



DEVELOPMENT APPLICATION

PDPLANPMTD-2024/042480

PROPOSAL: Car Rental (Transport Depot and Distribution)
(Retrospective)

LOCATION: 16 Cherokee Drive, Cambridge

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 30 April 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 30 April 2024. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 30 April 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

CAR RENTAL OFFICE TRANSPORT DEPOT AND DISTRIBUTION

Location:

Address 16 CHEROKEE DRIVE
Suburb/Town CAMBRIDGE Postcode TAS 7170

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$ 600000

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Kieran - Planner

Current Use of Site:

VACANT SITE

LIGHT INDUSTRIAL ZONE

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No


Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

	20-02-2024
Signature.....	Date.....

PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

SEARCH OF TORRENS TITLE

VOLUME 185543	FOLIO 43
EDITION 1	DATE OF ISSUE 06-Sep-2023

SEARCH DATE : 08-Sep-2023

SEARCH TIME : 01.08 PM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 43 on Sealed Plan 185543
 Derivation : Part of 1654 Acres Gtd. to Robert Pitcairn and
 Thomas Young
 Prior CT 181813/100

SCHEDULE 1

D75225 TRANSFER to AIRPORT INDUSTRIAL PTY LTD Registered
 20-Feb-2013 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP185543 EASEMENTS in Schedule of Easements
 SP185543 COVENANTS in Schedule of Easements
 SP185543 FENCING PROVISION in Schedule of Easements
 SP164757, SP176911 & SP181813 COVENANTS in Schedule of
 Easements
 SP164757, SP176911 & SP181813 FENCING PROVISION in Schedule of
 Easements
 C686912 AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 02-Dec-2005 at noon
 E140424 MORTGAGE to Butler McIntyre Investments Ltd
 Registered 20-Jun-2018 at noon
 M975870 MORTGAGE to Butler McIntyre Investments Ltd
 Registered 18-Nov-2022 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER AIRPORT INDUSTRIAL PTY LTD

FOLIO REFERENCE C.T.181813/100

GRANTEE PART OF 1654 ACRES GTD TO ROBERT PITCAIRN AND THOMAS YOUNG

PLAN OF SURVEY

BY SURVEYOR ANDREW STEPHEN BIRCH
ROGERSON AND BIRCH SURVEYORS
UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK
PH 6248-5898 MOB. 0419-594-966

CITY OF CLARENCE

REGISTERED NUMBER

SP185543

APPROVED EFFECTIVE FROM - 6 SEP 2023

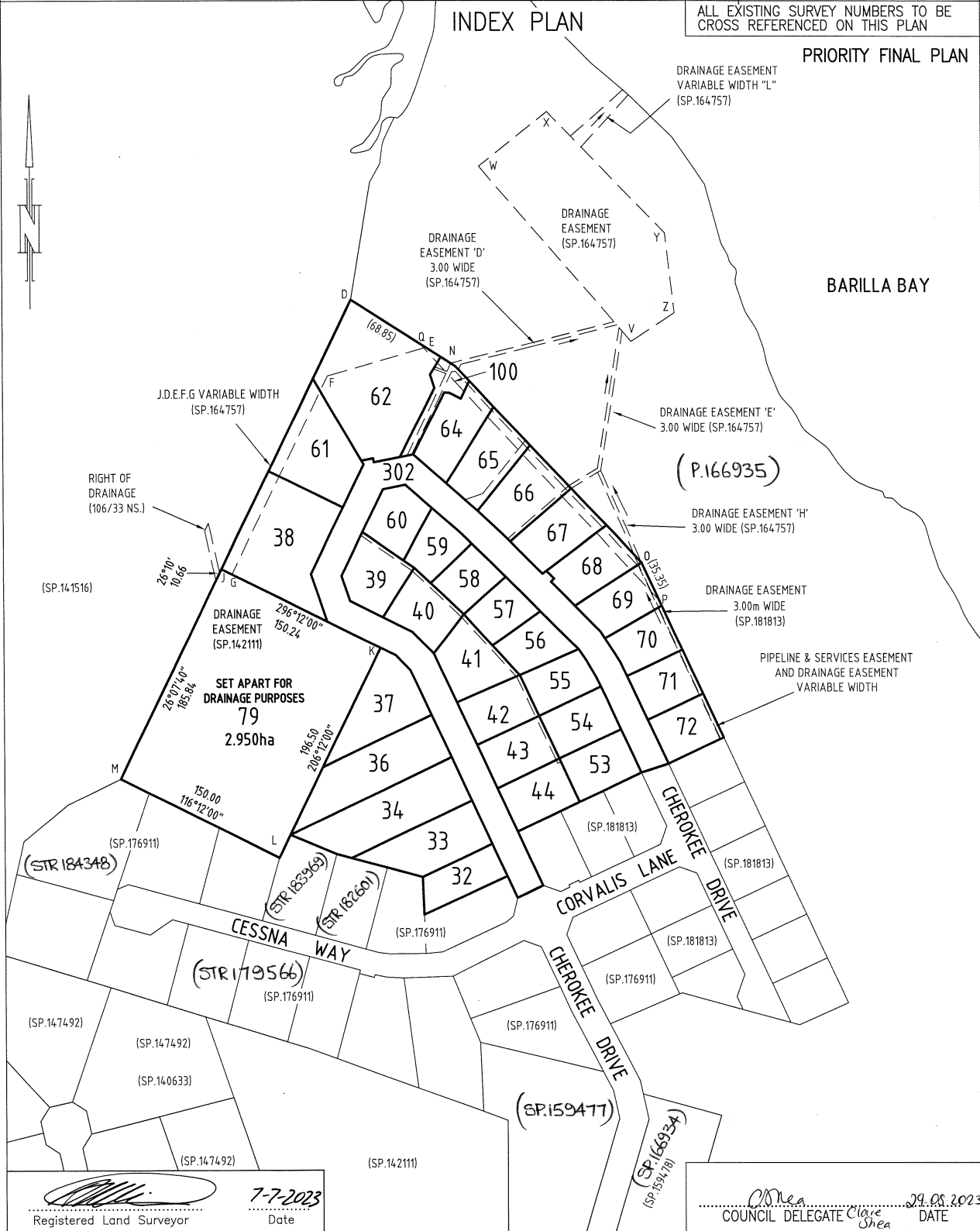
Andrew Birch
Recorder of Titles

SCALE 1: 3000 LENGTHS IN METRES

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

INDEX PLAN

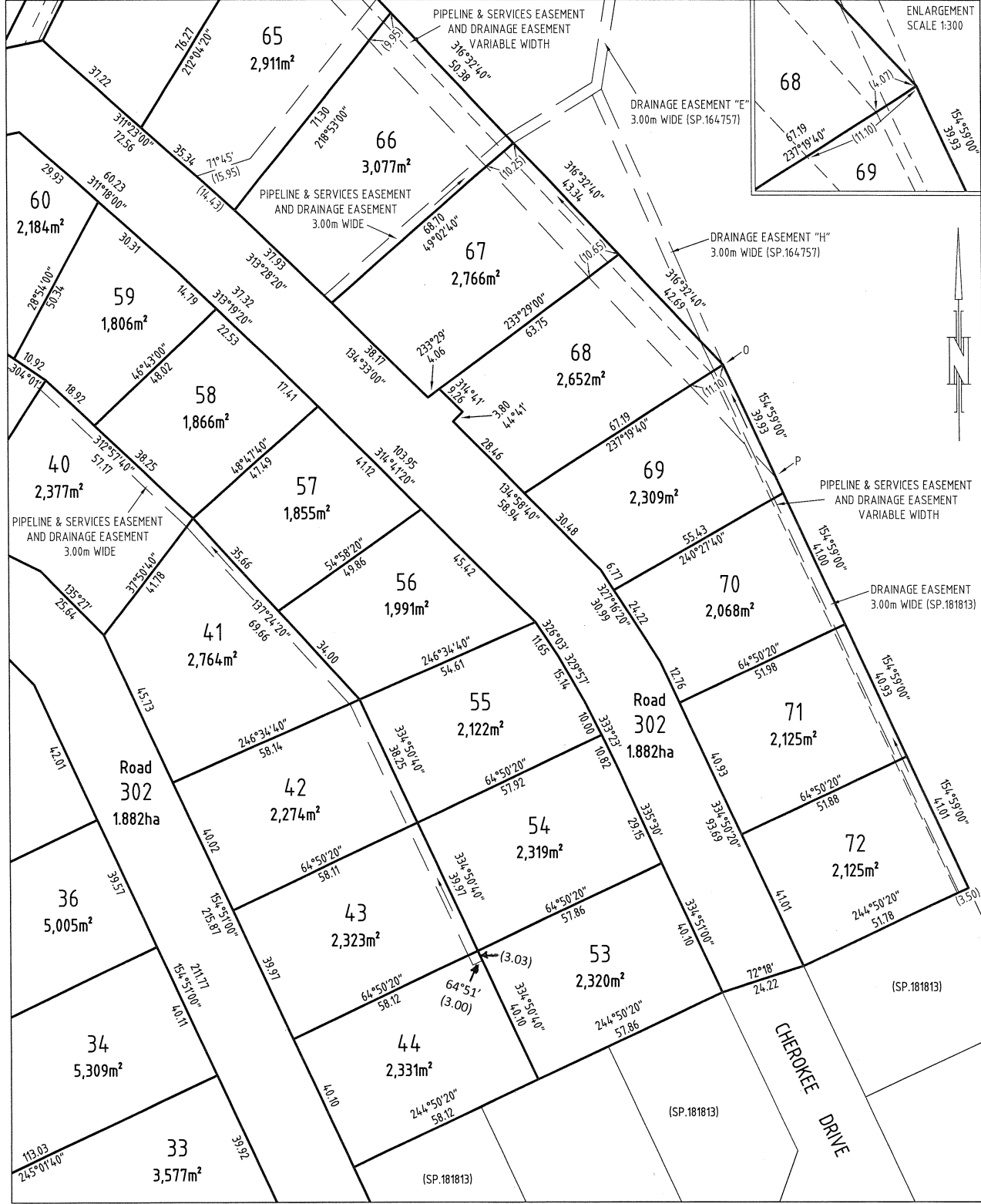
PRIORITY FINAL PLAN

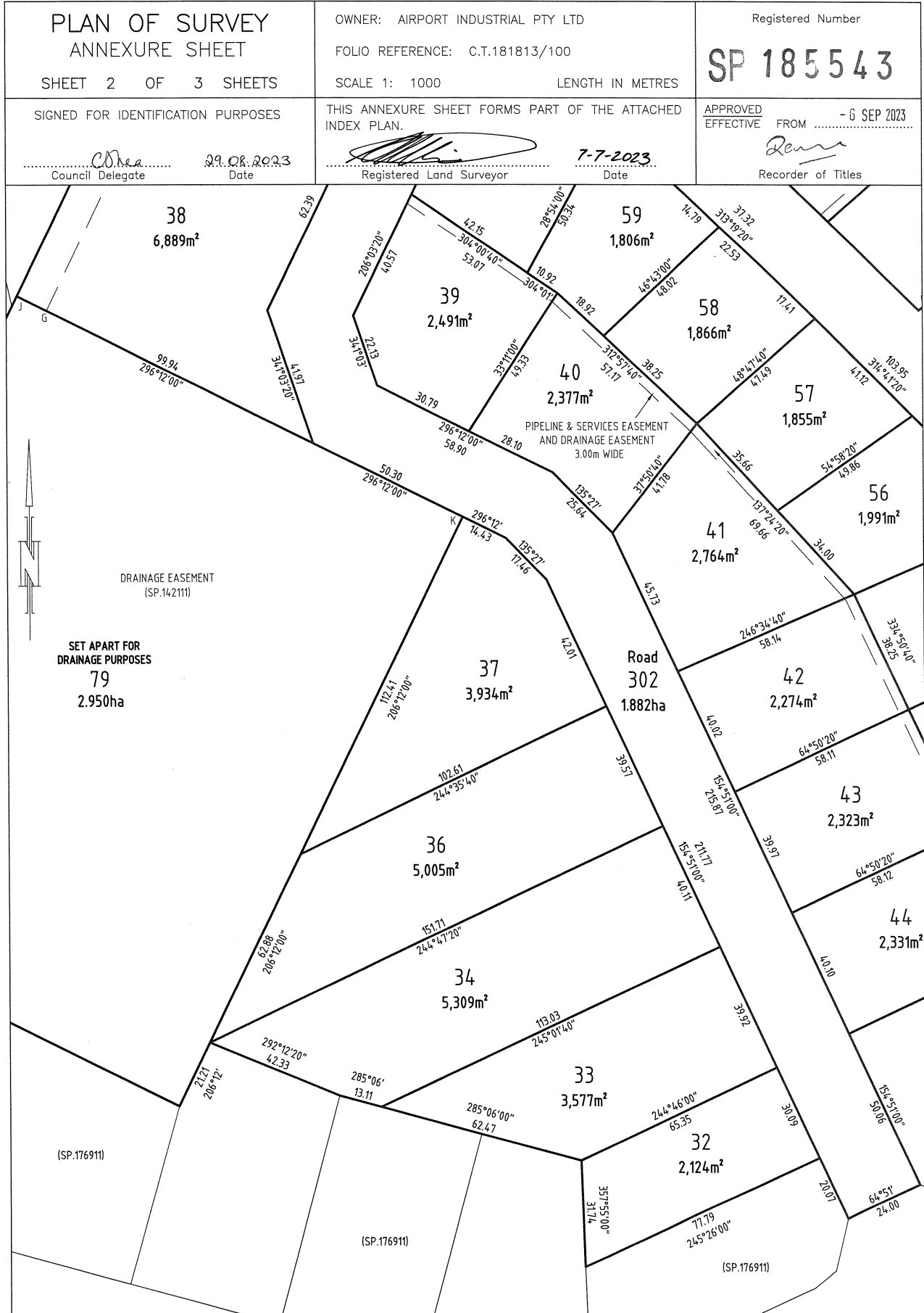


Andrew Birch
Registered Land Surveyor
7-7-2023
Date

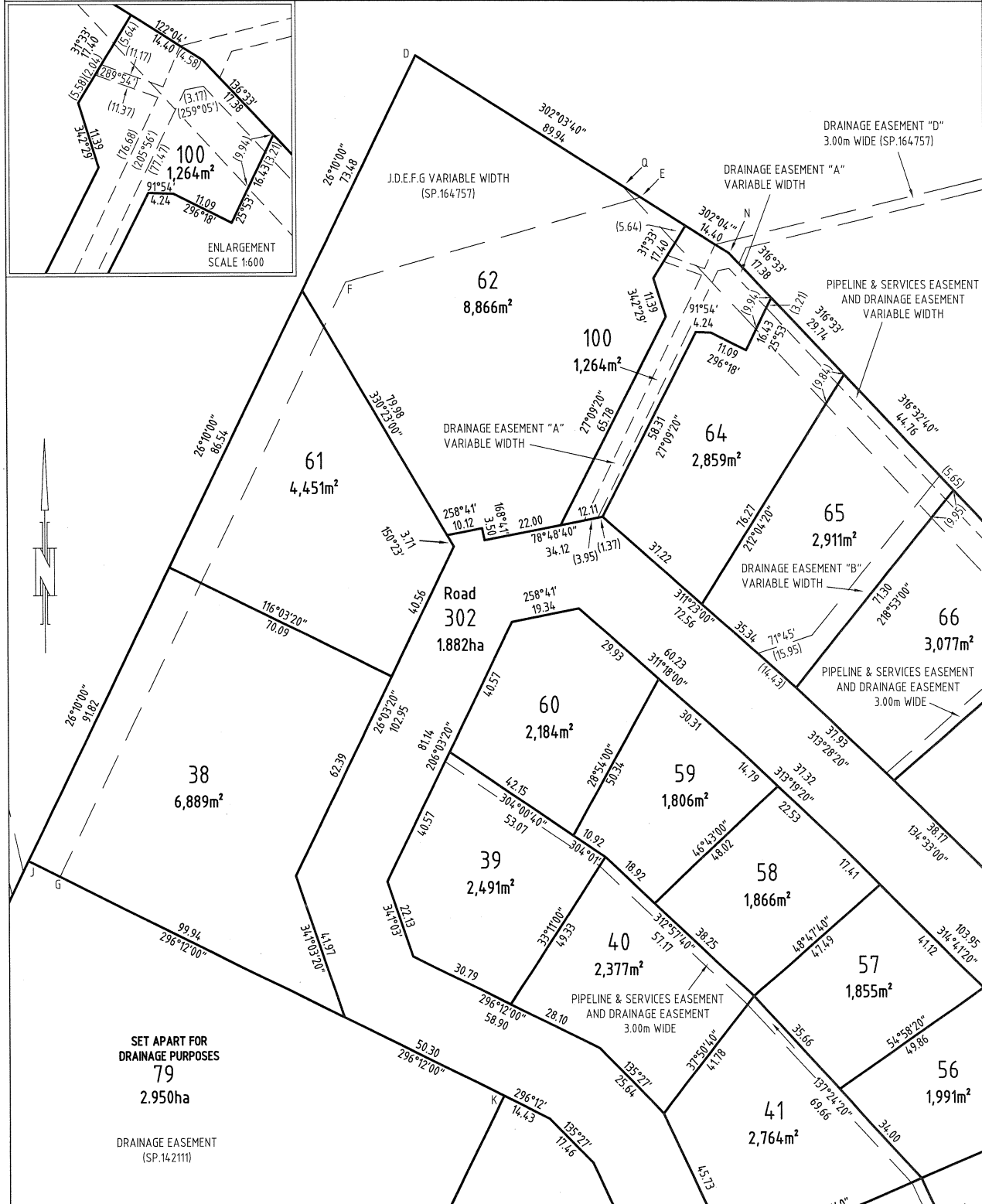
Clare Shea
COUNCIL DELEGATE
29.08.2023
DATE

<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 1 OF 3 SHEETS</p>	<p>OWNER: AIRPORT INDUSTRIAL PTY LTD</p> <p>FOLIO REFERENCE: C.T.181813/100</p> <p>SCALE 1: 1000 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 185543</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p>..... <i>CDrea</i> 29.08.2023 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p>..... <i>[Signature]</i> 7-7-2023 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM - 6 SEP 2023</p> <p>..... <i>[Signature]</i> Recorder of Titles</p>





<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 3 OF 3 SHEETS</p>	<p>OWNER: AIRPORT INDUSTRIAL PTY LTD</p> <p>FOLIO REFERENCE: C.T.181813/100</p> <p>SCALE 1: 1000 LENGTH IN METRES</p>	<p>Registered Number</p> <p>SP 185543</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>CMea</i> 29.08.2023 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.</p> <p><i>[Signature]</i> 7-7-2023 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM - 6 SEP 2023</p> <p><i>[Signature]</i> Recorder of Titles</p>



PROPERTY ID: 9992375
MUNICIPALITY: CLARENCE

PROPERTY ADDRESS: 107 KENNEDY DRIVE
 CAMBRIDGE TAS 7170

PROPERTY NAME:

TITLE OWNER: 185543/44 : AIRPORT INDUSTRIAL PTY LTD
 185543/53 : AIRPORT INDUSTRIAL PTY LTD
 185543/32 : AIRPORT INDUSTRIAL PTY LTD
 185543/33 : AIRPORT INDUSTRIAL PTY LTD
 185543/54 : AIRPORT INDUSTRIAL PTY LTD
 185543/34 : AIRPORT INDUSTRIAL PTY LTD
 185543/64 : AIRPORT INDUSTRIAL PTY LTD
 185543/62 : AIRPORT INDUSTRIAL PTY LTD
 185543/69 : AIRPORT INDUSTRIAL PTY LTD
 185543/70 : AIRPORT INDUSTRIAL PTY LTD
 185543/71 : AIRPORT INDUSTRIAL PTY LTD
 185543/55 : AIRPORT INDUSTRIAL PTY LTD
 185543/56 : AIRPORT INDUSTRIAL PTY LTD
 185543/57 : AIRPORT INDUSTRIAL PTY LTD
 185543/58 : AIRPORT INDUSTRIAL PTY LTD
 185543/59 : AIRPORT INDUSTRIAL PTY LTD
 185543/60 : AIRPORT INDUSTRIAL PTY LTD
 185543/61 : AIRPORT INDUSTRIAL PTY LTD
 185543/36 : AIRPORT INDUSTRIAL PTY LTD
 185543/37 : AIRPORT INDUSTRIAL PTY LTD
 185543/38 : AIRPORT INDUSTRIAL PTY LTD
 185543/39 : AIRPORT INDUSTRIAL PTY LTD
 185543/40 : AIRPORT INDUSTRIAL PTY LTD
 185543/41 : AIRPORT INDUSTRIAL PTY LTD
 185543/42 : AIRPORT INDUSTRIAL PTY LTD
 185543/43 : AIRPORT INDUSTRIAL PTY LTD
 185543/72 : AIRPORT INDUSTRIAL PTY LTD
 185543/79 : CLARENCE CITY COUNCIL
 185543/100 : TASMANIAN WATER & SEWERAGE CORPORATION PTY LTD
 185543/65 : AIRPORT INDUSTRIAL PTY LTD
 185543/66 : AIRPORT INDUSTRIAL PTY LTD
 185543/67 : AIRPORT INDUSTRIAL PTY LTD
 185543/68 : AIRPORT INDUSTRIAL PTY LTD

INTERESTED PARTIES: AIRPORT INDUSTRIAL PTY LTD

POSTAL ADDRESS: PO BOX 1054
 (Interested Parties) SANDY BAY TAS 7006

MAIN IMPROVEMENTS SUMMARY

Improvements: VACANT ENGLOBO INDUSTRIAL LAND

Improvement Sizes Improvement: Area:
 (Top 3 by Size):

Number of

No information obtained from the LIST may be used for direct marketing purposes.

Much of this data is derived from the Valuation Rolls maintained by the Valuer-General under the provisions of the Valuation of Land Act 2001. The values shown on this report are as at the Levels At date.

While all reasonable care has been taken in collecting and recording the information shown above, this Department assumes no liability resulting from any errors or omissions in this information or from its use in any way.

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Bedrooms:

**Construction Year
of Main Building:**

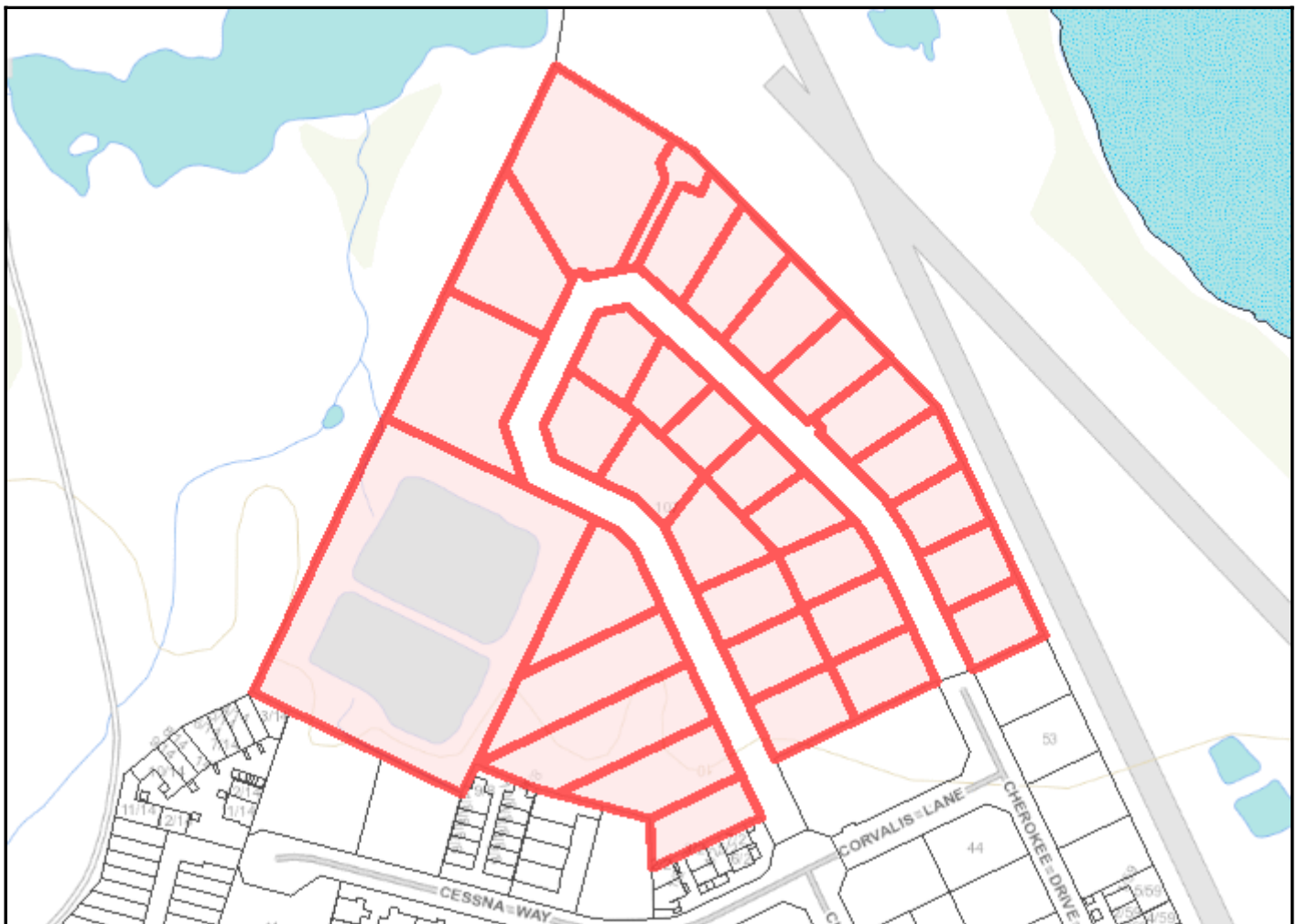
Roof Material:

Wall Material:

Land Area: 14.36 hectares

LAST VALUATIONS

Date Inspected	Levels At	Land	Capital	A.A.V.	Reason
03/08/2022	01/07/2018	\$1,400,000	\$1,400,000	\$56,000	RNJ - 2019/004421 NO WAREHOUSES CONSTRUCTED ON THIS PROPERTY, VALUES REMAIN
08/12/2021	01/07/2018	\$1,400,000	\$1,400,000	\$56,000	SPLIT FROM CANCELLED PID 9393859



Explanation of Terms

Property ID - A unique number used for Valuation purposes.

Date Inspected - The date the property was inspected for the valuation.

Levels At - Levels At - or Levels of Valuation Date means the date at which values of properties are determined for all valuations in a Municipal Area.

Land Value - Land Value is the value of the property including drainage, excavation, filling, reclamation, clearing and any other invisible improvements made to the land. It excludes all visible improvements such as buildings, structures, fixtures, roads, standings, dams, channels, artificially established trees and pastures and other like improvements.

Capital Value - Capital Value is the total value of the property (including the land value), excluding plant and machinery.

AAV - Assessed Annual Value. AAV is the gross annual rental value of the property excluding GST, municipal rates, land tax and fixed water and sewerage, but cannot be less than 4% of the capital value.

Interested Parties - This is a list of persons who have been recorded by the Valuer-General as having interest in the property (ie owner or Government agency).

Postal Address - This is the last advised postal address for the interested parties.

Multiple Tenancies - Properties that have multiple tenants are assessed for separate AAV's. e.g. a house and flat.

SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 185543

PAGE 1 OF 6 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Lots 39 to 44 (inclusive) ("the Lot") are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE** shown on the Plan ("the Easement Land").

Lots 39 to 44 (inclusive) on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE** on the Plan.

Lots 64 to 72 (inclusive) ("the Lot") are subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT VARIABLE WIDTH** shown on the Plan ("the Easement Land").

Lots 64 to 72 (inclusive) on the Plan ("the Lot") are subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT VARIABLE WIDTH** shown on the Plan ("the Easement Land").

Lot 100 on the Plan is subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT "A" VARIABLE WIDTH** on the Plan.

Lot 66 ("the Lot") is subject to a PIPELINE AND SERVICES EASEMENT (as defined herein) in gross in favour of TasWater over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE** shown on the Plan ("the Easement Land").

Lot 66 on the Plan is subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **PIPELINE & SERVICES EASEMENT AND DRAINAGE EASEMENT 3.00m WIDE** on the Plan.

Lot 65 on the Plan is subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT "B" VARIABLE WIDTH** on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Airport Industrial Pty Ltd FOLIO REF: CT 181813-100 SOLICITOR & REFERENCE: Page Seager (DAS 120166)	PLAN SEALED BY: Clarence City Council DATE: 29 th August 2023 REF NO. SD-2008/95
..... Council Delegate <i>C. Shea</i>	
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 185543</p>
<p>SUBDIVIDER: Airport Industrial Pty Ltd</p> <p>FOLIO REFERENCE: CT 181813-100</p>	

Lots 68 to 72 (inclusive) on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked **DRAINAGE EASEMENT 3.00m WIDE (SP.181813)** on the Plan.

Each lot on the Plan is together with the right to construct and maintain upon the piece of land marked Right of Drainage on P159487 a drain for the purpose of draining storm and surface water from the said lots and also the right at all times hereafter to enter into and upon the said land for the purpose of cleansing and repairing the said drain and as shown on the Plan as **RIGHT OF DRAINAGE (106/33 NS.)**.

Each lot on the Plan is together with a right of drainage over the land marked **DRAINAGE EASEMENT 'D' 3.00 WIDE (SP.164757)** on the Plan.

Each lot on the Plan is together with a right of drainage over the land marked **DRAINAGE EASEMENT 'E' 3.00 WIDE (SP.164757)** on the Plan.

Each lot on the Plan is together with a right of drainage over the land marked **DRAINAGE EASEMENT 'H' 3.00 WIDE (SP.164757)** on the Plan.

Each lot on the Plan is together with a right of drainage over the land marked **DRAINAGE EASEMENT VARIABLE WIDTH "L" (SP.164757)** on the Plan.

Each lot on the Plan is together with a right of drainage over the **DRAINAGE EASEMENT (SP.164757) "VWXYZ"** on the Plan.

Lot 79 on the Plan is subject to a right of drainage appurtenant to Lot 2 on Sealed Plan 142111 over the land marked **DRAINAGE EASEMENT (SP.142111) "JKLM"** on the Plan.

COVENANTS

The owners of each lot on the Plan covenant with the Vendor (Airport Industrial Pty Ltd (ACN 159 442 234)) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of this covenant may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

- 1) Not to develop any such lot for any use which is inconsistent with airport activity and which results in the attraction of birds or vermin.
- 2) Not to permit the external surfaces of any building or structure to be finished with external materials other than non-glare external colours and finishes.
- 3) Not to permit any external lighting for any development on any of the lots unless it is shielded to prevent upward illuminations,

The owners of lots 62, 64, 65, 66, 67, 68, 69 and 100 on the Plan covenant with the Vendor (Airport Industrial Pty Ltd (ACN 159 442 234)) and the owners for the time being of every other lot shown on the Plan to the intent that the



 Director Director/Secretary

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 185543</p>
<p>SUBDIVIDER: Airport Industrial Pty Ltd</p> <p>FOLIO REFERENCE: CT 181813-100</p>	

burden of this covenant may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

- 1) Not to erect or cause to ~~the~~^{be} erected or place any building or structure which exceeds a height of 8 metres above natural ground level within the area marked "NOPQ" on the Plan.

The owners of lots 38, 61 and 62 on the Plan covenant with the Vendor (Airport Industrial Pty Ltd (ACN 159 442 234)) and the owners for the time being of every other lot shown on the Plan to the intent that the burden of this covenant may run with and bind the covenantors' lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the Plan to observe the following stipulations:-

- 1) Not to develop any part of their lot within the area marked "J.D.E.F.G VARIABLE WIDTH (SP.164757)" on the Plan other than by way of driveway and services access and landscaping.

FENCING PROVISION

In respect of the Lots shown on the plan the Vendor (Airport Industrial Pty Ltd (ACN 159 442 234)) shall not be required to fence.

DEFINITIONS


In this Schedule of Easements, the following terms have the meanings ascribed to them below:

Drainage Easement means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.


"Pipeline and Services Easement" is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;



Director



Director/Secretary

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 185543</p>
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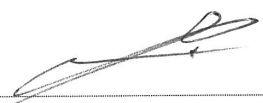
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.


SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

“**Infrastructure**” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;


Director


Director/Secretary

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 5 OF 6 PAGES</p>	<p>Registered Number</p> <p>SP 185543</p>
<p>SUBDIVIDER: Airport Industrial Pty Ltd</p> <p>FOLIO REFERENCE: CT 181813-100</p>	

- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

“**TasWater**” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.



Director



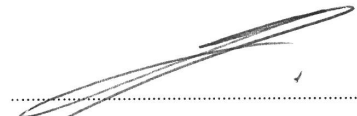
Director/Secretary

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 6 OF 10 PAGES</p>	<p>Registered Number</p> <p>SP 185543</p>
<p>SUBDIVIDER: Airport Industrial Pty Ltd FOLIO REFERENCE: CT 181813-100</p>	

EXECUTED by **AIRPORT INDUSTRIAL PTY LTD**)
 (ACN 159 442 234) as registered proprietor of the land)
 comprised in Folio of the Register Volume 181813)
 Folio 100 pursuant to section 127 of the *Corporations Act*)
 2001 (Cth) by:)



.....
 Director Signature

RONALD AULBEN BROOKS

Director Full Name (print)



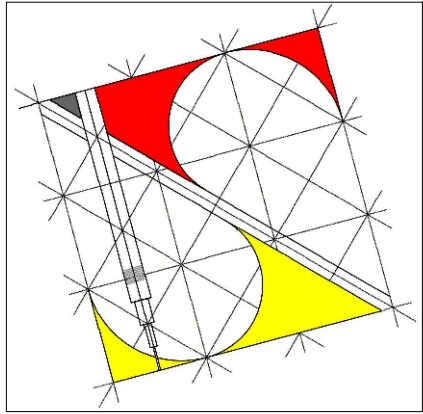
.....

Director/Secretary Signature

PAUL ROBERT BROOKS

Director/Secretary Full Name (print)

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing. D



Urban Space Designers
Building Design and Drafting

DEVELOPMENT APPLICATION

Rev.no: 1

Date: 20th March, 2024

PROPOSED CAR RENTAL OFFICE

AT

16 CHEROKEE DRIVE, CAMBRIDGE, TAS 7170

16 Cherokee Drive, Cambridge, 7170

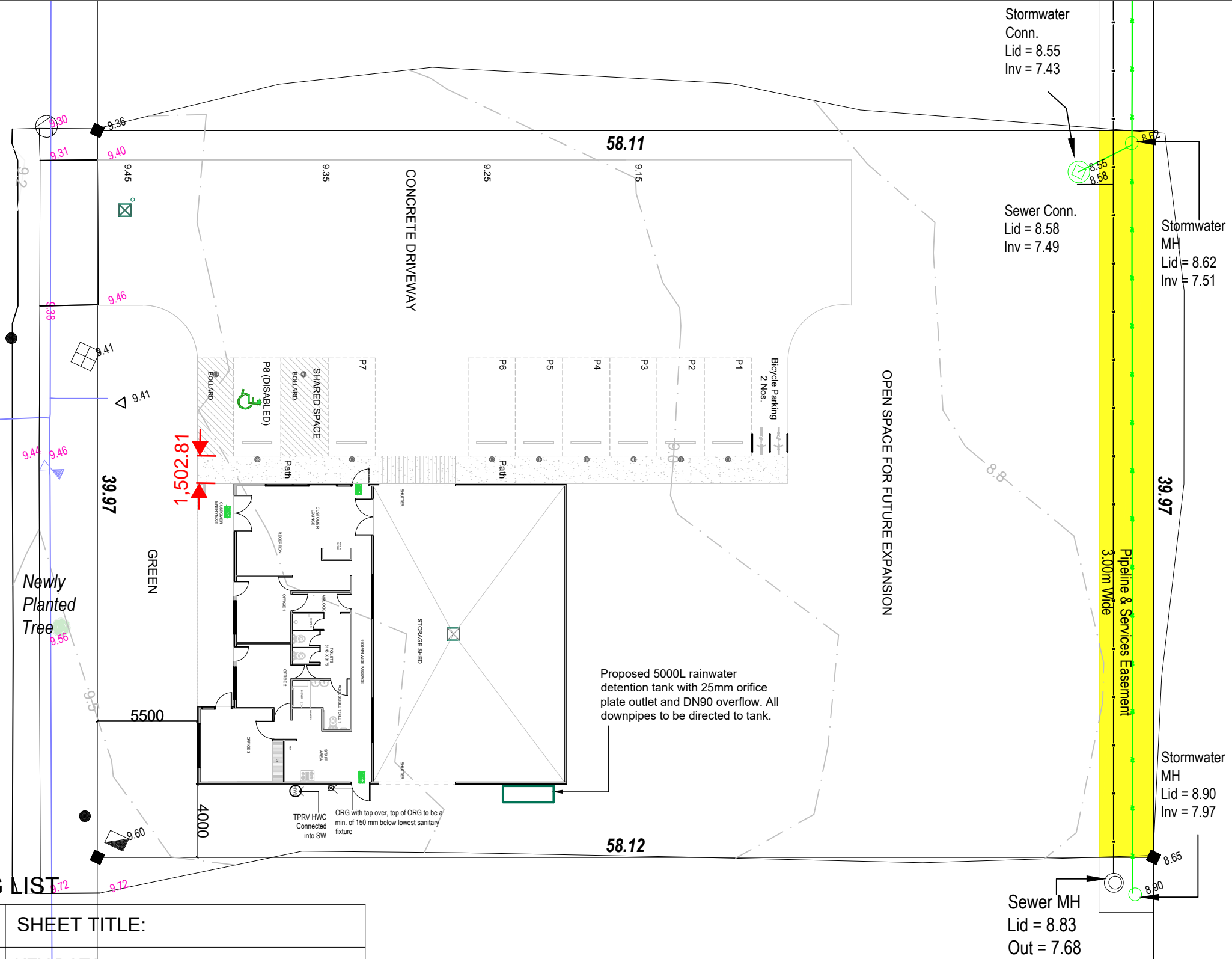
KEY PROJECT STATISTICS & DATA

TITLE EDITION:	2
DATE OF ISSUE:	27 - November - 2023
FOLIO:	43
VOLUME:	185543
BUILDING CLASSIFICATION:	5,7B
CLIMATE ZONE:	7
ZONE:	Light Industrial
USE CLASS: PERMITTED:	Transport Depot & Dist.
CORROSION ENVIRONMENT:	Moderate
LOT AREA:	2323sqm
BUILT UP AREA:	337.50sqm (A+B+C)
A. OFFICE:	136.50sqm
B. SHED AREA:	176.50sqm
C. PORTICO:	24.50sqm
PARKING PROPOSED:	8 Cars (7 +1 Disabled)
	2 Nos. Bicycle

DEVELOPMENT SUMMARY		
SNO.	ITEM DESCRIPTION	AREA SQM.
	LOT AREA	2323
	BUILT UP AREA	538.50
1	IMPERVIOUS SURFACE	
	GROUND COVER (OFFICE +PORTICO + SHED)	538.50
	CONCRETE DRIVEWAY, PARKING BAYS & PATH	694.80
	PERCENTAGE %	53.09
2	PERVIOUS SURFACE	
	GREEN AREA	1089.70
	TOTAL PERVIOUS SURFACE	1089.70
	PERCENTAGE %	46.91

SHEET NO	SHEET TITLE:
A-01	KEY DATA
A-02	SITE PLAN
A-03	DIMENSION PLAN
A-04	ELEVATIONS
A-05	ROOF PLAN
A-06	SERVICE PLAN
A-07	LANDSCAPING PLAN

CHEROKEE DRIVE



SITE PLAN

Urban Space Designers
Building Design and Drafting

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Project Name: CAR RENTAL OFFICE (TRANSPORT DEPOT AND DISTRIBUTION)
Project Address: 16 CHEROKEE DRIVE, CAMBRIDGE TAS - 7170

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DEVELOPMENT APPLICATION

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Drawing Title: **SITE PLAN**

Scale: 1:250 @ A3 Date: 15.01.2024

Ref. No. :16CD/Arch/ 15012024 Drawn by: GK

Drawing No. : **A01** Revision No. : **R1**

20/03/2024

Heights of rooms & other spaces F5D2 of NCC VOL I 2022

The height of rooms and other spaces in a Class 5, 6, 7 or 8 building must be not less than -

- (a) for a bathroom, shower room, sanitary compartment, other than an accessible adult change facility, airlock, tea preparation room, pantry, storeroom, garage, car parking area, or the like - 2.1 m; and
- (b) for a commercial kitchen - 2.4 m; and
- (c) above a stairway, ramp, landing or the like - 2m measured vertically above the nosing line of stairway treads or the floor surface of the ramp, landing or the like; and for a required accessible adult change facility - 2.4m.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II

Artificial Lighting

Artificial lighting must be provided -

- (a) in required stairways, passageways, and ramps; and
- (b) if natural light of a standard equivalent to that required by F6D3 is not available, and the periods of occupation or use of the room or space will create undue hazard to occupants seeking egress in an emergency,
- (c) in- Class 3,5,6,7,8 and 9 buildings - to all rooms that are frequently occupied, all spaces

required to be accessible, all corridors, lobbies, internal stairways, other circulation spaces and paths of egress.

The artificial lighting system must comply with AS/NZS1680.0.

Tactile ground surface indicators (TGSIs) to warn people of hazards shall be in accordance with AS/NZS1428.4.1.

Doorway identification (Clause 10.1) - AS1428.1:2021

All doorways shall have a minimum luminance contrast of 30% provided between -

- (a) door leaf and door jamb; or
- (b) door leaf and adjacent wall; or
- (c) architrave and wall; or
- (d) door leaf and architrave; or
- (e) door jamb and adjacent wall

The minimum width of the area of luminance shall be 50mm.

Where it is necessary to achieve sufficient contrast between building elements, this can usually be achieved by using very dark or very light materials.

Continuous accessible paths of travel (Clause 3.1) - AS1428.1:2021

Unless otherwise specified (such as at doors, curved ramps and similar), the minimum unobstructed width of a continuous accessible path of travel shall be 1000mm and the following shall not intrude into the minimum unobstructed width of a continuous accessible path of travel:

- (a) Fixtures and fittings such as lights, awnings, windows that, when open, intrude into the circulation space, telephones, skirtings and similar objects.
- (b) Essential fixtures and fittings such as fire hose reels, fire extinguishers and switchboards.
- (c) Door handles less than 900mm above the finished floor level.

Stair Construction

Stairs must comply with-

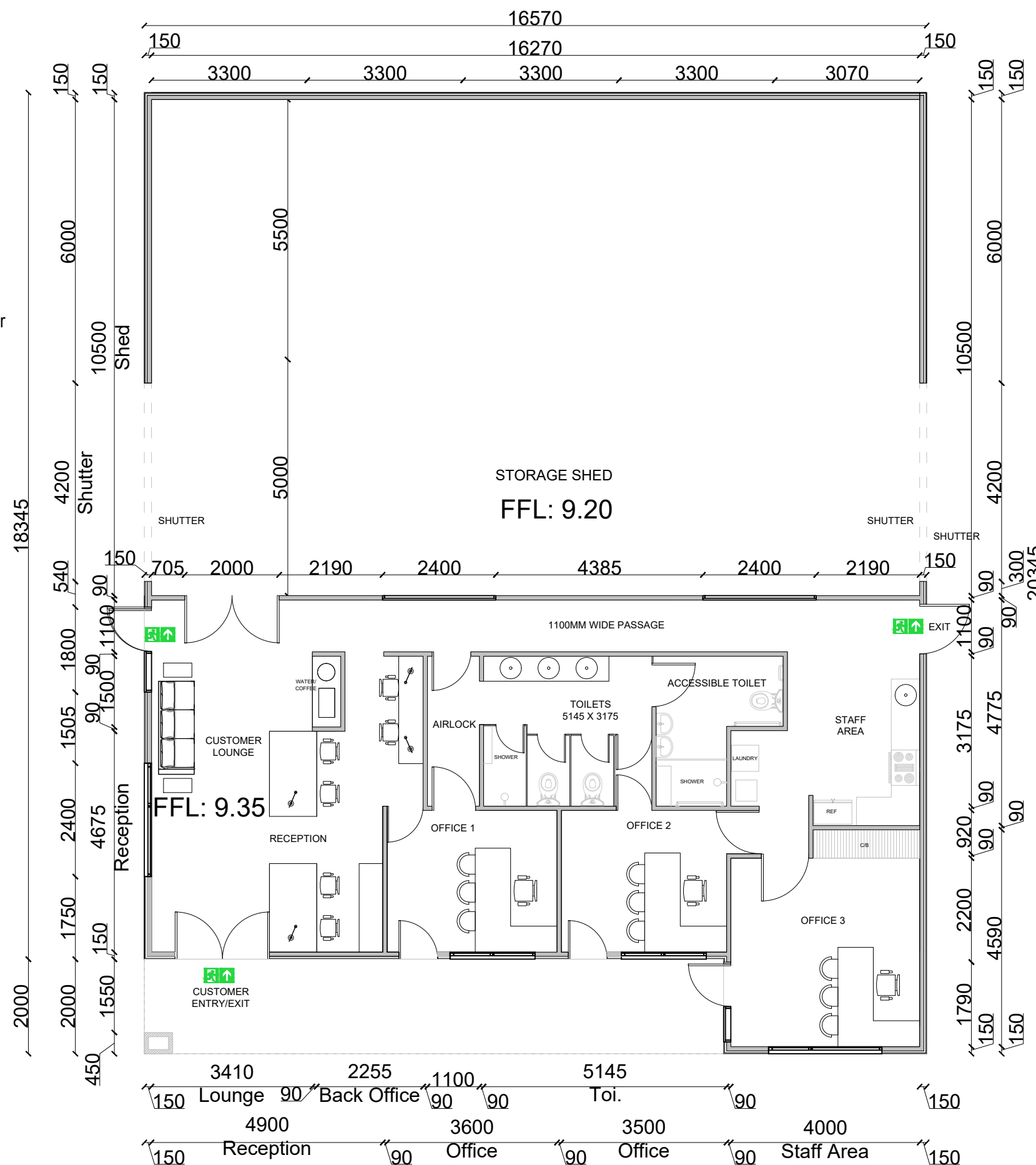
- clause 8.1 of AS1428.1 : 2021, including the notes; and
- clause 8.2 of AS1428.1 : 2021

Stair Risers : Min /Max = 115mm /190mm

Public Stair Goings: Min /Max = 250mm /355mm

Quantity Calculation Required ((2 x Riser)+Goings): Min /Max = 550mm /700mm

Minimum of 2 risers and maximum of 18 in a flight; Not permit a 125mm sphere to pass through between treads; Solid construction (i.e. not perforated) if more than 10m high or more than 3 storeys; No winders (except internally of a residential apartment);



LAYOUT PLAN

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DEVELOPMENT APPLICATION

ARCHITECTURE DRAWINGS

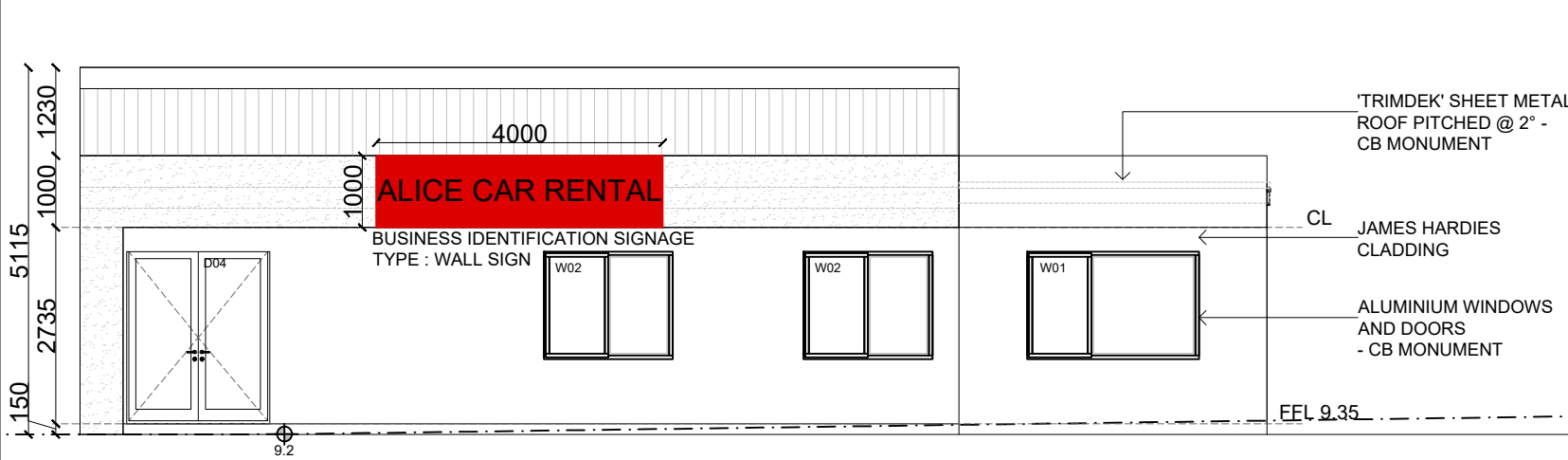
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Drawing Title: DIMENSION PLAN

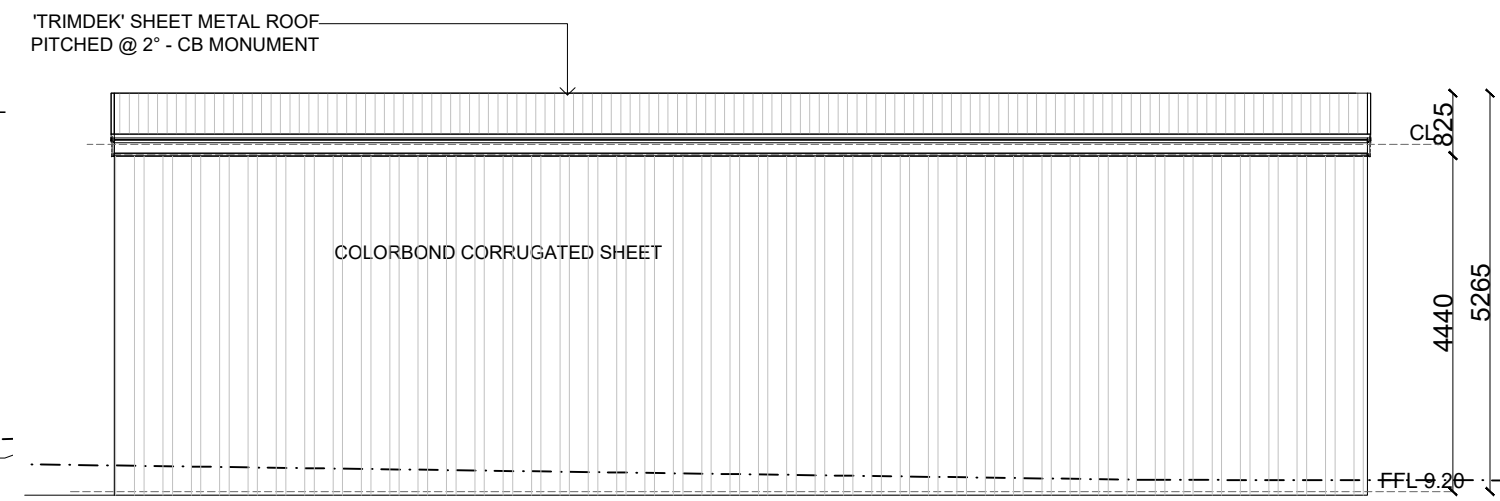
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Ref. No.: :16CD/Arch/ 15012024 **Drawn by:** GK

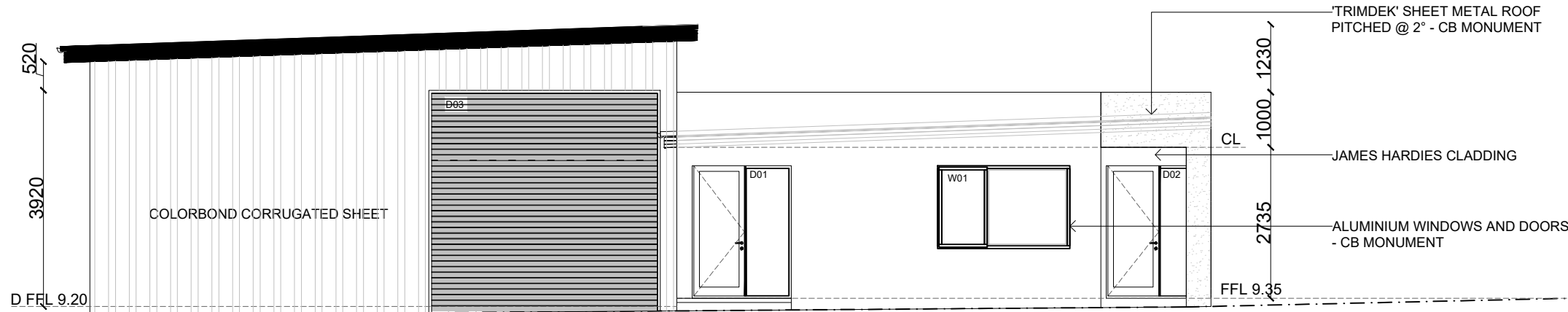
Drawing No.: **A03** **Revision No.:** **R1**
20/03/2024



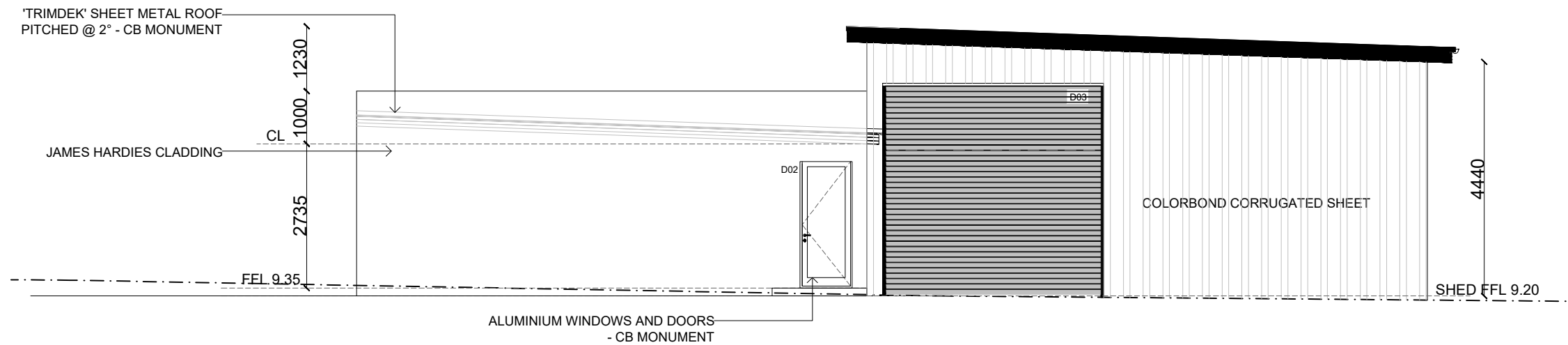
WEST ELEVATION



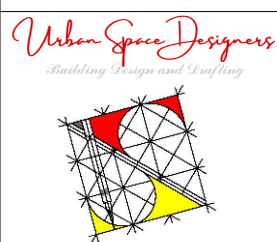
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



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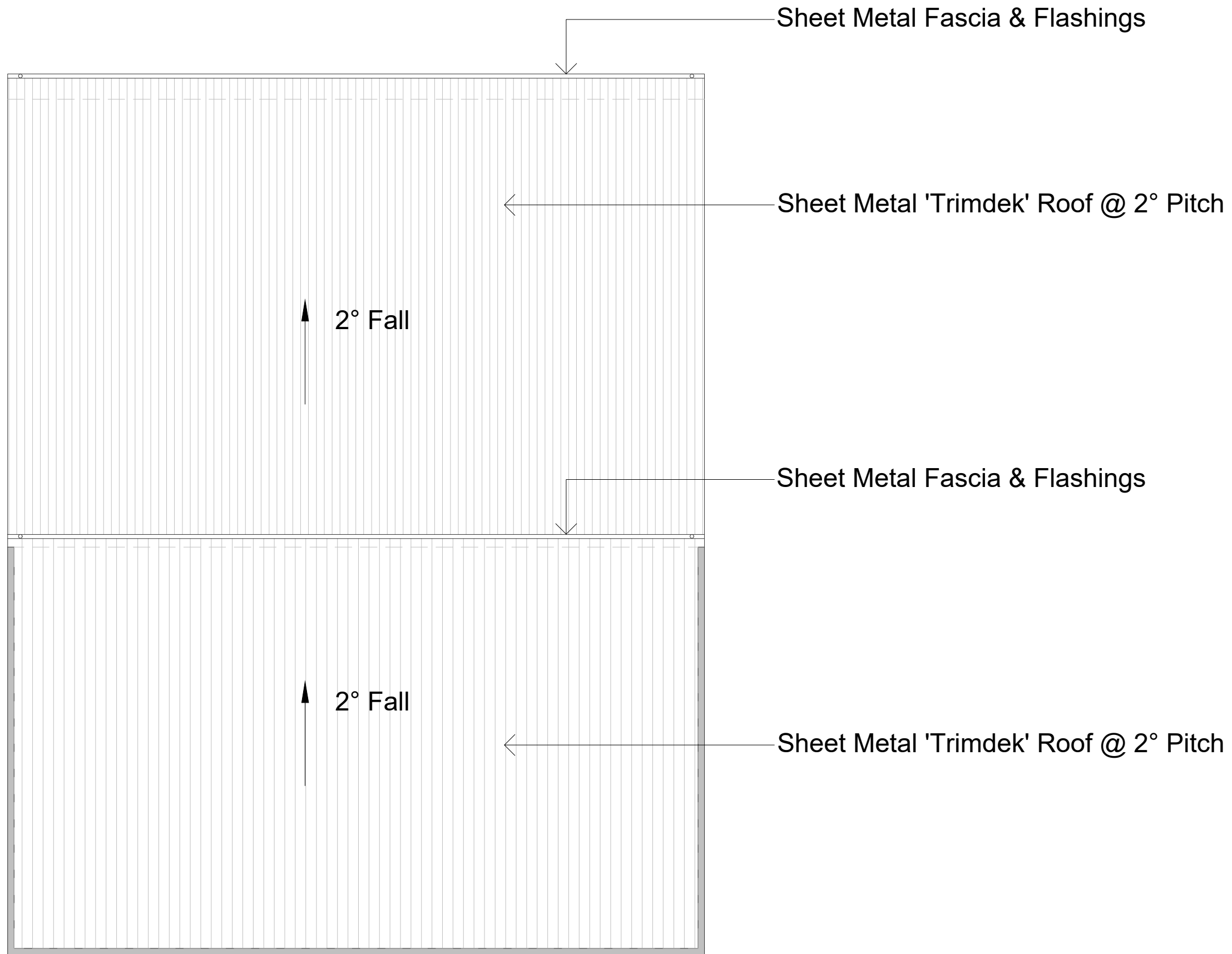
Drawing Title: **ELEVATIONS**

Scale: 1:100 @ A3 Date: 15.01.2024

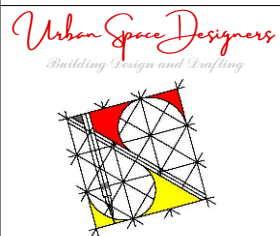
Ref. No. :16CD/Arch/ 15012024 Drawn by: GK

Drawing No. : **A04** Revision No. : **R1**

A04 **R1**
20/03/2024



ROOF PLAN



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DEVELOPMENT APPLICATION

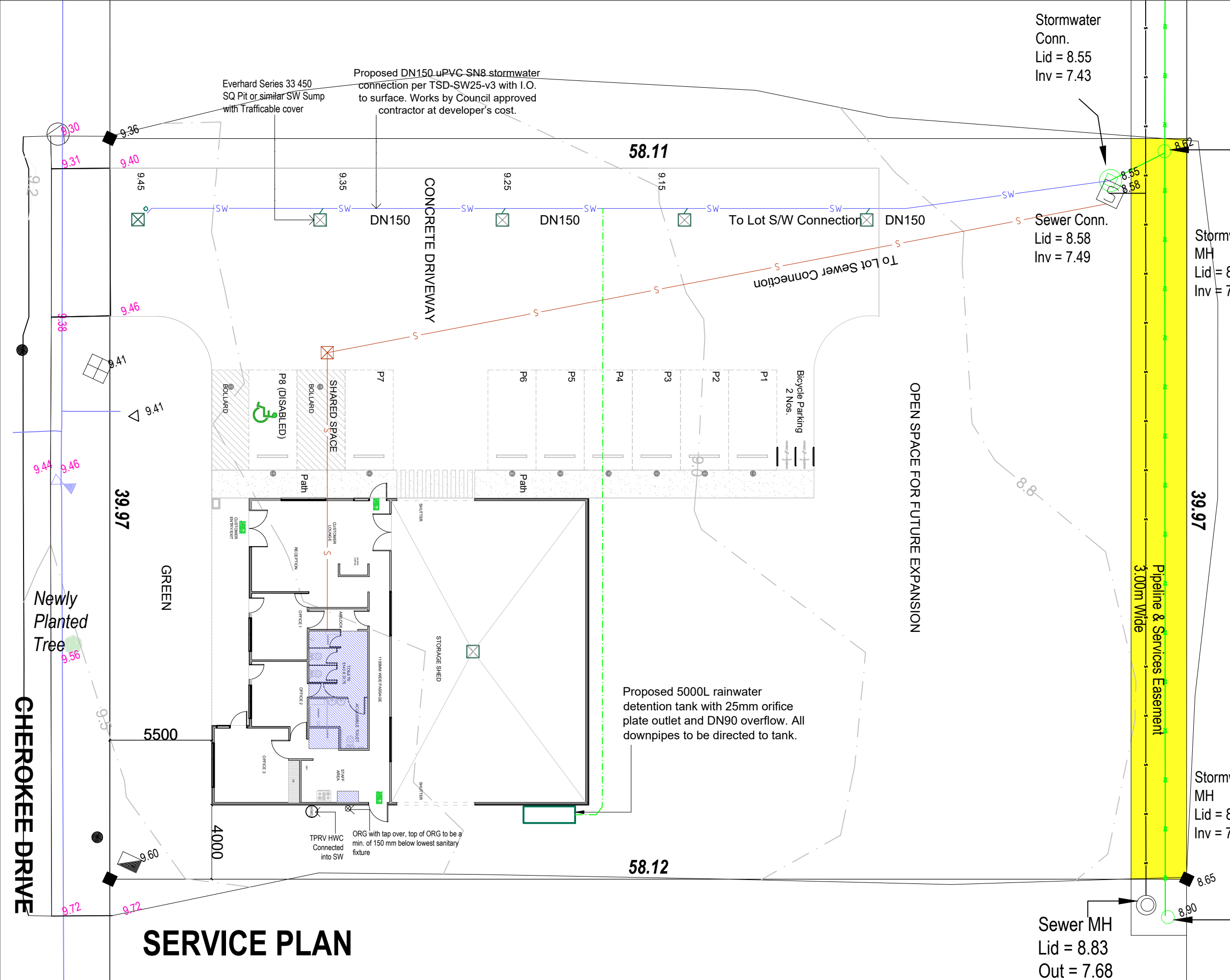
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Drawing Title: ROOF PLAN	
Scale: 1:100 @ A3	Date: 15.01.2024
Ref. No. : 16CD/Arch/ 15012024	Drawn by: GK
Drawing No. : A05	Revision No. : R1 20/03/2024



- ### General Notes
1. Remove all topsoil and organic matter from beneath concrete driveway areas and provide 100mm deep compacted F C R basecourse layer.
 2. Concrete strength shall be 32mpa min.
 3. Provide control joints at 6.0m centres.
 4. Compact concrete using mechanical vibrators.
 5. Cure all exposed concrete surfaces by keeping moist for 7 days. i.e cover with plastic sheets.
 6. Connect new service connections into existing. Liaise with council's plumbing surveyor for location of existing connections.
 7. All new and/or altered service connections shall be undertaken by council at the developer's expense.
 8. Provide 100Ø agricultural drains at base of cut and connect to stormwater at lowest point.
 9. Driveway to be min 100mm thick 32 mpa concrete with s182 @ 40mm cover over 100mm compacted F C R. Provide deep tooled joints or sawcut joints @ max. 4m crs.
 10. Driveway to be sloped to integrated kerb and gutter system on low side of driveway.
 11. Rain water pipes to be P V C or Colorbond finish metal.
 12. Driveway sawcuts to be installed at approx. 4 m centres with expansion joints at 8 - 12m centres .

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 Volume 1. Surface water, resulting from a storm having an annual exceedance probability of 1%, must not enter the building.

- ### Subsoil Drainage
- To comply with AS2870, AS3500 & N.C.C 2022 3.3.4. Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building , the subsoil drain must-
- (a) be graded with a uniform fall of not less than 1:300; and
 - (b) discharge into an external silt pit or sump with -
 - (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

- Limitations:
- Stormwater F1P2 does not apply to-
- (a) a Class 7 or 8 building where in the particular case there is no necessity for compliance; or
 - (b) a garage, tool shed, sanitary compartment, or the like, forming part of a building used for other purposes; or an open spectator stand or open-deck carpark.

Note
All driveway pits and grate drains to be **Class B**.
Stormwater pits are indicative. Location may vary depending on site conditions.

SERVICE PLAN

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Drawing Title: SERVICE PLAN

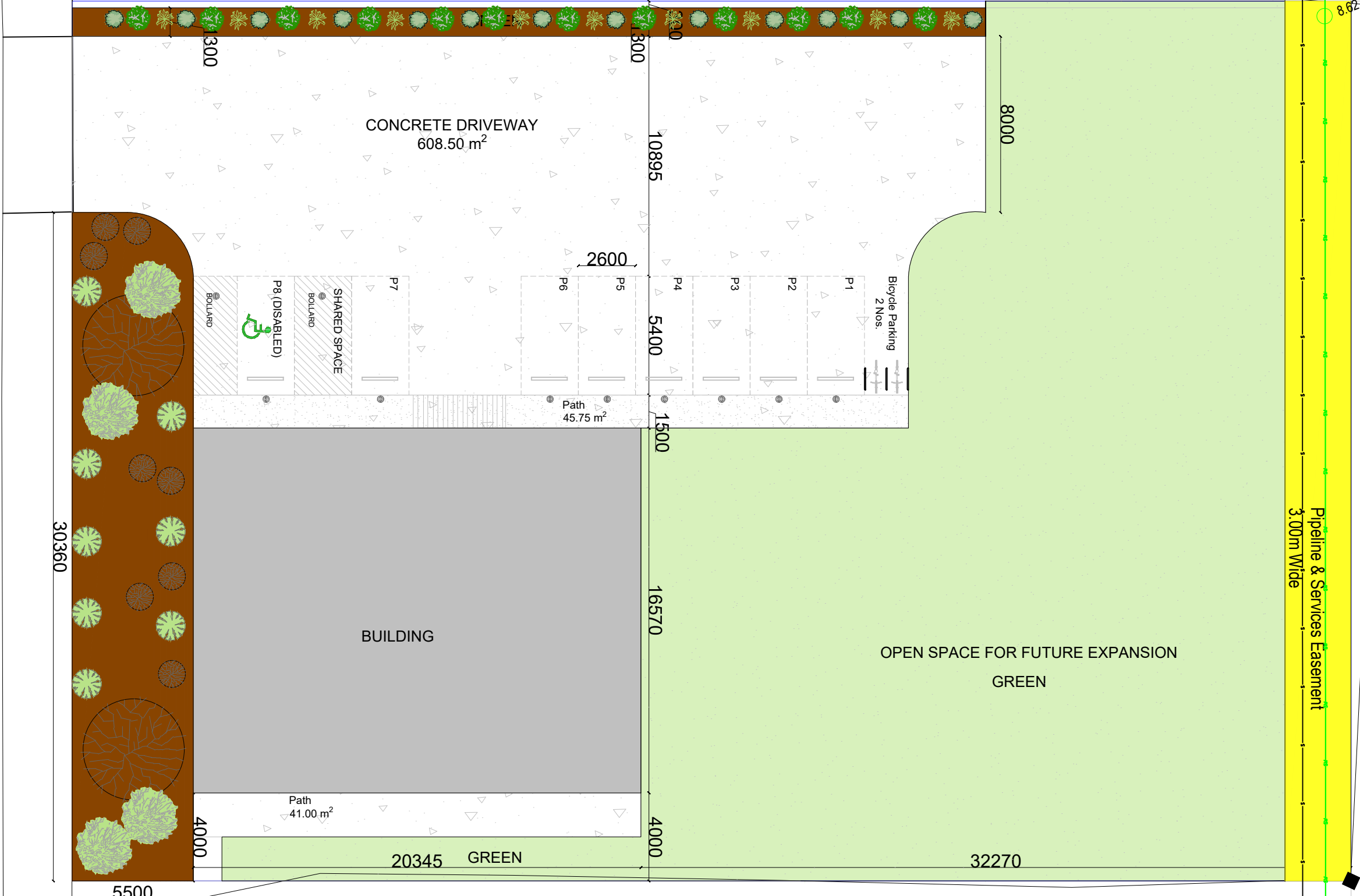
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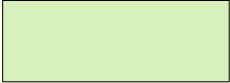

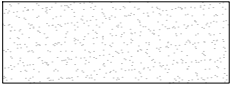


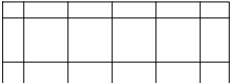
Ref. No.: :16CD/Arch/ 15012024 **Drawn by:** GK

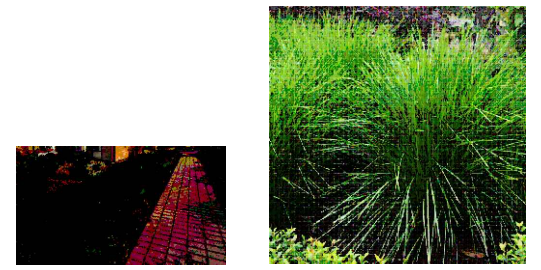
Drawing No.: **A06** **Revision No.:** **R1**

20/03/2024

CHEROKEE DRIVE



-  - Seeded Lawn
-  - Mulched Garden Bed
-  - Gravel Area - Fine
-  - Decorative Pebble
-  - Water
-  - Paving



Lomandra Tanika

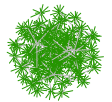


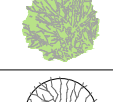

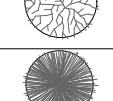
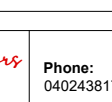
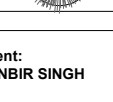


Anigozanthos Manglesii



Leucophyta Brownii

LEGEND

Plant Symbol	Plant Species	Color	Height	Notes	Symbol	Size
	Lomandra Tanika	Refer Image	900 +/-	All Planting Beds to be 100mm min. Midnight Black Pine Bark		Callistemon pallidus 2m Height , 2m spread
	Anigozanthos Manglesii	Refer Image	900 +/-			Correa alba 1.5m Height , 1.5m spread
	Leucophyta Brownii	Refer Image	900 +/-			Leptosperum lanigerum 3m Height , 2m spread
						Lomandra longifolia 1.2m - 1.5m height & spread

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Drawing Title: **LANDSCAPING PLAN**

Scale: 1:200 @ A3 Date: 15.01.2024

Ref. No. :16CD/Arch/ 15012024 Drawn by: GK

Drawing No. : **A07** Revision No. : **R1**

20/03/2024