



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2024/042080**

**PROPOSAL:** Two Multiple Dwellings

**LOCATION:** 9 Lowmore Avenue, Rokeby

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 30 April 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 30 April 2024. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 30 April 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.



Clarence... a brighter place

# Clarence City Council

## APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at Council offices.

Proposal:

2x new strata-titled residential development

Location:

Address 9 Lowmore Ave

Suburb/Town Rokeby 7019

Postcode 7019

Current Owners/s:

Applicant:

**Personal Information Removed**

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$ 750,000

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Vacant residential land

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No


Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's  
Signature:

Signature..... 	Date..... 7/2/2024
--	--------------------

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.**

Documentation required:

### 1. **MANDATORY DOCUMENTATION**

*This information is required for the application to be valid. An application lodged without these items is unable to proceed.*

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.  
*May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.*
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

*Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.*

### 2. **ADDITIONAL DOCUMENTATION**

*In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.*

- Site analysis plan and site plan**, including where relevant:
  - *Existing and proposed use(s) on site.*
  - *Boundaries and dimensions of the site.*
  - *Topography, including contours showing AHD levels and major site features.*
  - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
  - *Soil type.*
  - *Vegetation types and distribution, and trees and vegetation to be removed.*
  - *Location and capacity of any existing services or easements on/to the site.*
  - *Existing pedestrian and vehicle access to the site.*
  - *Location of existing and proposed buildings on the site.*
  - *Location of existing adjoining properties, adjacent buildings and their uses.*
  - *Any natural hazards that may affect use or development on the site.*
  - *Proposed roads, driveways, car parking areas and footpaths within the site.*
  - *Any proposed open space, communal space, or facilities on the site.*
  - *Main utility service connection points and easements.*
  - *Proposed subdivision lot boundaries.*



# Clarence City Council

## DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
  - *Internal layout of each building on the site.*
  - *Private open space for each dwelling.*
  - *External storage spaces.*
  - *Car parking space location and layout.*
  - *Major elevations of every building to be erected.*
  - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
  - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
  - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
  - *Planting concepts.*
  - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
  - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

*This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.*

SEARCH OF TORRENS TITLE

VOLUME 185055	FOLIO 92
EDITION 2	DATE OF ISSUE 07-Feb-2024

SEARCH DATE : 15-Feb-2024

SEARCH TIME : 07.33 AM

DESCRIPTION OF LAND

City of CLARENCE  
 Lot 92 on Sealed Plan 185055  
 Derivation : Part of 68 Acres Gtd. to George Stokell  
 Prior CT 182780/102

SCHEDULE 1

N175035 TRANSFER to NATALIE SAMANTHA JOHNSTONE and BRODIE  
 CRAIG JOHNSTONE Registered 07-Feb-2024 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 SP185055 COVENANTS in Schedule of Easements  
 SP185055 FENCING PROVISION in Schedule of Easements  
 SP160033, SP160090, SP162240, SP169238, SP173275, SP175209,  
 SP176431, SP178880, SP180739 & SP182780 FENCING  
 PROVISION in Schedule of Easements  
 SP51327 FENCING COVENANT in Schedule of Easements  
 SP51327 COUNCIL NOTIFICATION under Section 468(12) of the  
 Local Government Act 1962  
 SP121843 COUNCIL NOTIFICATION under Section 83(5) of the Local  
 Government (Building and Miscellaneous Provisions)  
 Act 1993.  
 E216236 AGREEMENT pursuant to Section 78 of the Land Use  
 Planning and Approvals Act 1993 Registered  
 10-Jun-2020 at noon  
 E372680 MORTGAGE to Australia and New Zealand Banking Group  
 Limited Registered 07-Feb-2024 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

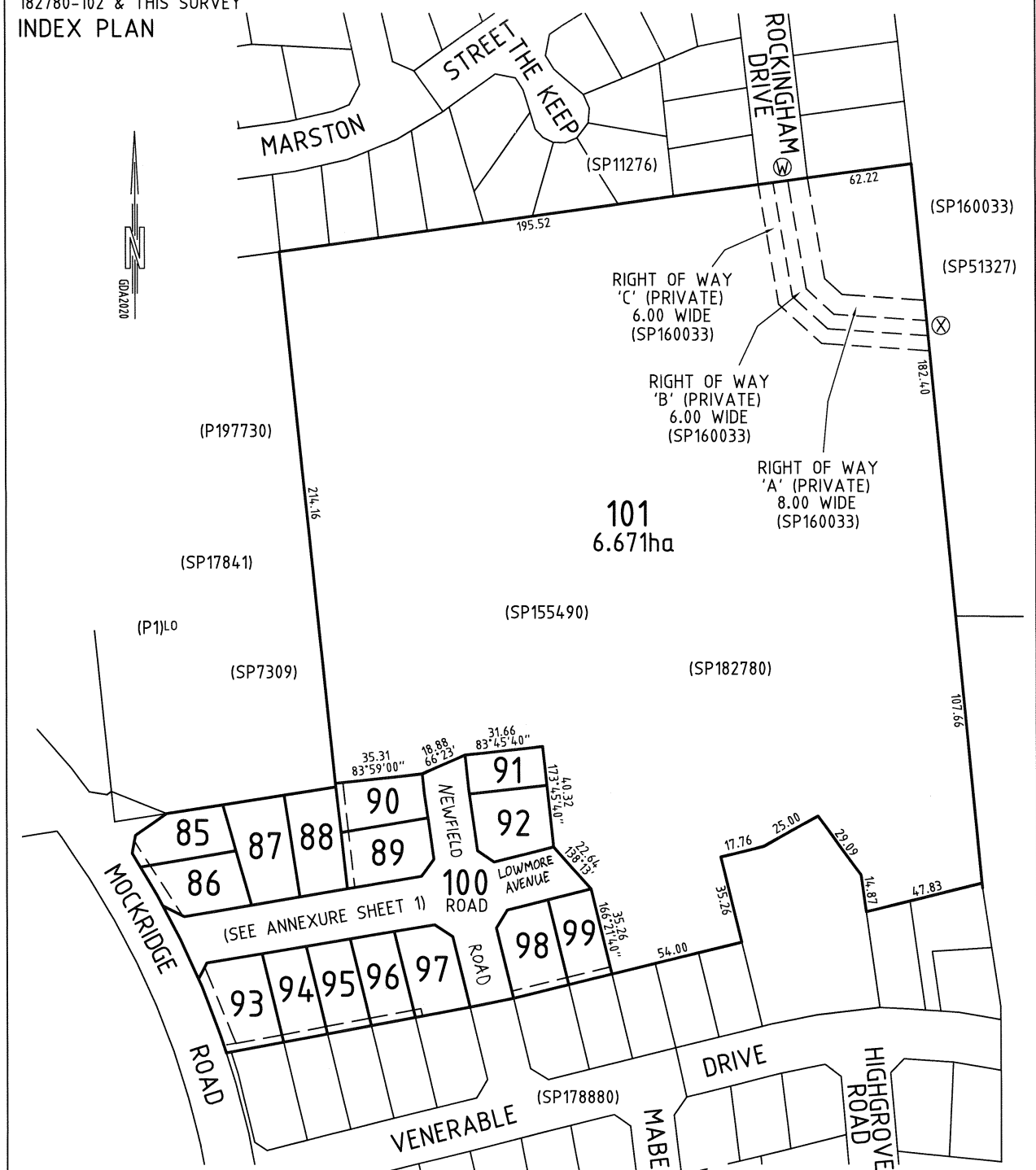
No unregistered dealings or other notations

OWNER Knopwood Estate Pty. Ltd. FOLIO REFERENCE 182780-102 GRANTEE Part of 68 acres gtd. to George Stokell; part of 40 acres loc. to John Boyle; part of lot 37261, 2.163ha, gtd. to the Director of Housing	<b>PLAN OF SURVEY</b>		REGISTERED NUMBER <b>SP185055</b>
	BY SURVEYOR S. Roberts of PDA SURVEYORS, ENGINEERS & PLANNERS 127 BATHURST STREET, HOBART	LOCATION City of CLARENCE	
SCALE: 1:1500	LENGTHS IN METRES	SURVEYORS REF: 49053CT-1B	

LOT 101 IS COMPILED FROM F. R. 182780-102 & THIS SURVEY INDEX PLAN

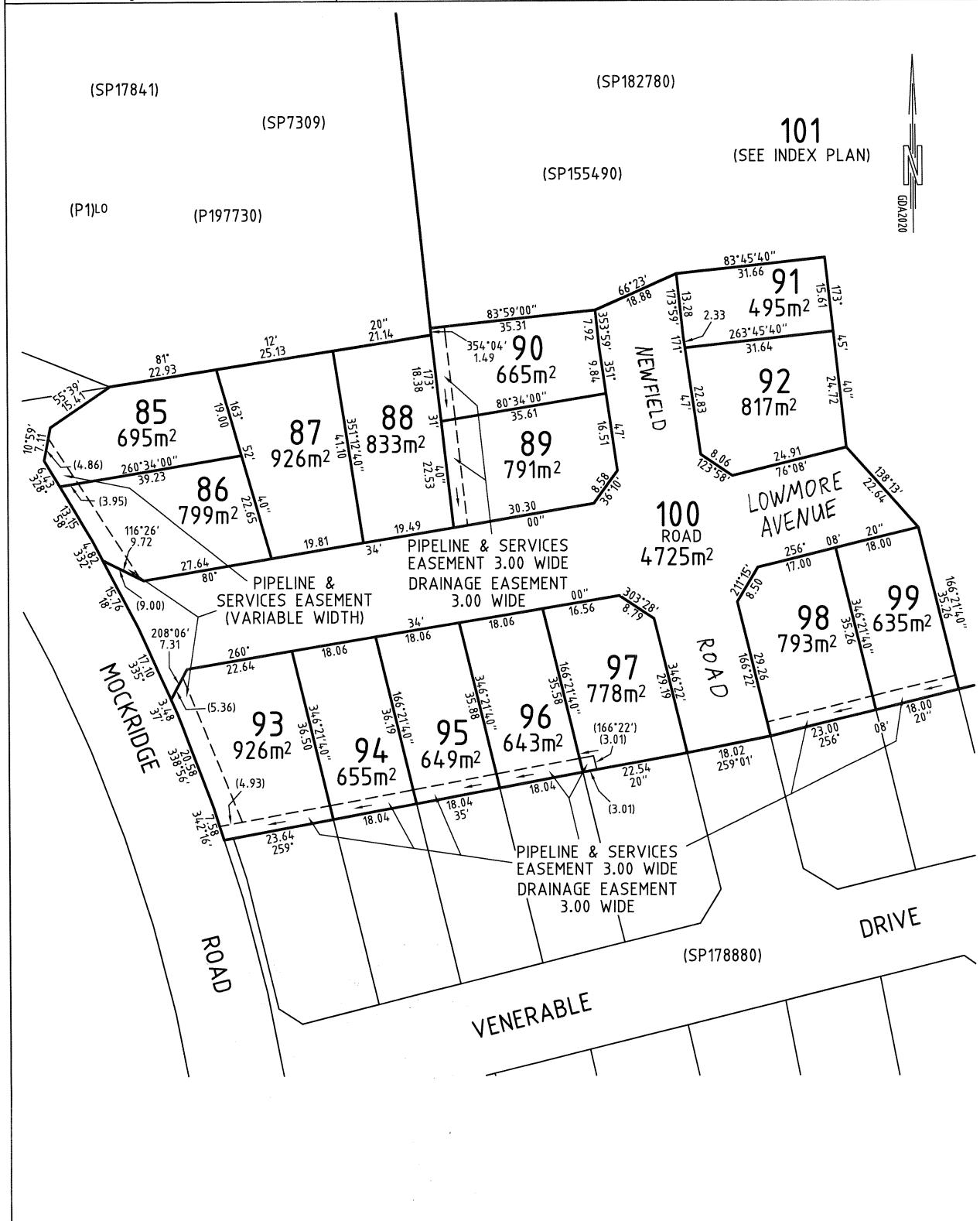
**PRIORITY FINAL PLAN**

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



 Registered Land Surveyor	13-7-2023 Date	 Council Delegate	21-07-2023 Date
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<p><b>PLAN OF SURVEY</b> ANNEXURE SHEET SHEET 1 OF 1 SHEETS</p>	<p>OWNER Knopwood Estate Pty. Ltd. FOLIO REFERENCE 182780-102 SCALE 1:750 LENGTHS IN METRES</p>	<p>Registered Number <b>SP 185055</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES  <u>CMea</u> 21.07.2023 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.  <u>[Signature]</u> 13-7-2023 49053CT-1B Registered Land Surveyor Date Surveyors ref.</p>	<p>APPROVED - 4 AUG 2023 EFFECTIVE FROM ..... <u>[Signature]</u> Recorder of Titles</p>



<b>SCHEDULE OF EASEMENTS</b>	Registered Number
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 185055

PAGE 1 OF 5 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with: -

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 101 on the Plan is subject to a right of carriageway (appurtenant to the land in Lot 4 on Sealed Plan 182780 and the land in Lots 2 and 3 on Sealed Plan 160033) over the lands shown as "RIGHT OF WAY 'A' (PRIVATE) 8.00 WIDE (SP160033)", "RIGHT OF WAY 'B' (PRIVATE) 6.00 WIDE (SP160033)" and "RIGHT OF WAY 'C' (PRIVATE) 6.00 WIDE (SP160033)" passing through that lot on the Plan.

Lots 89, 90, 93, 94, 95, 96, 97, 98 and 99 on the Plan are each subject to a right of drainage in gross (in favour of Clarence City Council) over the land shown as "DRAINAGE EASEMENT 3.00 WIDE" respectively passing through each such lot on the Plan.

Lots 89, 90, 93, 94, 95, 96, 97, 98 and 99 on the Plan are each subject to a pipeline and services easement (as defined in this schedule of easements) in gross (in favour of Tasmanian Water and Sewerage Corporation Pty Ltd [ACN 162 220 653]) over the land shown as "PIPELINE & SERVICES EASEMENT 3.00 WIDE" respectively passing through each such lot on the Plan.

Lots 85, 86 and 93 on the Plan are each subject to a pipeline and services easement (as defined in this schedule of easements) in gross (in favour of Tasmanian Water and Sewerage Corporation Pty Ltd [ACN 162 220 653]) over the land shown as "PIPELINE & SERVICES EASEMENT (VARIABLE WIDTH)" respectively passing through each such lot on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: KNOPWOOD ESTATE PTY LTD FOLIO REF: 182780-102 SOLICITOR: E R HENRY WHERRETT & BENJAMIN (REF SWL 73874)	PLAN SEALED BY: CLARENCE CITY COUNCIL DATE: 21 <sup>st</sup> July 2023 REF NO. SD-2014/44 <i>C. Shea</i> Council Delegate Stage 9 Clare Shea
<b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.	

*Sean V. L...* . *J. S...*



<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 2 OF 5 PAGES</p>	<p>Registered Number</p> <p><b>SP 185055</b></p>
<p>SUBDIVIDER: KNOPWOOD ESTATE PTY LTD FOLIO REFERENCE: 182780-102</p>	

DEFINITION OF PIPELINE AND SERVICES EASEMENT

“Pipeline and Services Easement” is defined as follows:

FIRSTLY, THE FULL RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

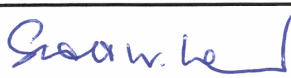
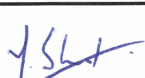

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
  - (i) without doing unnecessary damage to the Easement Land; and
  - (ii) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and
- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietors of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

**NOTE:** 1. Except for when an annexure (additional) page is required solely for execution(s) every annexed page must be signed by the parties to the dealing, or where the party is a corporate body, be signed by the persons who have attested the affixing of the seal of that body to the dealing;

2. All pages comprising this dealing must be pinned or stapled together.

**THE BACK OF THIS FORM MUST NOT BE USED**

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 3 OF 5 PAGES</p>	<p>Registered Number</p> <p><b>SP 185055</b></p>
<p>SUBDIVIDER: KNOPWOOD ESTATE PTY LTD FOLIO REFERENCE: 182780-102</p>	

INTERPRETATION of definition of "Pipeline and Services Easement":

"TasWater" means Tasmanian Water and Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors and assigns.

"the Easement Land" means where the context permits that part of the land comprising respectively Lots 89, 90, 93, 94, 95, 96, 97, 98 and 99 on the Plan shown as "PIPELINE & SERVICES EASEMENT 3.00 WIDE" passing through those lots on the plan and that part of the land comprising respectively Lots 85, 86 and 93 shown as "PIPELINE & SERVICES EASEMENT (VARIABLE WIDTH)" passing through those lots on the plan.

"the Lot" means where the context permits Lot 85, 86, 89, 90, 93, 94, 95, 96, 97, 98 and 99 on the Plan.

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

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*Grant v. Ben*

*J. S. L.*

*CD*

<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 4 OF 5 PAGES</p>	<p>Registered Number</p> <p><b>SP 185055</b></p>
<p>SUBDIVIDER: KNOPWOOD ESTATE PTY LTD FOLIO REFERENCE: 182780-102</p>	

COVENANTS

Lot 101 on the Plan is burdened by the restrictive covenant created by Instrument Creating Restrictive Covenants Registered No. E273344 to the following effect;

“Not to erect any fence separating any part of the servient land and any part of the dominant land of a description or kind that has not been approved by the owner for the time being of the dominant land to be bounded by such fence and it is expressly acknowledged that notwithstanding the provisions of the *Boundary Fences Act 1908* the owner for the time being of the dominant land may refuse to approve any such fence unless the owner for the time being of the servient land agrees to pay all of the actual costs of construction of the proposed fence and agrees to be solely liable for all the future costs of repairing and or making rabbit-proof any such fence.”

The owner of each Lot on the Plan covenants with the owner for the time being of every other Lot shown on the Plan to the intent that the burden of these covenants shall run with and bind the covenantor's lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every lot shown on the Plan to observe the following stipulations:-

1. Not to construct or permit to be constructed on such lot any kit home or relocatable dwelling;
2. Not to construct or permit to be constructed on such lot any building with more than 10% of the area of any external wall of that building constructed of any material other than brick, masonry or rendered surface or of timber;
3. Not to construct or permit to be constructed on such lot, or to locate or permit to be located on such lot, or place or permit to be placed on such lot any mobile home, relocatable home, caravan or campervan for use as a residence; and
4. Not at any time to use or permit to be used as a residence on such lot any mobile home, relocatable home, caravan or campervan.

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2. All pages comprising this dealing must be pinned or stapled together.  
**THE BACK OF THIS FORM MUST NOT BE USED**

*Greg W. Lee*      *J. S. Lee*

*Ⓢ*



<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 5 OF 5 PAGES</p>	<p>Registered Number</p> <p><b>SP 185055</b></p>
<p>SUBDIVIDER: KNOPWOOD ESTATE PTY LTD FOLIO REFERENCE: 182780-102</p>	

COVENANTS (CONTINUED)

The owner of each of Lots 85, 89, 93, 94 and 98 on the Plan covenants with the owner for the time being of every other Lot shown on the Plan to the intent that the burden of these covenants shall run with and bind the covenantor's lot and every part thereof and that the benefit thereof shall be annexed to and devolve with each and every lot shown on the Plan to observe the following stipulations:-

1. Not to construct or permit to be constructed on such lot any building other than one single residence and buildings ancillary thereto; and
2. Not at any time to use or permit to be used any building on such lot other than as one single residence and buildings ancillary thereto.

FENCING PROVISION

In respect of the lots on the Plan the Vendor, Knopwood Estate Pty Ltd, shall not be required to fence.

Signed by KNOPWOOD ESTATE PTY LTD (ACN 138 490 516)  
as trustee for the KNOPWOOD ESTATE TRUST  
the registered proprietor of the land in Folio of the Register  
Volume 182780 Folio 102  
by its duly appointed attorney, SCOTT WILLIAM LAW  
pursuant to a power of attorney registered  
number PA41983 and the attorney certifies he has not  
received any notice of revocation of the power of attorney,  
in the presence of:



Witness signature

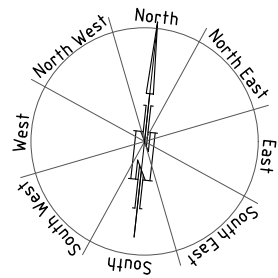
Witness full name (Print)

Witness full postal address (Print)

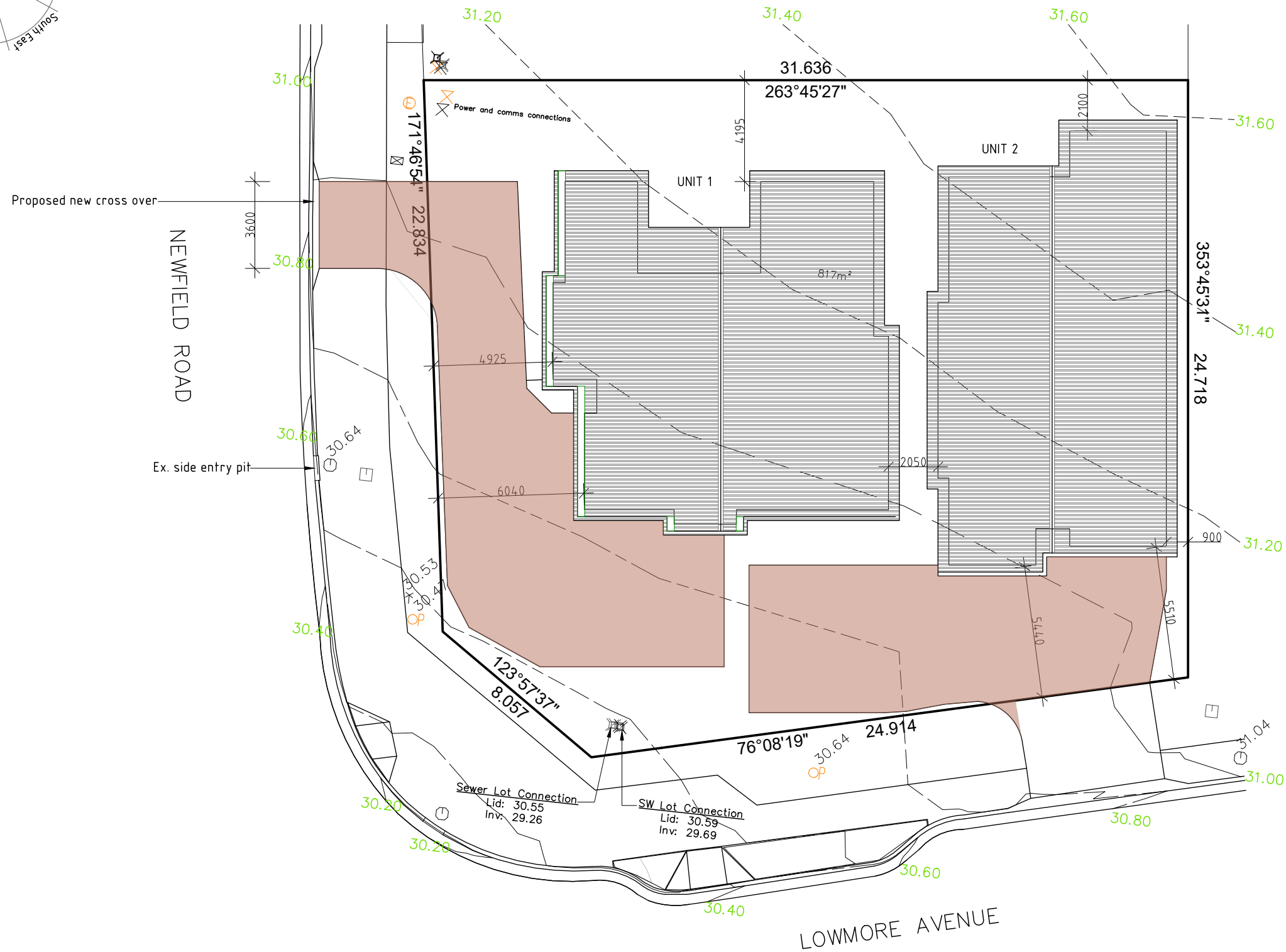
*[Handwritten Signature]*  
ALASTAIR PAUL SHEPHERD  
9-11 VICTORIA STREET  
HOBART TAS 7000

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9.	Unit 1 Elevations
10.	Unit 2 Plan
11.	Unit 2 Elevations

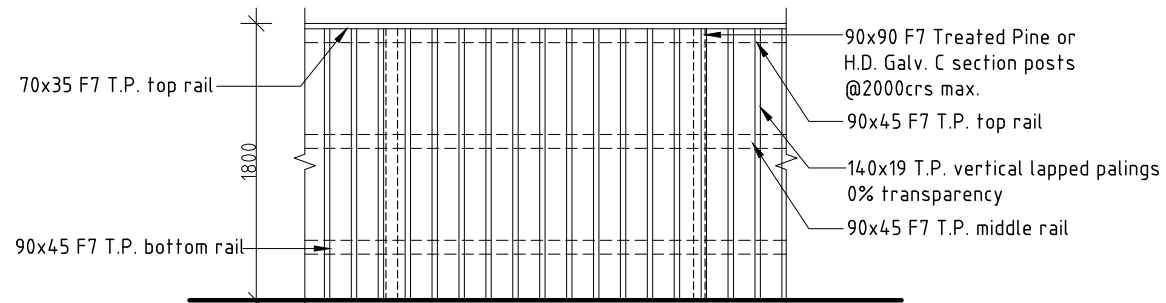
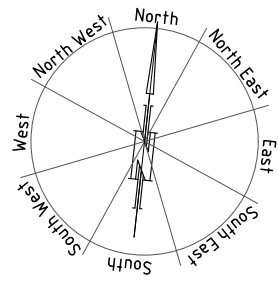


NOTE: Property is located in a Bushfire prone area and Airport obstacle limitation area.  
A BAL report will accompany the structural drawings along with constructions details to relevant BAL rating

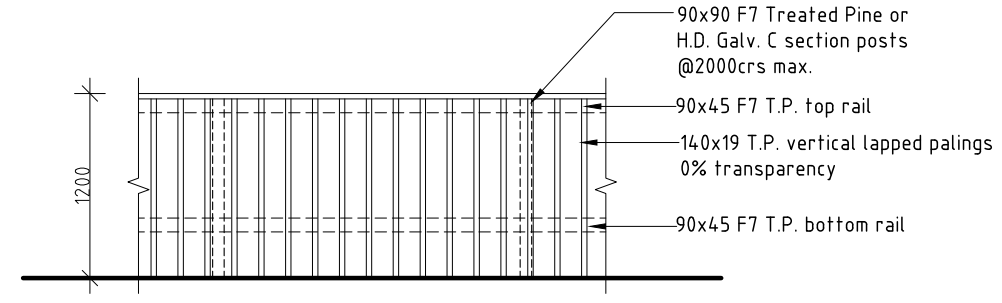
**DEVELOPMENT DRAWINGS ONLY  
NOT FOR CONSTRUCTION**

PROPOSED 2 UNIT DEVELOPMENT FOR DART GROUP AT 9 LOWMORE AVENUE ROKEBY	SITE PLAN		DATE 02/04/24	DRAWN BY G Tilley email: gtilley7@biapond.com phone ph 0400 671 582
	SCALE 1:200	AMENDED	DRAWING NO. 01 OF 11	Accreditation No. CC620H © copyright 2023 8923





F1 FENCE ELEVATION (Typical)  
Scale 1:50



F2 FENCE ELEVATION (Typical)  
Scale 1:50

- CL Freestanding Retractable clothes line
- F1 1800 high paling fence
- F2 1200 high paling fence
- G Gate
- S 750x1500 shed
- WS 1.5m<sup>2</sup> impervious area for waste storage  
1000x1500 concrete pad/paving
- B● B off Thorn Bollard lights  
Satin black 1500-840 400K  
24.5 watt LED  
140φ x 230mm high



Unit 1 Private Open Space 127.97m<sup>2</sup>  
Unit 2 Private Open Space 70.50m<sup>2</sup>

Impervious surface 540.98m<sup>2</sup> divide  
by 817m<sup>2</sup> = 66.21%  
Pervious surface 276.02m<sup>2</sup> divide  
by 817m<sup>2</sup> = 33.79%

DEVELOPMENT DRAWINGS ONLY  
NOT FOR CONSTRUCTION

PROPOSED 2 UNIT DEVELOPMENT  
FOR DART GROUP AT  
9 LOWMORE AVENUE ROKEBY

LANDSCAPE PLAN

DATE  
02/04/24

DRAWN BY G Tilley  
email: gtilley7@biapond.com  
phone ph 0400 671 582

SCALE 1:200

AMENDED

DRAWING NO.  
02 OF 11

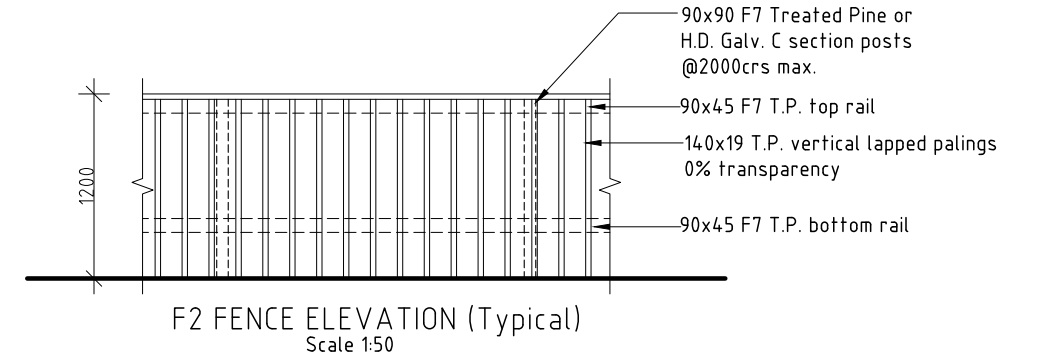
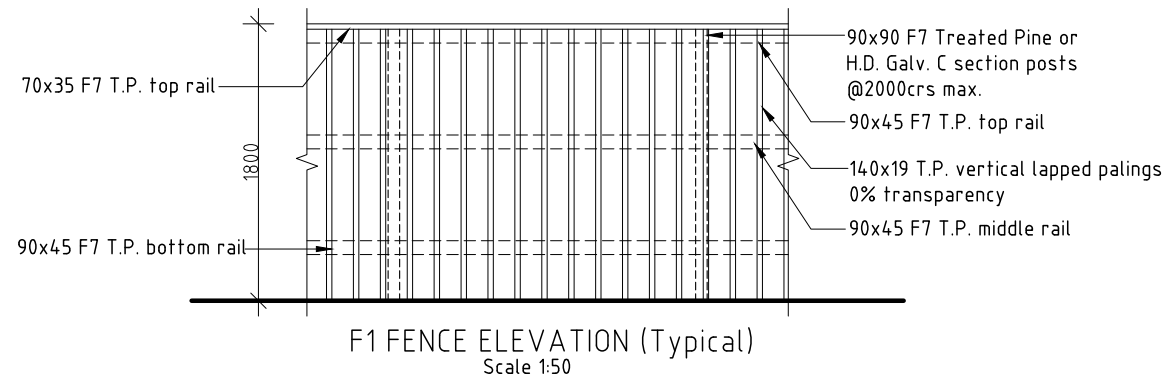
Accreditation No. CC620H  
© copyright 2023 8923



The spacing of plants shown on plan have been derived as a compromise between growth rate, anticipated size, and the ability to provide a good vegetative cover within a reasonable space of time.

**SHRUBS AND GROUND COVER**

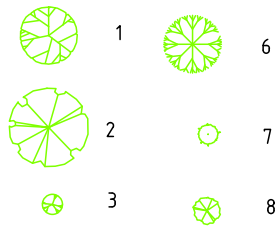
Mass planting to assist in building presentation to the streetscape and to provide visual amenity; Course pine bark mulch to cover ground and minimize moisture loss and to act as a weed suppressant



PROPOSED FEATURE PLANTING	COMMON NAME	POT SIZE	SPACING	HEIGHT(m)	WIDTH(M)
1 Leucadendron	Red Gem	200mm	1.5	2.0	1.5
2 Leucadendron	Safari Sunset	200mm	2.0	2.5	2.0

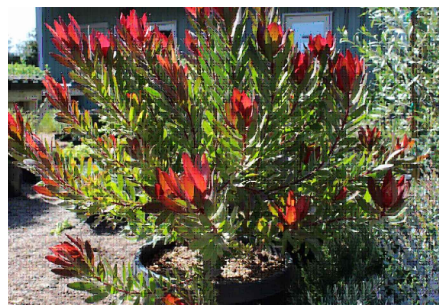
  

PROPOSED SHRUBS AND GROUND COVERS	COMMON NAME	POT SIZE	SPACING	HEIGHT(m)	WIDTH(m)
3 Dianella revoluta Revelation	Dianella	200mm	0.4	0.5	0.5
6 Scaevola humilis Purple Fusion	Fairy Fan Flower	140mm	1.2	0.2	1.5
7 Westringia Zena	Dwarf rosemary	200mm	0.9	1	1
8 Buxus sempervirens	Box hedge	50mm	0.45	0.6	0.5



NOTE: Plant height stated is matured height apart from the hedge which can be managed to desired height.

Garden bed not to extend against building, refer to CSIRO report for info



1



2



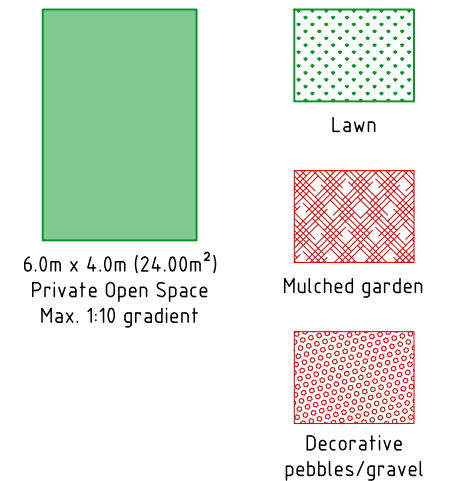
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7

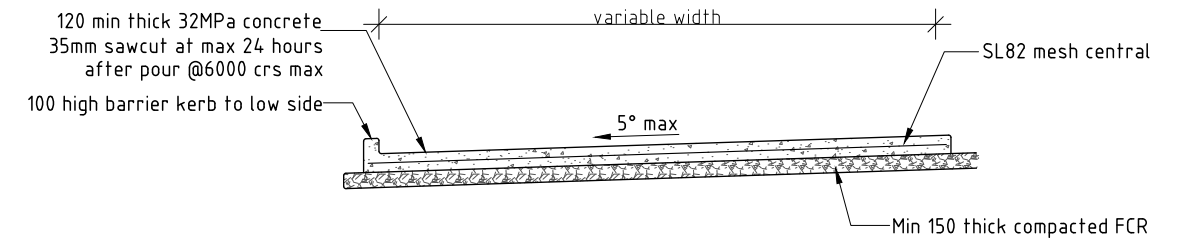
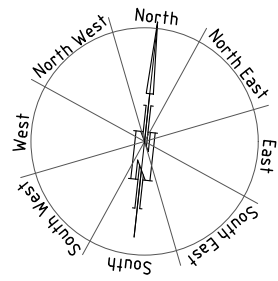


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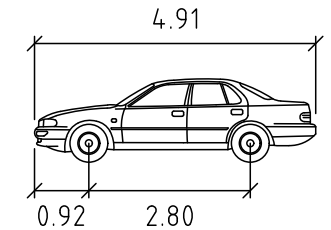


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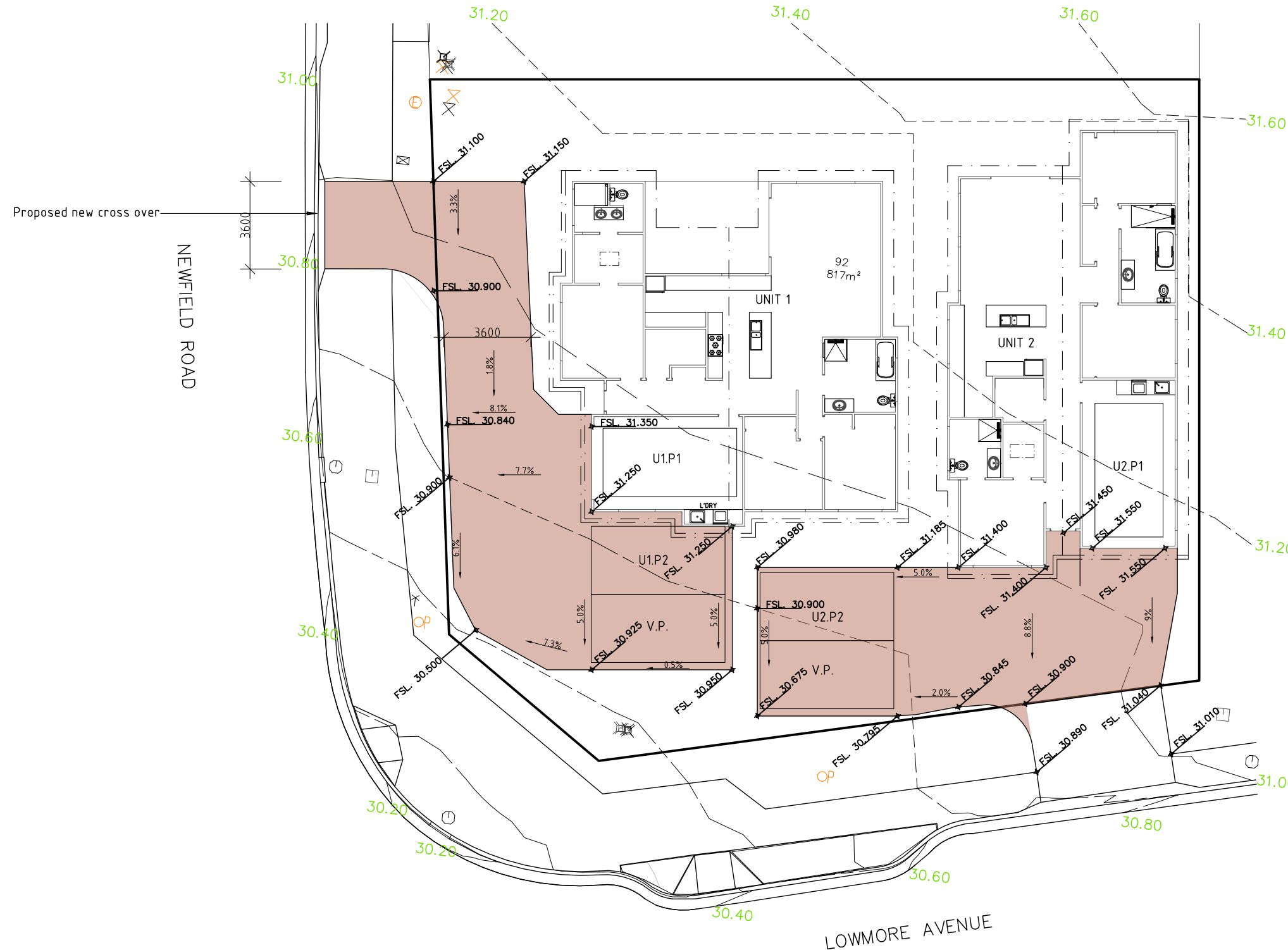
PROPOSED 2 UNIT DEVELOPMENT FOR DART GROUP AT 9 LOWMORE AVENUE ROKEBY	LANDSCAPE NOTES		DATE 02/04/24	DRAWN BY G Tilley email: gtilley7@biapond.com phone ph 0400 671 582
	SCALE 1:200	AMENDED	DRAWING NO. 03 OF 11	Accreditation No. CC6201 © copyright 2023 8923



DRIVEWAY CROSS SECTION (TYPICAL)  
SCALE 1:50



B85	meters
Width	: 1.87
Track	: 1.77
Lock to Lock Time	: 6.00
Steering Angle	: 34.00



— S — Sawcut to 25% of slab thickness as soon as able to cut without dragging out the aggregate

120 120mm Slab on grade, N25, 100 slump SL82 Central

Natural coloured concrete broom finished paving slab to driveway/access & parking

NOTE: All parking & turning areas to be clearly marked

NOTE: Max. 5% gradient to vehicle maneuvering areas

Carparking and vehicle maneuvering to be of sealed construction and comply with AS2890.1-2004  
NO PARKING/KEEP CLEAR signage to be installed for the turning bays so as to remain clear of vehicles at all times.  
Visitor parking signs to be installed at visitor parking bays  
Signage noting residential parking for all units to be installed for Unit parking spaces.  
Parking and vehicle circulation roadways & pedestrian paths to be provided with bollard lighting. Refer to landscape plan for lighting locations.

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PROPOSED 2 UNIT DEVELOPMENT  
FOR DART GROUP AT  
9 LOWMORE AVENUE ROKEBY

DRIVEWAY PLAN

SCALE 1:200

AMENDED

DATE  
02/04/24

DRAWING NO.  
04 OF 11

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Water meters for strata developments must be located in common property to allow unfettered access to enable reading, testing, inspection, maintenance and exchange without impediment and must be kept clear of obstructions at all times. Water meters in trafficable areas must be housed in trafficable boxes with a class "B" lid.

NOTE All works are to be in accordance with the Water supply code of Australia WSA03-2011-3.1 Version 3.1 MRWA Edition V2.0 & sewerage Code of Australia Melbourne Retail water agencies Code WSA02-2002 Version 2.3 MRWA Edition 1.0 & TasWater's supplements to those codes.

Agg drains to be installed prior to slab preparation. Evidence of the agg drainage installation to be supplied to the Engineer.

Plumber to confirm the location of existing on-site services prior to commencement of any excavations

150φ 150uPVC stormwater  
1:100 min. fall

S100φ 100uPVC sewerage  
1.67% min. fall

100φ 100uPVC stormwater  
1:100 min. fall

100x100 cast in kerb to downslope of driveway perimeter I.O. at each intersection & bend

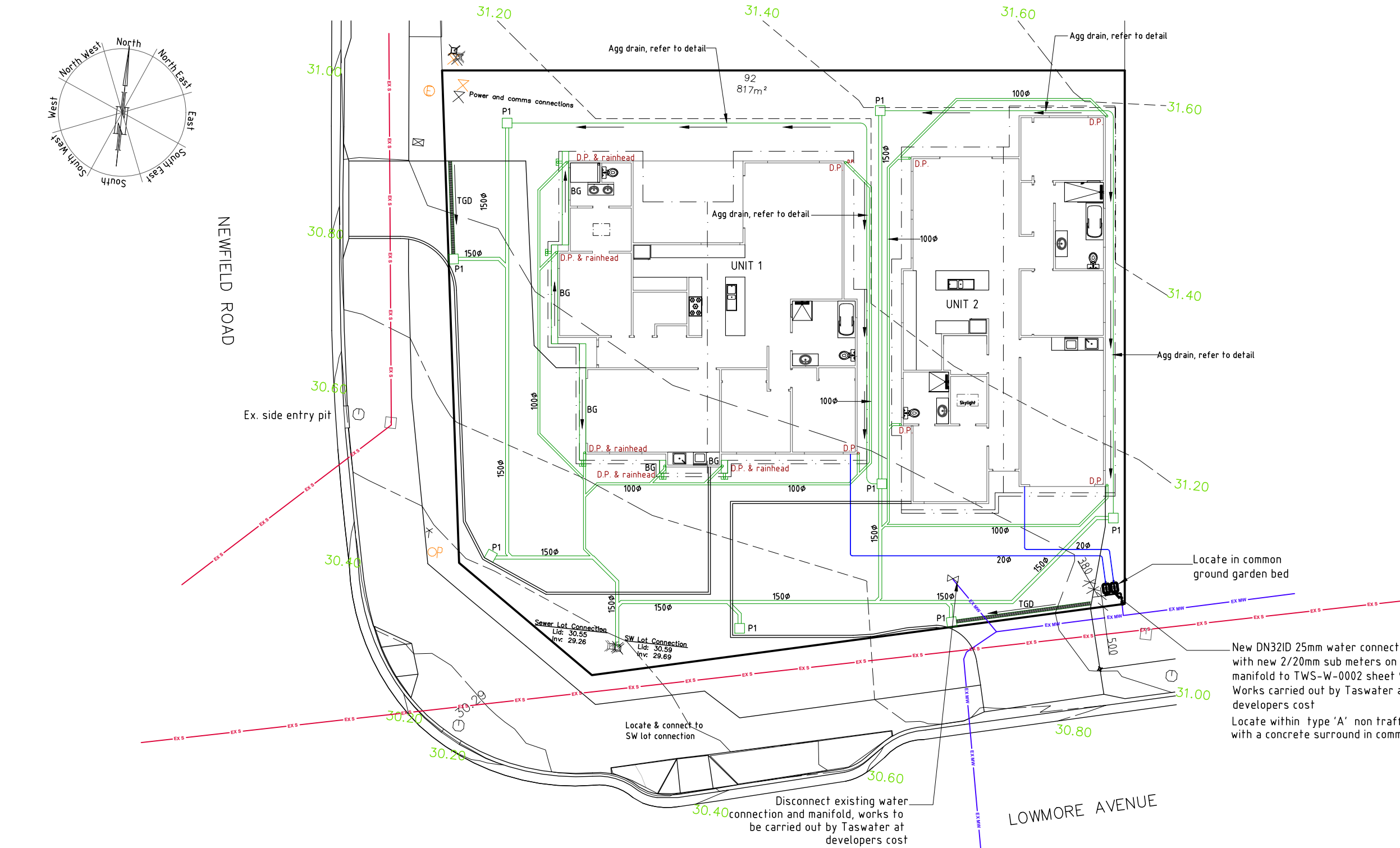
P1 450x450 Trafficable pit.  
Each grate pit to be fitted with SPEL Environmental Stormsack water quality improvement device. Designed & installed in accordance with manufacturers instructions

I.O. Inspection opening

BG - 300 wide box gutter, 1:100 fall to rainhead  
TGD - Trafficable grate drain

Locate in common ground garden bed

New DN32ID 25mm water connection with new 2/20mm sub meters on a manifold to TWS-W-0002 sheet 9. Works carried out by Taswater at the developers cost  
Locate within type 'A' non trafficable box with a concrete surround in common ground



**DEVELOPMENT DRAWINGS ONLY  
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PROPOSED 2 UNIT DEVELOPMENT  
FOR DART GROUP AT  
9 LOWMORE AVENUE ROKEBY

STORMWATER PLAN

DATE  
02/04/24

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**WET AREAS TO COMPLY WITH NCC VOL. 2 PART H4D2, ABCB HOUSING PROVISIONS PART 10.2 AND AS 3740**

**WATERPROOFING OF ENCLOSED & UNENCLOSED SHOWERS:**

**FLOOR:** Waterproof entire floor if no preformed shower base provided  
**WALLS:** Waterproof to not less than 1800mm above the floor substrate  
**WALL JUNCTIONS AND JOINTS:** Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction  
**WALL/FLOOR JUNCTIONS:** Waterproof internal and external corners and joints  
**PENETRATIONS:** Waterproof all penetrations

**AREAS OUTSIDE THE SHOWER ON CONCRETE SLAB OR FC FLOORING:**

**FLOORS:** Entire floor to be water resistant  
**WALLS/FLOOR JUNCTIONS:** Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm

**AREAS OUTSIDE THE SHOWER ON TIMBER FLOOR:**

**FLOORS:** Waterproof entire floor  
**WALL/FLOOR JUNCTIONS:** Waterproof all wall/floor junctions and where a flashing is used, the horizontal leg must be not less than 40mm.

**AREAS ADJACENT TO NON-FREESTANDING BATHS AND SPAS (without showers):**

**FLOOR:** Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.  
**WALLS:** Water resistant walls to a height of not less than 150mm above the vessels, for the full extent, where the vessel is within 75mm of a wall.  
**WALL JUNCTIONS AND JOINTS:** Water resistant within 150mm above the vessel for the extent of the vessel to a width of 40mm either side of the junction  
**WALL/FLOOR JUNCTIONS:** Waterproof for the extent of the vessel

**AREAS ADJACENT TO INSERTED BATHS AND SPAS (without showers):**

**FLOOR:** Water resistant to entire floor on concrete or FC flooring; or Waterproof to entire floor on timber floor.  
**HORIZONTAL SURFACES:** Waterproof shelf adjoining bath or spa and include a waterstop under the vessel lip  
**WALLS:** Waterproof walls to not less than 150mm above the lip of the vessel  
**WALL JUNCTIONS AND JOINTS:** Waterproof junctions within 150mm of vessel to a width of 40mm either side of the junction  
**WALL/FLOOR JUNCTIONS:** Waterproof wall/floor junctions 25mm above finished floor level  
**PENETRATIONS:** Waterproof penetrations where they occur in horizontal surfaces, seal penetrations where they occur in vertical surfaces

**OTHER AREAS (LAUNDRIES AND WCs):**  
**FLOOR:** Water resistant floor to entire room  
**WALLS:** Water resistant wall to a height of not less than 150mm above the vessel for the extent of the vessel, where the vessel is within 75mm of wall  
**WALL JUNCTIONS AND JOINTS:** Waterproof junctions where a vessel is fixed to a wall  
**WALL/FLOOR JUNCTIONS:** Water resistant wall/floor junctions with horizontal leg not less than 40mm where flashing used  
**PENETRATIONS:** Waterproof penetrations where they occur in surfaces required to be waterproof or water resistant.

**WATERPROOFING SYSTEMS:**

Waterproofing systems to be in accordance with ABCB Housing Provisions Part 10.2.6.  
**FALLS TO WET AREA FLOORS:**  
 Where a floor waste is installed the continuous fall of a floor plane to the waste must be no less than 1:80 and no more than 1:50.  
**STEPDOWN SHOWERS:**  
 Where stepdown showers are used, the shower area must be stepped down a minimum of 25mm below the finished floor level outside the shower. Refer to ABCB Housing Provisions Part 10.2.15 & relevant figures for details.  
**HOB CONSTRUCTION:**  
 Shower hobs are to be constructed in accordance with ABCB Housing Provisions Part 10.2.16.  
**ENCLOSED SHOWERS WITH LEVEL THRESHOLD:**  
 Enclosed showers with a level threshold must be provided with a waterstop in accordance with ABCB Housing Provisions Part 10.2.17 & relevant figures.

**UNENCLOSED SHOWERS:**

Unenclosed showers are to have a waterstop min. 1500mm from the shower rose with the vertical leg finishing flush with the top surface of the floor. Waterproof all all joints and junctions. Waterproof entire bathroom floor where unenclosed showers are installed. Refer to ABCB Housing Provisions Part 10.2.18 & relevant figures for details.

**PENETRATIONS:**

All penetrations in showers and wet areas must be waterproofed in accordance with ABCB Housing Provisions part 10.2.23.

**FLASHINGS/JUNCTIONS:**

All flashings and junctions in wet areas to be installed in accordance with ABCB Housing Provisions Part 10.2.24 & relevant figures.

**SHOWER SCREENS:**

1900H Semi-frameless shower screens to comply with ABCB Housing Provisions Table 8.4.6 & AS 1288:2021. Minimum 6mm toughened safety organic coated glass, labelled to comply with industry standards. Install shower screens in accordance with ABCB Housing Provisions Part 10.2.32.

**HYDRAULIC NOTES:**

- All plumbing shall be in accordance with the Tasmanian Plumbing Regulations, AS 3500 and to the local authority approval.
- The location of the existing services where shown are approximate only and shall be confirmed on site where possible. Determine location of existing power, Telstra, water and drainage services prior to commencing new work.
- Conceal all pipework in ceiling space, ducts, cavities, wall chases, cupboards etc. unless otherwise approved.
- Refer to designers drawings and fixture and equipment technical specifications for pipework connections.
- Make good all disturbed surfaces to match existing.
- Remove all excess soil and surplus materials from site.
- All plumbing to be installed by a licensed plumber.

Install inspection openings at major bends for stormwater and all low points of downpipes.

All plumbing & drainage to be in accordance with local Council requirements. Provide surface drain to back of bulk excavation to drain leveled pad prior to commencing footing excavation.  
 Stormwater line (100mm uPVC)  
 Sewer line (100mm uPVC)

**SERVICES**

The heated water system must be designed & installed with Part B2 of NCC Vol. 3 - Plumbing Code of Australia  
 Thermal insulation for heated water piping must:  
 a) be protected against the effects of weather and sunlight; and  
 b) be able to withstand the temperatures within the piping; and  
 c) use thermal insulation in accordance with AS/NZS 4859.1

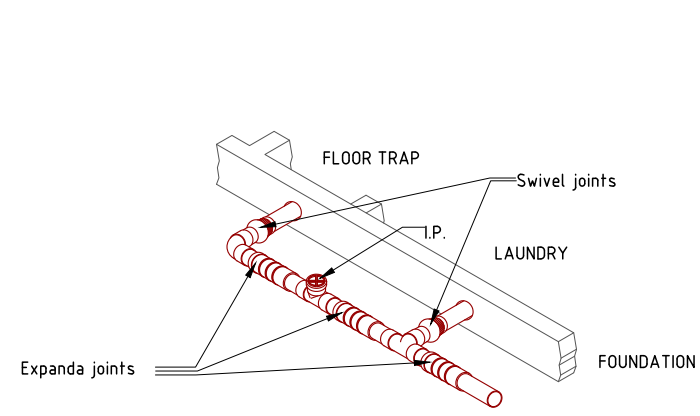
Heated water piping that is not within a conditioned space must be thermally insulated as follows:

- Internal piping:
  - All flow and return internal piping that is -
    - within an unventilated wall spaces
    - within an internal floor between storeys; or
    - between ceiling and insulation and a ceiling
 Must have a minimum R-value of 0.2 (ie. 9mm of closed cell polymer insulation)
- Piping located within a ventilated wall space, an enclosed building subfloor or a roof space:
  - All flow and return piping
  - Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system
 Must have a minimum R-value of 0.45 (ie. 19mm of closed cell polymer insulation)
- Piping located outside the building or in an unenclosed building sub-floor or roof space:
  - All flow and return piping.
  - Cold water supply piping and Relief valve piping within 500mm of the connection to central water heating system
 Must have a minimum R-value of 0.6 (ie. 25mm of closed cell polymer insulation)  
 Piping within an insulated timber framed wall, such as that passing through a wall stud, is considered to comply with the above insulation requirements.

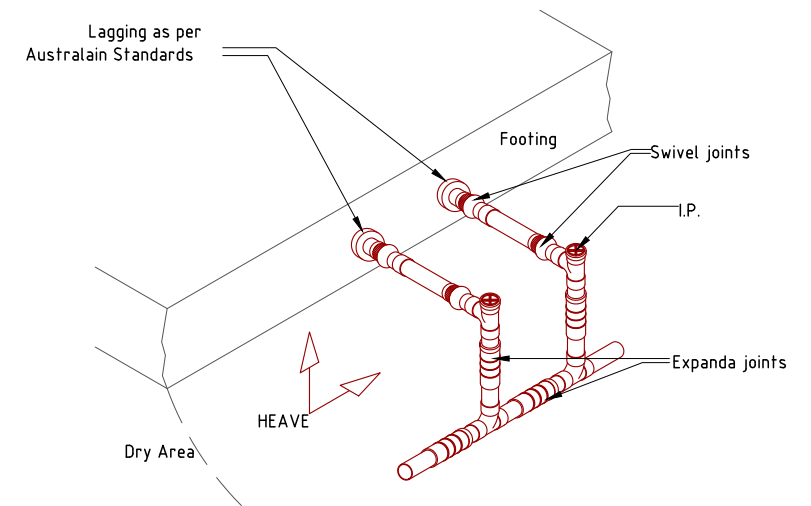
Hot & Cold Water Nominal Diameters	
Branch off takes	Min. DN20
Max. off take length 6m	DN18
Max. off take length 3m	DN15
Max. off take length 1m	DN10

Insulation Schedule		
Heated water pipes Type	Size Range	Insulation
Circulating Line	32-40	25mm Rockwool with foil wrap
Branch Line Offtake	20-25 18	19mm Bradflex 13mm Bradflex
Cold water pipes exposed		
Type	Size Range	Insulation
All	>20	13mm Bradflex
Other cold water pipes		
Type	Size Range	Insulation
All	All	Not required

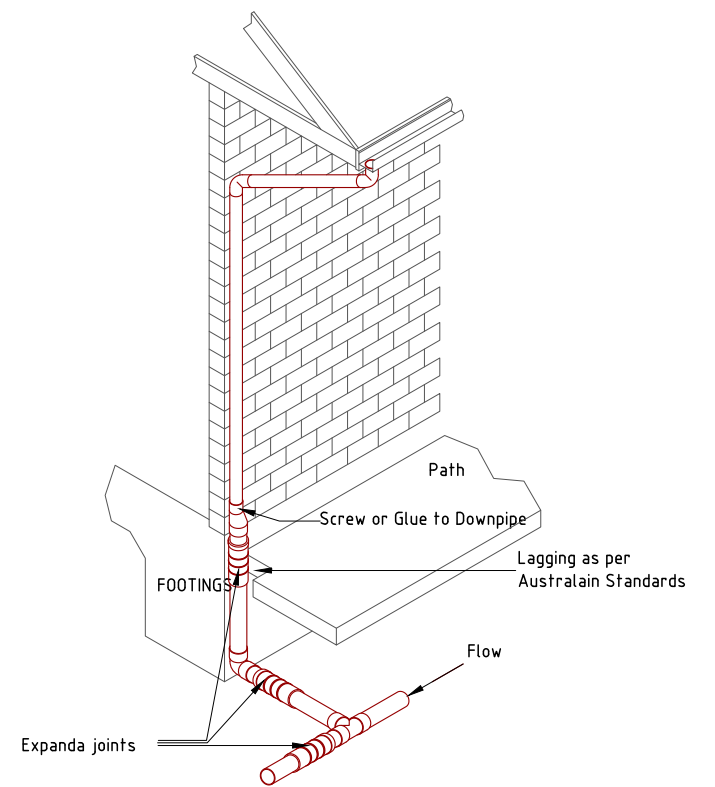
NOTE: Water pipes associated directly with plan equipment shall be insulated in accordance with the manufacturers instructions for a typical installation



GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS



GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS



GUIDELINES FOR PVC-U DRAINAGE SYSTEM WITH EXPANSION AND SWIVEL JOINT LOCATIONS FOR REACTIVE SOILS

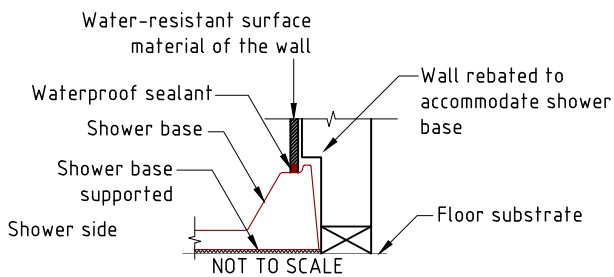
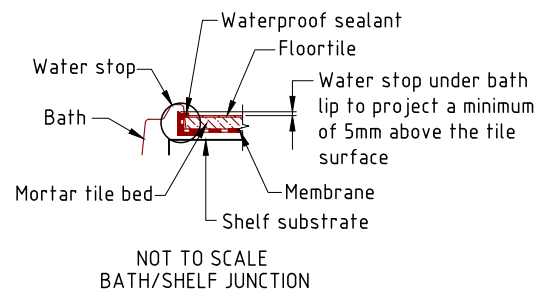
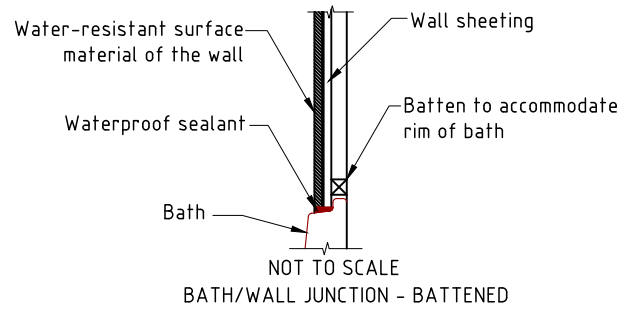
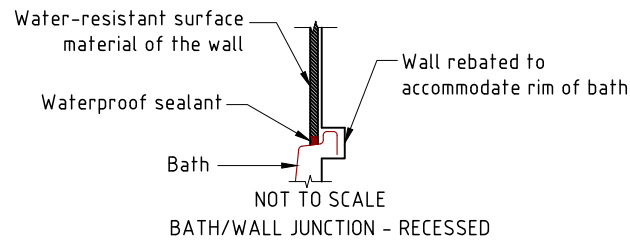
Surface drainage to conform with NCC Vol. 2 Part H2D2. NOTE: 50mm fall required over first 1m from building.

**IMPORTANT NOTICE FOR ATTENTION OF OWNER:**  
 The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO Building Technology File 18 and it is the owners responsibility to maintain the site in accordance with that document.

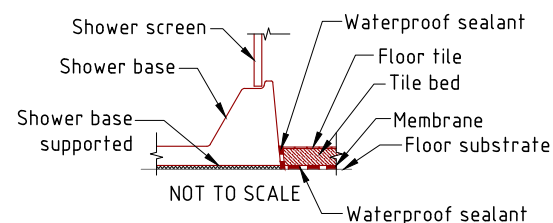


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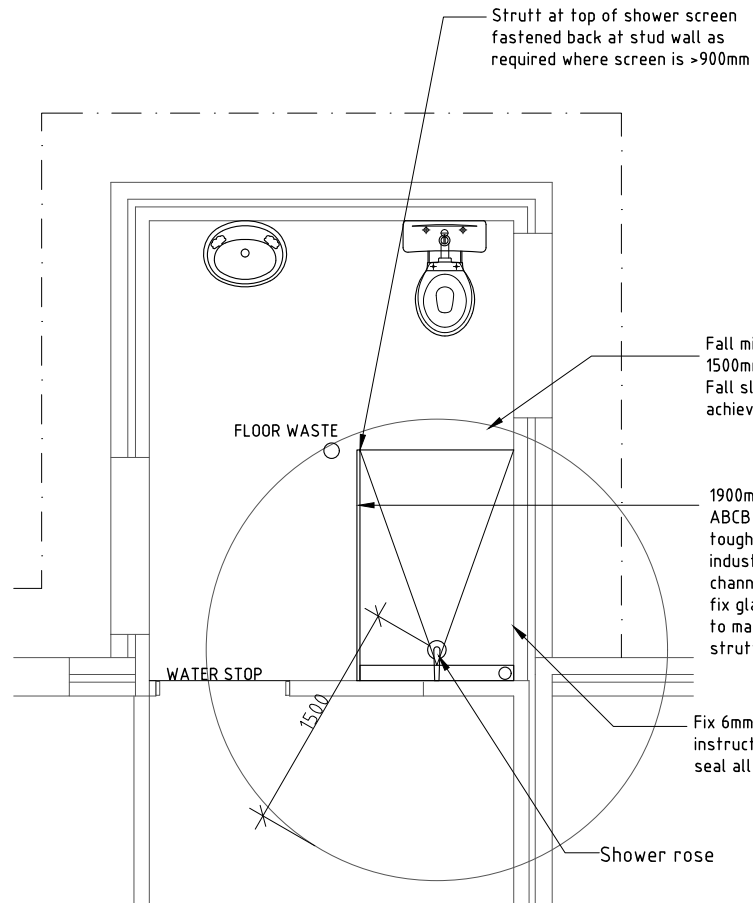
PROPOSED 2 UNIT DEVELOPMENT FOR DART GROUP AT 9 LOWMORE AVENUE ROKEBY	PLUMBING NOTES		DATE 02/04/2024	DRAWN BY G Tilley email: gtilley7@biapond.com phone ph 0400 671 582
	SCALE N/A	AMENDED	DRAWING NO. 06 OF 11	Accreditation No. CC620H © copyright 2023 8923



TYPICAL PREFORMED SHOWER BASE WALL/FLOOR JUNCTION



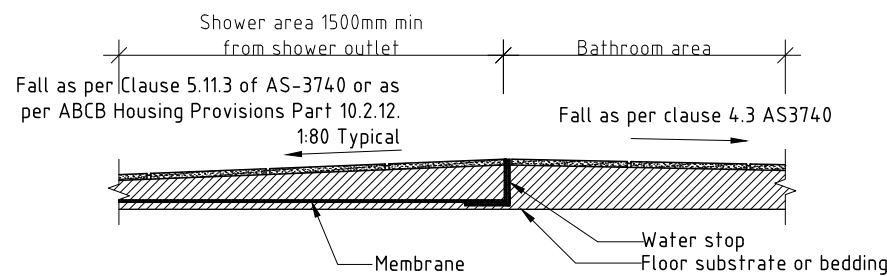
TYPICAL PREFORMED SHOWER BASE/FLOOR JUNCTION ON TIMBER FLOORS, INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER MATERIALS



WET AREA DETAIL (TYPICAL)

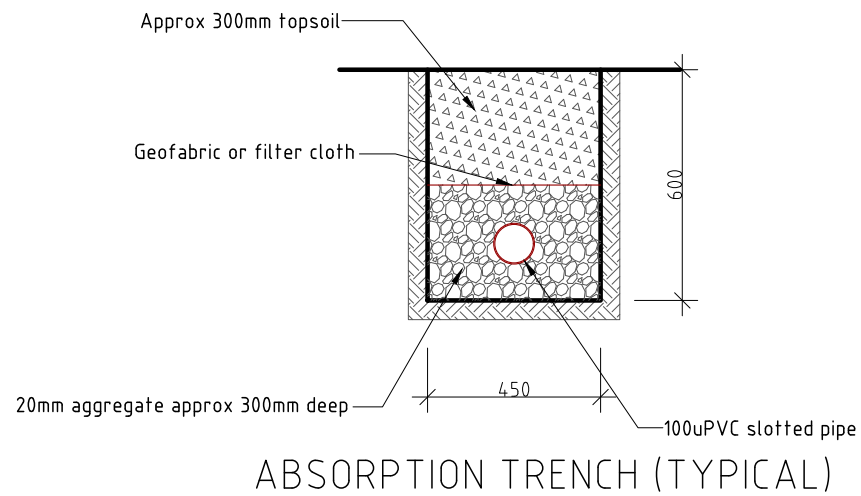
Scale 1:50

Seal all joints, gaps & wall junctions with PVA sealant - cover floor/wall junctions min R6: 2 coats of approved PVA membrane installed to manufacturers instructions, including coth tape to wall junctions and penetrations. To floor, continue 50mm up vertical surfaces & to shower bay 1800x1500 each way from shower rose or to shower screen. To timber skirting or door architrave to stop <25mm above finished floor level.



TYPICAL TERMINATION OF MEMBRANE AT EXTENT OF SHOWER AREA

Scale 1:50

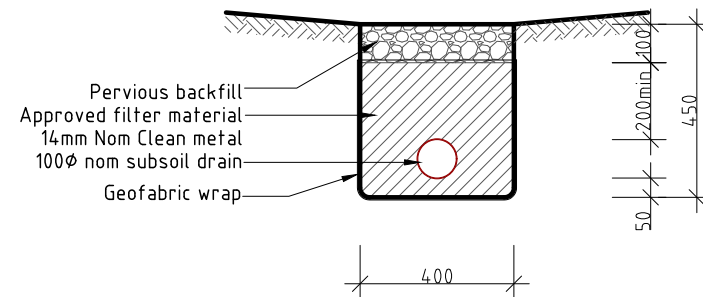


ABSORPTION TRENCH (TYPICAL)

Fall min 1:80 to drain, min 1500mm from shower rose. Fall slab to shower bay to achieve correct fall to floor.

1900mm high semi-frameless shower screen to comply with ABCB Housing Provisions Table 8.4.6 & AS 1288:2021. Min. 6mm toughened safety organic coated glass, labelled to comply with industry standards. Silicon sealed in 20x20mm aluminium channel fixed and fully sealed above membrane. Install & silicon fix glass and bevelled full height return, min 200mm @min 30° to main shower screen to provide restraint. Alternatively, fix strutt to top of shower screen and fasten back at stud wall.

Fix 6mm villaboard to walls to manufacturers instructions. Nail @200crs behind tiles. Silicon seal all vertical & horizontal tile joints. No grout.

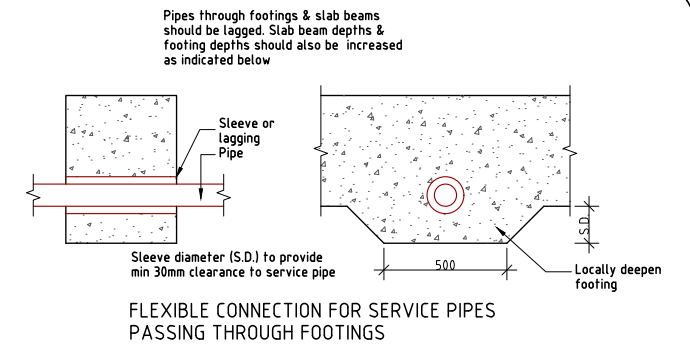


TYPICAL AGG DRAIN DETAIL

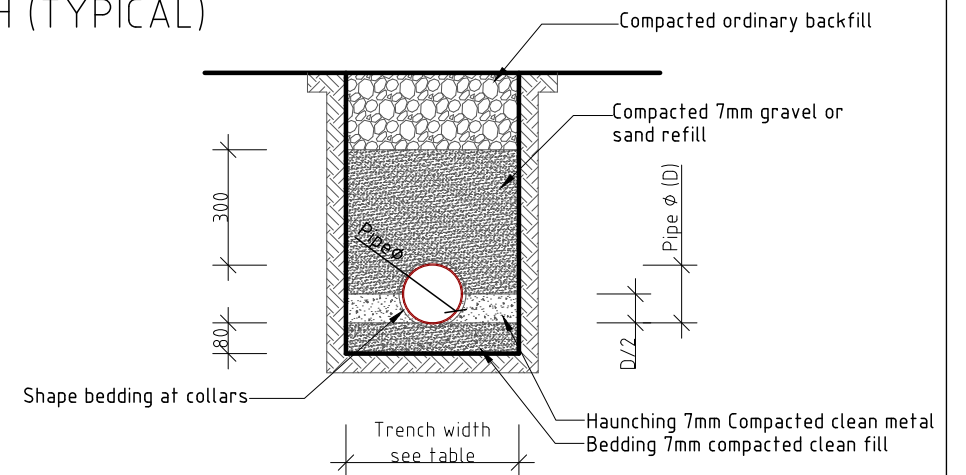
NOTE: All materials and construction to comply with AS3500.3:2021

TRENCH WIDTHS	
Pipe diameter	Min trench width
Less than 50mm	250
75-100mm	450
150-300mm	600
>300mm	Ø plus 300mm

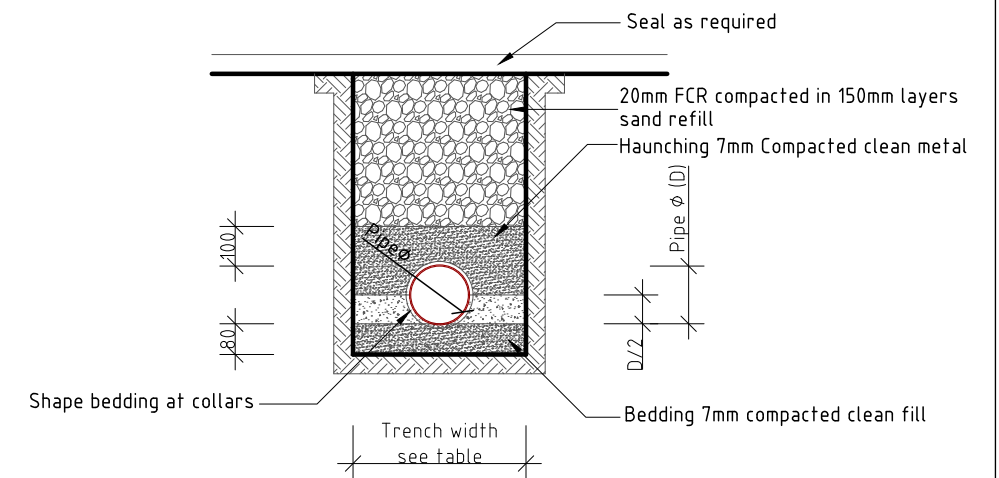
Surface drainage to conform with NCC Vol. 2 Part H2D2. NOTE: 50mm fall required over first 1m from building.



FLEXIBLE CONNECTION FOR SERVICE PIPES PASSING THROUGH FOOTINGS



TYPICAL PIPE TRENCH DETAIL NON-TRAFFICABLE AREAS



TYPICAL PIPE TRENCH DETAIL TRAFFICABLE AREAS

**IMPORTANT NOTICE FOR ATTENTION OF OWNER:**  
The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO Building Technology File 18 and it is the owners responsibility to maintain the site in accordance with that document.

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PROPOSED 2 UNIT DEVELOPMENT FOR DART GROUP AT 9 LOWMORE AVENUE ROKEBY

PLUMBING DETAILS

SCALE 1:20

AMENDED

DATE 02/04/2024

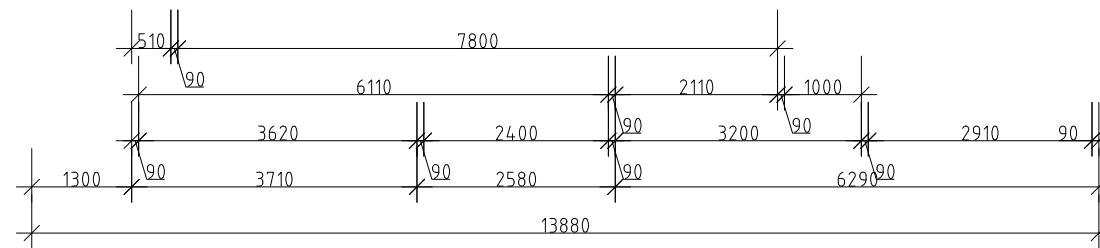
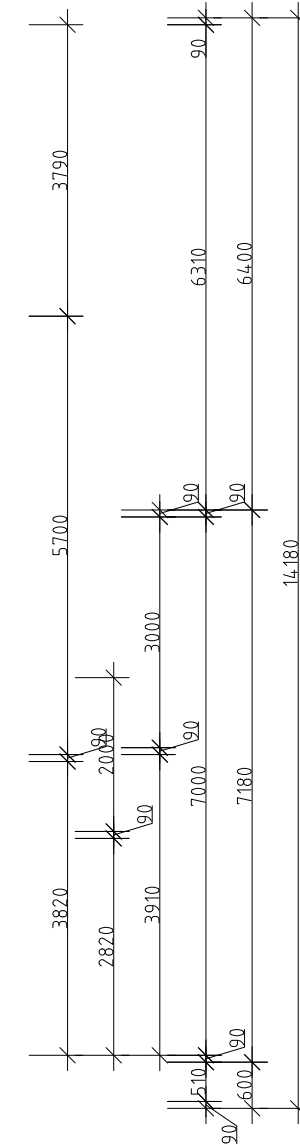
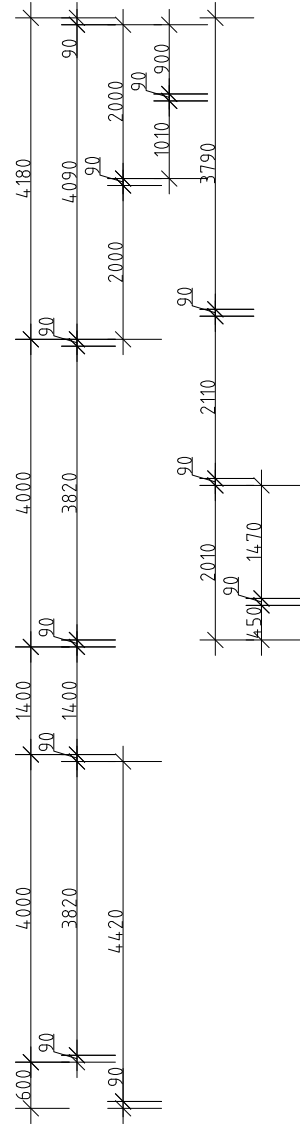
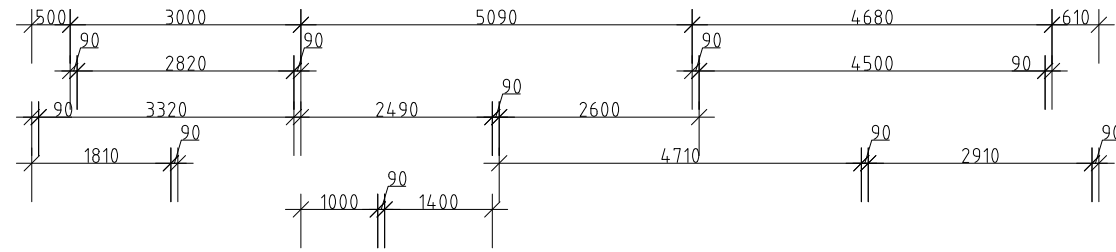
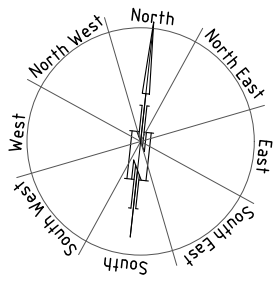
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UNIT 1 AREAS  
 Unit 1 157.01m<sup>2</sup>  
 Deck 19.29m<sup>2</sup>

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UNIT 1

PROPOSED 2 UNIT DEVELOPMENT  
 FOR DART GROUP AT  
 9 LOWMORE AVENUE ROKEBY

UNIT 1 PLAN

SCALE 1:100

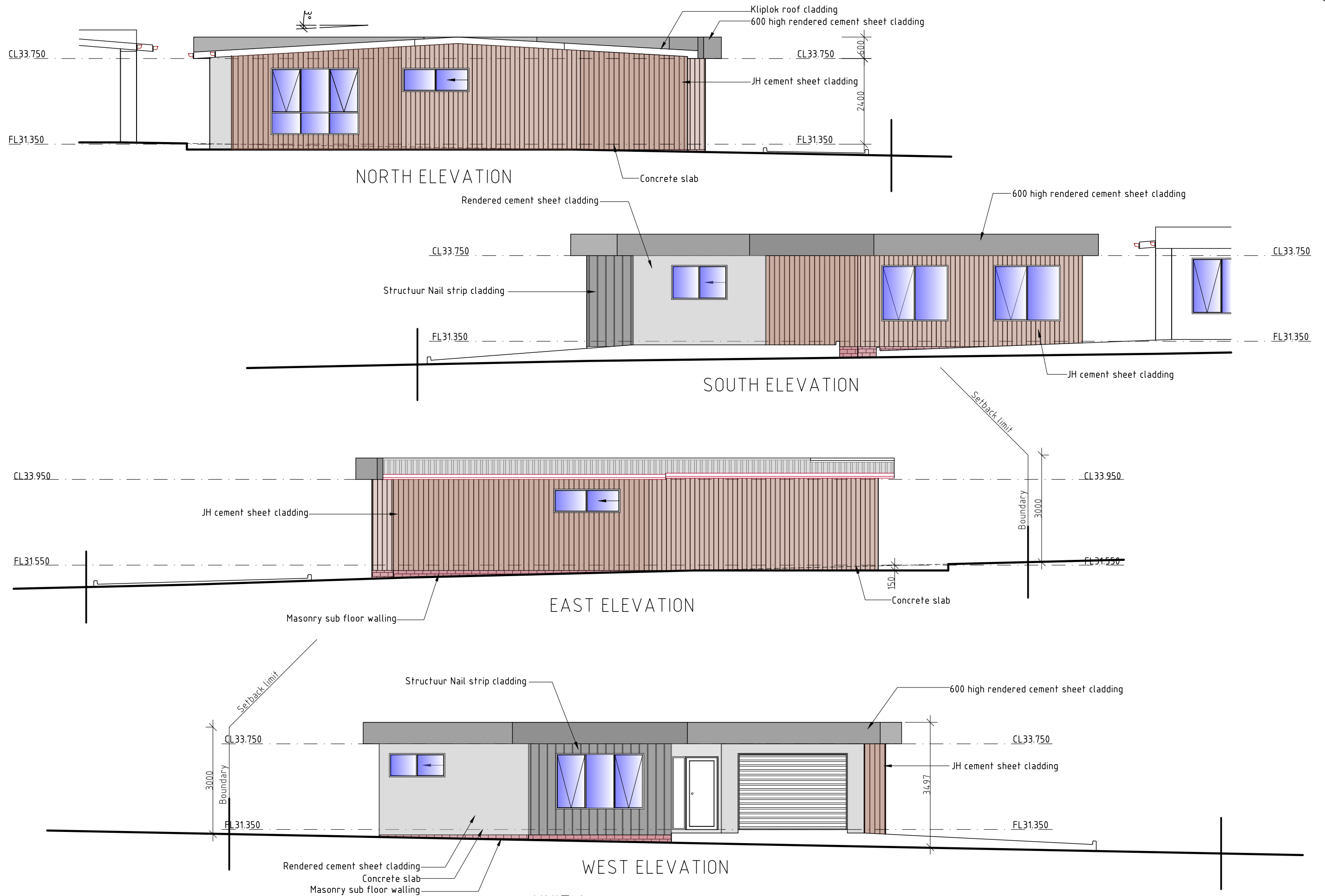
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**UNIT 1**

PROPOSED 2 UNIT DEVELOPMENT  
 FOR DART GROUP AT  
 9 LOWMORE AVENUE ROKEBY

**UNIT 1 ELEVATIONS**

SCALE 1:100

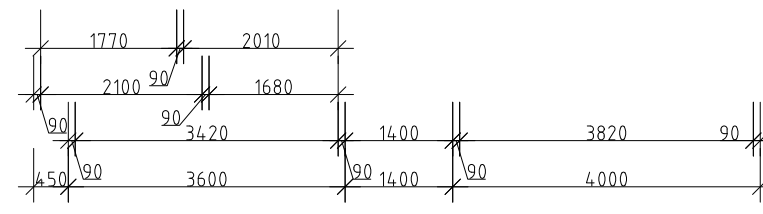
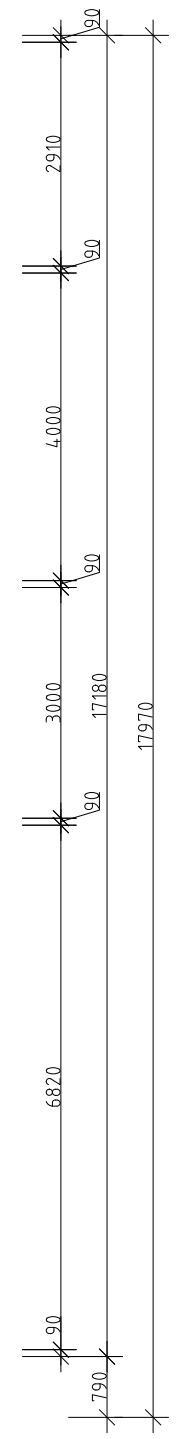
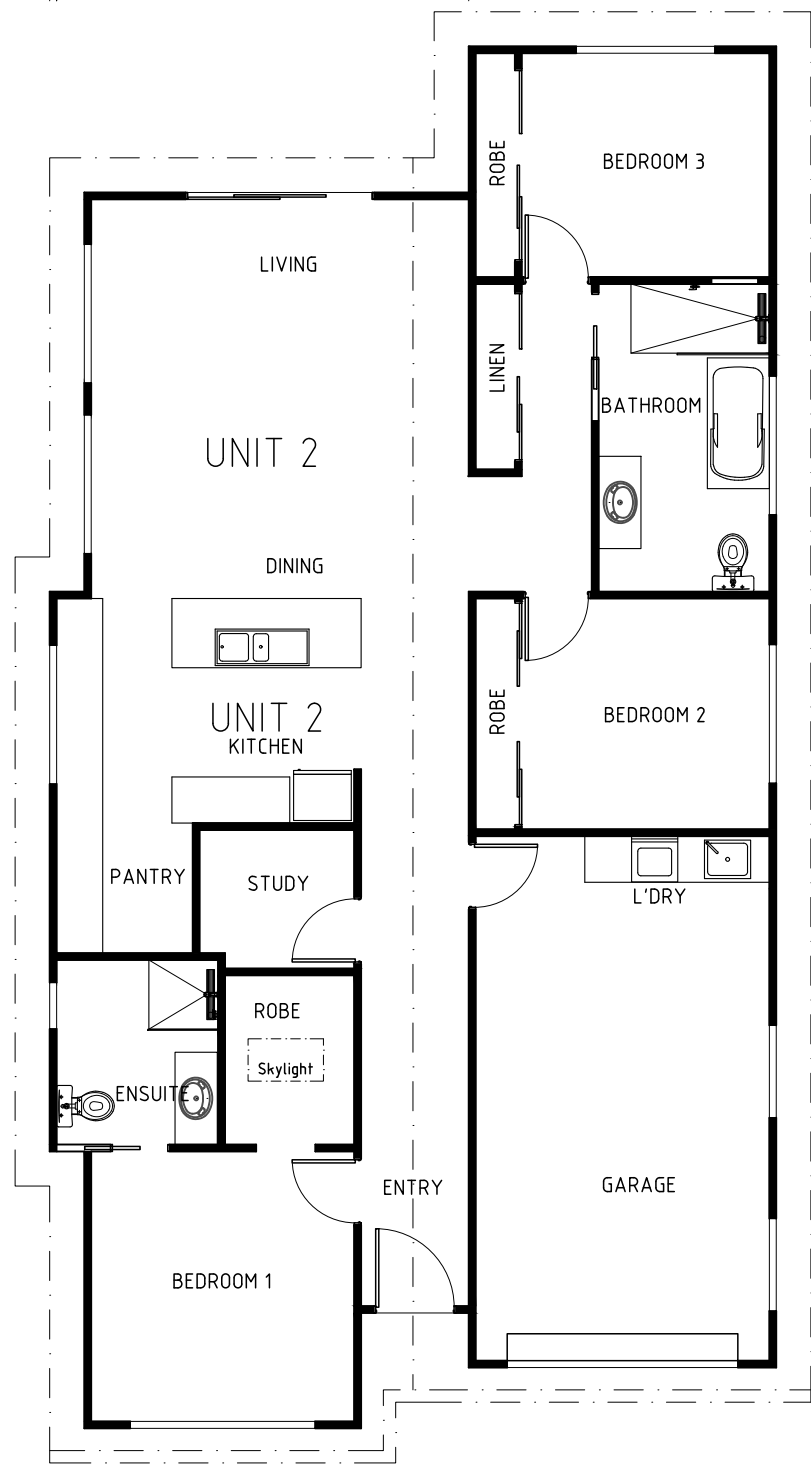
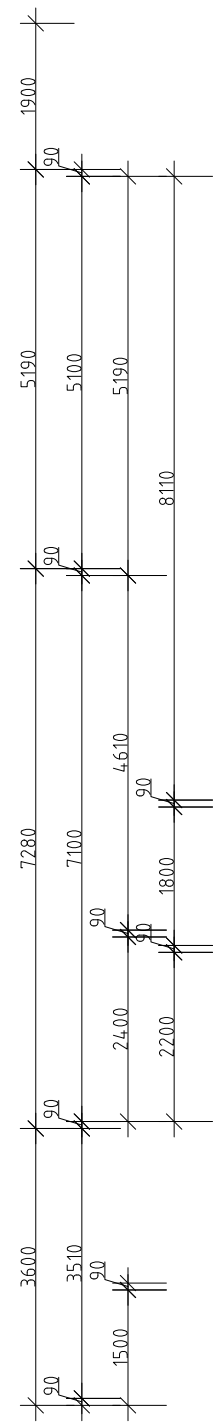
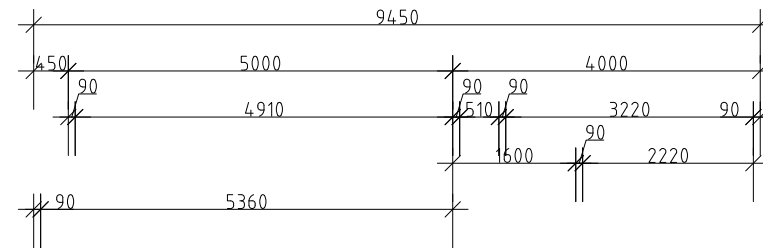
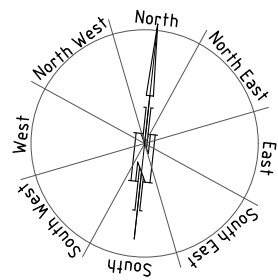
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UNIT 2 AREAS  
Unit 2 150.24m<sup>2</sup>

UNIT 2

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PROPOSED 2 UNIT DEVELOPMENT  
FOR DART GROUP AT  
9 LOWMORE AVENUE ROKEBY

UNIT 2 PLAN

SCALE 1:100

AMENDED

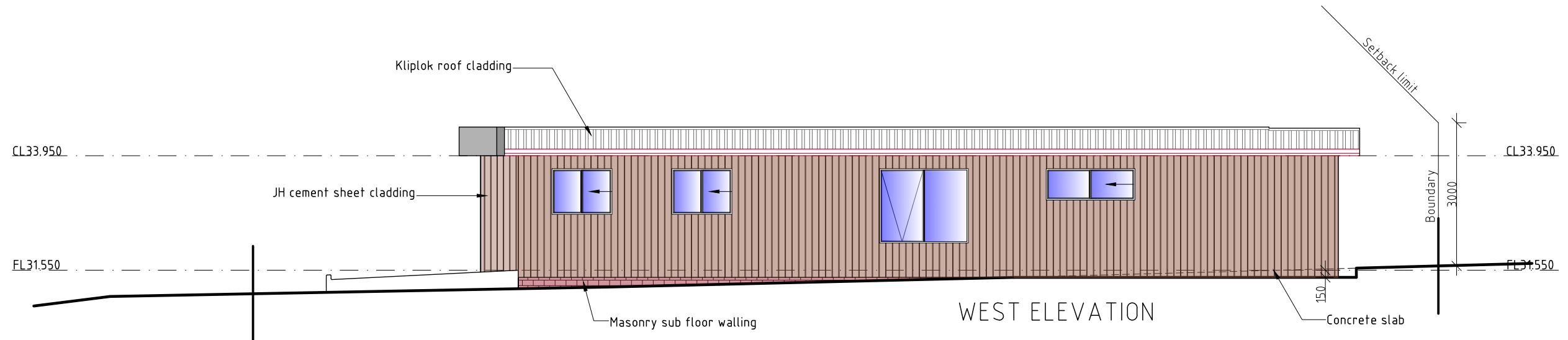
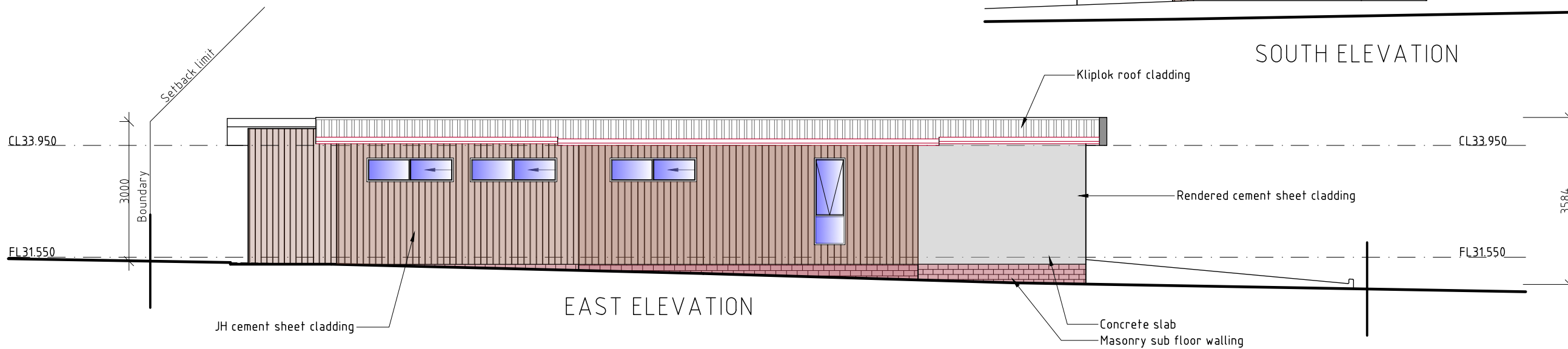
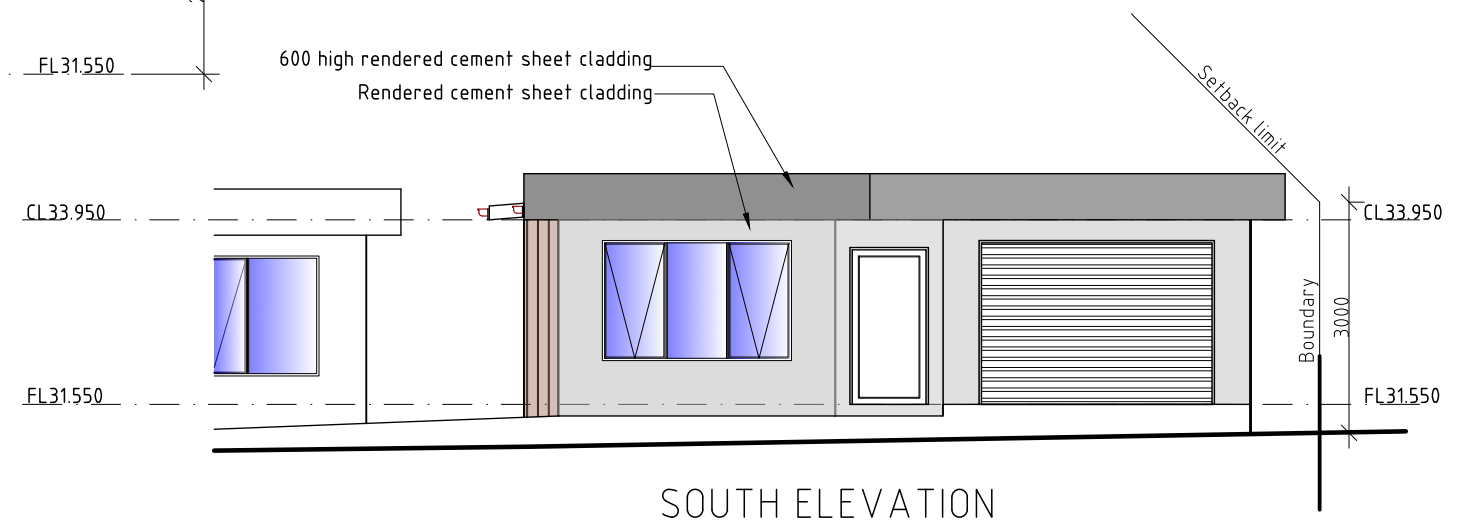
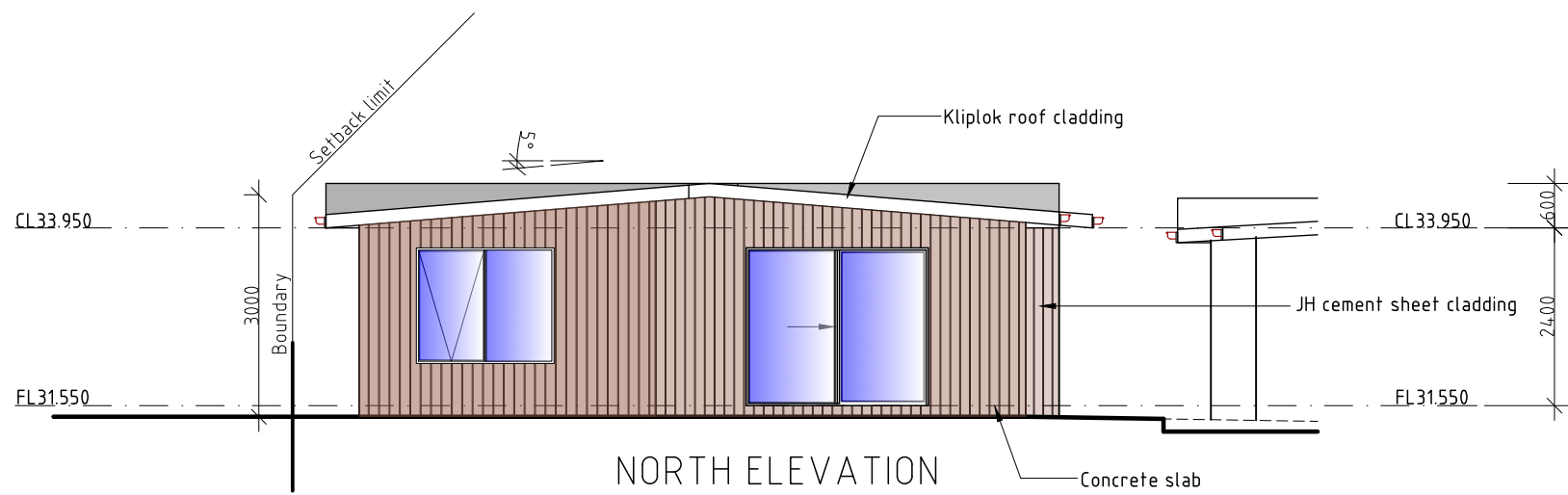
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DRAWN BY G Tilley  
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UNIT 2

DEVELOPMENT DRAWINGS ONLY  
NOT FOR CONSTRUCTION

PROPOSED 2 UNIT DEVELOPMENT  
FOR DART GROUP AT  
9 LOWMORE AVENUE ROKEBY

UNIT 2 ELEVATIONS

SCALE 1:100

AMENDED

DATE  
02/04/24

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11 OF 11

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Private Open Space (POS) Shadowing  
June 21. 9am to 3pm

