



DEVELOPMENT APPLICATION

PDPLANPMTD-2024/042078

PROPOSAL: Dwelling

LOCATION: 9 Titara Avenue, Rokeby

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 24 April 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 24 April 2024. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 24 April 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New Residential Dwelling

Location:

Address... 9 Titara Avenue
Suburb/Town ... Rokeby ... Postcode ... 7019

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$ 481,000.00

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

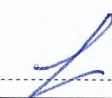
Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's Signature:

Signature  Date 7/2/2024

PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

SEARCH OF TORRENS TITLE

VOLUME 185273	FOLIO 28
EDITION 1	DATE OF ISSUE 31-Jul-2023

SEARCH DATE : 28-Aug-2023

SEARCH TIME : 02.13 PM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 28 on Sealed Plan 185273
 Derivation : Part of Lot 36312, 87.56ha Gtd. to The Director
 of Housing.
 Prior CT 242355/1

SCHEDULE 1

M957514 TRANSFER to MISSION AUSTRALIA HOUSING TASMANIA
 Registered 21-Jun-2022 at 12.02 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP185273 EASEMENTS in Schedule of Easements
 SP185273 FENCING PROVISION in Schedule of Easements
 E275346 NOTIFICATION pursuant to section 18B and section 18G
 of the Homes Act 1935 (Tas). The land is subject to
 this section for a period of 30 years. Registered
 21-Jun-2022 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

PRIORITY FINAL PLAN

OWNER: MISSION AUSTRALIA HOUSING TASMANIA	PLAN OF SURVEY	REGISTERED NUMBER SP185273
FOLIO REFERENCE: C/T 242355/1, C/T 17695/1, & C/T 10117/1		BY SURVEYOR: RUSSELL JAMES SMITH
GRANTEE: PART OF LOT 36312 87.56ha GRANTED TO THE DIRECTOR OF HOUSING	LOCATION: CITY OF CLARENCE	Recorder of Titles
SCALE 1:750 LENGTHS IN METRES		

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

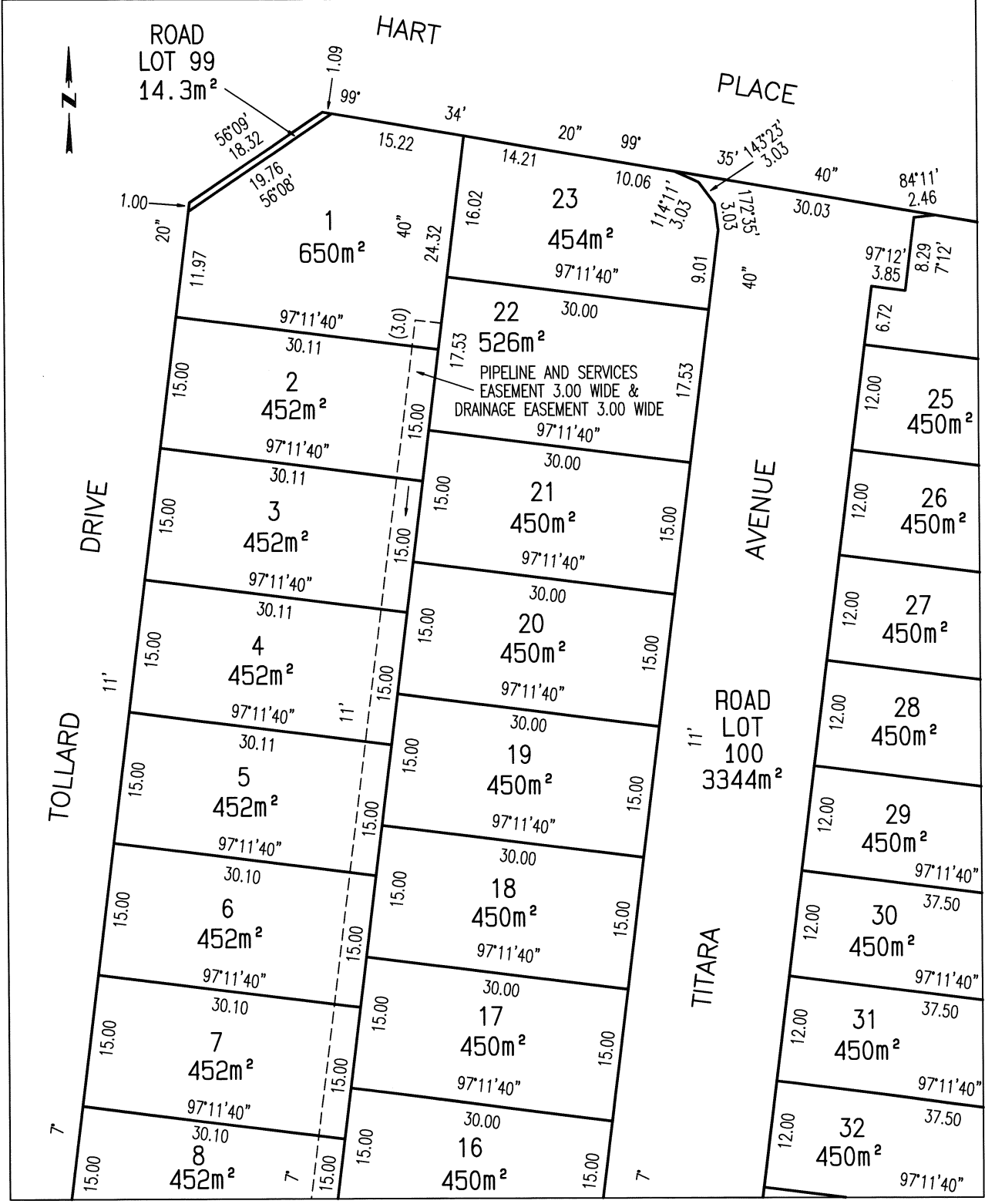


Registered Land Surveyor: *[Signature]* 4/6/2023 Date

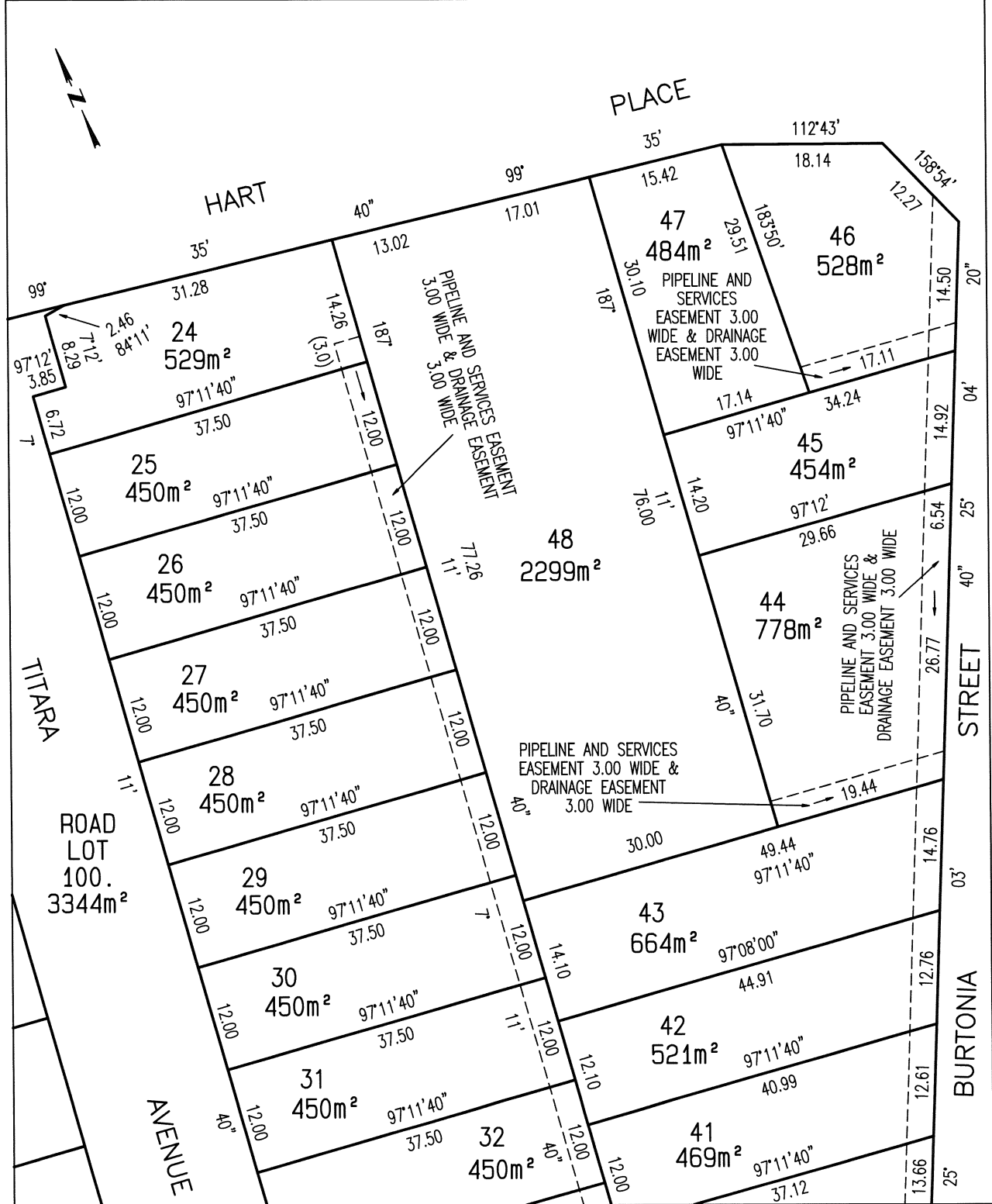
(SP143877)

Council Delegate Clare Shea 14.07.2023 Date

<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 4 SHEETS</p>	<p>OWNER: MISSION AUSTRALIA HOUSING TASMANIA FOLIO REFERENCE: C/T 242355/1, C/T 17695/1, & C/T 10117/1 SCALE 1:400 LENGTH IN METRES</p>	<p>Registered Number SP 185273</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES 14/07/2023 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. 4/6/2023 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 31 JUL 2023 Recorder of Titles</p>



<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 2 OF 4 SHEETS</p>	<p>OWNER: MISSION AUSTRALIA HOUSING TASMANIA FOLIO REFERENCE: C/T 242355/1, C/T 17695/1, & C/T 10117/1 SCALE 1:400 LENGTH IN METRES</p>	<p>Registered Number SP.185273</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>Chen</i>..... 14.07.2023 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. <i>[Signature]</i>..... 4/6/2023 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 31 JUL 2023 <i>[Signature]</i>..... Recorder of Titles</p>



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 185273

PAGE 1 OF 4 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

Each of lots 1-12 inclusive, 24-37 inclusive and 39-46 inclusive on the Plan (“the Lot”) are subject to a PIPELINE AND SERVICES EASEMENT in gross in favour of TasWater over the land marked PIPELINE AND SERVICES EASEMENT 3.00 WIDE & DRAINAGE EASEMENT 3.00 WIDE shown on the Plan (“the Easement Land”).

Each of lots 1-12 inclusive, 24-37 inclusive and 39-46 inclusive on the Plan are subject to a Drainage Easement (as defined) in gross in favour of the Clarence City Council over the land marked PIPELINE AND SERVICES EASEMENT 3.00 WIDE & DRAINAGE EASEMENT 3.00 WIDE on the Plan.

FENCING PROVISION

In respect of the lots shown on the Plan, the Vendor (Mission Australia Housing Tasmania) shall not be required to fence.

DEFINITIONS

“**Drainage Easement**” means a right of drainage (including the right of construction of drains) for Clarence City Council with which the right shall be capable of enjoyment for the purpose of carrying away

 Attorney



(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Mission Australia Housing Tasmania FOLIO REF: Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1 SOLICITOR & REFERENCE: Page Seager (David Shelley) 200541	PLAN SEALED BY: CLARENCE CITY COUNCIL DATE: 14 th July 2023 PDPLANPMTD 2019/003802 REF NO.
.....C. Shea..... Council Delegate Clare Shea	
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP. 185273</p>
<p>SUBDIVIDER: Mission Australia Housing Tasmania</p> <p>FOLIO REFERENCE: Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1</p>	

stormwater and other surplus water from any land over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for Clarence City Council and its employees, agents and contractors from time to time and at all times hereafter if it or they should think fit to enter into and upon the last-mentioned land and to inspect, repair, cleanse, and amend any such sewer or drain without doing unnecessary damage to the said land.

“**Pipeline and Services Easement**” is defined as follows:-

FIRSTLY, THE FULL AND FREE RIGHT AND LIBERTY for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and

Attorney

Attorney

CE

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 185273</p>
<p>SUBDIVIDER: Mission Australia Housing Tasmania</p> <p>FOLIO REFERENCE: Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1</p>	

- (7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot.

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described.

Interpretation:

“**Infrastructure**” means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Attorney

Attorney

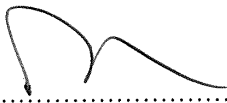
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ca

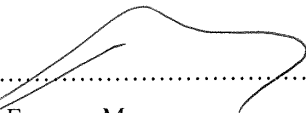
<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 185273</p>
<p>SUBDIVIDER: Mission Australia Housing Tasmania</p> <p>FOLIO REFERENCE: Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1</p>	

“TasWater” means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653), its successors and assigns.

EXECUTED by **Mission Australia Housing Tasmania (ACN 648 587 017)**, as registered proprietor of the land comprised in Folios of the Register Volume 242355 Folio 1, Volume 17695 Folio 1 and Volume 10117 Folio 1 by its attorneys **David Alexander Shelley** and **Daniel Eamonn Morgan** (each a Director of Page Seager Pty Ltd ACN 620 698 286) under registered Power of Attorney number PA139154 who hereby declare that no notice of alteration or revocation of this Power of Attorney has been received in the presence of:



 David Alexander Shelley
 (Director Page Seager Pty Ltd ACN 620 698 286)



 Daniel Eamonn Morgan
 (Director Page Seager Pty Ltd ACN 620 698 286)

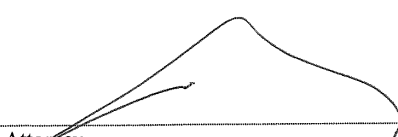
.....
 Witness Signature

Luke Charles Stanford

 Witness Full Name (print)

*Level 2, 179 Murray Street,
 Hobart,
 TAS 7000*

 Witness address



 Attorney



 Attorney

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THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals. SIGNATURE:

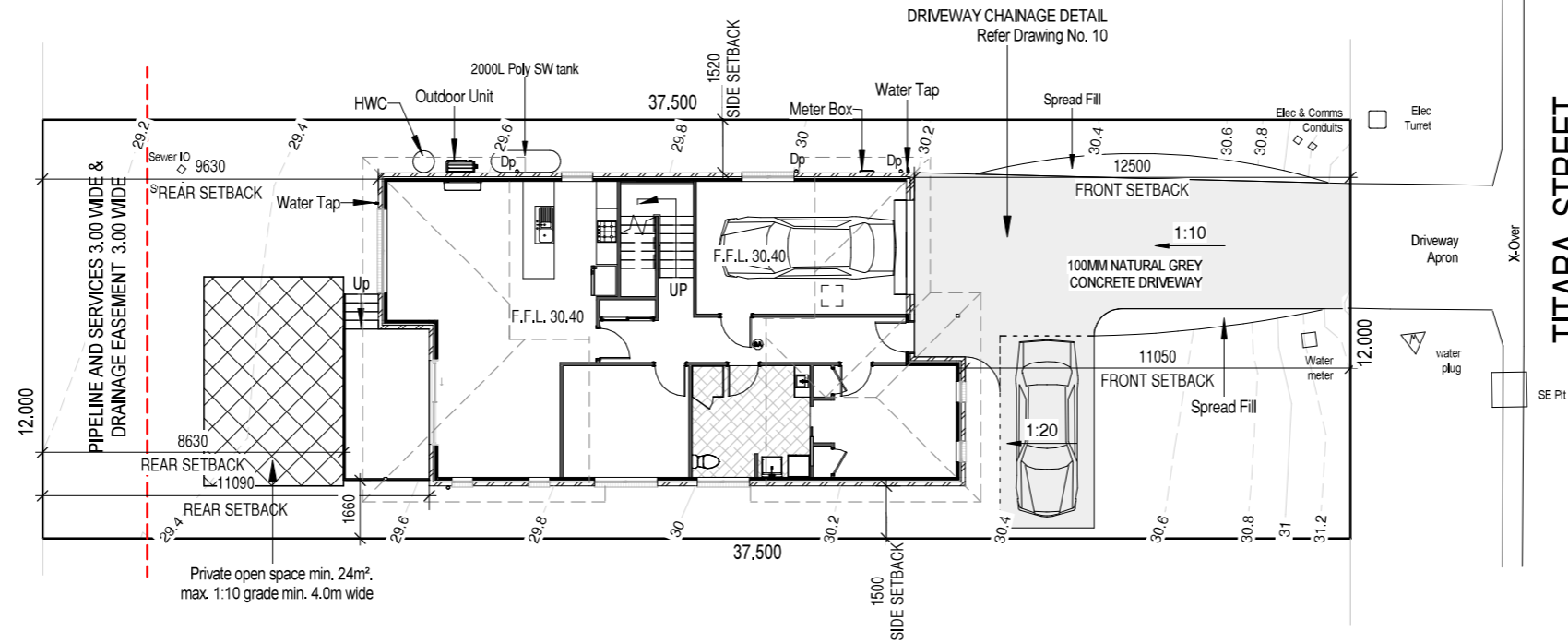
DATE:

Lower FL	30.400
Lower CL	32.800
Upper FL	33.100
Upper CL	35.500



**RONALD
YOUNG + CO
BUILDERS**

174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633



NOTE:

Survey drawing has been prepared for Ronald Young & Co. by Peter Binny Surveyor. It has been created to assist Ronald Young & Co. with house site design. The information on this plan should not be used for any other purpose. Peter Binny Surveyor can supply drawings for other purposes upon request. Boundaries shown for identification purposes only and have not been re-established or re-marked. Visible services located only. Other services may exist. This disclaimer forms an integral part of the plan.

AREA SCHEDULE

Lower Floor (Living)	: 110.6 m ²
Upper Floor (Living)	: 62.3 m ²
Garage	: 26.2 m ²
Total Floor area	: 199.1 m²
Outdoor Living(Including steps)	: 11.7 m ²
Driveway Area(Approx.)	: 68 m ²

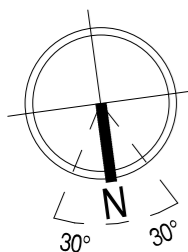
GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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DRAWING: SITE PLAN
DATE: 27.02.2024
FILE NAME: 2247
DRAWN BY: RK
DWG No:

Rev.	Date	Revision Description	Drawn
C	27.02.2024	Shadow analysis modified	RK
B	31.01.2024	Floor level, Driveway Gradient & Front/Rear setback modified	RK
A	28.09.2023	Dwelling Level and Driveway Gradient modified, Shadow plan added	RK
	29.06.2023	BA PLANS	RK



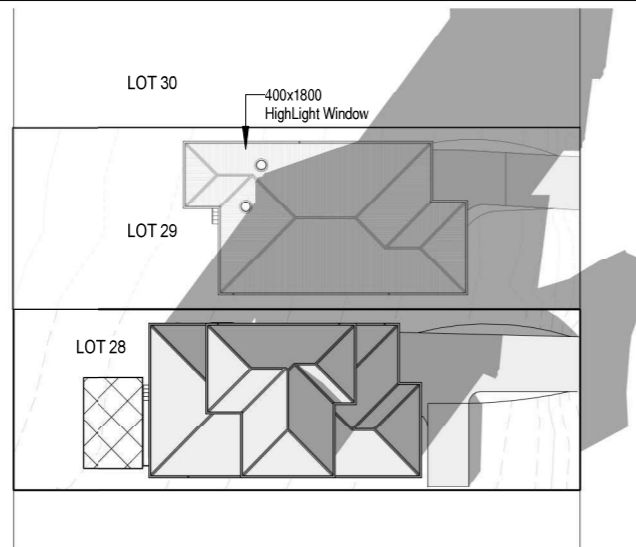
Scale: 1 : 200

**PROPOSED DWELLING FOR MISSION AUSTRALIA HOUSING
AT 9 TITARA AVENUE, ROKEBY**

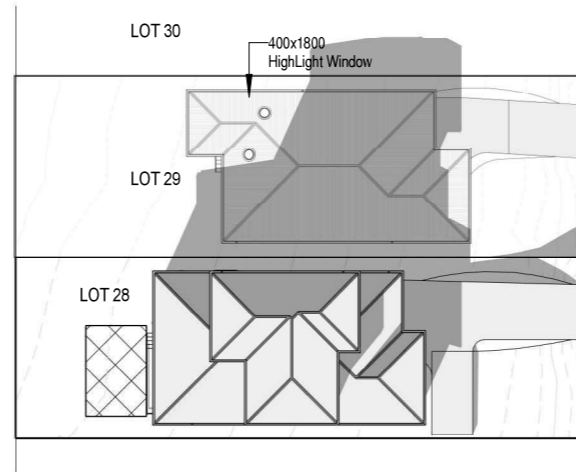
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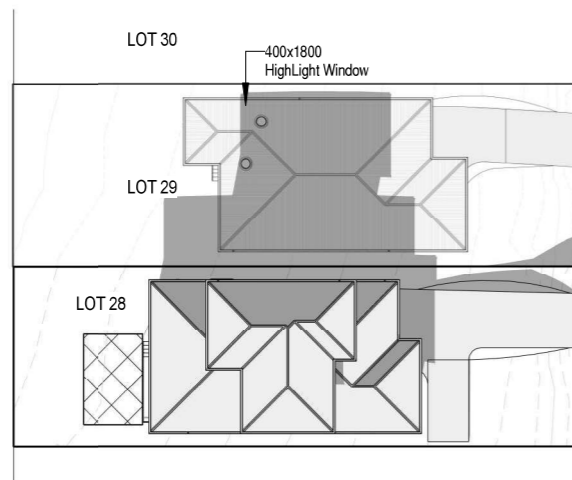
DATE:



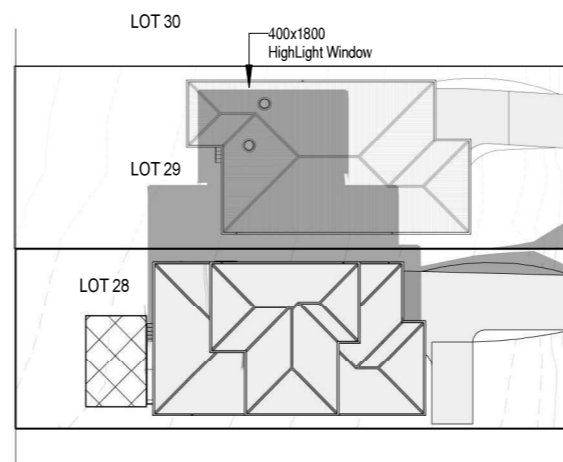
Shadow Plan 9am



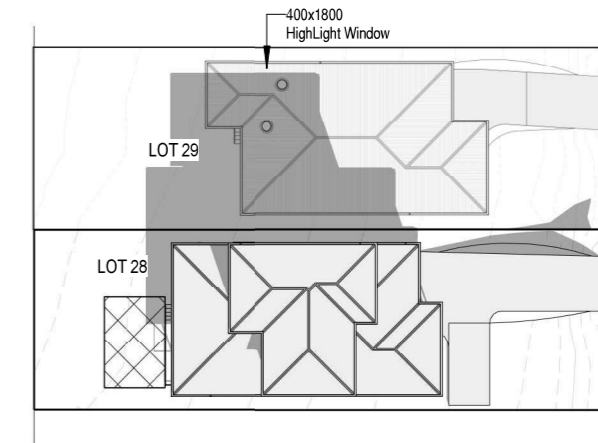
Shadow Plan 10am



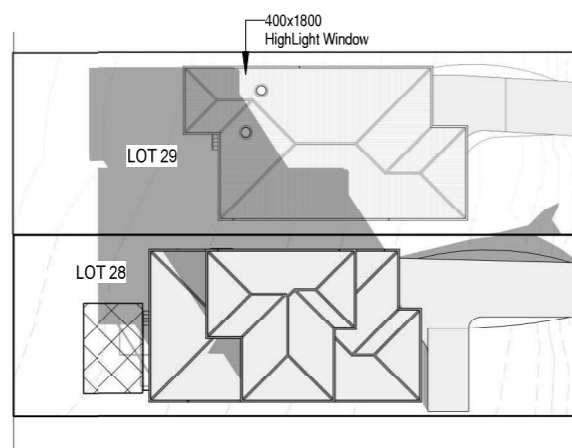
Shadow Plan 11am



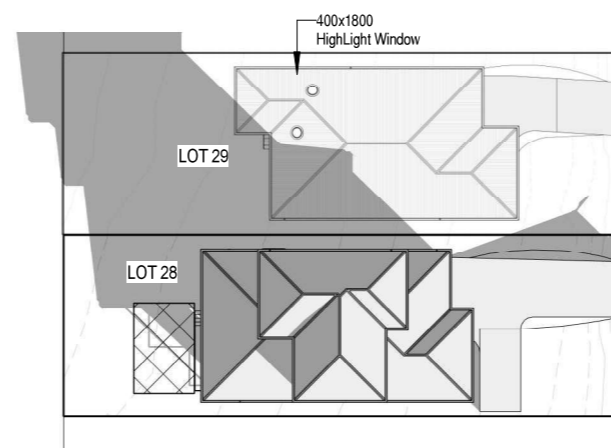
Shadow Plan 12pm



Shadow Plan 1 pm

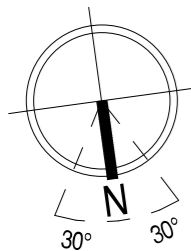


Shadow Plan 2 pm



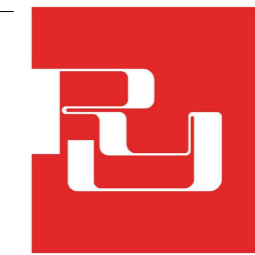
Shadow Plan 3 pm

NOTE:
SHADOW PLANS ARE TAKEN ON 21 JUNE.



Scale: 1 : 500

PROPOSED DWELLING FOR MISSION AUSTRALIA HOUSING
AT 9 TITARA AVENUE, ROKEBY



RONALD
YOUNG + CO
BUILDERS

174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633

BAL : LOW

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DRAWING: SHADOW PLAN
DATE: 27.02.2024
FILE NAME: 2247
DRAWN BY: RK
DWG No:

Rev.	Date	Revision Description	Drawn
C	27.02.2024	Shadow analysis modified	RK
B	31.01.2024	Floor level, Driveway Gradient & Front/Rear setback modified	RK
A	28.09.2023	Dwelling Level and Driveway Gradient modified, Shadow plan added	RK
	29.06.2023	BA PLANS	RK

01A

THIS PLAN IS ACCEPTED BY:

PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals. SIGNATURE:

DATE:

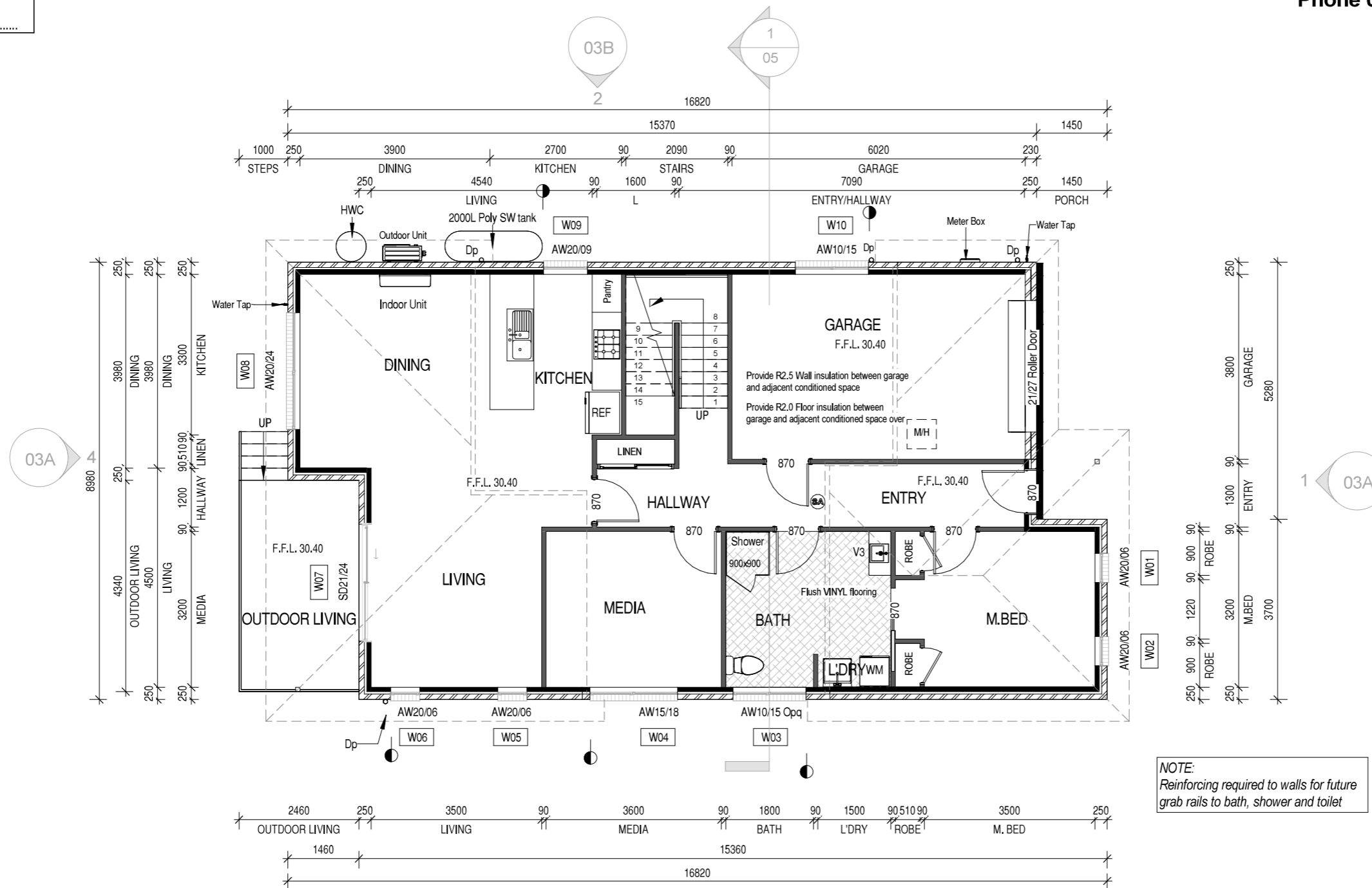
Lower FL	30.400
Lower CL	32.800

Upper FL	33.100
Upper CL	35.500



**RONALD
YOUNG + CO
BUILDERS**

174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633



NOTES:

- AJ Articulation Joint
- dp Down Pipe

For Kitchen Details, Refer to Kitchen Joinery Design

Vanity Legend

VB	450 mm
V1	600 mm
V2	750 mm
V3	900 mm
V4	1200 mm
V5	1500 mm

AREA SCHEDULE

Lower Floor (Living)	: 110.6 m ²
Upper Floor (Living)	: 62.3 m ²
Garage	: 26.2 m ²
Total Floor area	: 199.1 m²

Outdoor Living(Including steps) : 11.7 m²

Driveway Area(Approx.) : 68 m²

NOTE:
Reinforcing required to walls for future grab rails to bath, shower and toilet

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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DRAWING: LOWER FLOOR PLAN

DATE: 27.02.2024

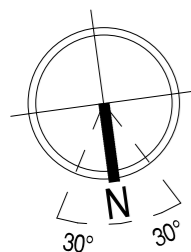
FILE NAME: 2247

DRAWN BY: RK

DWG No:

02A

Rev.	Date	Revision Description	Drawn
C	27.02.2024	Shadow analysis modified	RK
B	31.01.2024	Floor level, Driveway Gradient & Front/Rear setback modified	RK
A	28.09.2023	Dwelling Level and Driveway Gradient modified, Shadow plan added	RK
	29.06.2023	BA PLANS	RK



Scale: 1 : 100

**PROPOSED DWELLING FOR MISSION AUSTRALIA HOUSING
AT 9 TITARA AVENUE, ROKEBY**

THIS PLAN IS ACCEPTED BY:

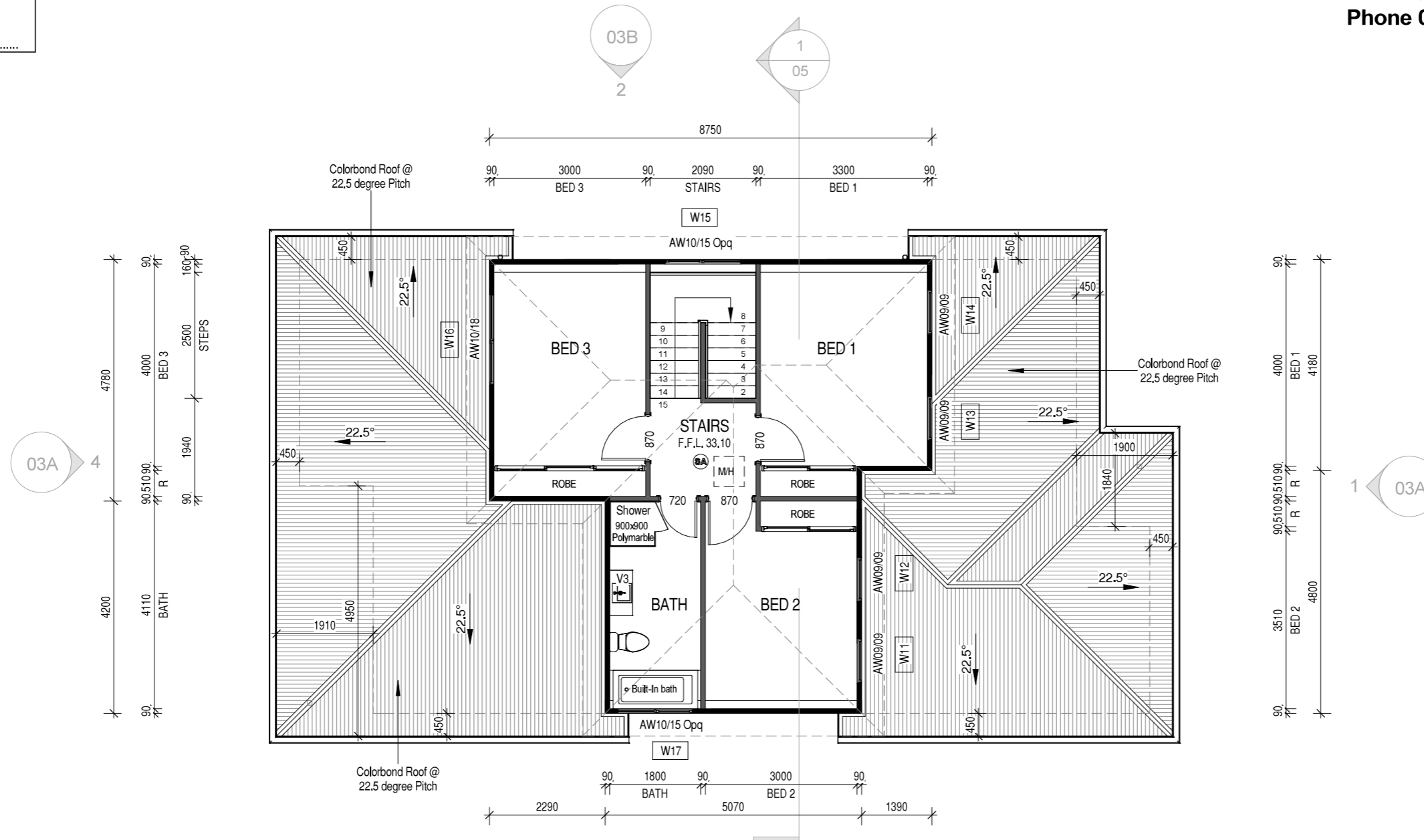
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SIGNATURE:

DATE:



**RONALD
YOUNG + CO
BUILDERS**

174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633



NOTES:

- AJ Articulation Joint
- dp Down Pipe

For Kitchen Details,
Refer to Kitchen Joinery Design

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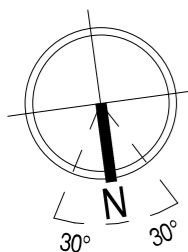
GLAZING NOTE:
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BAL : LOW

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DRAWING: UPPER FLOOR PLAN
DATE: 27.02.2024
FILE NAME: 2247
DRAWN BY: RK
DWG No: 02B

Rev.	Date	Revision Description	Drawn
C	27.02.2024	Shadow analysis modified	RK
B	31.01.2024	Floor level, Driveway Gradient & Front/Rear setback modified	RK
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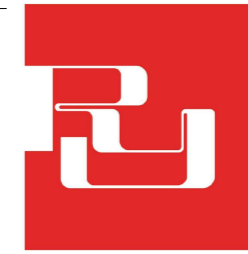
Scale: 1 : 100

**PROPOSED DWELLING FOR MISSION AUSTRALIA HOUSING
AT 9 TITARA AVENUE, ROKEBY**

THIS PLAN IS ACCEPTED BY:

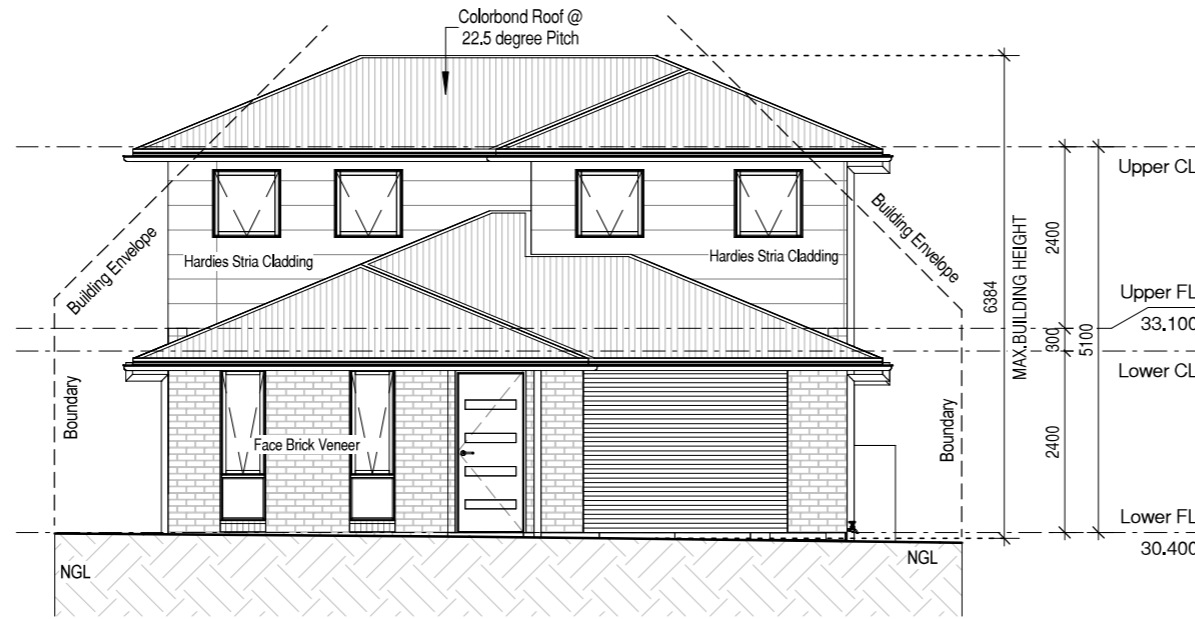
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SIGNATURE:

DATE:

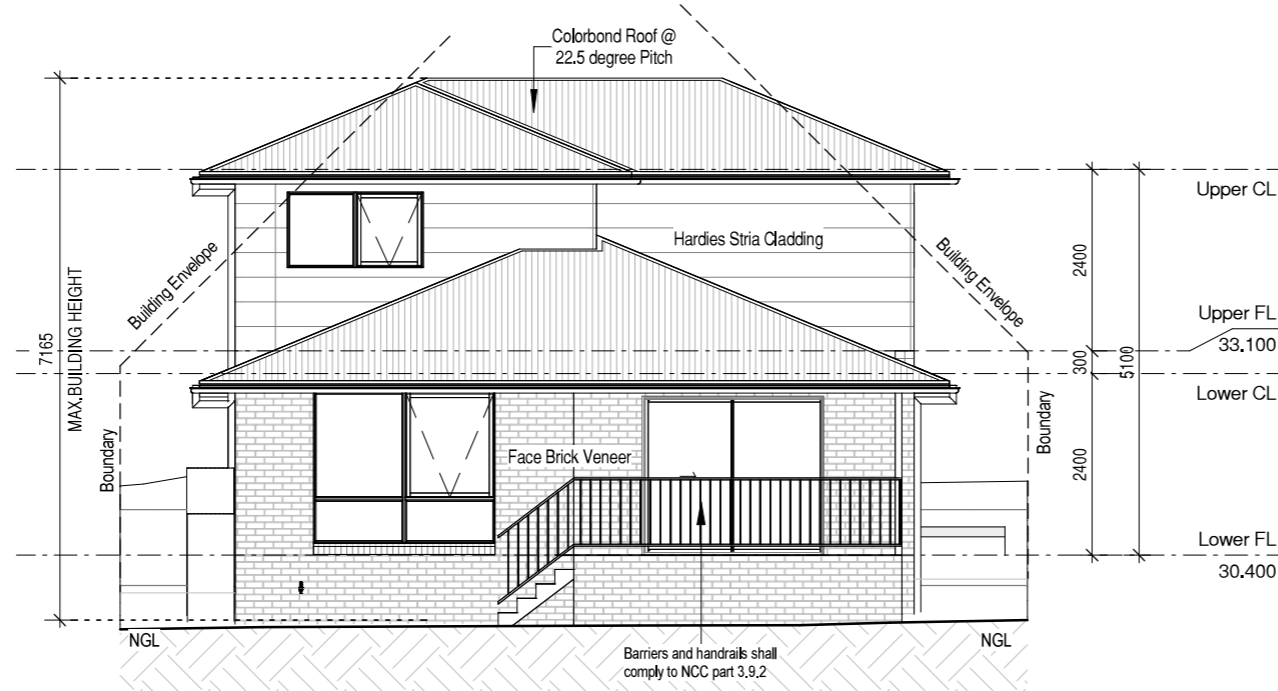


**RONALD
YOUNG + CO
BUILDERS**

**174 Bathurst Street, Hobart, Tasmania 7000
Phone 03 6234 7633**



WEST Elevation



EAST Elevation

GLAZING NOTE:
All windows are Double glazed

BAL : LOW

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DRAWING: ELEVATIONS 01

DATE: 27.02.2024

FILE NAME: 2247

DRAWN BY: RK

DWG No:

Rev.	Date	Revision Description	Drawn
C	27.02.2024	Shadow analysis modified	RK
B	31.01.2024	Floor level, Driveway Gradient & Front/Rear setback modified	RK
A	28.09.2023	Dwelling Level and Driveway Gradient modified, Shadow plan added	RK
	29.06.2023	BA PLANS	RK

Scale: 1 : 100

**PROPOSED DWELLING FOR MISSION AUSTRALIA HOUSING
AT 9 TITARA AVENUE, ROKEBY**

03A

THIS PLAN IS ACCEPTED BY:

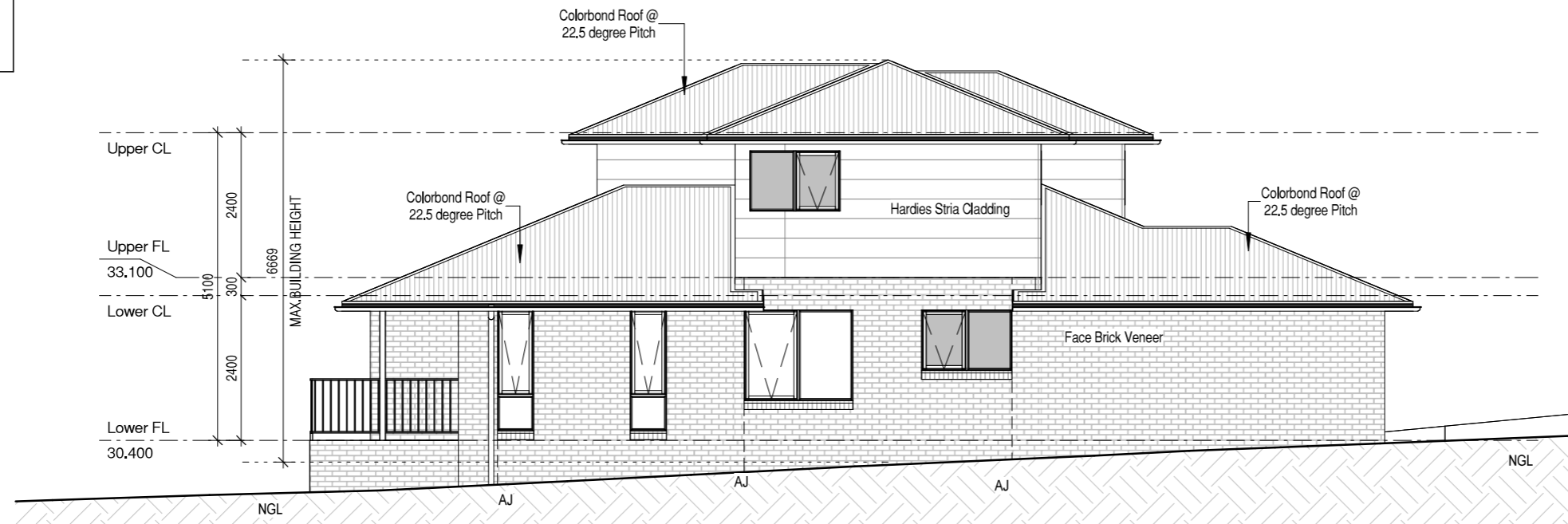
PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals, SIGNATURE:

DATE:

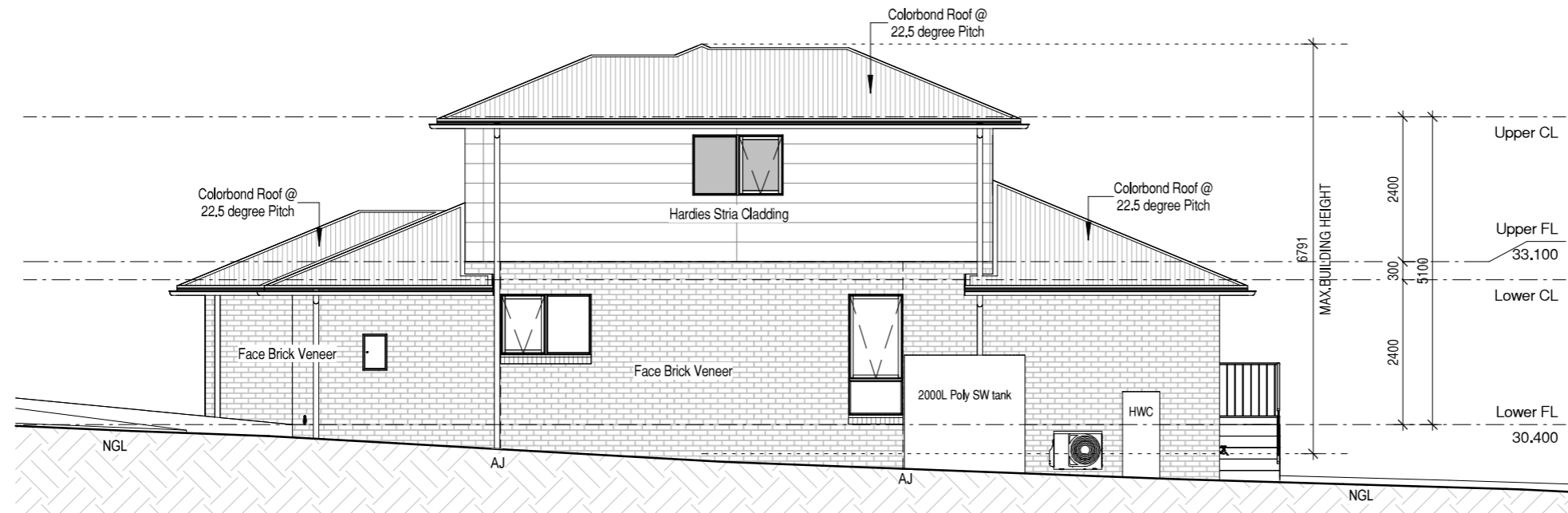


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NORTH Elevation



SOUTH Elevation

BAL : LOW

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DRAWING: ELEVATIONS 02

DATE: 27.02.2024

FILE NAME: 2247

DRAWN BY: RK

DWG No:

Rev.	Date	Revision Description	Drawn
C	27.02.2024	Shadow analysis modified	RK
B	31.01.2024	Floor level, Driveway Gradient & Front/Rear setback modified	RK
A	28.09.2023	Dwelling Level and Driveway Gradient modified, Shadow plan added	RK
	29.06.2023	BA PLANS	RK

Scale: 1 : 100

**PROPOSED DWELLING FOR MISSION AUSTRALIA HOUSING
AT 9 TITARA AVENUE, ROKEBY**

03B

THIS PLAN IS ACCEPTED BY:

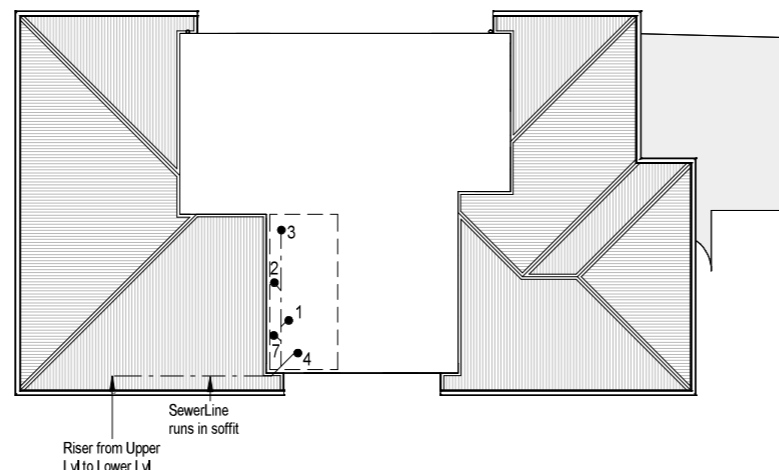
PLEASE NOTE: No Variations will be permitted after plans are signed by the client (with exception of Council requirements/ approvals, SIGNATURE:

DATE:

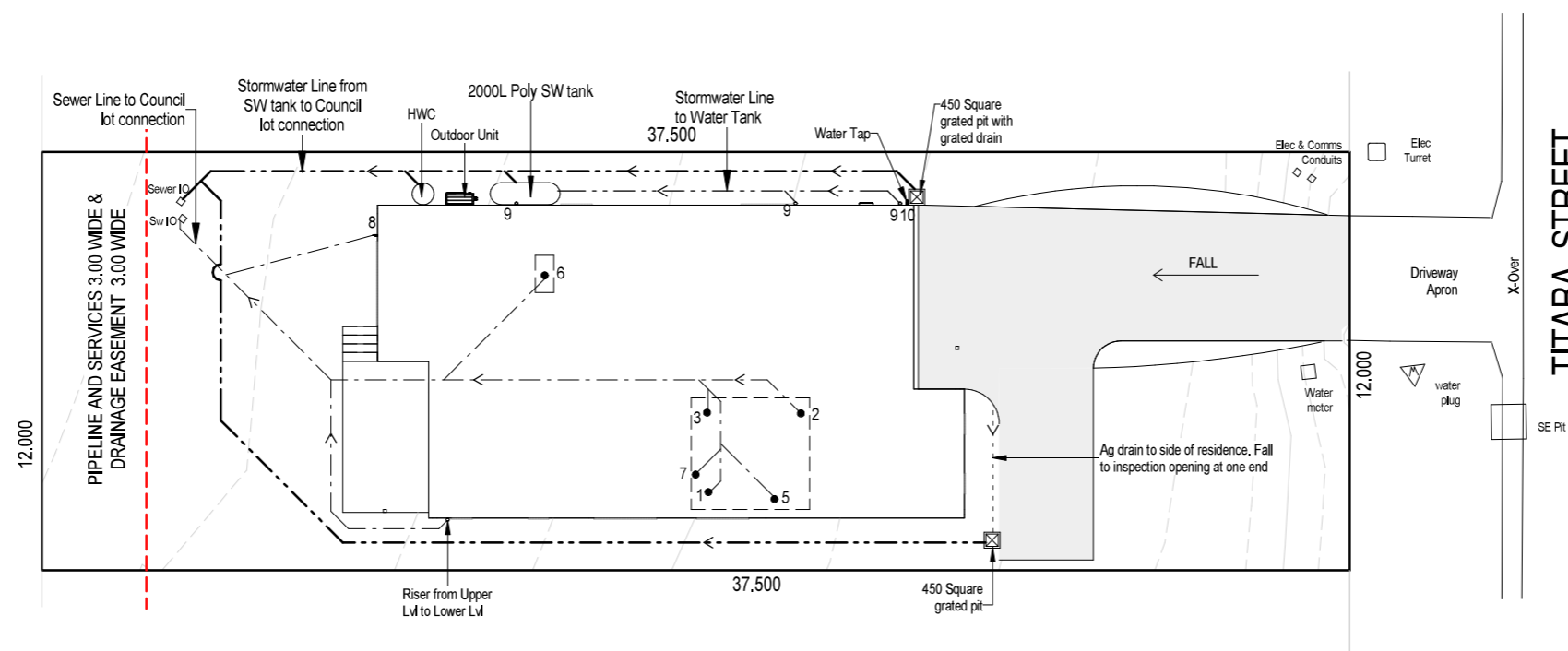


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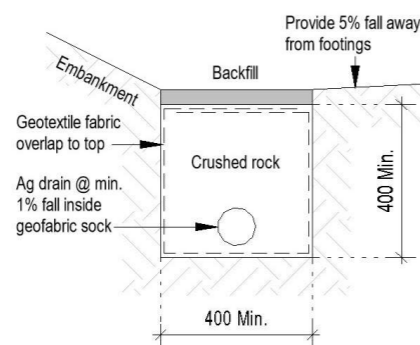


Drainage_Upper FL



Drainage_Site Plan

LEGEND		
Abbr.	TYPE	Min. Ø Outlet size
1	Water closet pan	100
2	HandBasin	40
3	Shower	50
4	Bath	40
5	Laundry Trough	50
6	Kitchen Sink	50
7	Vent	50
8	Tap Charged ORG min.150mm below FFL	
9	Downpipe	90
10	Tap	
i.o.	Inspection Opening to Ground Lvl	
f/w	Floor Waste	
- - - Sewer line 100Ø UPVC U.N.O. - - - Stormwater line 100Ø UPVC U.N.O.		



AG Drain (Typical)

**PROPOSED DWELLING FOR MISSION AUSTRALIA HOUSING
AT 9 TITARA AVENUE, ROKEBY**

Scale: 1 : 200

BAL : LOW

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	29.06.2023	BA PLANS	RK

DRAWING: DRAINAGE PLAN
DATE: 27.02.2024
FILE NAME: 2247
DRAWN BY: RK
DWG No: