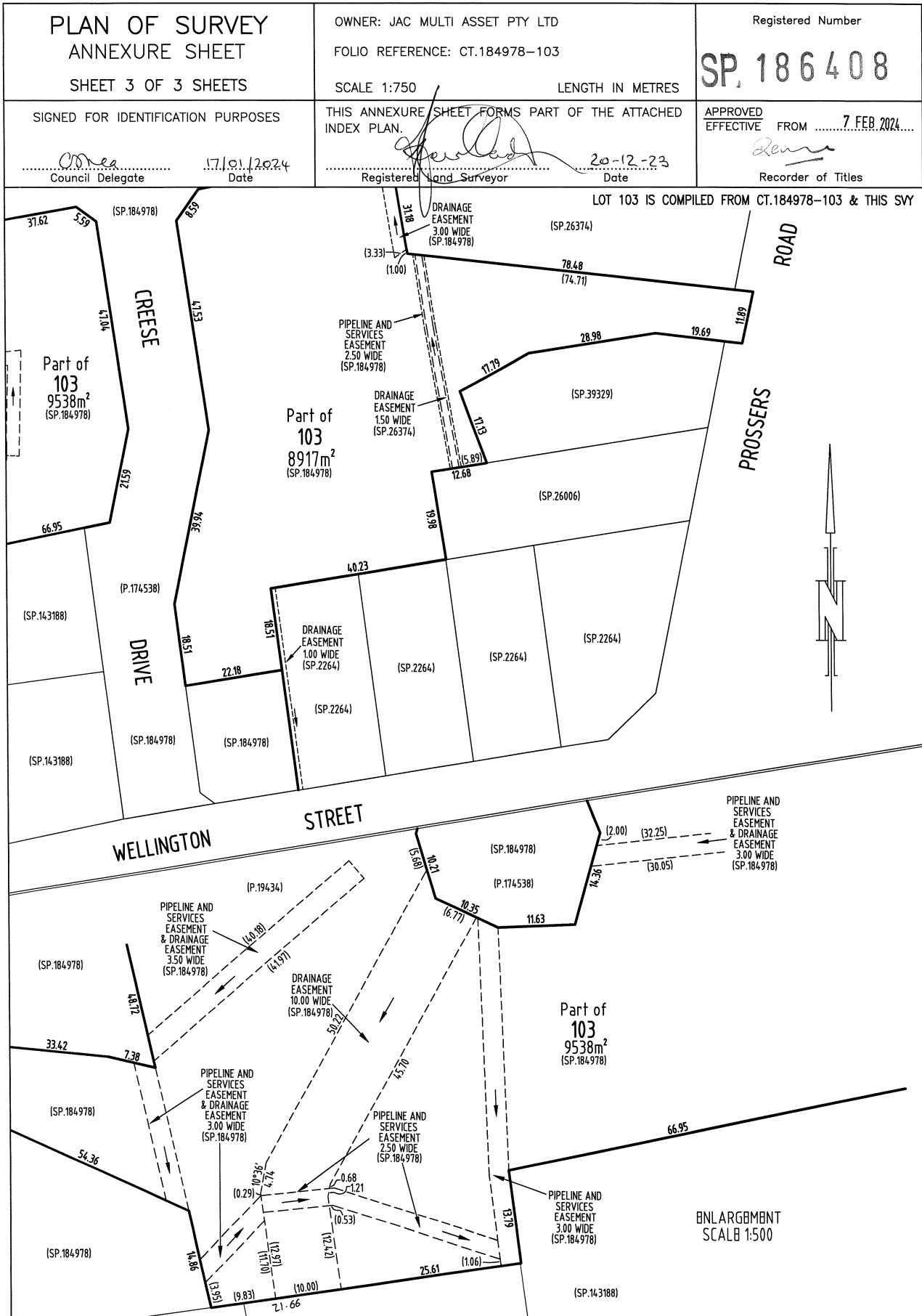


<p><i>[Signature]</i> Registered Land Surveyor</p> <p>26-12-23 Date</p>	<p align="center">ST JOHNS CIRCLE</p>	<p><i>[Signature]</i> Council Delegate</p> <p>11/01/2024 Date</p>
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PLAN OF SURVEY ANNEXURE SHEET SHEET 2 OF 3 SHEETS	OWNER: JAC MULTI ASSET PTY LTD FOLIO REFERENCE: CT.184978-103 SCALE 1:750 LENGTH IN METRES	Registered Number SP 186408
	SIGNED FOR IDENTIFICATION PURPOSES THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.	APPROVED EFFECTIVE FROM 7 FEB 2024 Date
Council Delegate: <i>C. Nea</i> Date: <i>17.01.2024</i>	Registered Land Surveyor: <i>[Signature]</i> Date: <i>20.12.23</i>	





SHEET INDEX

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BUILDING INFORMATION

GROUND FLOOR TOP OF WALL HEIGHT(S): 2445mm
 (CEILING HEIGHT 45mm LOWER THAN TOP OF WALL)
 ROOF PITCH (U.N.O.): 23.0°
 ELECTRICITY SUPPLY: SINGLE PHASE
 GAS SUPPLY: NONE

ROOF MATERIAL: SHEET METAL
 ROOF COLOUR: DARK

WALL MATERIAL: BRICK VENEER, CLADDING

INSULATION

INSULATION TO BE INSTALLED IN ACCORDANCE WITH N.C.C. AND RELEVANT AUSTRALIAN STANDARDS

SARKING UNDER ROOFING
 CEILING: R4.1 BATTS (EXCL. GARAGE, ALFRESCO & PATIO)

EXTERIOR WALLS: R2.0 BATTS (EXCL. GARAGE)
 WALL WRAP TO ENTIRE HOUSE
 INTERIOR WALLS: R2.0 BATTS WHERE SHOWN ON PLANS AND WHERE ADJACENT TO GARAGE / SUBFLOOR / ROOF SPACES / SKYLIGHTS

BIAX SLAB

SITE & ENGINEERING INFORMATION

DESIGN WIND CLASSIFICATION: N2
 CLIMATE ZONE: ZONE 7 - COOL TEMPERATE
 WIND REGION: A
 TERRAIN CATEGORY: TC2.5
 SHIELDING FACTOR: PS - PARTIAL SHIELDING
 TOPOGRAPHIC CLASSIFICATION: T1
 DESIGN WIND SPEED: 40 m/sec

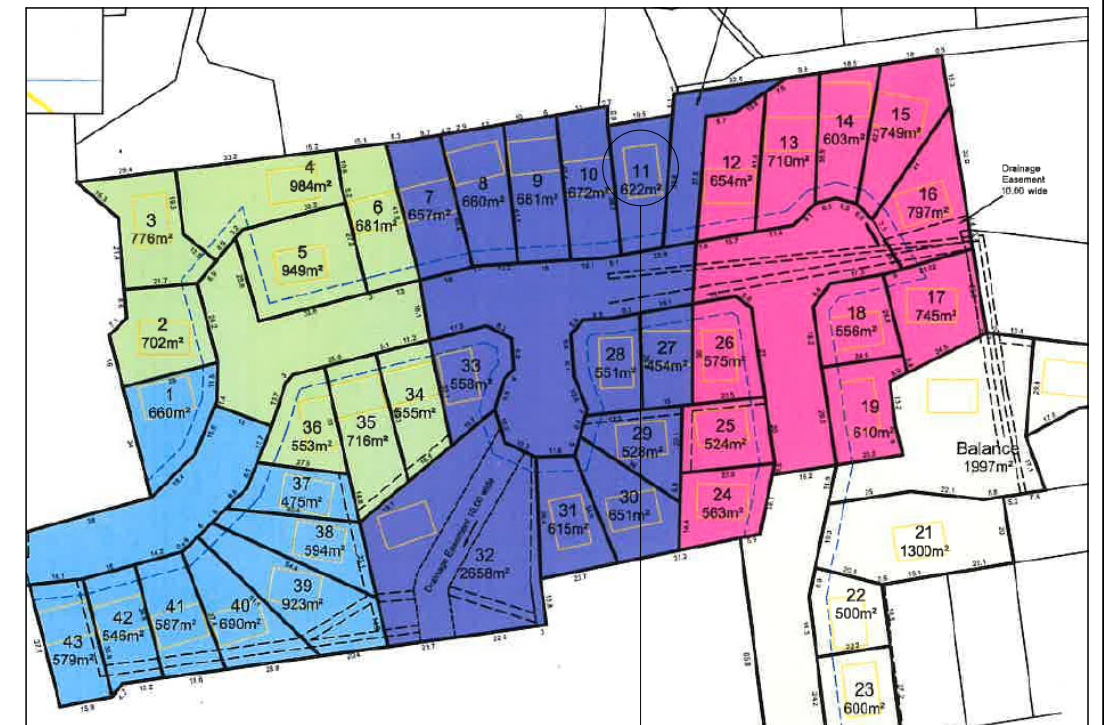
SITE CLASSIFICATION: P
 SLAB CLASSIFICATION: TBC

SLAB TO BE IN ACCORDANCE WITH AS 2870. REFER TO ENGINEER'S DRAWINGS FOR ALL SLAB DETAILS.

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C.

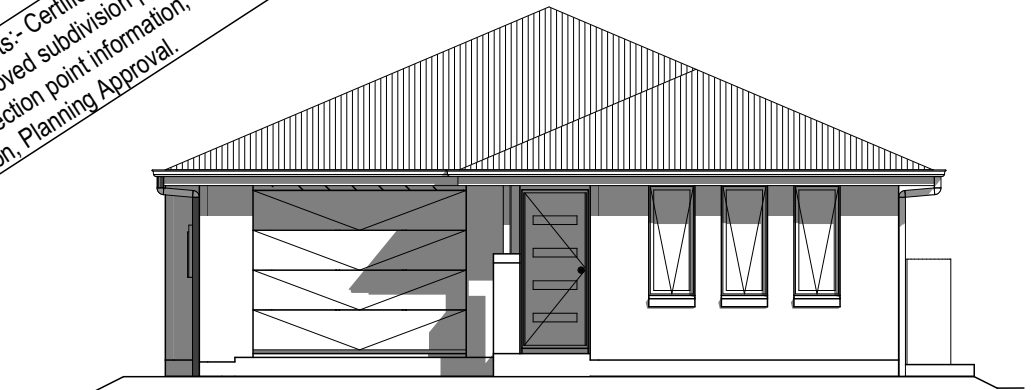
ALL TIMBER FRAMING TO BE DESIGNED TO AS1684-2010

HIGHLY REACTIVE / PROBLEMATIC SOIL TYPE. REFER TO HYDRAULICS PLANS AND DETAILS PREPARED BY GANDY AND ROBERTS



SITE LOCATION LOCATION MAP

This Plan has been prepared prior to the receipt of one or more of the following documents: - Certificate of Title inclusive of lot specific zoning, easement and covenant documents, BAL report and rating, approved subdivision plans providing crossover locations and service connection points, power and communications connection point information, Geotechnical Site Investigation, Contour Survey, Dial Before You Dig Information, Planning Approval.



PRELIMINARY PLAN SET

No.	AMENDMENT	SHEET	DATE	DRAWN	CHECK
4	PRELIMINARY PLAN SET - PLANNING RFI & PROPERTY TITLE & VARIATION REF.003 UPDATE	1,2,3,4,5,6,7	2024.08.04	HMI	RCS
3	PRELIMINARY PLAN SET - COLOUR & VARIATION	ALL	2024.02.27	HMI	RCS
2	PRELIMINARY PLAN SET - INITIAL ISSUE	ALL	2024.01.30	DKZ	-

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THE OWNERS ACKNOWLEDGE THAT THESE CONTRACT PLANS MAY NOT REFLECT ALL THE SELECTIONS THAT HAVE BEEN MADE OR CHANGES REQUESTED. THE OWNERS AGREE THAT FOLLOWING THE COLOUR SELECTIONS VARIATION OR UPDATING OF PLANS, THEY WILL BE PROVIDED WITH CONSTRUCTION PLANS FOR SIGNATURE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SIGNATURE: _____ DATE: _____

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE: _____

DATE: _____



SPECIFICATION: DESIGNER
 COPYRIGHT: © 2024

REVISION	DRAWN
1 DRAFT SALES PLAN - SOW	JOL 2023.10.23
2 PRELIM PLAN - INITIAL ISSUE	DKZ 2024.01.30
3 PRELIM PLANS - COLOUR & VARIATION	HMI 2024.02.27
4 PRELIM PLANS - PLANNING RFI & TITLE UPDATE	HMI 2024.04.08

CLIENT: PAMELA M INCE
 ADDRESS: CREESE DRIVE, RICHMOND TAS 7025
 LOT / SECTION / CT: 11 / - / 186408
 COUNCIL: CLARENCE COUNCIL

HOUSE DESIGN: GREENWICH
 FACADE DESIGN: CLASSIC
 SHEET TITLE: COVER SHEET

HOUSE CODE: H-WDNGNW10SA
 FACADE CODE: F-WDNGNW10CLASA
 SHEET No.: 1 / 13

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

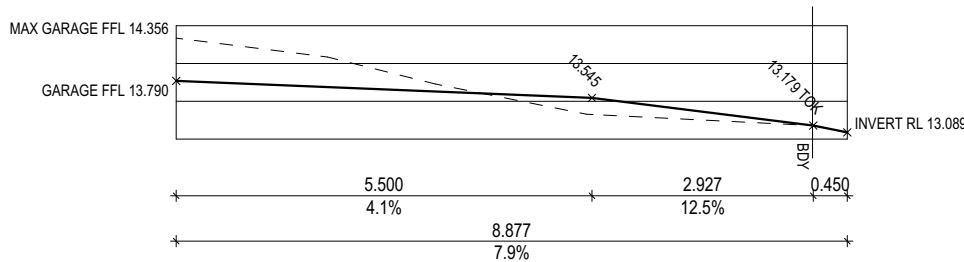
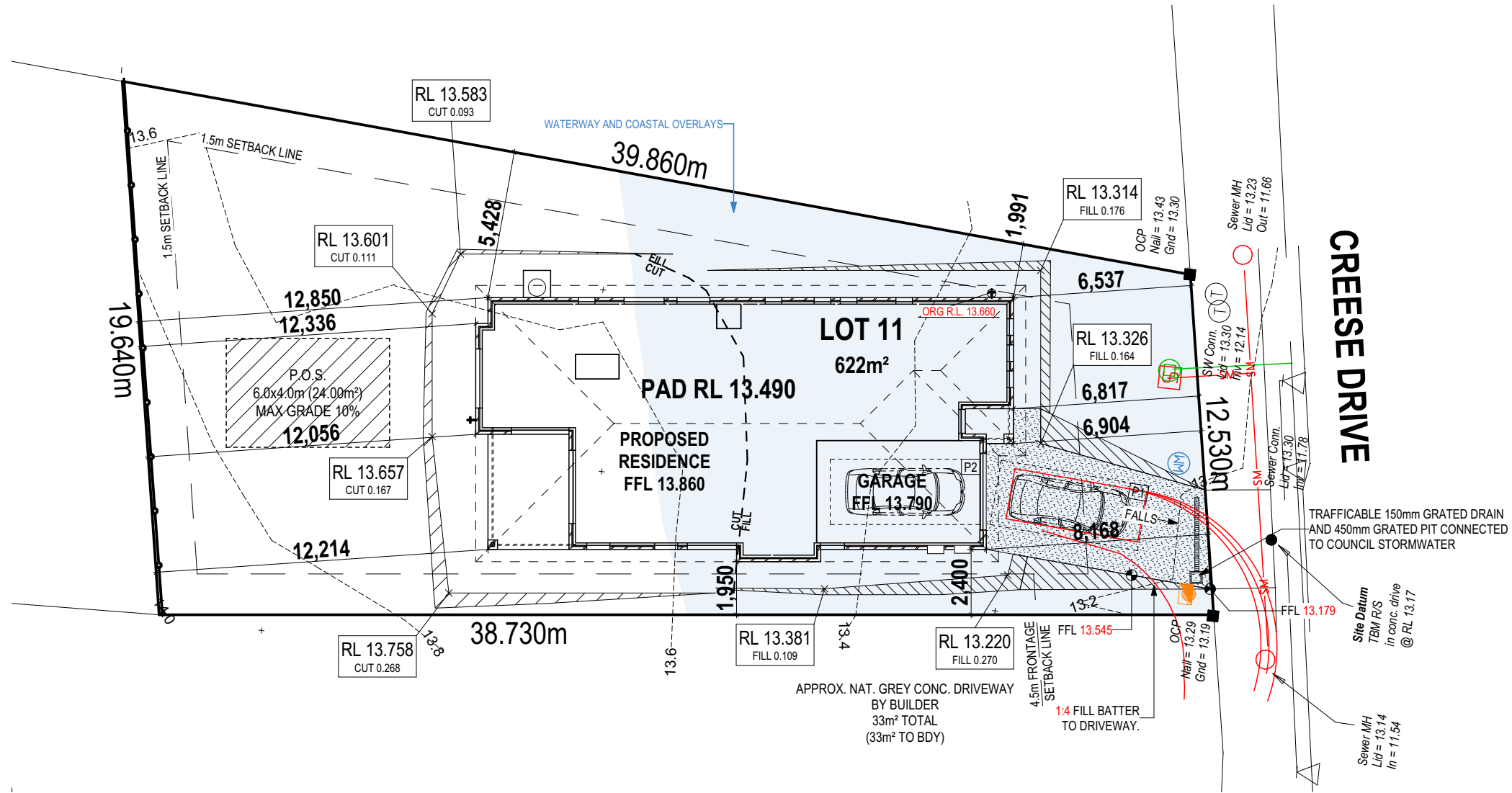
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	0° 00' 00" S
LONGITUDE	0° 00' 00" E

APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	15.27m ³
FILL VOLUME	15.61m ³
DIFFERENCE	0.34m ³
EVEN CUT & FILL	

LOT SIZE: 622m²
HOUSE (COVERED AREA): 177.47m²
SITE COVERAGE: 28.53%



DRIVEWAY DETAILS
Scale: 1:100

THIS PLAN ACCEPTED BY:

 PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING
 SIGNATURE:

 DATE:

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1 DRAFT SALES PLAN - SOW	JOL 2023.10.23
2 PRELIM PLAN - INITIAL ISSUE	DKZ 2024.01.30
3 PRELIM PLANS - COLOUR & VARIATION	HMI 2024.02.27
4 PRELIM PLANS - PLANNING RFI & TITLE UPDATE	HMI 2024.04.08

CLIENT:	PAMELA M INCE
ADDRESS:	CREESE DRIVE, RICHMOND TAS 7025
LOT / SECTION / CT:	11 / - / 186408
COUNCIL:	CLARENCE COUNCIL

HOUSE DESIGN:	GREENWICH
FACADE DESIGN:	CLASSIC
SHEET TITLE:	SITE PLAN

HOUSE CODE:	H-WDNGNW10SA
FACADE CODE:	F-WDNGNW10CLASA
SHEET No.:	2 / 13
SCALES:	1:200

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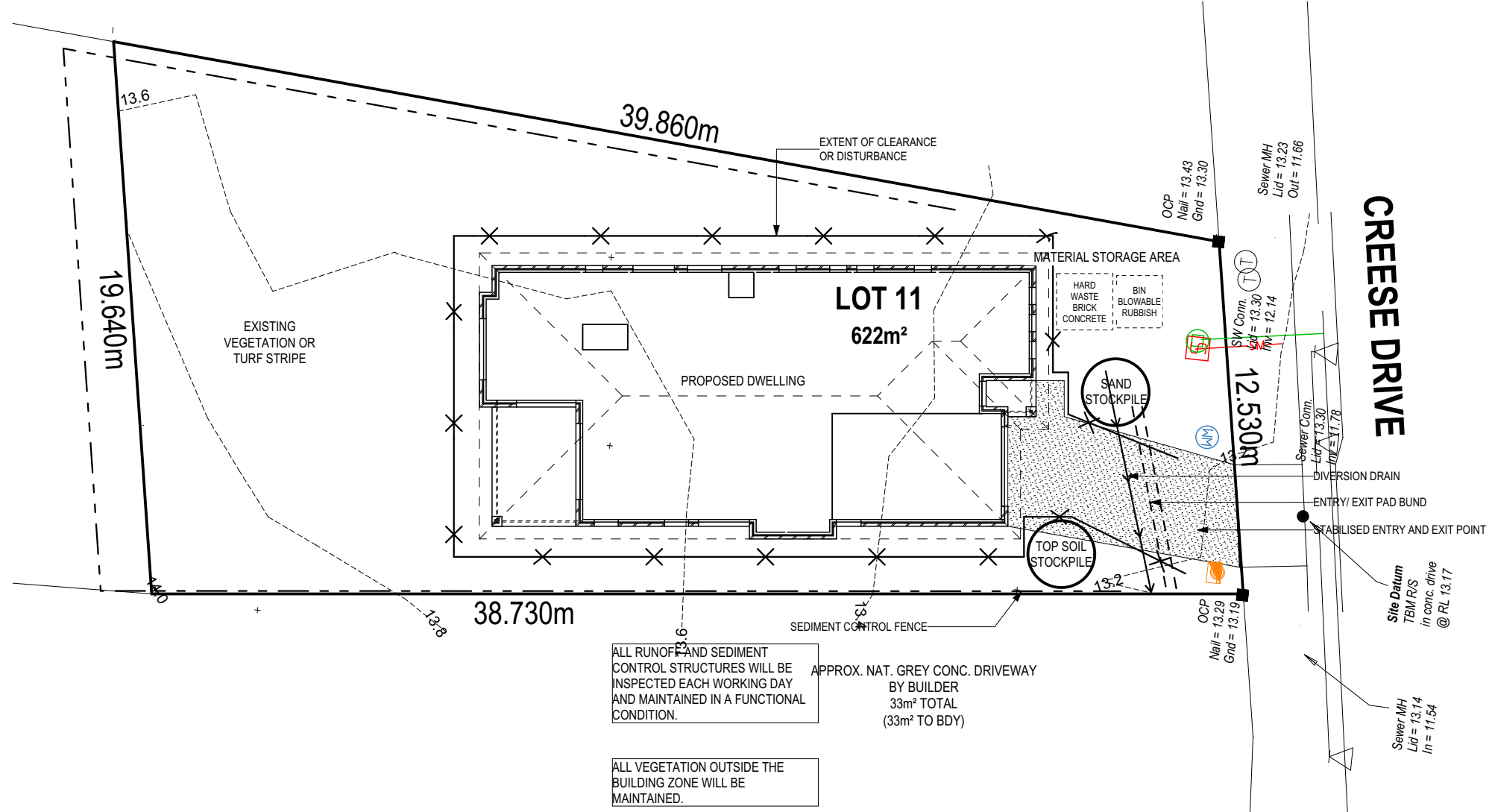
713865

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

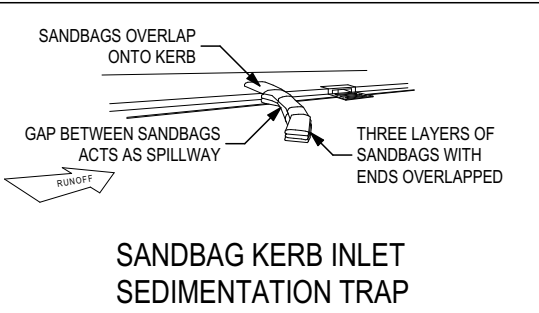
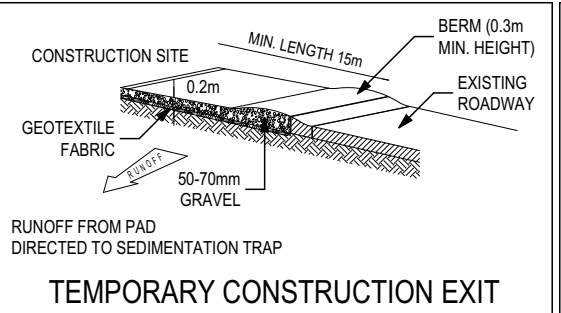
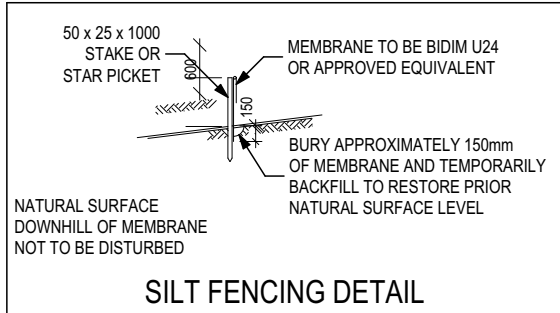
- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
 3. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
 5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
 6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
 7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

APPROX. NAT. GREY CONC. DRIVEWAY BY BUILDER 33m² TOTAL (33m² TO BDY)



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3 PRELIM PLANS - COLOUR & VARIATION	HMI 2024.02.27
4 PRELIM PLANS - PLANNING RFI & TITLE UPDATE	HMI 2024.04.08

CLIENT:	PAMELA M INCE
ADDRESS:	CREESE DRIVE, RICHMOND TAS 7025
LOT / SECTION / CT:	11 / - / 186408
COUNCIL:	CLARENCE COUNCIL

HOUSE DESIGN:	GREENWICH
FACADE DESIGN:	CLASSIC
SHEET TITLE:	SOIL & WATER MANAGEMENT PLAN
SHEET No.:	3 / 13

HOUSE CODE:	H-WDNGNW10SA
FACADE CODE:	F-WDNGNW10CLASA
SCALES:	

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

TOTAL FLOOR AREAS

ALFRESCO	12.58
GARAGE	25.61
LIVING	137.28
PORCH	2.00
TOTAL	177.47 m²

CDP CHARGED DOWNPIPE DIRECTED TO TANK
 SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

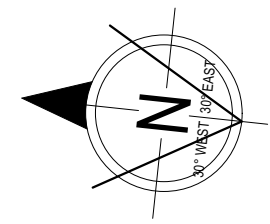
REFER 'BRICK COURSING AND WINDOW FLASHING DETAIL' AND W-BRIC-001 FOR BRICK COURSING & WINDOW FLASHING DETAILS.

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS

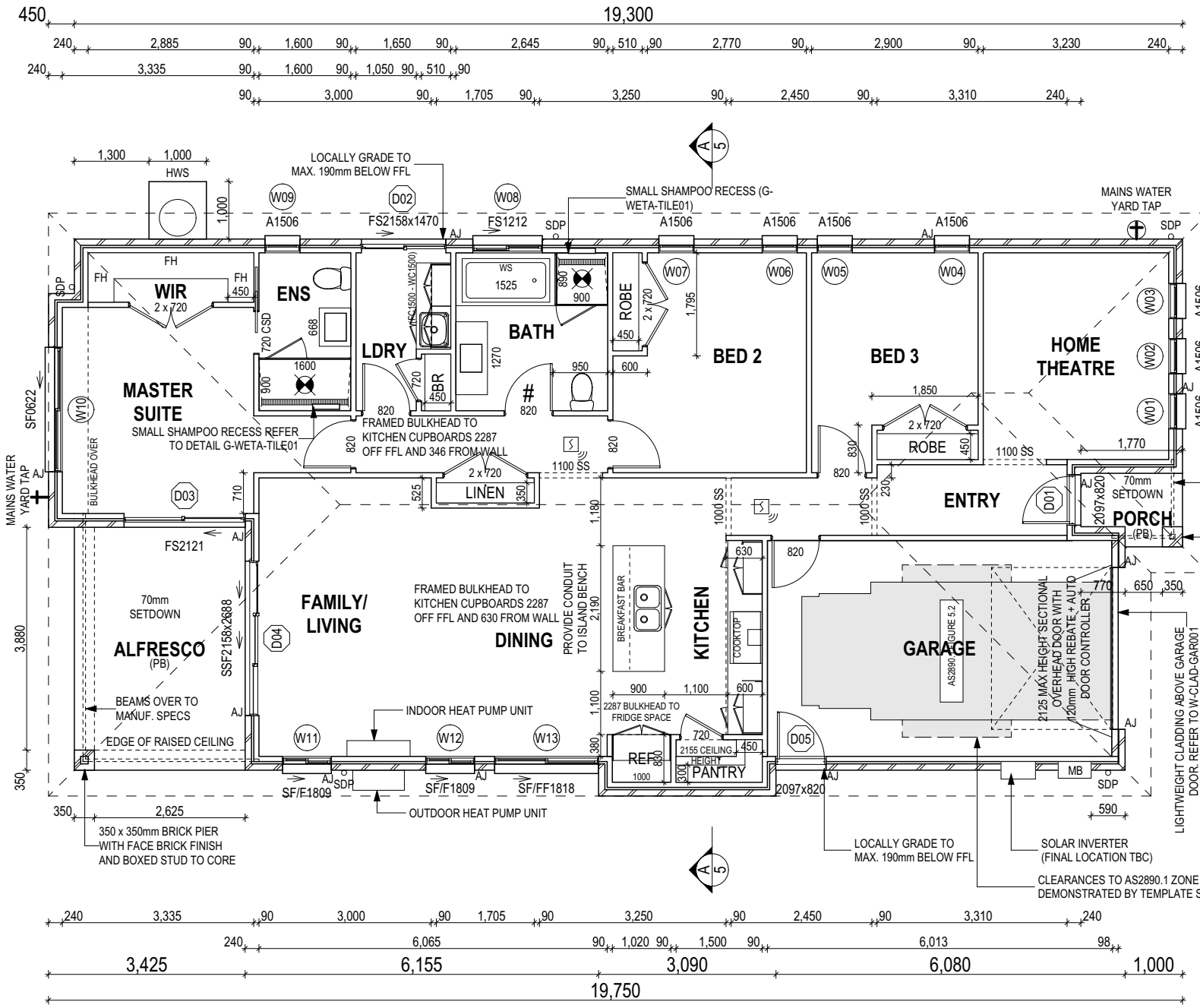
FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



FLOOR PLAN LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
- [Symbol] FACE BRICK / COMMON BRICK
- [Symbol] RENDER
- [Symbol] SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- 3D DENOTES DRAWER SIDE
- [Symbol] MECHANICAL VENTILATION
- L.B.W LOAD BEARING WALL
- PB PLASTERBOARD
- FC FIBRE CEMENT
- [Symbol] THIS DOOR OPENS FIRST
- [Symbol] SMOKE ALARM
- # LIFT OFF HINGE
- † WATER POINT
- [Symbol] FLOOR WASTE
- [Symbol] CLEAN OUT POINT
- [Symbol] GAS BAYONET



ALL DIMENSIONS ARE FRAME DIMENSIONS

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SHAMPOO RECESS SIZE	WIDTH	HEIGHT
"SMALL"	470 x 380mm	548mm
"MEDIUM"	800 x 380mm	878mm
"LARGE"	1500 x 380mm	1578mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

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4 PRELIM PLANS - PLANNING RFI & TITLE UPDATE	HMI 2024.04.08

CLIENT:	PAMELA M INCE
ADDRESS:	CREESE DRIVE, RICHMOND TAS 7025
LOT / SECTION / CT:	11 / - / 186408
COUNCIL:	CLARENCE COUNCIL

HOUSE DESIGN:	GREENWICH
FACADE DESIGN:	CLASSIC
SHEET TITLE:	GROUND FLOOR PLAN
SHEET No.:	4 / 13

HOUSE CODE:	H-WDNGNW10SA
FACADE CODE:	F-WDNGNW10CLASA
SCALES:	1:100

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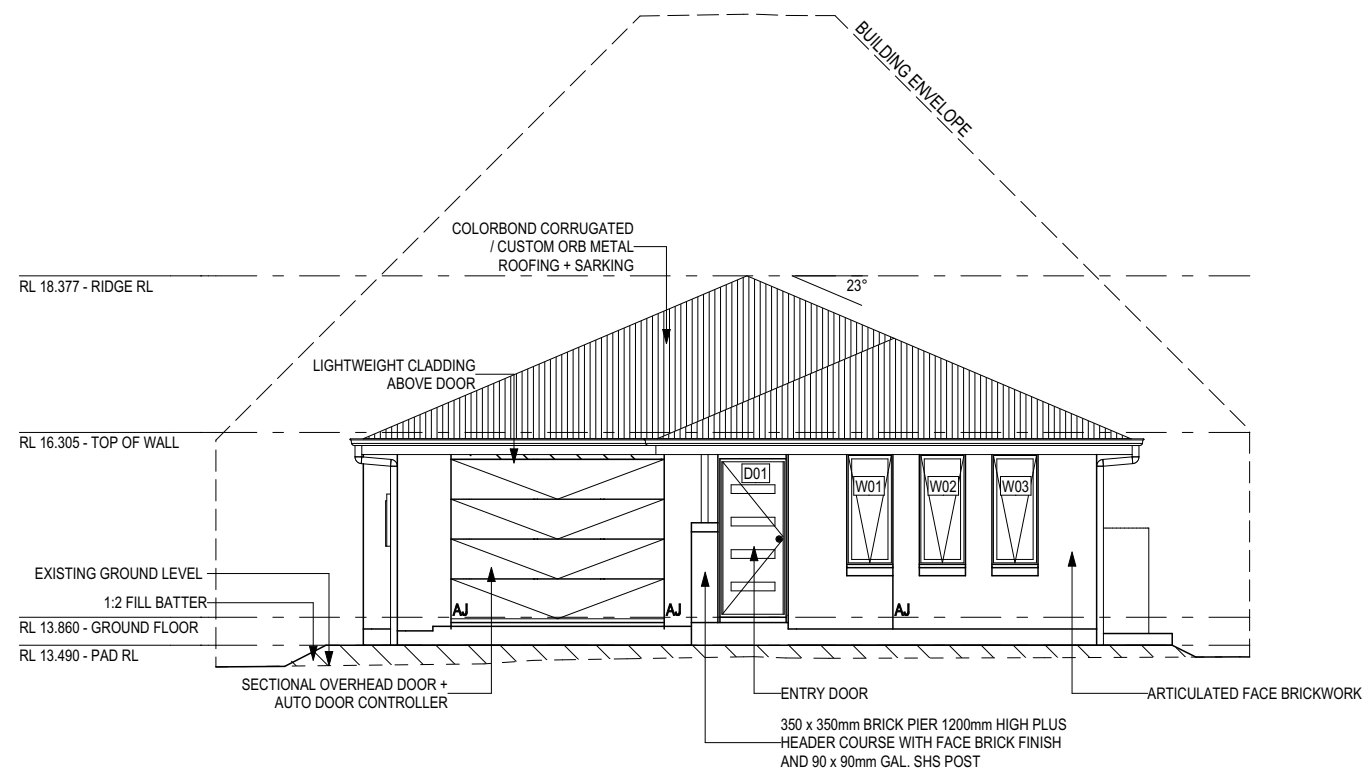
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

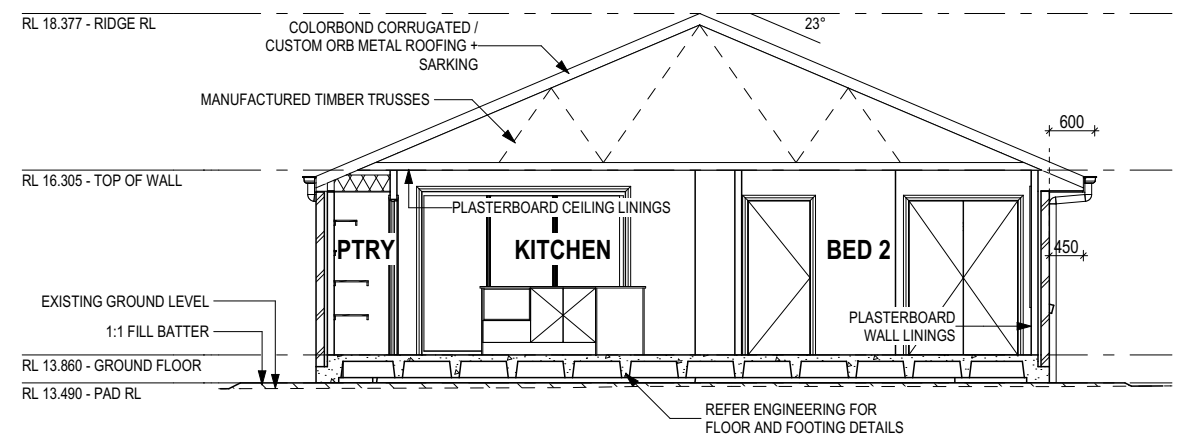
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

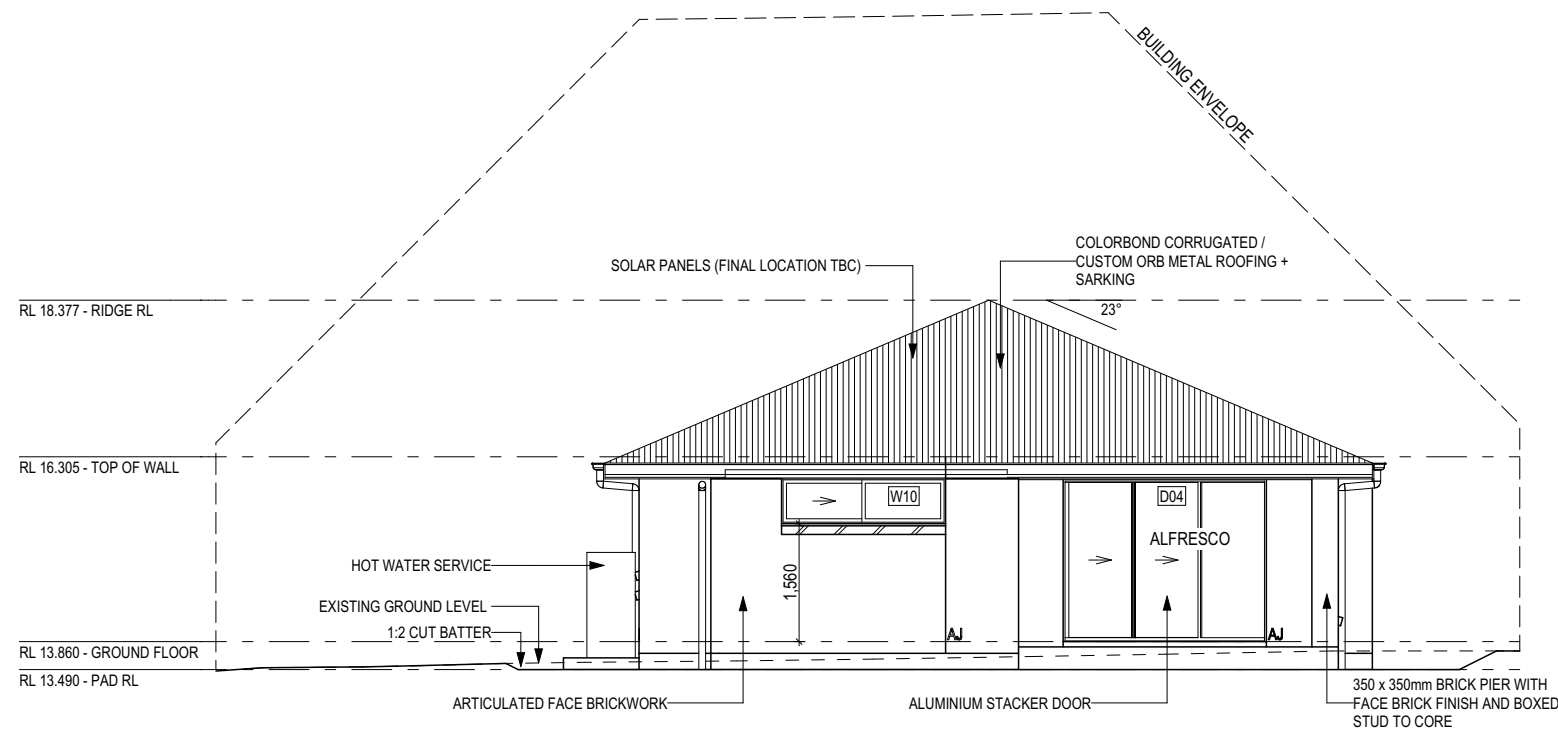
REFER TO THE FOLLOWING DETAILS:
 BRICK COURSING W-BRIC-001



SOUTH ELEVATION
 Scale: 1:100



SECTION A-A
 Scale: 1:100



NORTH ELEVATION
 Scale: 1:100

GLASS TYPE LEGEND

□	▨
CLEAR	OBSCURE

WINDOW TYPE LEGEND

 AWNING	 DOUBLE HUNG	 FIXED	 LOUVRE	 SLIDING
------------	-----------------	-----------	------------	-------------

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CLIENT:	PAMELA M INCE
ADDRESS:	CREESE DRIVE, RICHMOND TAS 7025
LOT / SECTION / CT:	11 / - / 186408
COUNCIL:	CLARENCE COUNCIL

HOUSE DESIGN:	GREENWICH
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ELEVATIONS / SECTION
SHEET No.:	5 / 13

HOUSE CODE:	H-WDNGNW10SA
FACADE CODE:	F-WDNGNW10CLASA
SCALES:	1:100

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

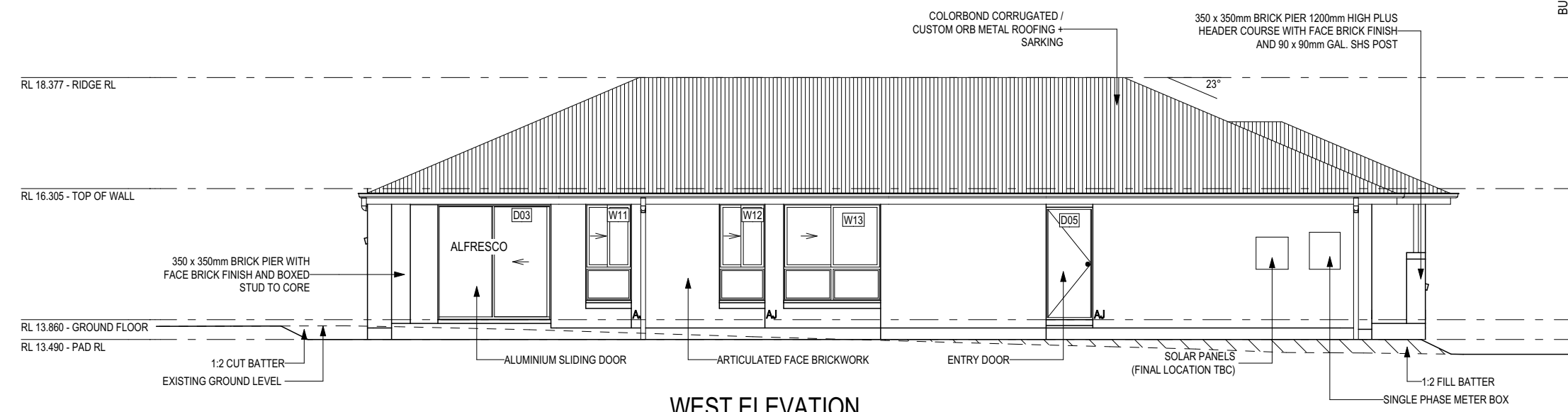
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

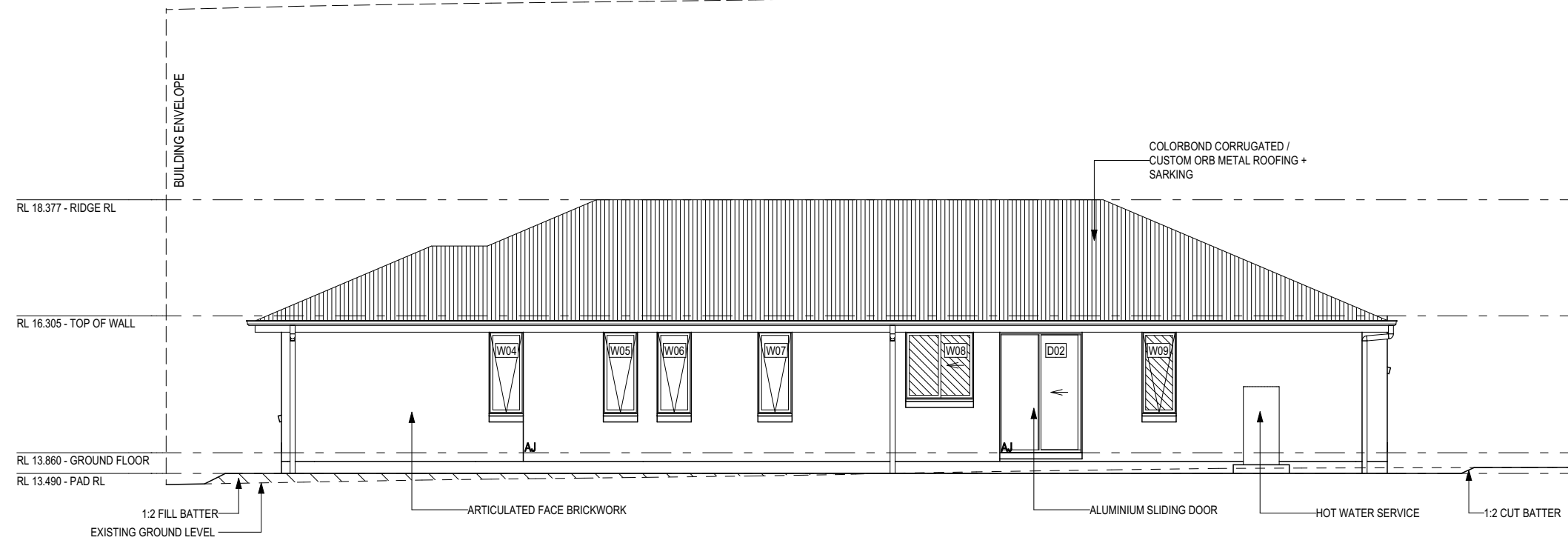
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:
BRICK COURSING **W-BRIC-001**



WEST ELEVATION
Scale: 1:100



EAST ELEVATION
Scale: 1:100

GLASS TYPE LEGEND

CLEAR
 OBSCURE

WINDOW TYPE LEGEND

AWNING
AWNING

↓
↑

 DOUBLE HUNG
DOUBLE HUNG
 FIXED
FIXED

→

 LOUVRE
LOUVRE

→

 SLIDING
SLIDING

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CLIENT:	PAMELA M INCE
ADDRESS:	CREESE DRIVE, RICHMOND TAS 7025
LOT / SECTION / CT:	11 / - / 186408
COUNCIL:	CLARENCE COUNCIL

HOUSE DESIGN:	GREENWICH
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ELEVATIONS
SHEET No.:	6 / 13

HOUSE CODE:	H-WDNGNW10SA
FACADE CODE:	F-WDNGNW10CLASA
SCALES:	1:100

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WINDOW SCHEDULE

0.3 ASSUME LOOKING FROM OUTSIDE 1.2 ASSUME LOOKING FROM INSIDE

ID	CODE*	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m ²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m ²)	GLAZING TYPE	ADDITIONAL INFORMATION ¹
W01	A1506	HOME THEATRE	1,460	610	4,140	0.89	ALUMINIUM	N/A	ANGLED	S	0.64	CLEAR, DOUBLE GLAZED	STANDAR FLY SCREEN
W02	A1506	HOME THEATRE	1,460	610	4,140	0.89	ALUMINIUM	N/A	ANGLED	S	0.64	CLEAR, DOUBLE GLAZED	STANDAR FLY SCREEN
W03	A1506	HOME THEATRE	1,460	610	4,140	0.89	ALUMINIUM	N/A	ANGLED	S	0.64	CLEAR, DOUBLE GLAZED	STANDAR FLY SCREEN
W04	A1506	BED 3	1,460	610	4,140	0.89	ALUMINIUM	N/A	ANGLED	E	0.64	CLEAR, DOUBLE GLAZED	STANDAR FLY SCREEN
W05	A1506	BED 3	1,460	610	4,140	0.89	ALUMINIUM	N/A	ANGLED	E	0.64	CLEAR, DOUBLE GLAZED	STANDAR FLY SCREEN
W06	A1506	BED 2	1,460	610	4,140	0.89	ALUMINIUM	N/A	ANGLED	E	0.64	CLEAR, DOUBLE GLAZED	STANDAR FLY SCREEN
W07	A1506	BED 2	1,460	610	4,140	0.89	ALUMINIUM	N/A	ANGLED	E	0.64	CLEAR, DOUBLE GLAZED	STANDAR FLY SCREEN
W08	FS1212	BATH	1,200	1,210	4,820	1.45	ALUMINIUM	N/A	ANGLED	E	1.23	OBSCURE, DOUBLE GLAZED, TOUGHENED	STANDAR FLY SCREEN
W09	A1506	ENS	1,460	610	4,140	0.89	ALUMINIUM	N/A	ANGLED	E	0.64	OBSCURE, DOUBLE GLAZED, TOUGHENED	STANDAR FLY SCREEN
W10	SF0622	MASTER SUITE	600	2,170	5,540	1.30	ALUMINIUM	N/A	ANGLED	N	1.08	CLEAR, DOUBLE GLAZED	STANDAR FLY SCREEN
W11	SF/F1809	FAMILY / LIVING	1,800	850	5,300	1.53	ALUMINIUM	N/A	ANGLED	W	1.24	CLEAR, DOUBLE GLAZED	BP 600, STANDAR FLY SCREEN
W12	SF/F1809	DINING	1,800	850	5,300	1.53	ALUMINIUM	N/A	ANGLED	W	1.24	CLEAR, DOUBLE GLAZED	BP 600, STANDAR FLY SCREEN
W13	SF/FF1818	DINING	1,800	1,810	7,220	3.26	ALUMINIUM	N/A	ANGLED	W	2.79	CLEAR, DOUBLE GLAZED	BP 600, MP 905/0, STANDAR FLY SCREEN
						16.19							12.70

Manufacturer - Clark Windows			
Window Type	Glazing	U-Value	SHGC
Awning	Single	6.5	0.67
	Double	4.1	0.57
Fixed	Single	5.9	0.75
	Double	3.2	0.67
Sliding	Single	6.4	0.76
	Double	4.2	0.59
Fixed Pane	Single	5.9	0.75
	Double	3.2	0.67
Fixed Glass Panel Hinged Door	Single	6.0	0.62
	Double	4.3	0.55
Sliding Door	Single	6.1	0.74
	Double	3.6	0.66
Stacking Door	Single	6.3	0.74
	Double	3.8	0.66
135 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
135 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
90 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
90 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
Bifold Doors	Single	6.1	0.61
	Double	4.4	0.53

NOTE:
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

EXTERIOR DOOR SCHEDULE

0.1 ASSUME LOOKING FROM OUTSIDE

ID	CODE*	ROOM	HEIGHT	WIDTH	AREA (m ²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING TYPE	DOOR TYPE	ADDITIONAL INFORMATION ¹
D01	2097x820	ENTRY	2,097	876	1.84	ALUMINIUM	N/A	SNAP HEADER	S	CLEAR	SWINGING	
D02	FS2158x1470	LDRY	2,158	1,470	3.17	ALUMINIUM	N/A	SNAP HEADER	E	CLEAR, DOUBLE GLAZED, TOUGHENED	SLIDING	STANDAR FLY SCREEN
D03	FS2121	MASTER SUITE	2,158	2,110	4.55	ALUMINIUM	N/A	SNAP HEADER	W	CLEAR, DOUBLE GLAZED, TOUGHENED	SLIDING	STANDAR FLY SCREEN
D04	SSF2158x2688	FAMILY / LIVING	2,158	2,688	5.80	ALUMINIUM	N/A	SNAP HEADER	N	CLEAR, DOUBLE GLAZED, TOUGHENED	STACKER	STANDAR FLY SCREEN
D05	2097x820	GARAGE	2,097	876	1.84	ALUMINIUM	N/A	SNAP HEADER	W	N/A	SWINGING	
					17.20 m ²							

INTERIOR DOOR SCHEDULE

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING	ADDITIONAL INFORMATION
2	1000 SS	SQUARE SET OPENING	2,155	1,000	N/A	
2	1100 SS	SQUARE SET OPENING	2,155	1,100	N/A	
4	2 x 720	SWINGING	2,040	1,440	N/A	
2	720	SWINGING	2,040	720	N/A	
1	720 CSD	CAVITY SLIDING	2,040	720	N/A	
5	820	SWINGING	2,040	820	N/A	
1	820	SWINGING	2,040	820	N/A	LIFT-OFF HINGES

PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

QTY TYPE HEIGHT WIDTH AREA (m²)

SINGLE GLAZING U.N.O. REFER TO GENERAL NOTES FOR FURTHER DETAIL AND REQUIREMENTS.

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

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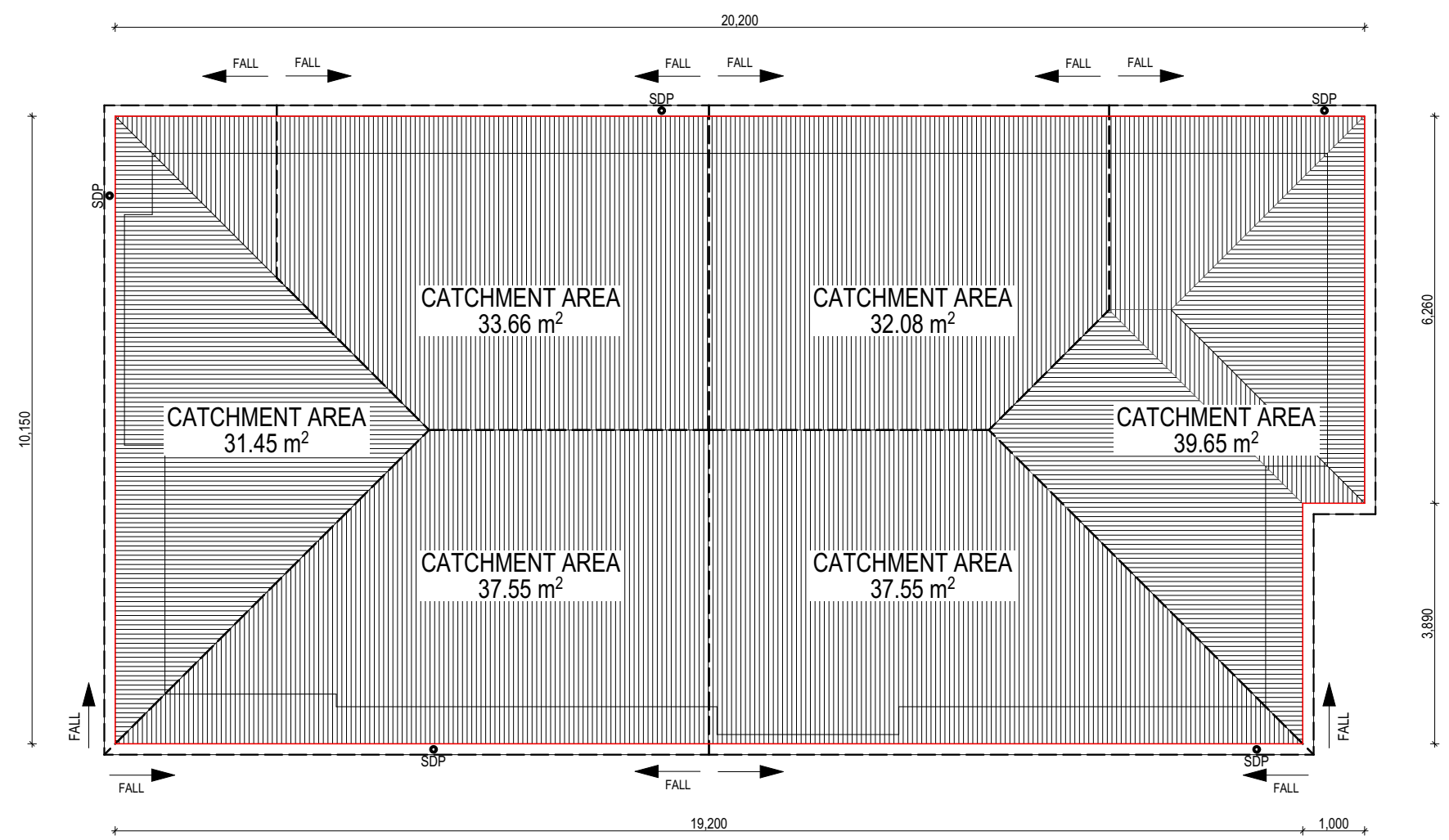
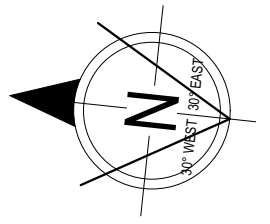
REVISION	DRAWN
1 DRAFT SALES PLAN - SOW	JOL 2023.10.23
2 PRELIM PLAN - INITIAL ISSUE	DKZ 2024.01.30
3 PRELIM PLANS - COLOUR & VARIATION	HMI 2024.02.27
4 PRELIM PLANS - PLANNING RFI & TITLE UPDATE	HMI 2024.04.08

CLIENT:
PAMELA M INCE
ADDRESS:
CREESE DRIVE, RICHMOND TAS 7025
LOT / SECTION / CT:
11 / - / 186408
COUNCIL:
CLARENCE COUNCIL

HOUSE DESIGN:
GREENWICH
FACADE DESIGN:
CLASSIC
SHEET TITLE:
WINDOW & DOOR SCHEDULES

HOUSE CODE:
H-WDNGNW10SA
FACADE CODE:
F-WDNGNW10CLASA
SHEET No.:
7 / 13

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WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

Roofing Data		
	201.14	Flat Roof Area (excluding gutter and slope factor) (m ²)
	218.52	Roof Surface Area (includes slope factor, excludes gutter) (m ²)
Downpipe roof calculations (as per AS/NZA3500.3:2018)		
Ah	211.94	Area of roof catchment (including 115mm Slotted Quad Gutter) (m ²)
Ac	256.44	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2018) (1.21 for 23° pitch) (m ²)
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm ²)
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2018)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2018) (m ²)
Required Downpipes	4	Ac / Acdp
Downpipes Provided	6	

EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

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4 PRELIM PLANS - PLANNING RFI & TITLE UPDATE	HMI 2024.04.08

CLIENT:	PAMELA M INCE
ADDRESS:	CREESE DRIVE, RICHMOND TAS 7025
LOT / SECTION / CT:	11 / - / 186408
COUNCIL:	CLARENCE COUNCIL

HOUSE DESIGN:	GREENWICH
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ROOF DRAINAGE PLAN
SHEET No.:	8 / 13

HOUSE CODE:	H-WDNGNW10SA
FACADE CODE:	F-WDNGNW10CLASA
SCALES:	







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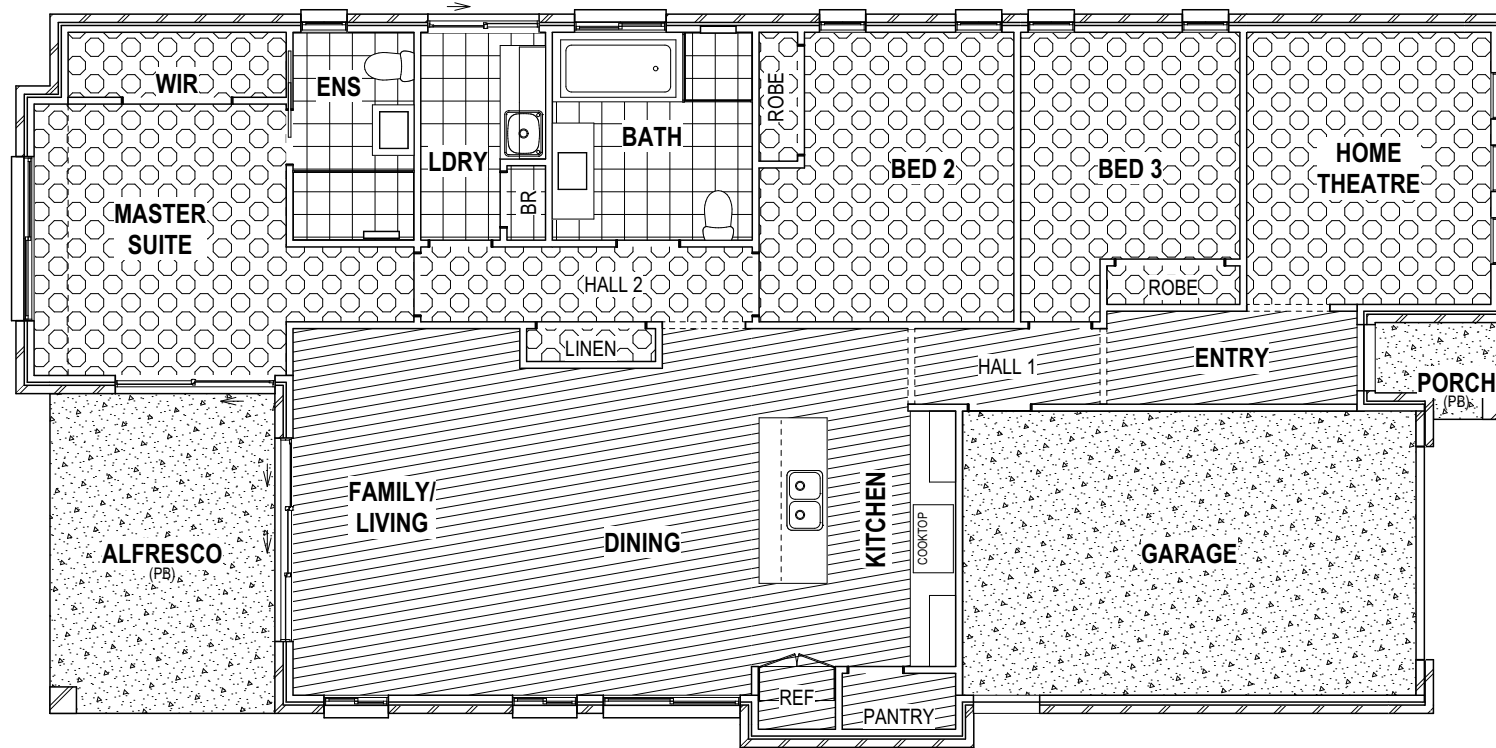
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
 TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

-  NO COVERING
-  COVER GRADE CONCRETE
-  CARPET
-  LAMINATE
-  TILE (STANDARD WET AREAS)
-  TILE (UPGRADED AREAS)



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LOT / SECTION / CT:	11 / - / 186408
COUNCIL:	CLARENCE COUNCIL

HOUSE DESIGN:	GREENWICH
FACADE DESIGN:	CLASSIC
SHEET TITLE:	FLOOR COVERINGS

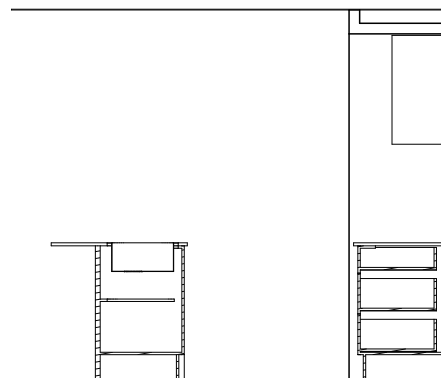
HOUSE CODE:	H-WDNGNW10SA
FACADE CODE:	F-WDNGNW10CLASA
SHEET No.:	9 / 13
SCALES:	1:100

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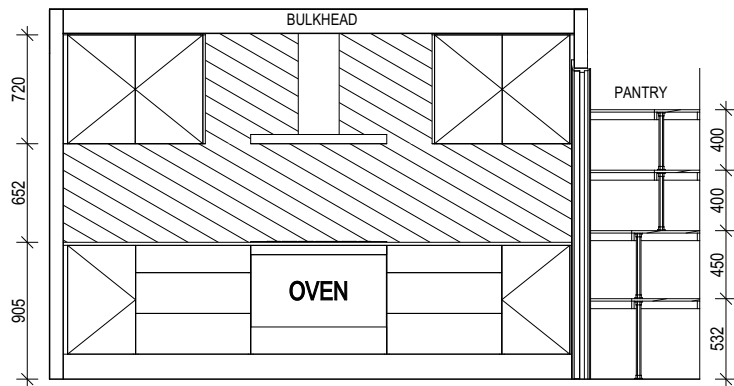
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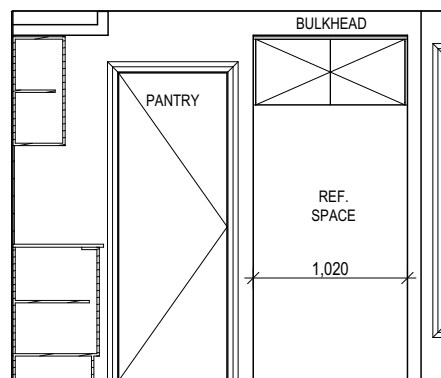
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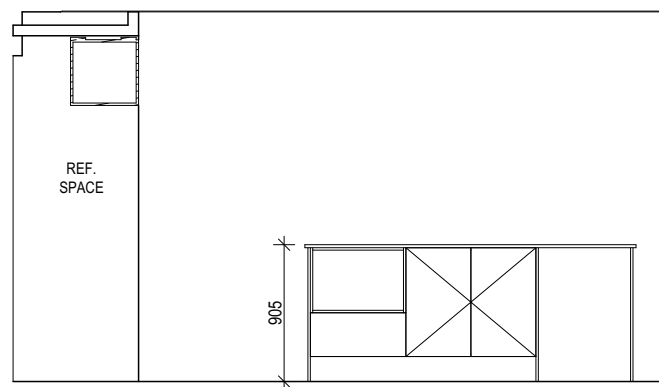
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Scale: 1:50



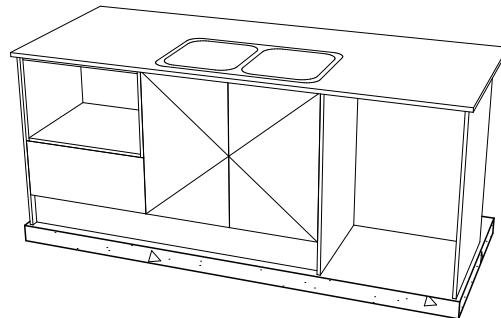
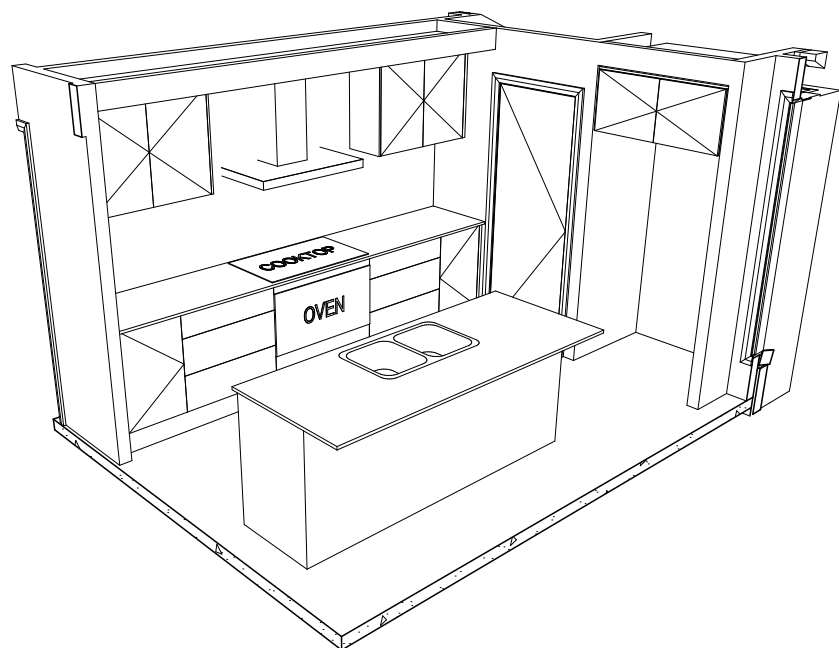
ELEVATION B
Scale: 1:50



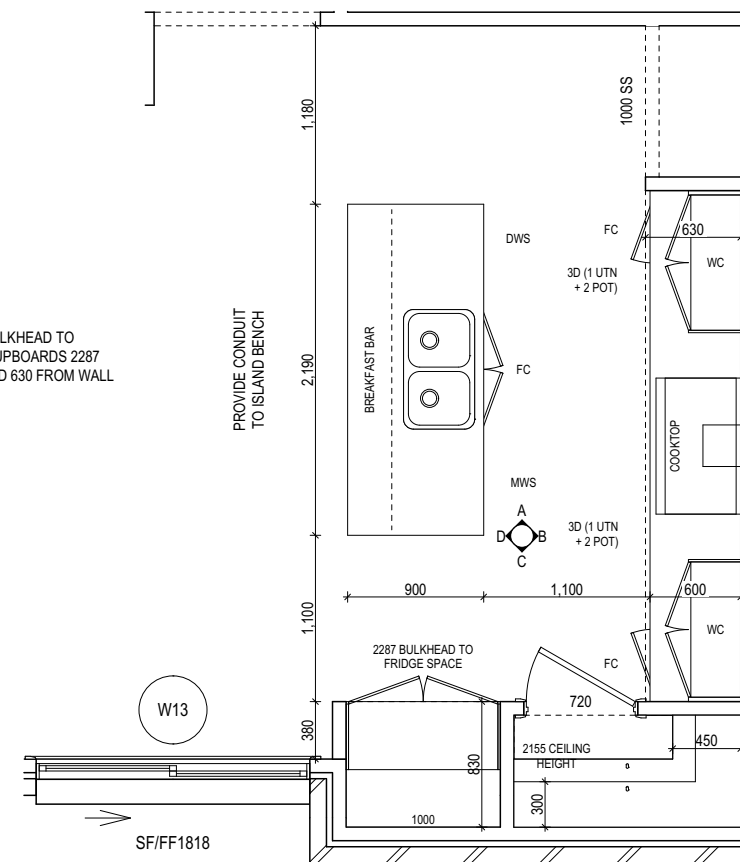
ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



FRAMED BULKHEAD TO KITCHEN CUPBOARDS 2287 OFF FFL AND 630 FROM WALL



KITCHEN PLAN
Scale: 1:50

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CLIENT:	PAMELA M INCE
ADDRESS:	CREESE DRIVE, RICHMOND TAS 7025
LOT / SECTION / CT:	11 / - / 186408
COUNCIL:	CLARENCE COUNCIL

HOUSE DESIGN:	GREENWICH
FACADE DESIGN:	CLASSIC
SHEET TITLE:	KITCHEN DETAILS
SHEET No.:	10 / 13

HOUSE CODE:	H-WDNGNW10SA
FACADE CODE:	F-WDNGNW10CLASA
SCALES:	1:50

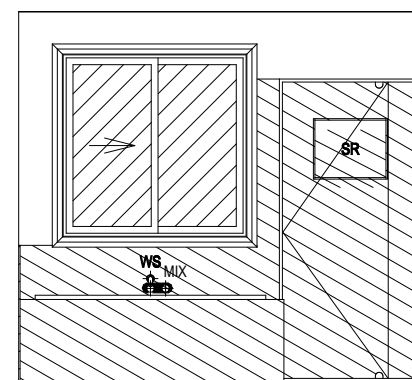
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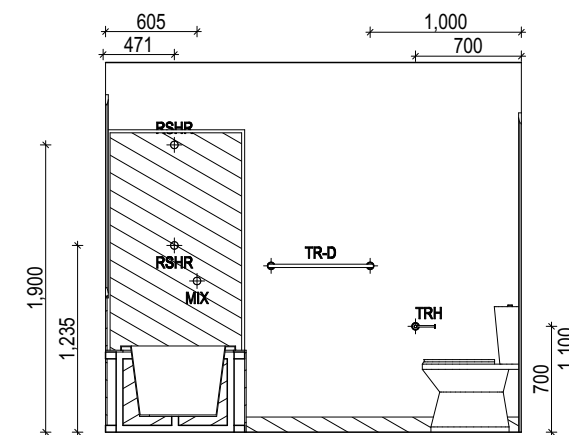
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 - GENERAL BUILDING INFORMATION

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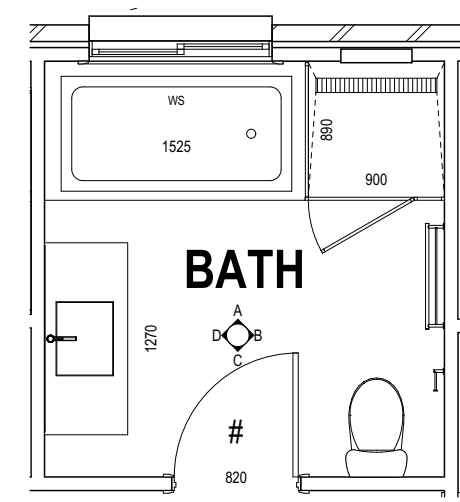
REFER TO THE FOLLOWING DETAILS:
 VANITY DETAILS G-VANI-001
 WINDOW OVER BATH HOB D-WIND-ALU001
 STANDARD BATH HOB D-WETA-BATH003
 WET AREA TILING LAYOUTS D-WETA-TILE002
 SQUARE SET WINDOWS G-WIND-SSET02
 FULL HEIGHT TILING D-LINI-WETA



ELEVATION A
Scale: 1:50



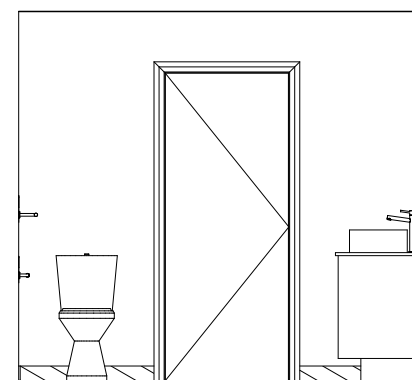
ELEVATION B
Scale: 1:50



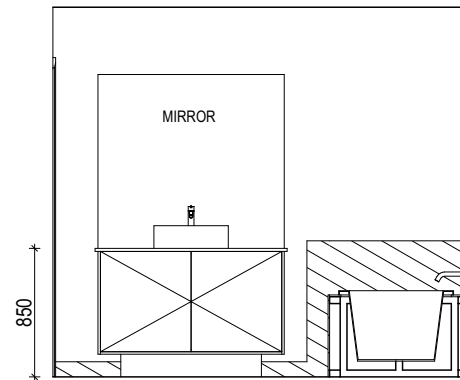
BATHROOM PLAN
Scale: 1:50

LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50

SHAMPOO RECESS SIZE	STRUCTURAL DIMENSIONS	
	WIDTH	HEIGHT
"SMALL"	470 x 380mm	446mm
"MEDIUM"	800 x 380mm	446mm
"LARGE"	1500 x 380mm	446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

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CLIENT:	PAMELA M INCE
ADDRESS:	CREESE DRIVE, RICHMOND TAS 7025
LOT / SECTION / CT:	COUNCIL:
11 / - / 186408	CLARENCE COUNCIL

HOUSE DESIGN:	GREENWICH
FACADE DESIGN:	CLASSIC
SHEET TITLE:	SHEET No.:
BATHROOM DETAILS	11 / 13

HOUSE CODE:	H-WDNGNW10SA
FACADE CODE:	F-WDNGNW10CLASA
SCALES:	1:50

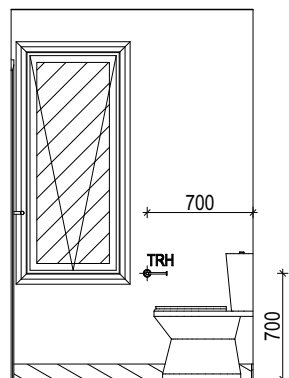
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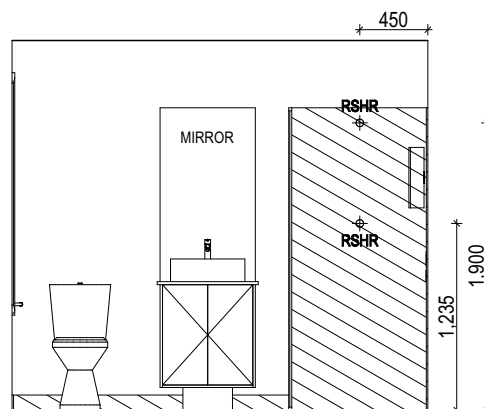
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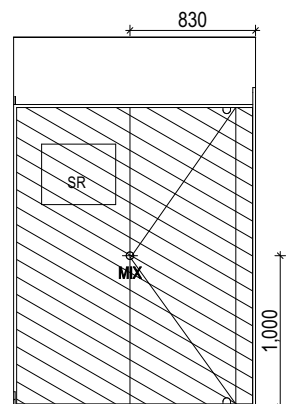
REFER TO THE FOLLOWING DETAILS:
 VANITY DETAILS G-VANI-001
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 STANDARD BATH HOB D-WETA-BATH003
 WET AREA TILING LAYOUTS D-WETA-TILE002
 SQUARE SET WINDOWS G-WIND-SSET02
 FULL HEIGHT TILING D-LINI-WETA



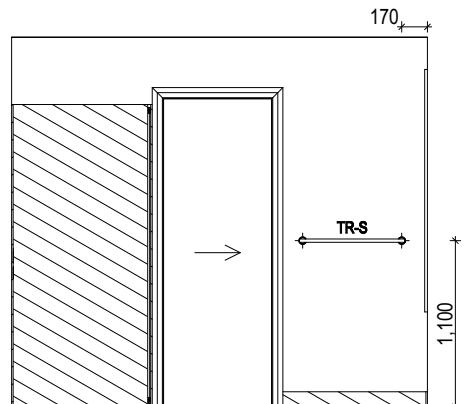
ELEVATION A
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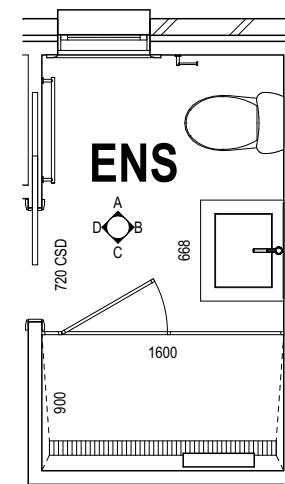
ELEVATION B
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50



ENSUITE PLAN
Scale: 1:50

LEGEND	
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
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TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
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TH	TOWEL HOLDER
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TMB	TUMBLER HOLDER
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SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

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CLARENCE COUNCIL

HOUSE DESIGN:
GREENWICH

FACADE DESIGN:
CLASSIC

SHEET TITLE:
ENSUITE DETAILS

HOUSE CODE:
H-WDNGNW10SA

FACADE CODE:
F-WDNGNW10CLASA

SHEET No.:
12 / 13

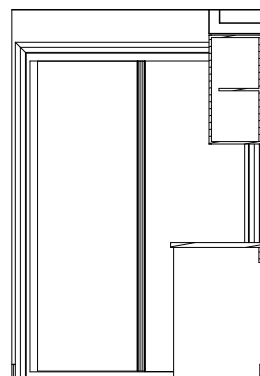
SCALES:
1:50

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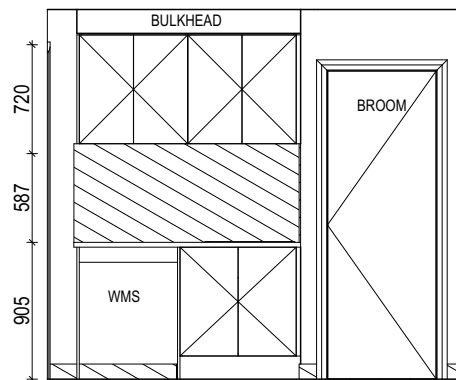
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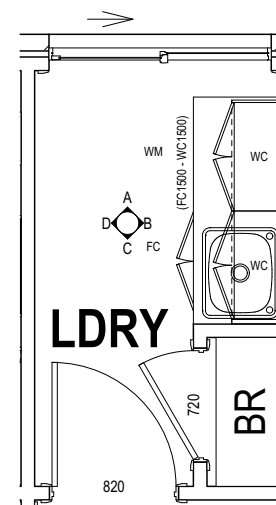
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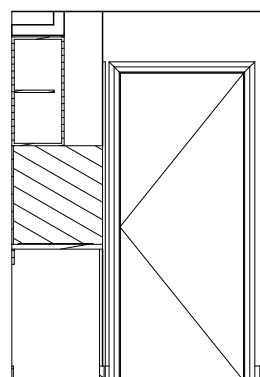
ELEVATION A
Scale: 1:50



ELEVATION B
Scale: 1:50



LAUNDRY PLAN
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50

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COUNCIL:	CLARENCE COUNCIL

HOUSE DESIGN:	GREENWICH
FACADE DESIGN:	CLASSIC
SHEET TITLE:	LAUNDRY DETAILS
SHEET No.:	13 / 13

HOUSE CODE:	H-WDNGNW10SA
FACADE CODE:	F-WDNGNW10CLASA
SCALES:	1:50

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