



DEVELOPMENT APPLICATION

PDPLANPMTD-2024/041667

PROPOSAL: Demolition, Additions and Alterations (Single Dwelling)

LOCATION: 11 Cleve Court, Howrah

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 30 April 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 30 April 2024. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 30 April 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

NEW SHED

Location:

Address..... 11 CLEVE COURT

Suburb/Town HOWRAH

Postcode 7018

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$30,000

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

RESIDENTIAL DWELLING

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No


Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's Signature:

	Date 19/01/2024
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PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 21283	FOLIO 10
EDITION 3	DATE OF ISSUE 10-Jan-2023

SEARCH DATE : 01-Dec-2023

SEARCH TIME : 01.03 PM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 10 on Plan 21283
 Derivation : Part of 95A-1R-1Ps. Gtd. to P. Roberts.
 Prior CT 4264/62

SCHEDULE 1

N101386 TRANSFER to JEMMA KATHERINE SACCO and JARRAD JOESPH SACCO Registered 10-Jan-2023 at 12.01 PM

SCHEDULE 2

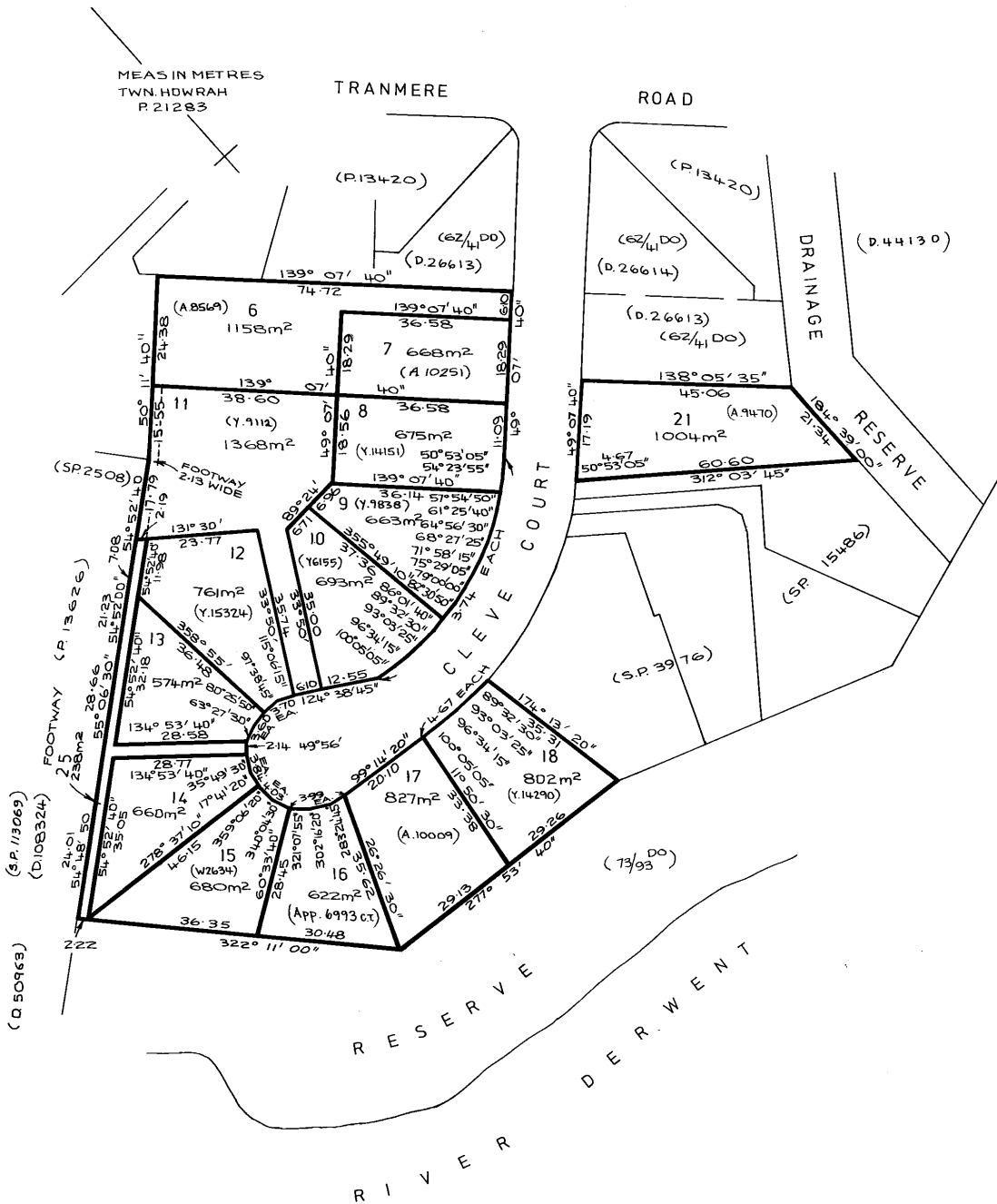
Reservations and conditions in the Crown Grant if any
 E327158 MORTGAGE to Suncorp-Metway Ltd Registered
 10-Jan-2023 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OS K 1110

Owner:	<p align="center">PLAN OF SURVEY</p> <p>by Surveyor.....</p> <p>of land situated in the</p> <p align="center">TOWN OF HOWRAH</p> <p align="center">CITY OF CLARENCE</p> <p>SCALE 1:750 MEASUREMENTS IN METRES</p>	Registered Number:
Title Reference:		P 21283
Grantee: PART OF 95 ^A : 1 ^R : 1 ^P GTD. TO P. ROBERTS		<p>Approved</p> <p>Effective from: 30 AUG 1983</p> <p><i>J. Browne</i></p> <p>ACTING DEPUTY Recorder of Titles</p>



11

DRAWING SCHEDULE	
A.01	LOCATION PLAN
A.02	SITE PLAN 1:200
A.03	GROUND FLOOR PLAN - EXISTING
A.04	DEMOLITION PLAN
A.05	PROPOSED SHED
A.06	ELEVATIONS



11 CLEVE COURT,
HOWRAH

NEW SHED
JOB NO: 2322

SITE INFORMATION

Title Reference: 21283/10
 Property ID: 5199530
 Planning Zone: General Residential
 General Overlays:

Code Overlays: -Airport obstacle limitation area

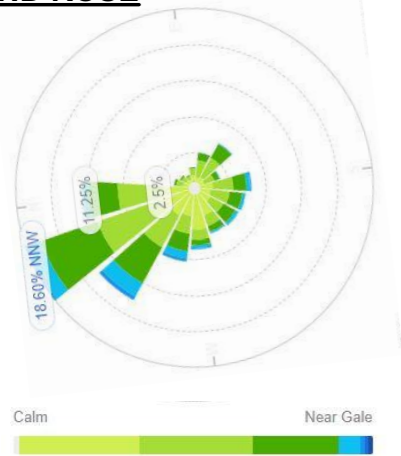
Soil Classification: **TBC Refer to Soil Assessment**

NCC Building Class: 10a
 Proposed use of the shed structure is associated with the existing residential use, and is not for habitable or commercial use.

Land area: 693m²
 Demolition Area: 24.66m²
 Proposed Shed: 44.60m²



WIND ROSE



MK | **MATT KENNEDY**
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 Licence: 189009392

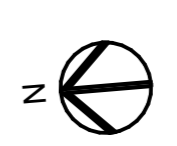
bdaa
 BUILDING DESIGNERS
 ASSOCIATION OF AUSTRALIA

CLIENT: **JARROD & JEMMA SACCO**
 ADDRESS: **11 CLEVE COURT, HOWRAH**

JOB NO: **2322**

PROPOSAL **NEW SHED**
 PROJECT STAGE **D.A**


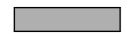



DATE **19/03/2024**
 SCALE **@A3**

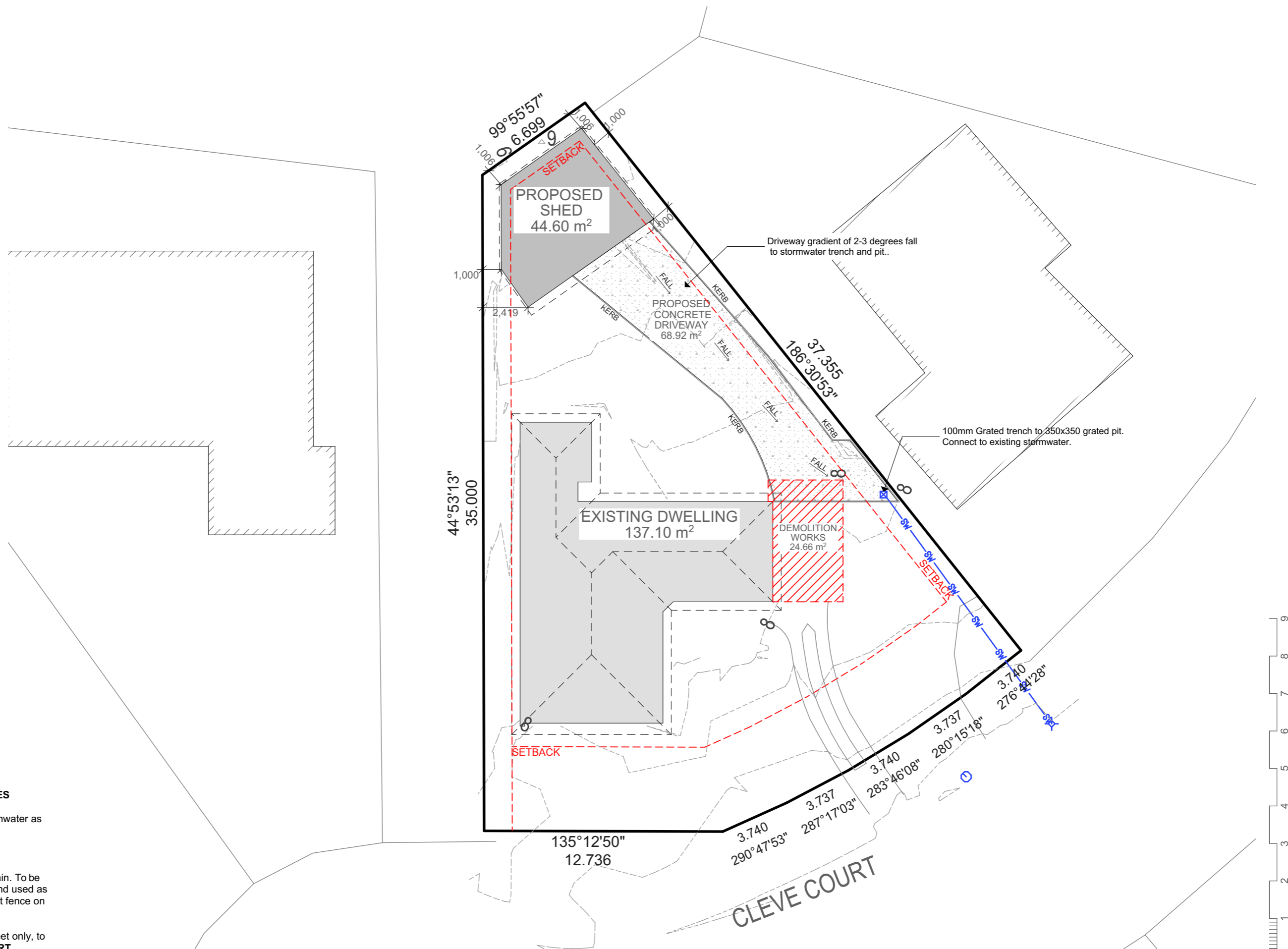


REV	AMENDMENT	DATES

A.01
 LOCATION PLAN

LEGEND

-  NEIGHBOURING BUILDING
-  PROPOSED BUILDING
-  DEMOLITION WORK
-  SET BACK
-  BOUNDARY



SOIL & WATER MANAGEMENT STRATEGIES

Downpipes to be connected into Council stormwater as soon as the roof is installed.

Install AG drain prior to footing excavation.

Excavated material placed up-slope of AG drain. To be removed when building works are complete and used as fill on site for any low points. Install a sediment fence on the downslope side of material.

Construction vehicles to be parked on the street only, to prevent transferring debris onto **CLEVE COURT**.

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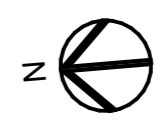
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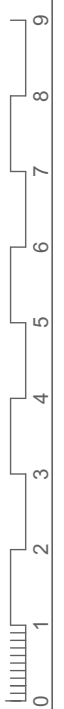
PROPOSAL
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PROJECT STAGE
D.A

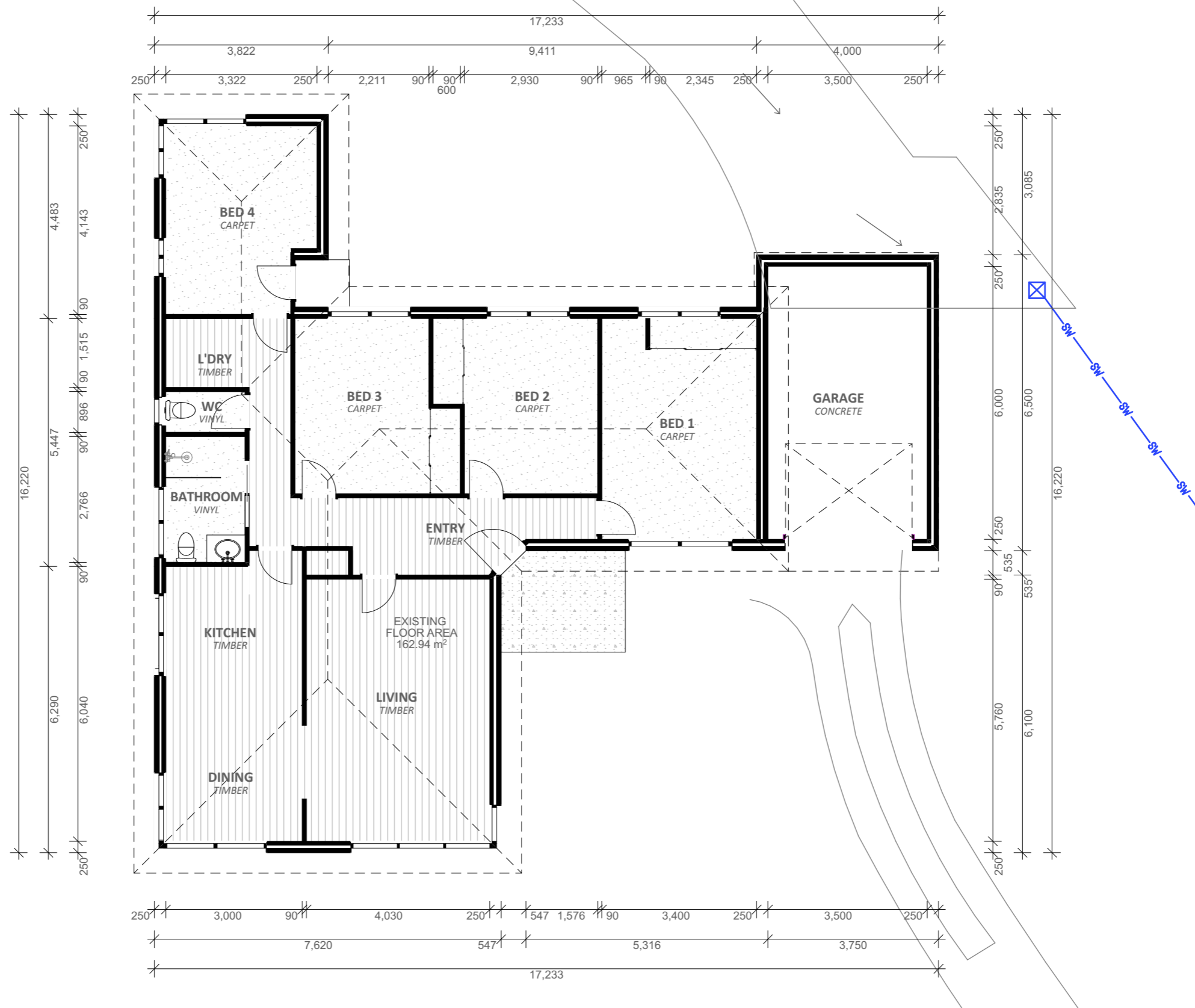
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19/03/2024
SCALE
1:200@A3



REV	AMENDMENT	DATES

A.02
SITE PLAN 1:200





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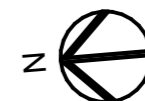


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SCALE
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REV | AMENDMENT | DATES

A.03
GROUND FLOOR
PLAN - EXISTING

LEGEND

DEMOLITION 

DEMOLITION NOTES

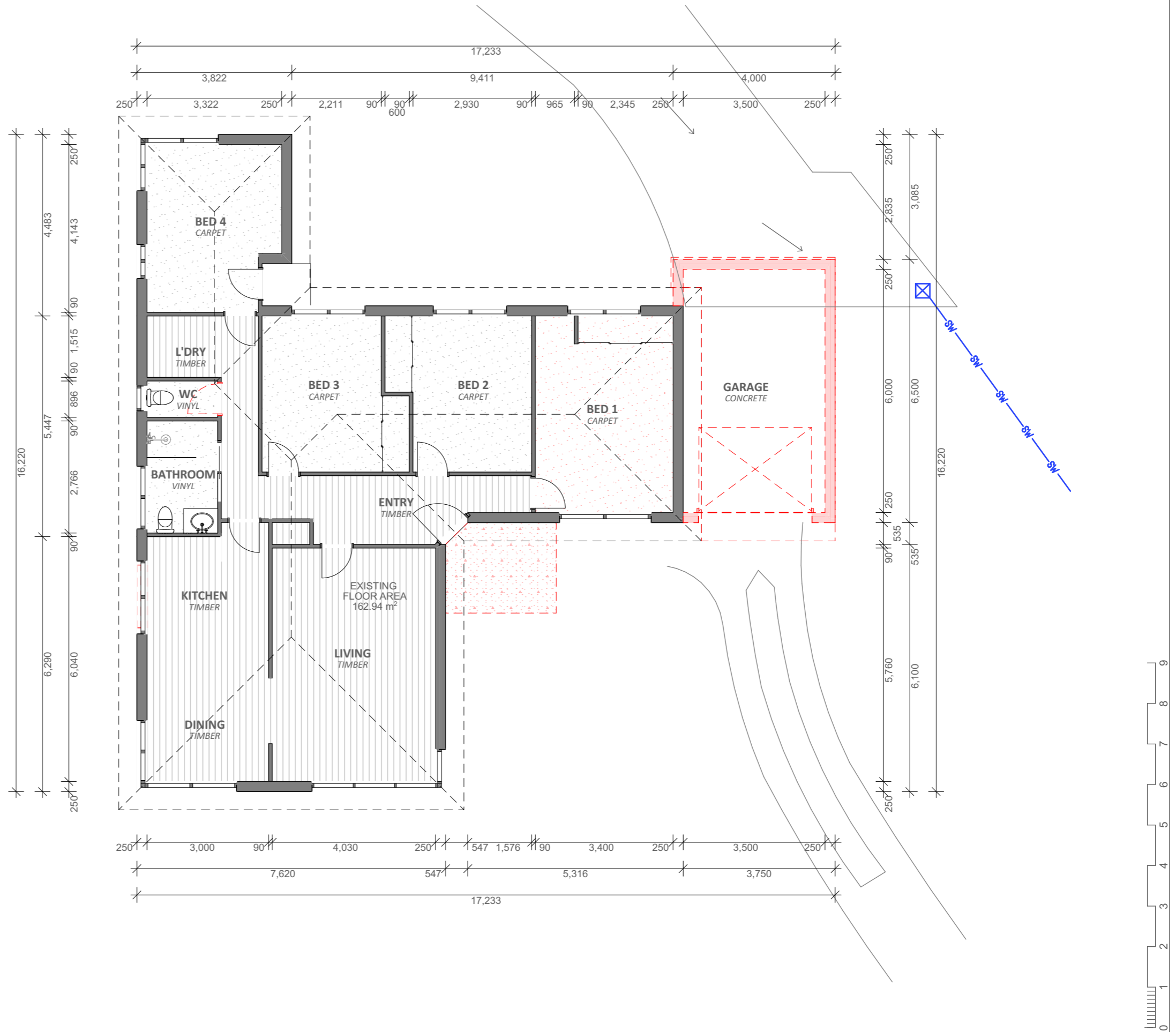
Demolition work is to be carried out in accordance with Australian Standard AS2601: The demolition of structures (AS 2601).

If the work is not covered by or included in AS 2601, the work must be done in accordance to:
 - WorkSafe Tasmania- Demolition work: Code of practice.
 - Building Act 2016 (Protection Work).
 - Building Act 2016 (Permit Demolition Work).

Contractor to obtain records from 'Dial Before You Dig' (phone: 1100) before beginning work.

If Asbestos is found, it is to be removed and disposed of by a licensed professional. Records of correct disposal shall also be submitted to the Building Surveyor for any asbestos removed.

All work regarding asbestos is to comply with WorkSafe Tasmania 'How to Safely Remove Asbestos Code of Practice'.



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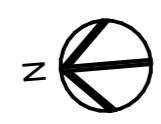
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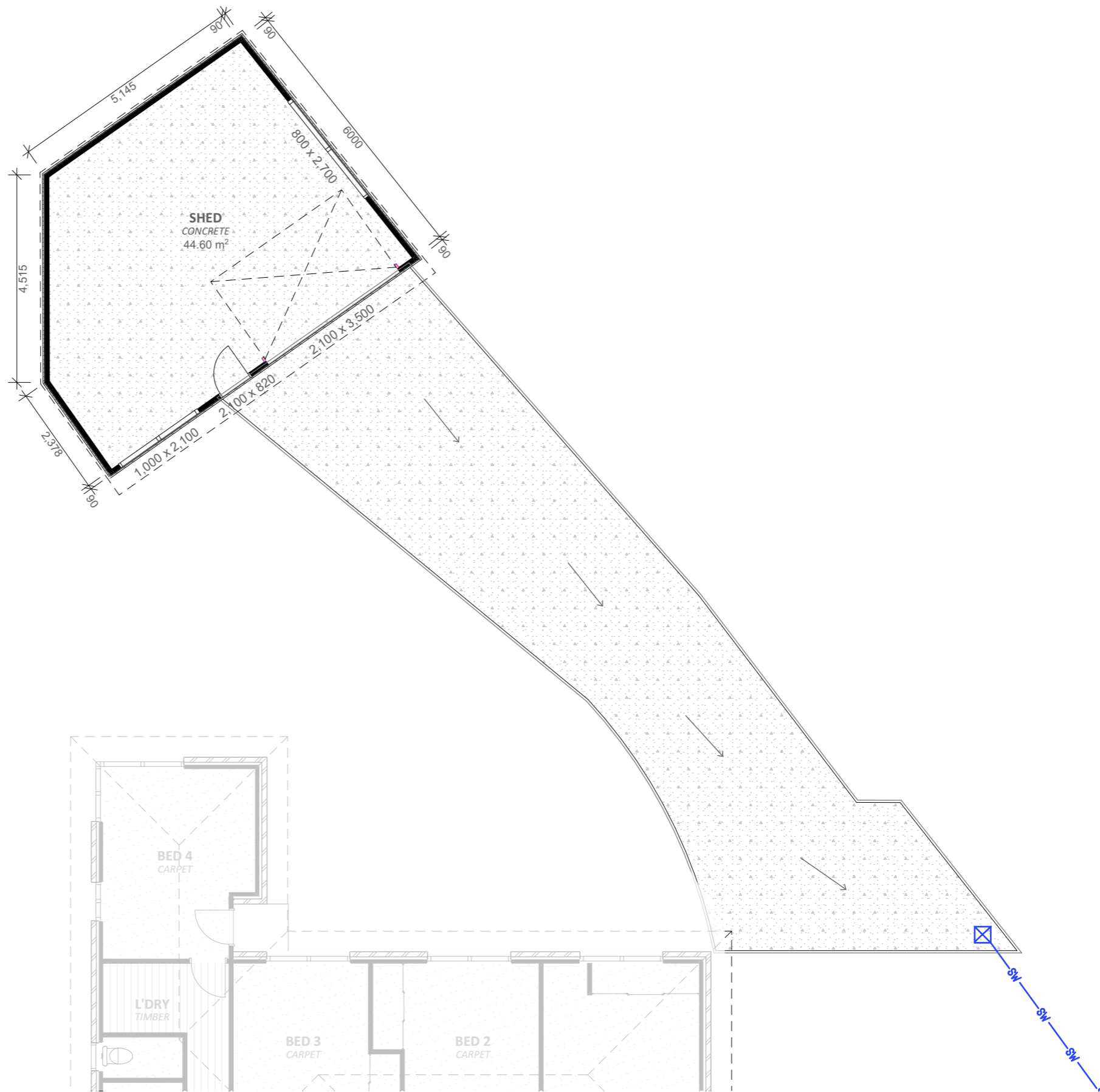
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A.04
 DEMOLITION PLAN



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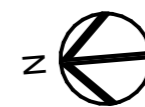


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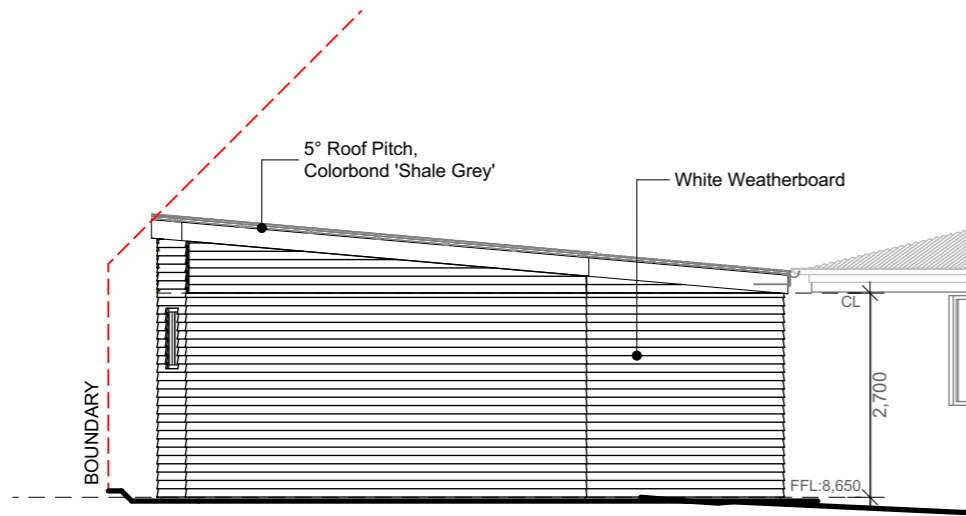
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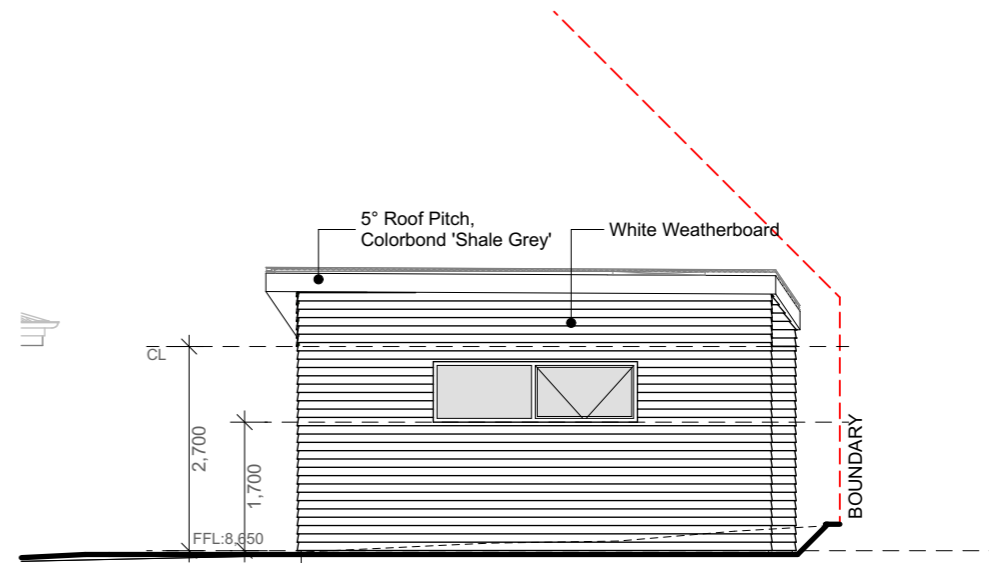


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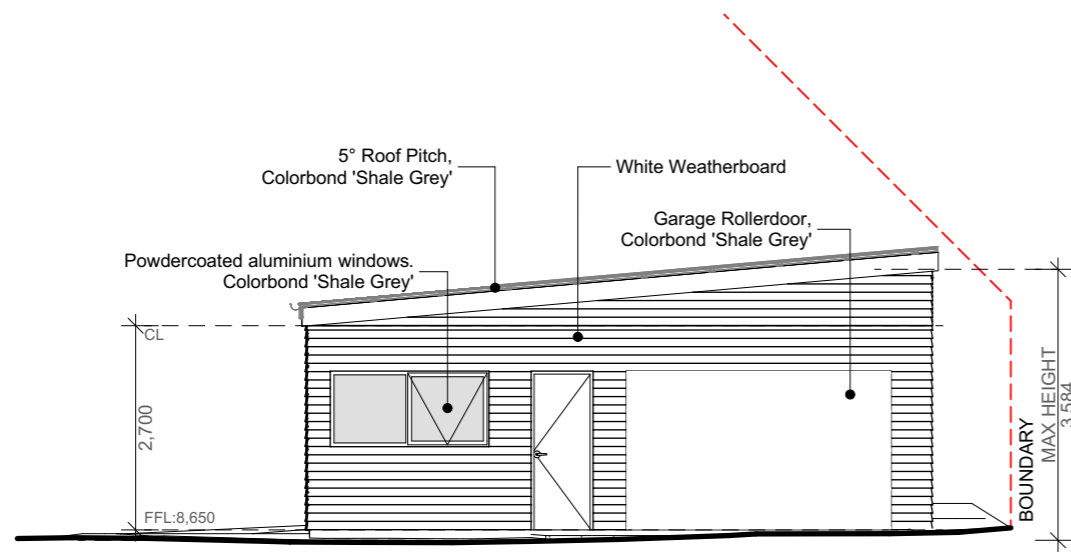
A.05
PROPOSED SHED



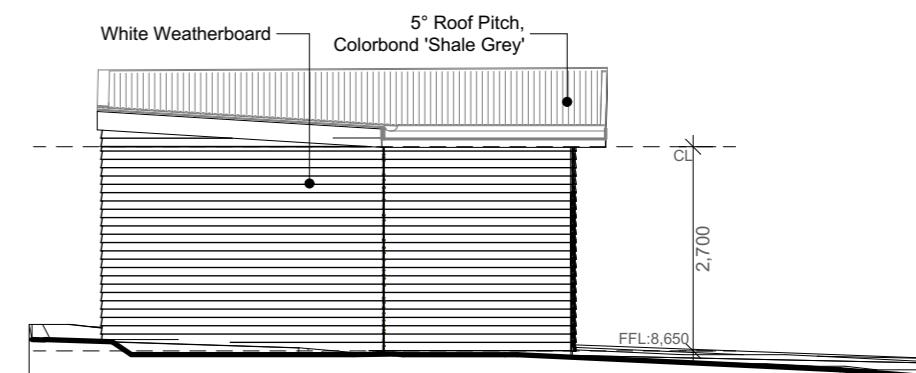
1 North Elevation



2 East Elevation



3 South Elevation



4 West Elevation



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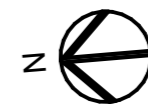
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REV	AMENDMENT	DATES

A.06
ELEVATIONS