



DEVELOPMENT APPLICATION

PDPLANPMTD-2024/042413

PROPOSAL: Outbuildings (Two)

LOCATION: 61 Arndell Place, Richmond

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 21 March 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 21 March 2024. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 21 March 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

OUTBUILDING ADDITIONS

Location:

Address..... 61 ARNHEM PLACE
Suburb/Town..... RICHMOND..... Postcode..... 7029

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$ 30 000

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

RESIDENTIAL

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No


Declaration:

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement:

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Applicant's Signature:

Signature  Date 29/2/2024

STEPHEN M HASSETT

PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

SEARCH OF TORRENS TITLE

VOLUME 114832	FOLIO 26
EDITION 9	DATE OF ISSUE 09-Feb-2018

SEARCH DATE : 15-Jan-2024

SEARCH TIME : 02.18 PM

DESCRIPTION OF LAND

Parish of DRUMMOND, Land District of MONMOUTH
 Lot 26 on Sealed Plan 114832
 Derivation : Part of 792 Acres Gtd. to William Gunn
 Prior CT 101771/1

SCHEDULE 1

M673404 TRANSFER to STEPHEN MICHAEL HASSETT Registered
 09-Feb-2018 at 12.01 PM

SCHEDULE 2

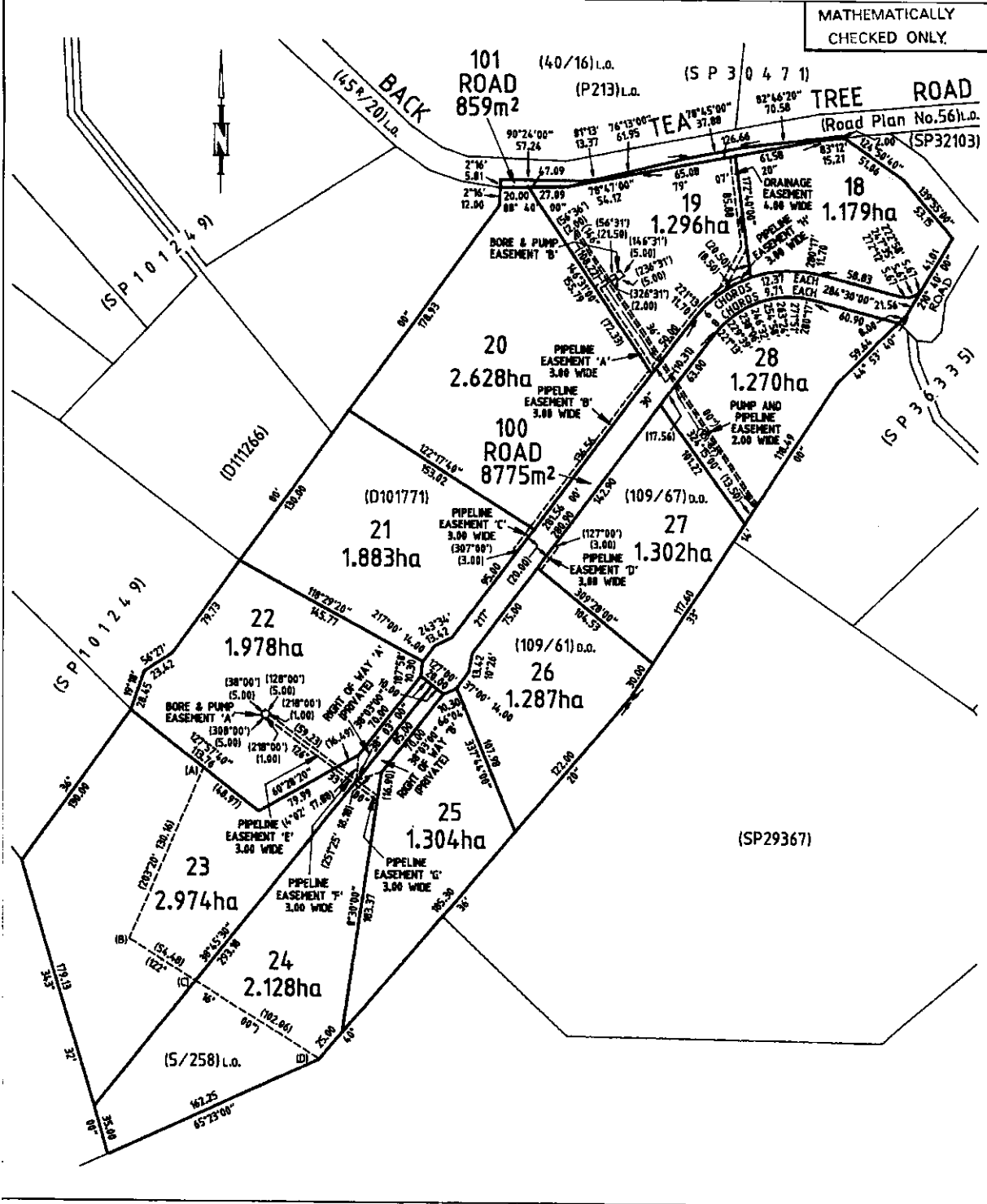
Reservations and conditions in the Crown Grant if any
 SP114832 EASEMENTS in Schedule of Easements
 SP114832 COVENANTS in Schedule of Easements
 SP114832 FENCING PROVISION in Schedule of Easements
 SP114832 WATER SUPPLY RESTRICTION
 SP114832 SEWERAGE AND/OR DRAINAGE RESTRICTION
 SP114832 SEPTIC TANK NOTIFICATION
 57/9321 CONVEYANCE made subject to Fencing Covenant
 E121642 MORTGAGE to Australia and New Zealand Banking Group
 Limited Registered 09-Feb-2018 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

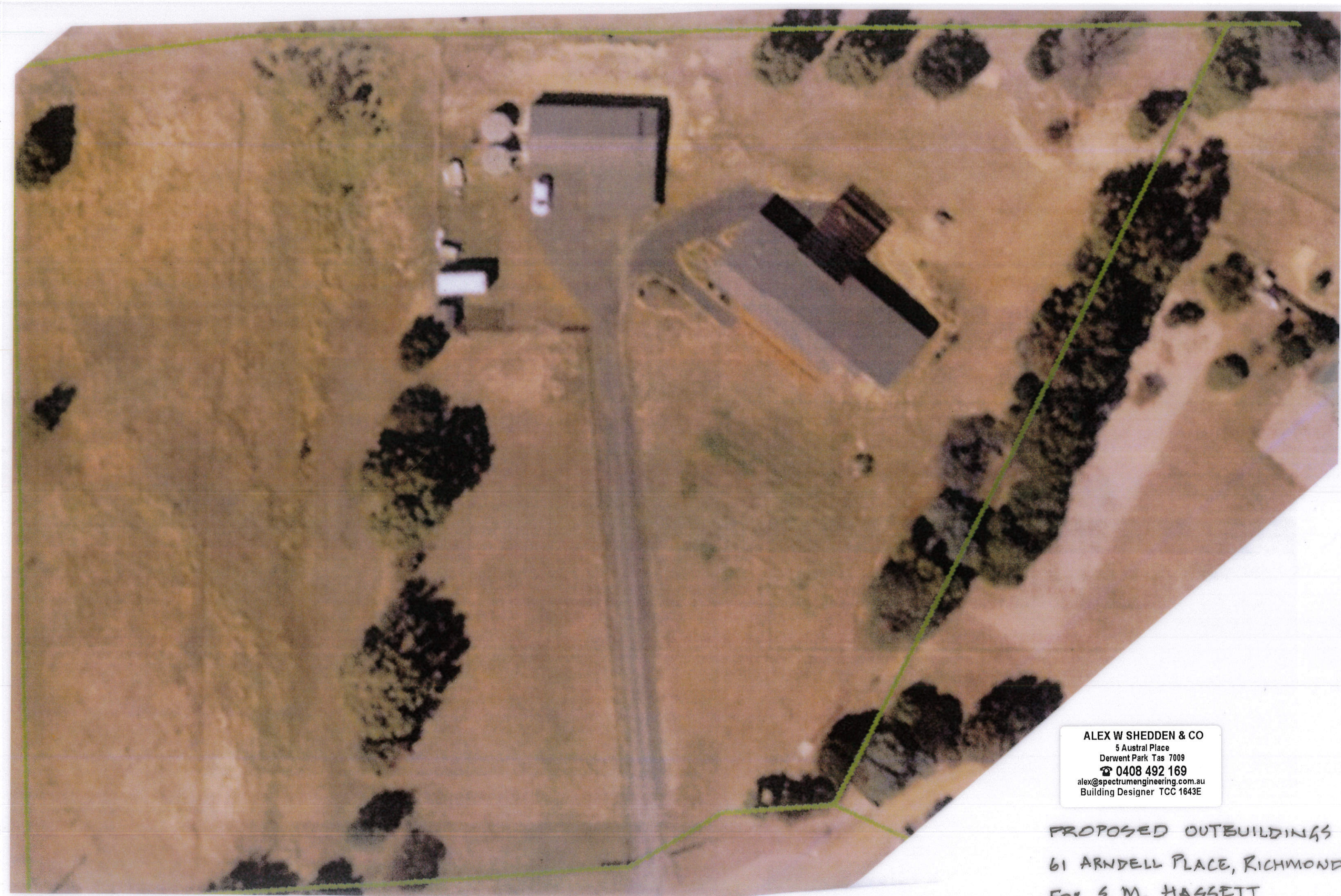
No unregistered dealings or other notations

OWNER Digby Hova Harvey	PLAN OF SURVEY C.M.TERRY OF BY SURVEYOR PEACOCK DACEY & ANDERSON P/L AUTHORISED SURVEYORS 127 BATHURST STREET - HOBART.	REGISTERED NUMBER SP 114832
FOLIO REFERENCE CT 10171-1		APPROVED EFFECTIVE FROM 5 - JAN 1995 <i>Mudbellin</i> Recorder of Titles
GRANTEE Part of 192 Acres Ctd to William Gunn.	LOCATION LAND DISTRICT OF MONMOUTH PARISH OF DRUMMOND	
MAPSHEET MUNICIPAL CODE No. 2B 23	LAST UPI No. 1913B 0007	LAST PLAN No. D101771
ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN		

MATHEMATICALLY CHECKED ONLY.



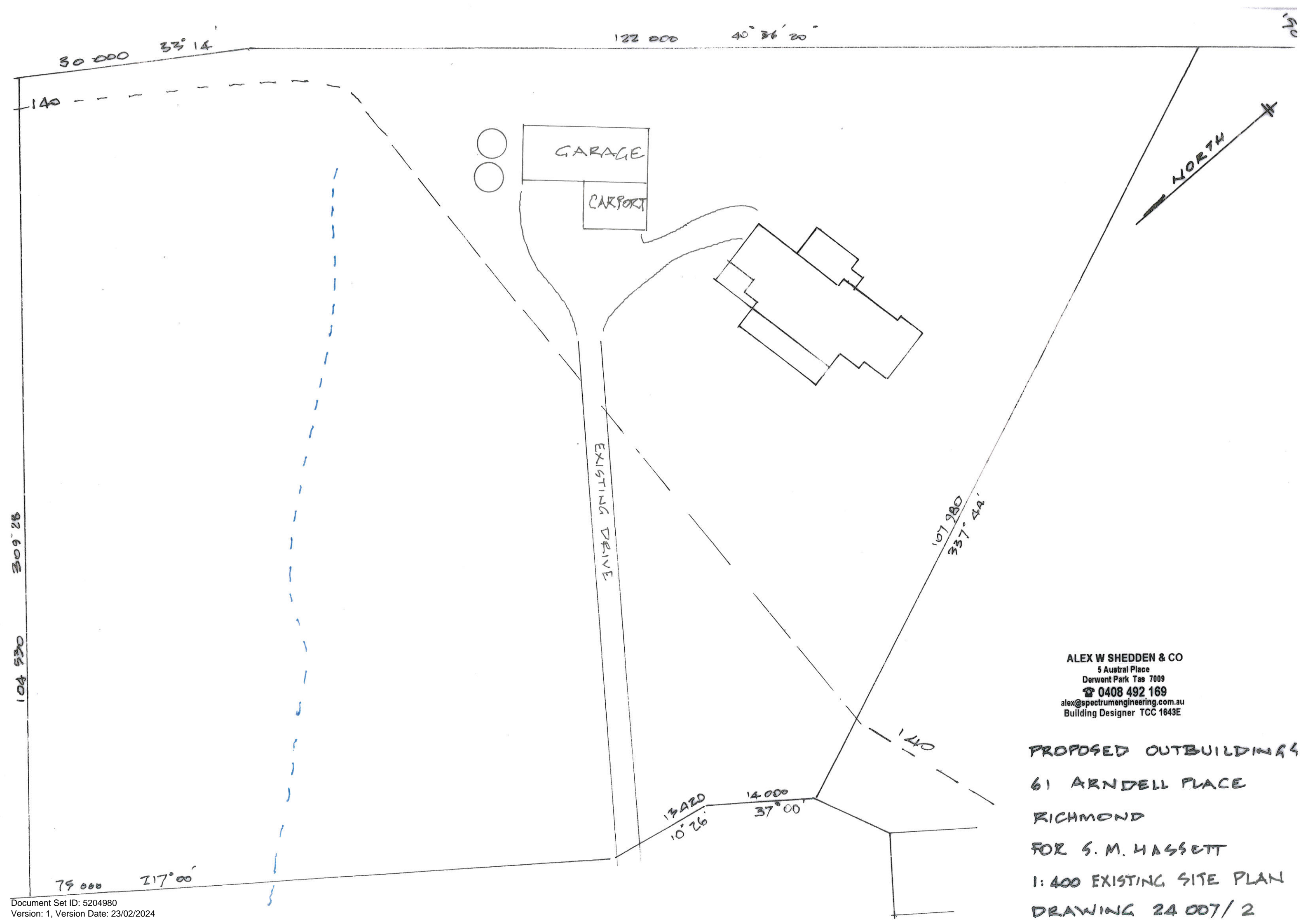
A-148



ALEX W SHEDDEN & CO
5 Austral Place
Derwent Park Tas 7009
☎ 0408 492 169
alex@spectrumengineering.com.au
Building Designer TCC 1643E

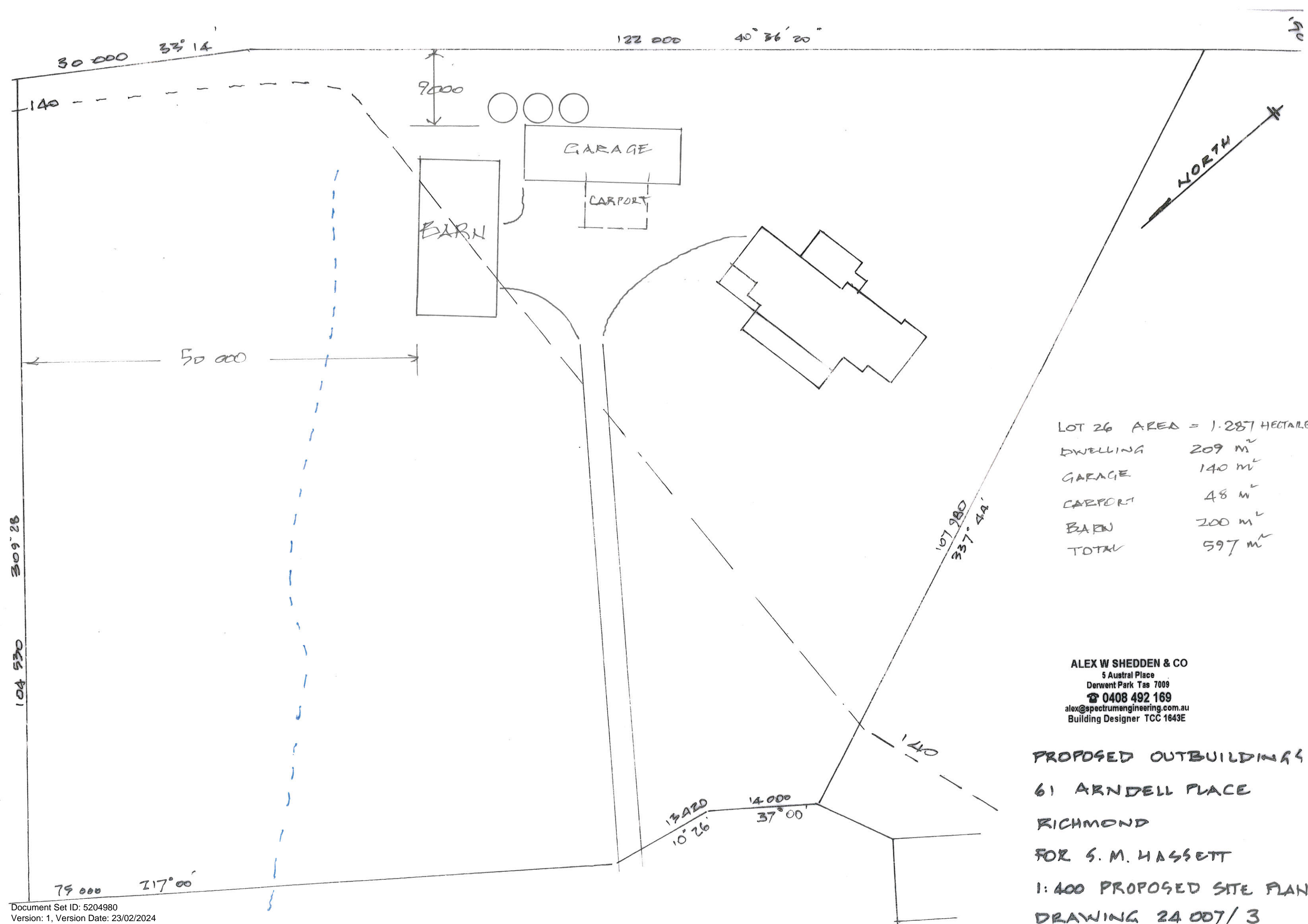
PROPOSED OUTBUILDINGS
61 ARNDELL PLACE, RICHMOND
FOR S. M. HASSETT

1:400 LIST MAP AERIAL DRAWING No 24007/1



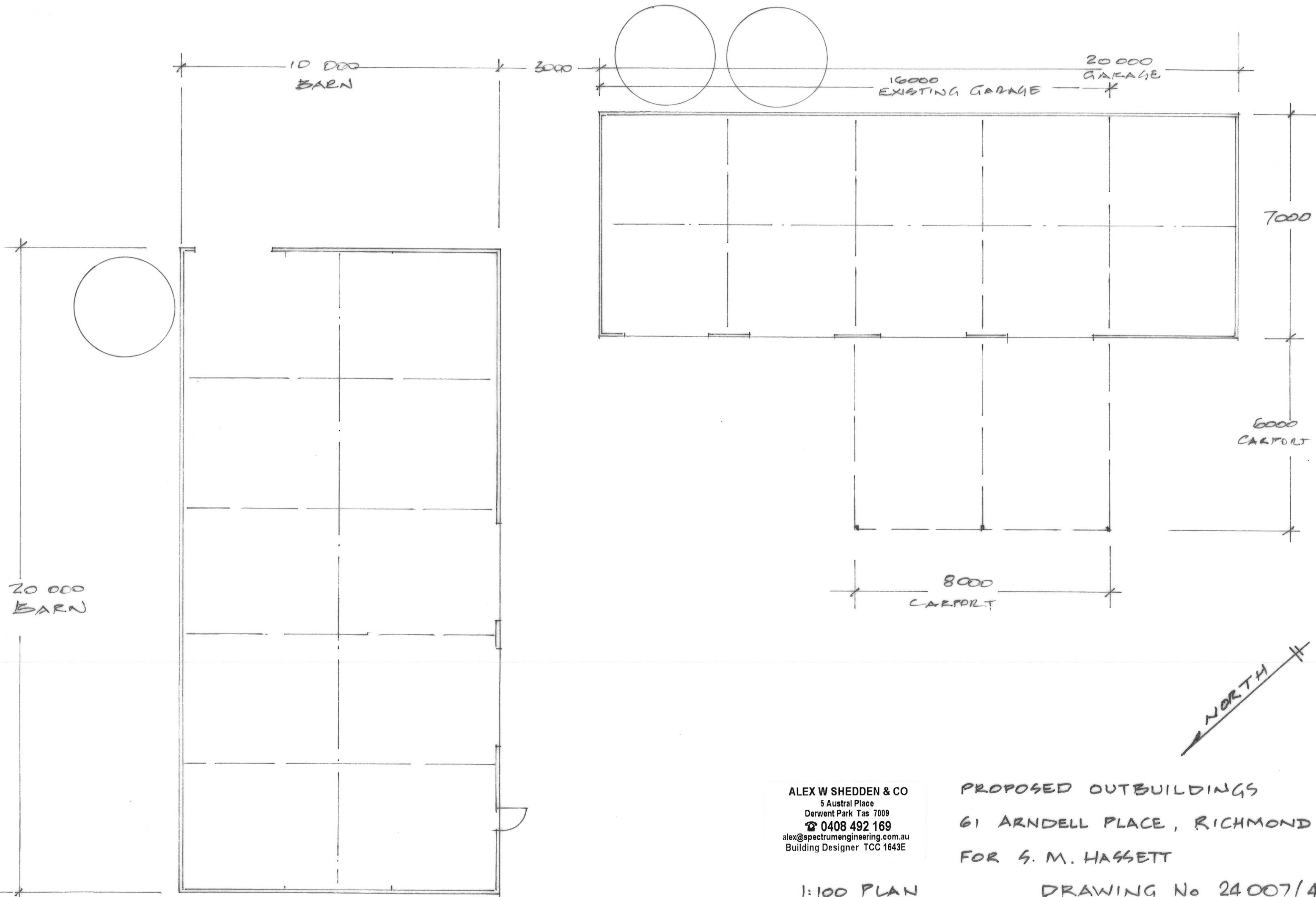
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 alex@spectrumengineering.com.au
 Building Designer TCC 1643E

PROPOSED OUTBUILDINGS
 61 ARNDELL PLACE
 RICHMOND
 FOR S. M. HASSETT
 1:400 EXISTING SITE PLAN
 DRAWING 24 007/ 2



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PROPOSED OUTBUILDINGS
61 ARNDELL PLACE
RICHMOND
FOR S. M. HASSETT
1:400 PROPOSED SITE PLAN
DRAWING 24 007/3

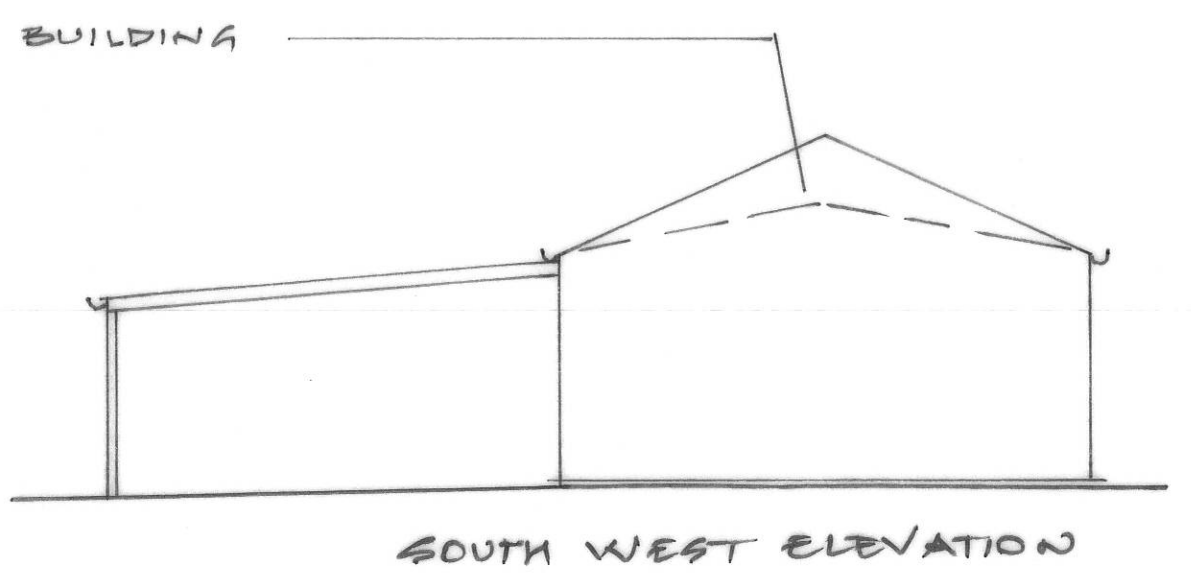
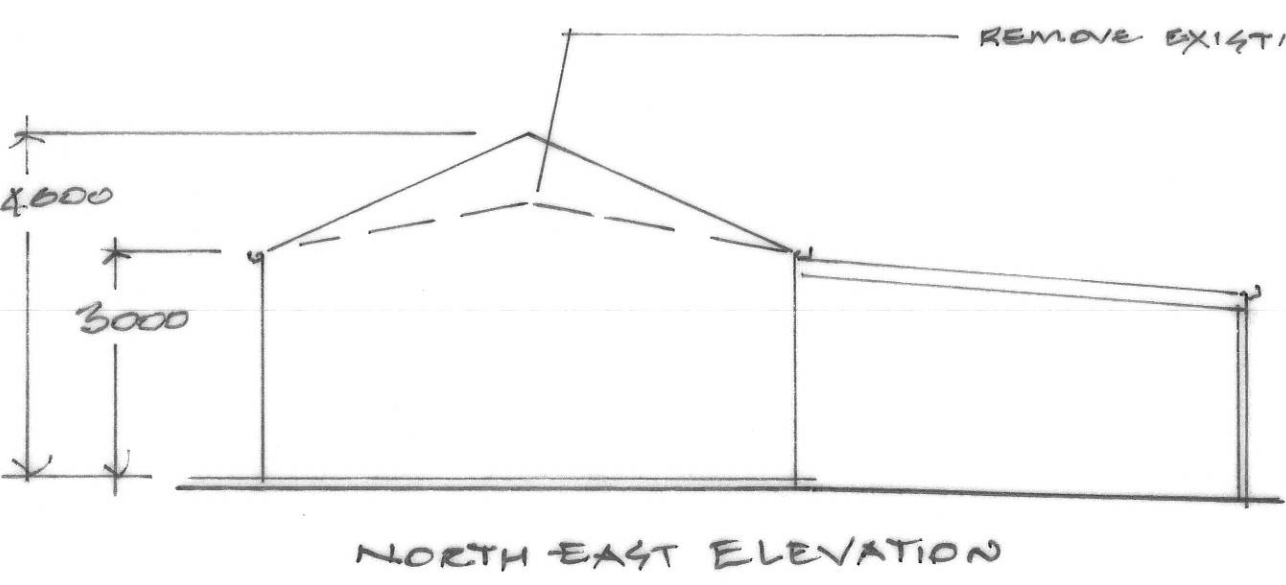
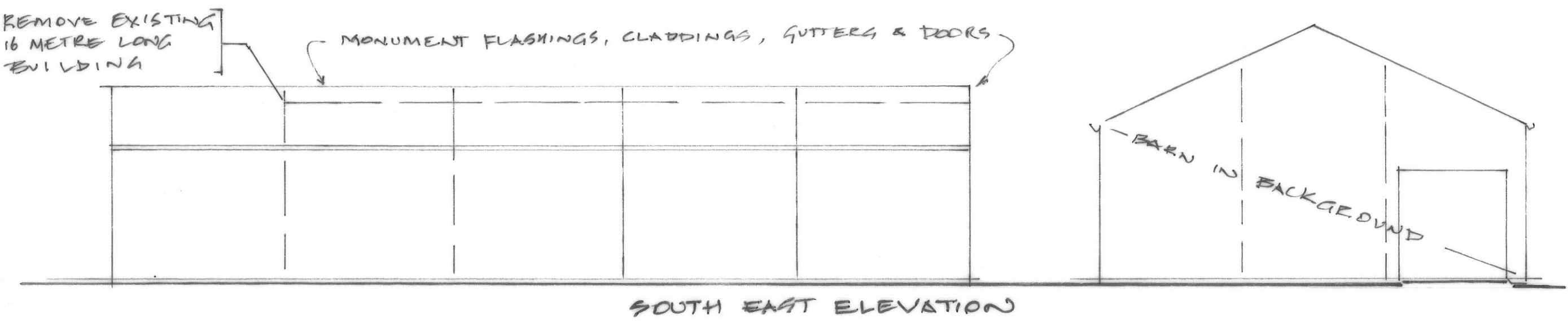
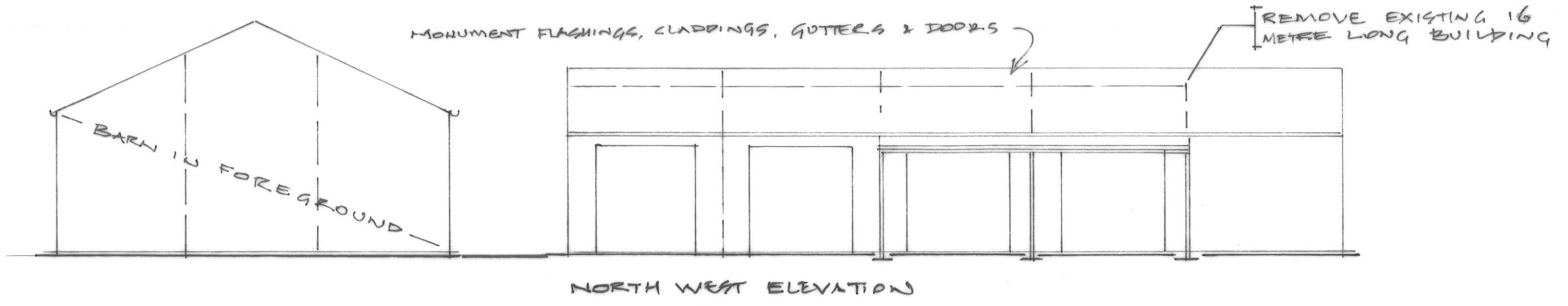


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 FOR S. M. HASSETT

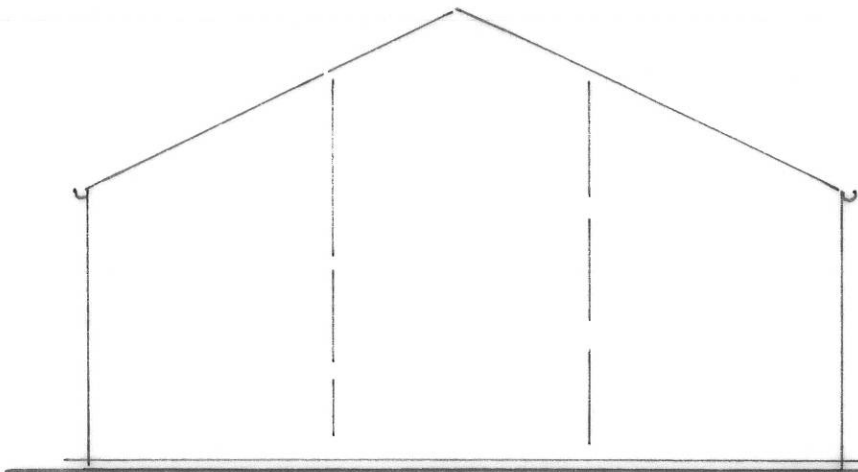
1:100 PLAN

DRAWING No 24007/4

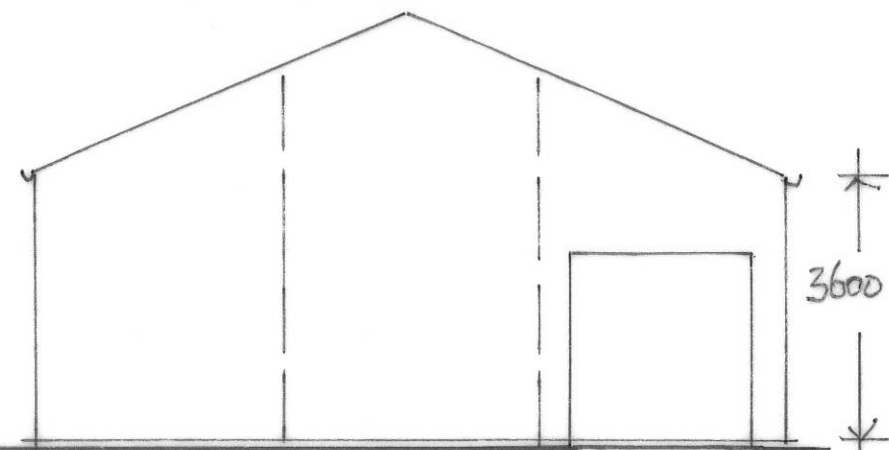
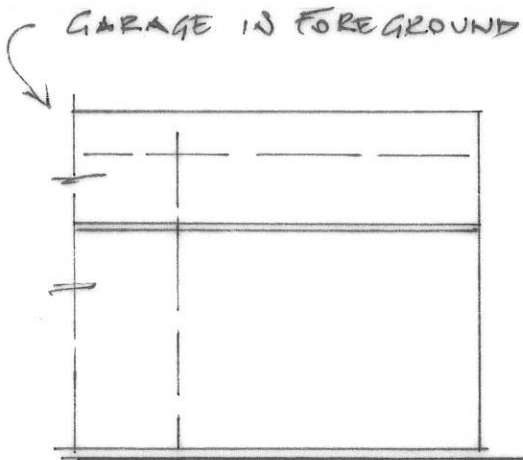
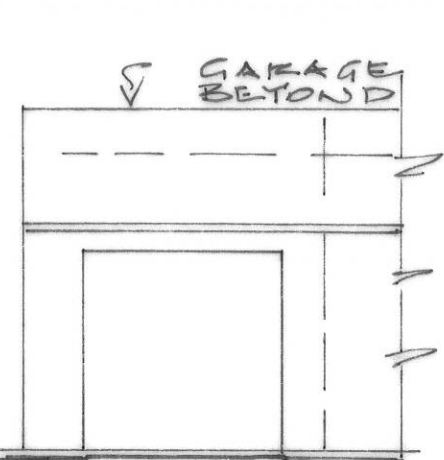


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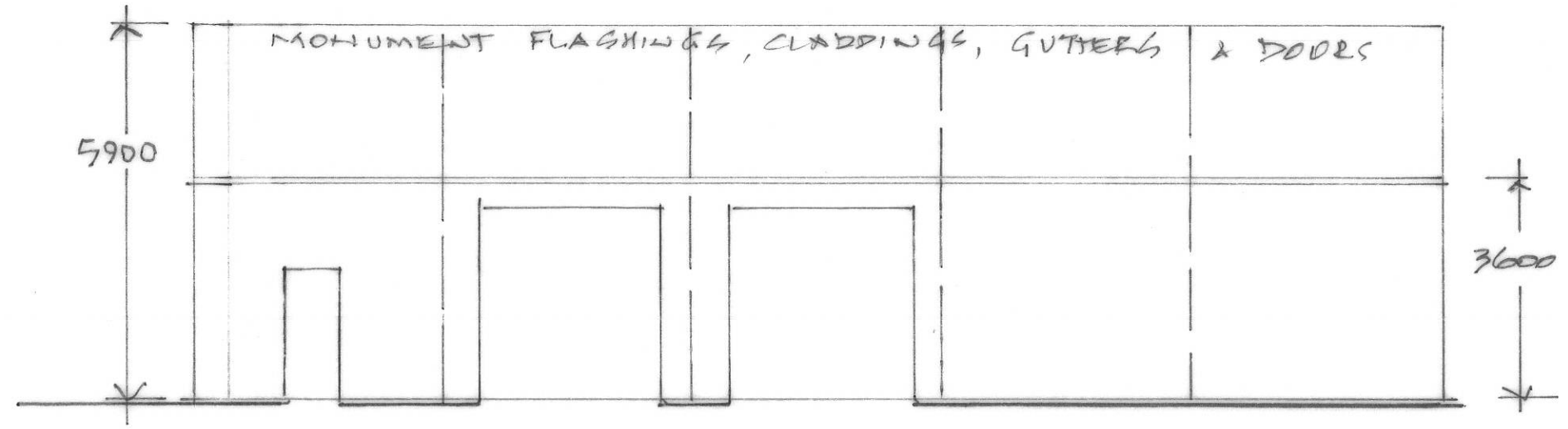
PROPOSED OUTBUILDINGS
 61 ARNDELL PLACE, RICHMOND
 FOR S. M. HASSETT



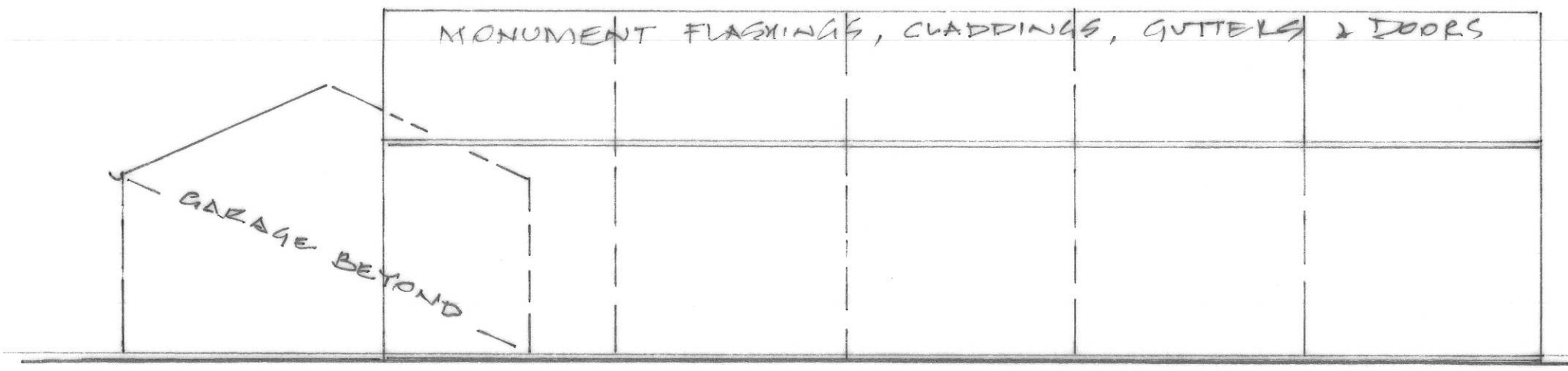
NORTH WEST ELEVATION



SOUTH EAST ELEVATION



SOUTH WEST ELEVATION



NORTH EAST ELEVATION

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 ☎ 0408 492 169
 alex@spectrumengineering.com.au
 Building Designer TCC 1643E

PROPOSED OUTBUILDINGS
 61 ARNDELL PLACE
 RICHMOND
 FOR S.M. HASSETT
 1:100 BARN ELEVATIONS
 DRAWING No 24007/6

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: **Stephen Hassett** Owner Name
61 Arndell Place Address
Richmond **7018** Suburb/postcode

Designer Details:

Name: **Jayanta Bhattacharya** Category: **Structural Engineer**
 Business Name: **JP Engineers And Associates** Phone No: **03 9364 4059**
 Business Address: **8 Broomie St**
Aintree **3336** Fax No:
 Licence No: **CC7434 (TAS)** Email Address: **jay@jpengeersandassociates.com.au**

Details of the proposed work:

Owner/Applicant **Stephen Hassett** Designer's project reference No: **LEG109077-2**
Address: **61 Arndell Place** Lot No:
Richmond **7018**

Type of work: Building Work Plumbing work (X all applicable.)

Description of work:

Structural Design

New steel gable roof building for wind loading Reg. A, TC 2, IL2

new building / alteration /
addition / repair / removal /
re-erection
water / sewerage /
stormwater /
on-site wastewater
management system /
backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions):

Certificate Type:	Certificate	Responsible Practitioner
	<input type="checkbox"/> Building design	Architect or Building Services Designer
	<input checked="" type="checkbox"/> Structural design	Structural Engineer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Services Designer
	<input type="checkbox"/> Plumbing design	Plumber
	<input type="checkbox"/> Other (specify)	

Deemed-to-Satisfy: Performance Solution: (X the appropriate box)

Other details:

Design documents provided:	
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The following documents are provided with this certificate -
Document description:

Drawing Numbers: LEG109077-2 pages 1-5	Prepared by: Furm	Date: 23/02/2022
Schedules:	Prepared by:	Date:
Specifications:	Prepared by:	Date:
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

Standards, codes or guidelines relied on in design process:	
<p>AS/NZS 1170.0, 1, & 2 (loading) AS/NZS 4600:2005 (cold formed steel structures) AS 3600 (concrete structures) AS 3566 (screws) National Construction Code of Australia</p>	

Any other relevant documentation:	

Attribution as designer:	
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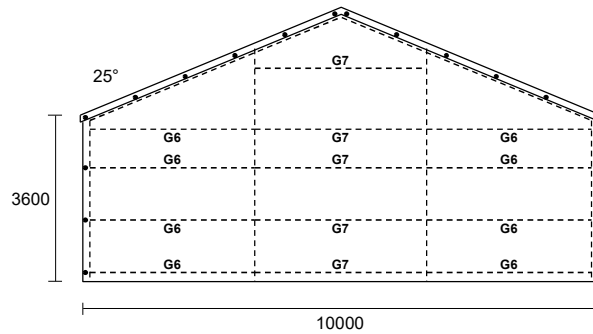
I Jayanta Bhattacharya responsible for the design of that part of the building work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

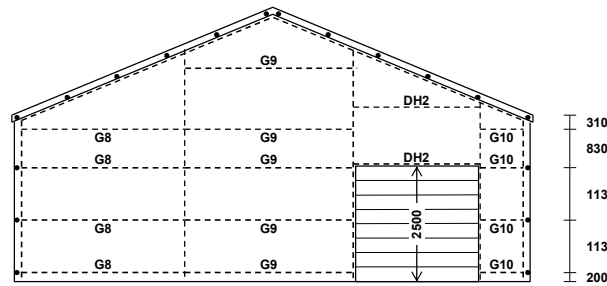
This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed:</i>	<i>Date:</i>
Designer:	Jayanta Bhattacharya		23/02/2022
Licence No:	CC7434 (TAS)		

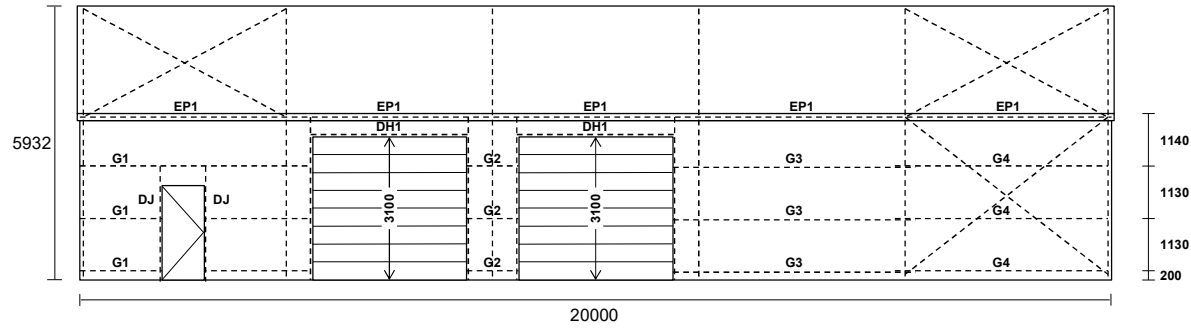
Certificate No.:



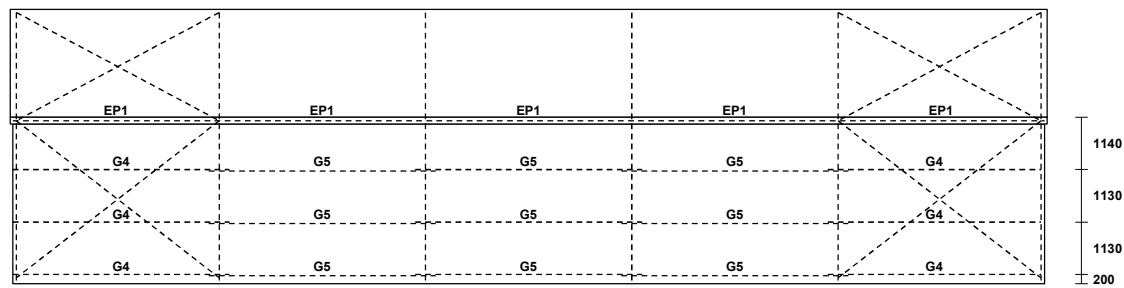
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



REAR ELEVATION

GENERAL NOTES

ALL DIMENSIONS ARE IN MILLIMETRES UNO.
 THIS BUILDING DESIGN IS SUITABLE FOR A DESIGN CLASS OF 10a.
 THIS BUILDING IS NOT DESIGNED FOR, AND CANNOT BE USED FOR, HUMAN HABITATION (CLASS 1).

THIS SITE SPECIFIC DETAIL REFERS TO THE STRUCTURAL SUITABILITY OF THE STRUCTURAL DESIGN ONLY. THE ENGINEER AND THE SUPPLIER TAKE NO RESPONSIBILITY FOR ANY COMPLIANCE WITH ANY LOCAL GOVERNMENT BY-LAWS, TOWN PLANNING REQUIREMENTS OR INDIVIDUAL SITE CIRCUMSTANCES THAT MAY AFFECT THE SUITABILITY OF THE INSTALLATION OF THE STRUCTURE AT THE ACTUAL SITE.

THESE DESIGNS WHEN CONSTRUCTED IN ACCORDANCE WITH THIS ENGINEERING COMPLIES WITH THE FOLLOWING STANDARDS AND REGULATIONS:-
 AS1170.0 TO AS1170.4-2006, AS3600-2009,
 AS4055-2011, AS4100-1998 & AS4600-2005
 NCC 2018

THE FRAMING MEMBERS, ROOF PURLIN MEMBERS AND CLADDING WITHIN THESE DESIGNS ARE BASED ON THE SECTIONAL DESIGN PROPERTIES OF THE ROLLFORMED PRODUCTS MANUFACTURED BY LYSAGHT BUILDING PRODUCTS.

ALL SCREW FIX FASTENERS TO COMPLY WITH AS3566. ALL CONNECTION BOLTS TO COMPLY WITH AS1252 IN ACCORDANCE AS4100. ALL SCREW FASTENERS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS. FRAMING BOLTS TO BE TIGHTENED TO A SHANK TENSION OF 90kN.

REFER TO PAGE 2 FOR FLOOR PLAN & MEMBER TABLE & WALL CLADDING DETAILS, PAGE 3 FOR SLAB AND FOUNDATION DETAILS, PAGE 4 FOR ROOF PLAN AND ROOF CLADDING DETAILS AND PAGES 5&6 FOR FRAME AND MEMBER CONNECTION DETAILS.

THIS BUILDING IS TO BE CONSTRUCTED IN ACCORDANCE WITH GOOD PRACTICE. DURING CONSTRUCTION THE STRUCTURE MUST BE MAINTAINED IN A STABLE MANNER AND SUFFICIENTLY BRACED TO PREVENT OVERSTRESSING OF FRAME. THE ENGINEER AND THE SUPPLIER ACCEPT NO RESPONSIBILITY FOR ANY MISTAKES, FROM WHATEVER SOURCE, THROUGH PLEA OF IGNORANCE OF THE OWNER/BUILDER/ERECTOR.

INCLUSIONS

- STANDARD STRAMIT 2500H 2400W DOOR TO RH GABLE
- LARNEC 650 PERSONAL DOOR TO FRONT WALL
- WINDLOCKED STRAMIT 3100H 3000W DOOR TO FRONT WALL
- WINDLOCKED STRAMIT 3100H 3000W DOOR TO FRONT WALL

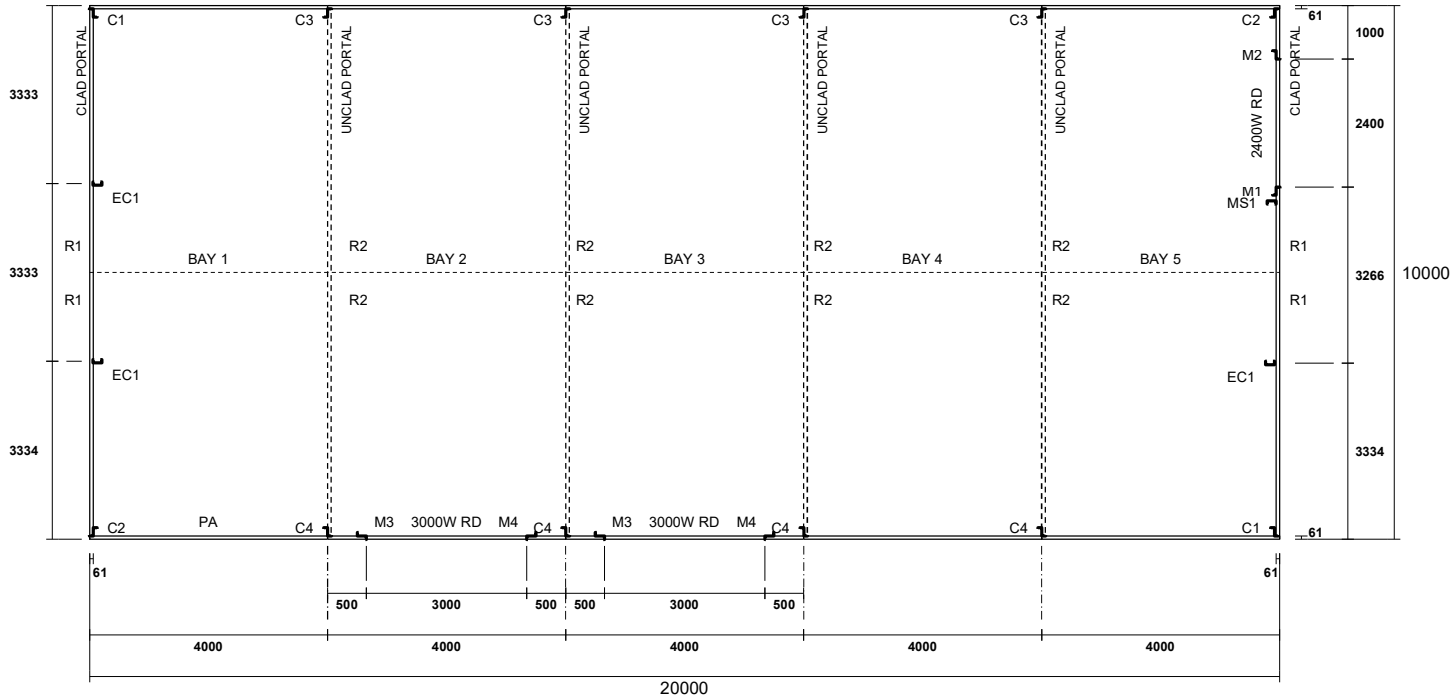
CONSULTING ENGINEER

JP ENGINEERS AND ASSOCIATES
 NER No. 3339325
 EC42637 (Vic)
 CC7434 (TAS)



PROPERTY DETAILS: OWNER: STEPHEN HASSETT - SITE ADDRESS: 61 ARNDELL PLACE RICHMOND 7025

MUNICIPAL DISTRICT: CLARENCE CITY COUNCIL



FLOOR PLAN

(SCHEMATIC DRAWING - FRAME DETAILS NOT TO SCALE)

PROPERTY DETAILS: OWNER: STEPHEN HASSETT - SITE ADDRESS: 61 ARNDELL PLACE RICHMOND 7025

MUNICIPAL DISTRICT: CLARENCE CITY COUNCIL

MEMBER TABLE

DESCRIPTION	MEMBER
CLAD COLUMNS (C1/C2)	Z15019
CLAD RAFTERS (R1)	C15019
UNCLAD COLUMNS (C3/C4)	Z20019
UNCLAD RAFTERS (R2)	C20019
APEX BRACES (AB)	C15015
KNEE BRACES (KB)	C15015
AB & KB TO UNCLAD PORTALS	
END WALL COLUMNS (EC1)	C20015
ROLLER DOOR MULLIONS (M1-M4)	Z15019
ROLLER DOOR MULLION SUPPORT (MS1)	C10019
ROLLER DOOR HEAD (DH1/DH2)	TOPSPAN 6110
PERSONAL DOOR JAMBS (DJ)	JAMB1 - U6110
EAVE PURLINS (EP1)	C10012
ROOF PURLINS (P1-P2)	TOPSPAN 6110
WALL GIRTS (G1-G10)	TOPSPAN 6110
STRAP BRACING	32 x 1.2
ROOF CLADDING	0.42 CUSTOM ORB
WALL CLADDING	0.42 TRIMDEK

WALL CLADDING AND FASTENING DETAILS

WALL CLADDING - 0.42 TRIMDEK



FASTEN TO EACH WALL GIRT/EAVE PURLIN WITH
1 OF 10/16x16 CL3 TEK IN PAN ADJACENT TO EACH EAVE

BRACING STRAP NOTE

BRACING STRAP TO FRAME AS DETAILED. BRACING STRAP TO BE FIXED UNDER TENSION PRIOR TO CLADDING BUILDING TO PREVENT MOVEMENT OF FRAME. FIX TO FRAME WITH 2 OFF 14/10x20 CL3 TEKS TO EACH END

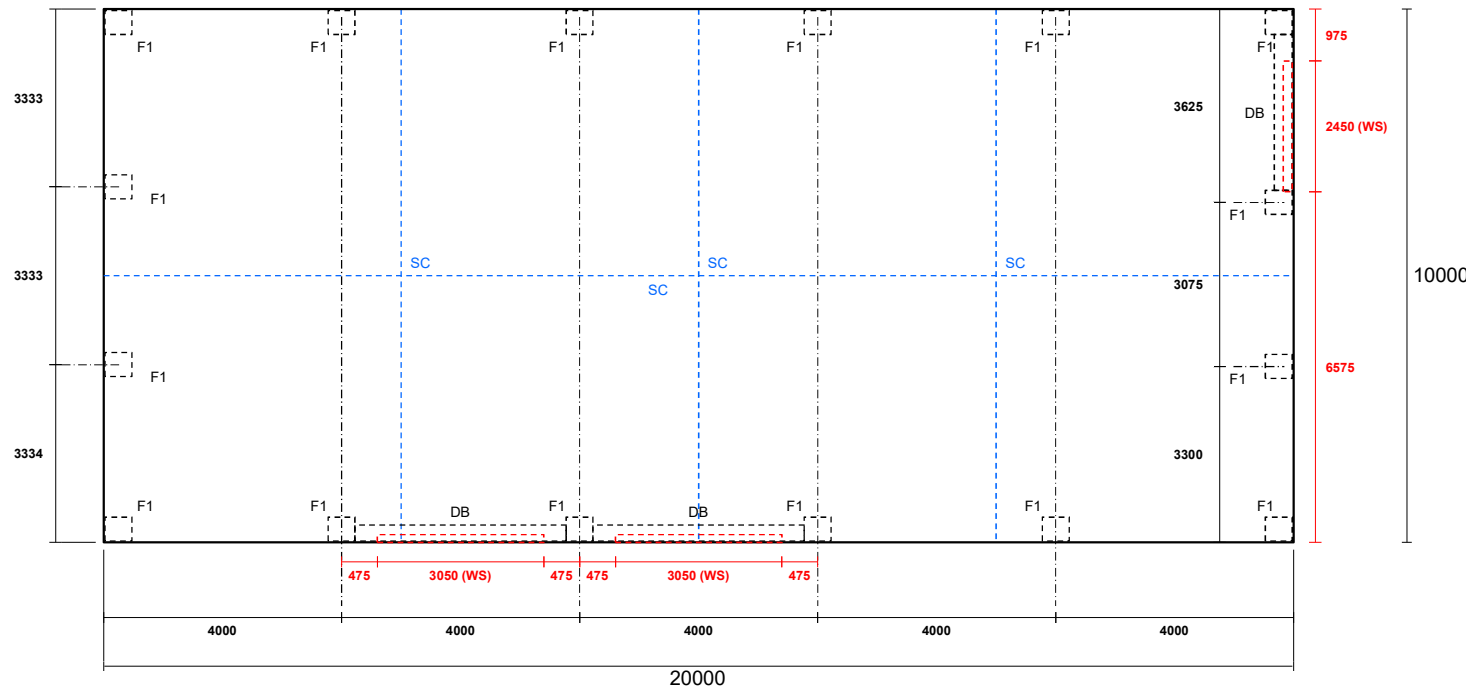
CONSULTING ENGINEER

JP ENGINEERS AND ASSOCIATES
NER No.3339325
EC42637 (Vic)
CC7434 (TAS)



PAGE 2 OF 6

STRUCTURAL DRAWING NO. LEG108111-4 - DATE 22/09/2021



SLAB AND FOOTING LAYOUT

SLAB/FOOTING DIMENSIONS AND FOUNDATION NOTES

MAIN SLAB FOOTINGS (F1) TO BE 450 SQ x 700 DEEP.
 SLAB TO BE 120 DEEP WITH SL82 MESH - 30 COVER MINIMUM.
 SQUARE PIERS CAN BE ROUND PIERS OF SAME DIAMETER.
 200 WIDE X 200 DEEP DOOR BEAM (DB) TO ROLLER DOOR LOCATIONS.
 BEAM TO GO FROM FOOTING TO FOOTING. 1 LAYER OF 11TM TRENCH MESH TO BEAM. PLACE MESH 50 FROM BOTTOM OF BEAM.
 OPTIONAL WEATHER SLOPES (WS) TO ROLLER DOOR LOCATIONS.
 START SLOPE 150 BACK FROM EDGE OF SLAB AND FALL TO FRONT.

30 DEEP SAW CUT SURFACE CRACK CONTROL JOINTS (SC) TO SLAB.
 PLACE THREE TO THE LENGTH AND ONE TO THE WIDTH OF THE SLAB EQUALLY SPACED.

THIS SLAB HAS BEEN DESIGNED FOR A MAXIMUM LIVE LOAD OF 3kPa.

SLAB AND FOOTINGS SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 25MPa.

SLAB AND FOOTINGS HAVE BEEN DESIGNED TO BEAR ON NATURAL GROUND OR CONTROLLED FILL WITH A MINIMUM BEARING CAPACITY OF 100kPa.

WHERE REQUIRED, CONTROLLED FILL TO BE NON-SAND GRAVEL COMPACTED IN LAYERS TO A MAXIMUM DEPTH OF 600. EACH LAYER NOT TO EXCEED 150 DEEP. ALL FOOTINGS TO EXTEND TO NATURAL FOUNDATION.

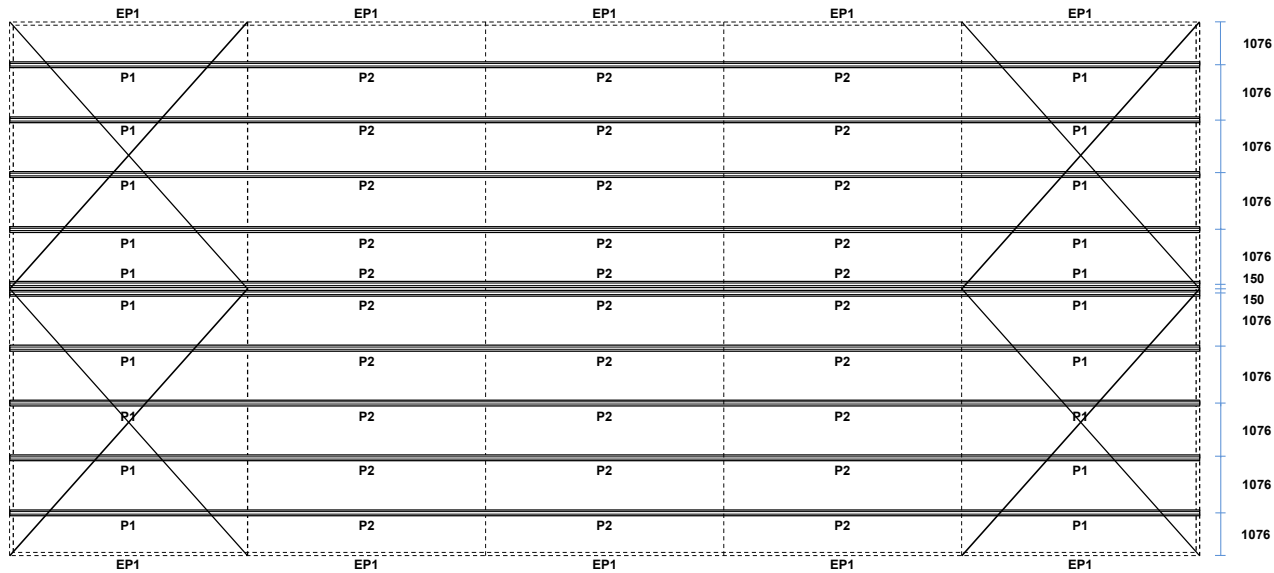
ALL FILL TO BE COMPACTED WITH MECHANICALLY VIBRATING ROLLER.

PLASTIC MEMBRANE TO UNDERSLAB. ALL JOINTS TO BE TAPED. REMOVE MEMBRANE FROM FOOTING LOCATIONS.

SLAB SHALL BE PROTECTED AGAINST EXCESSIVE MOISTURE LOSS AND ALLOWED TO CURE FOR A PERIOD OF NOT LESS THAN SEVEN DAYS AFTER POURING BEFORE STANDING OF STEELWORK.

CONSULTING ENGINEER
 JP ENGINEERS AND ASSOCIATES
 NER No. 3339325
 EC42637 (Vic)
 CC7434 (TAS)





ROOF PURLIN LAYOUT

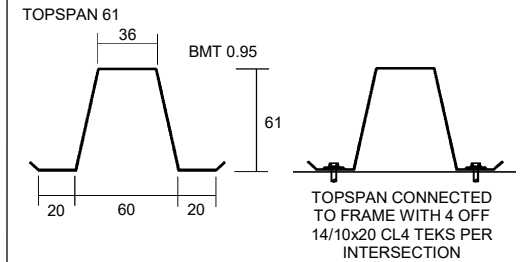
**PROPERTY DETAILS: OWNER: STEPHEN HASSETT - SITE ADDRESS: 61 ARNDELL PLACE RICHMOND 7025
MUNICIPAL DISTRICT: CLARENCE CITY COUNCIL**

ROOF CLADDING AND FASTENING DETAILS

ROOF CLADDING - CUSTOMORB 0.42 BMT



ROOF PURLIN / WALL GIRT DETAIL



ROOF BRACING NOTES

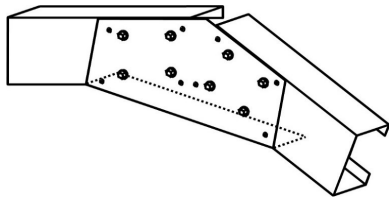
32 x 1.2 BRACING STRAP TO FRAME AS DETAILED. BRACING STRAP TO BE FIXED UNDER TENSION PRIOR TO CLADDING BUILDING TO PREVENT MOVEMENT. FIX TO FRAME WITH 2 OFF 14/10x20 CL4 TEKS TO EACH END.

CONSULTING ENGINEER
JP ENGINEERS AND ASSOCIATES
NER No. 3339325
EC42637 (Vic)
CC7434 (TAS)



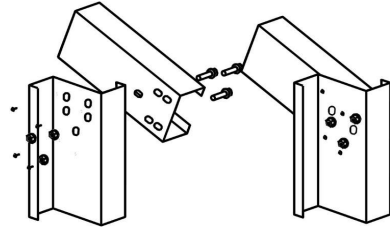
PAGE 4 OF 6

STRUCTURAL DRAWING NO. LEG108111-4 - DATE 22/09/2021



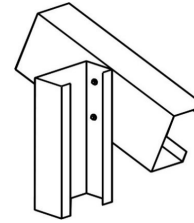
RAFTERS CONNECTED AT APEX WITH FURM APEX CLEAT. FASTEN WITH 8 OFF M16x30 8.8/s BOLT ASSY & 8 OFF 14/10x20 CL3 TEKS.

APEX CONNECTION



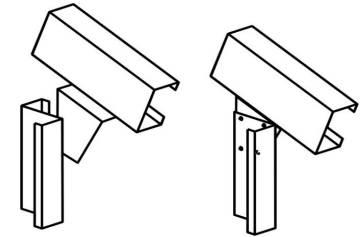
RAFTERS CONNECTED DIRECTLY TO COLUMN AT KNEE WITH 3 OFF M16x30 8.8/s BOLT ASSY & 4 OFF 14/10x20 CL3 TEKS.

KNEE CONNECTION



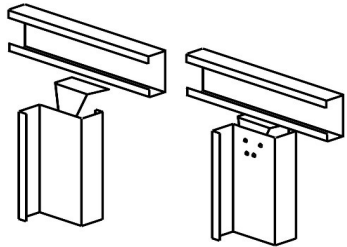
END COLUMNS CONNECTED DIRECTLY TO RAFTER. FASTEN WITH 2 OFF M16x30 8.8/s BOLT ASSY.

CLAD WALL END COLUMN CONNECTION



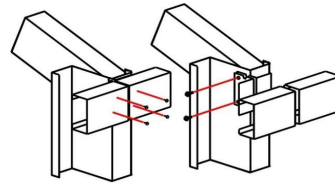
DOOR MULLIONS CONNECTED RAFTER WITH FURM MULLION CLEAT. FASTEN WITH 6 OFF 14/10x20 CL3 TEKS.

CLAD PORTAL DOOR MULLION CONNECTION



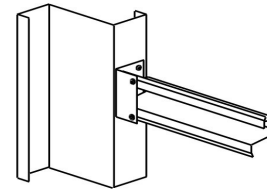
DOOR MULLIONS CONNECTED TO EAVE PURLIN WITH FURM M01 MULLION CLEAT. FASTEN WITH 6 OFF 14/10x20 CL3 TEKS.

SIDE WALL DOOR MULLION EAVE CONNECTION



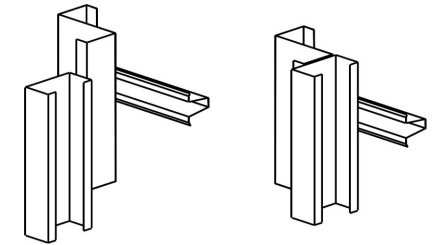
EAVE PURLIN TO BE C100 PURLIN. FASTEN TO COLUMNS WITH FURM EAVE003 CLEAT. SINGLE CLEAT TO END PORTALS AND BACK-TO-BACK CLEATS TO INTERNAL PORTALS. FASTEN WITH 2 OFF 14/10x20 CL3 TEKS TO EACH CONNECTION.

EAVE PURLIN CONNECTION



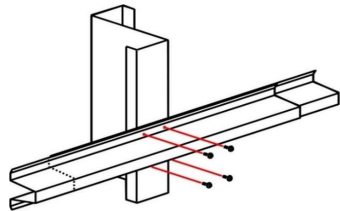
DOOR HEAD FIXED TO DOOR MULLION WITH FURM TOPSPAN CLEAT. FIX WITH 4 OFF 14/10x20 CL3 TEKS.

PORTAL/DOOR HEAD/MULLION CONNECTION



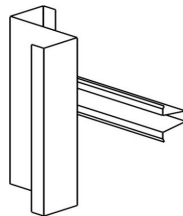
ROLLER DOOR MULLION SUPPORT TO BE C100 PURLIN FASTENED TO FLANGE OF MULLION. FIX WITH 2 OFF 14/10x20 CL3 TEKS @ 600 CTRS.

ROLLER DOOR MULLION SUPPORT CONNECTION



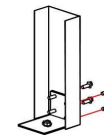
WALL GIRTS/ROOF PURLINS FASTENED WITH 4 OFF 14/10x20 CL3 TEKS TO COLUMN/RAFTER.

WALL GIRT/ROOF PURLIN CONNECTION



WALL GIRTS FIXED DIRECTLY TO CLAD COLUMN. FIX WITH 4 OFF 14/10x20 CL3 TEKS.

CLAD PORTAL WALL GIRT CONNECTION



PA MULLION FIXED TO FOUNDATION WITH FURM BASEPAD PA DOOR CLEAT. FIX WITH 4 OFF 14/10x20 CL3 TEKS TO MULLION AND 1 OFF M10x75 SCREWBOLTS TO FOUNDATION.

PERSONAL DOOR MULLION BASE CONNECTION

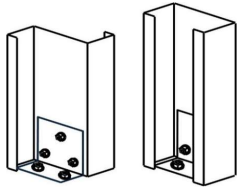
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PAGE 5 OF 6

PROPERTY DETAILS: OWNER: STEPHEN HASSETT - SITE ADDRESS: 61 ARNDELL PLACE RICHMOND 7025

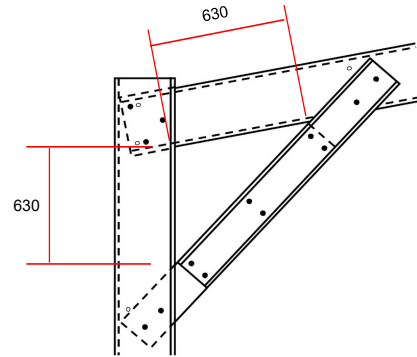
MUNICIPAL DISTRICT: CLARENCE CITY COUNCIL

STRUCTURAL DRAWING NO. LEG108111-4 - DATE 22/09/2021



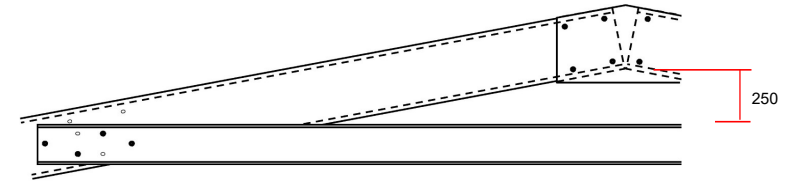
COLUMNS & MULLIONS FIXED TO FOUNDATION
WITH FURM BASE CLEATS.
FIX WITH 3 OFF M16x30 8.8/s BOLT ASSY TO COLUMNS
150 & 200 COLUMNS - 2 OFF M12x100 SCREWBOLTS

COLUMN BASE CONNECTION



KNEE BRACE IS BACK-TO-BACK C PURLIN.
BRACE IS TO FIT DIRECTLY TO THE BACK FACE OF BOTH
UNCLAD COLUMN AND RAFTER.
FIX WITH 6 OFF M16x30 8.8/s BOLT ASSY TO LAPS
AND 2 OFF M16x30 8.8/s BOLT ASSY TO EACH END.

UNCLAD PORTAL KNEE BRACE DETAIL



APEX BRACE FASTENED DIRECTLY TO BACK FACE OF RAFTERS.
BOTH RAFTER AND BRACE PUNCHED TO ALLOW EACH MEMBER
TO BE FIXED WITH 4 OFF M16x30 8.8/s BOLT ASSY TO EACH END.

UNCLAD PORTAL APEX BRACE DETAIL

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STRUCTURAL DRAWING NO. LEG108111-4 - DATE 22/09/2021

**PROPERTY DETAILS: OWNER: STEPHEN HASSETT - SITE ADDRESS: 61 ARNDELL PLACE RICHMOND 7025
MUNICIPAL DISTRICT: CLARENCE CITY COUNCIL**

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: Owner Name
 Address
 Suburb/postcode

Designer Details:

Name: Category:
 Business Name: Phone No:
 Business Address:
 Fax No:
 Licence No: Email Address:

Details of the proposed work:

Owner/Applicant: Designer's project reference No:
 Address: Lot No:

Type of work: Building Work Plumbing work (X all applicable.)

Description of work:

Structural Design
New steel gable roof building for wind loading Reg. A, TC 2, IL2

*new building / alteration /
 addition / repair / removal /
 re-erection
 water / sewerage /
 stormwater /
 on-site wastewater
 management system /
 backflow prevention / other)*

Description of the Design Work (Scope, limitations or exclusions):

Certificate Type:	Certificate	Responsible Practitioner
	<input type="checkbox"/> Building design	Architect or Building Services Designer
	<input checked="" type="checkbox"/> Structural design	Structural Engineer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Services Designer
	<input type="checkbox"/> Plumbing design	Plumber
	<input type="checkbox"/> Other (specify)	
Deemed-to-Satisfy: <input checked="" type="checkbox"/>		Performance Solution: <input type="checkbox"/> (X the appropriate box)
Other details:		

Design documents provided:

The following documents are provided with this certificate -
Document description:

Drawing Numbers: LEG108111-4 pages 1-6	Prepared by: Furm	Date: 22/09/2021
Schedules:	Prepared by:	Date:
Specifications:	Prepared by:	Date:
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

Standards, codes or guidelines relied on in design process:

- AS/NZS 1170.0, 1, & 2 (loading)**
- AS/NZS 4600:2005 (cold formed steel structures)**
- AS 3600 (concrete structures)**
- AS 3566 (screws)**
- National Construction Code of Australia**

Any other relevant documentation:

Attribution as designer:

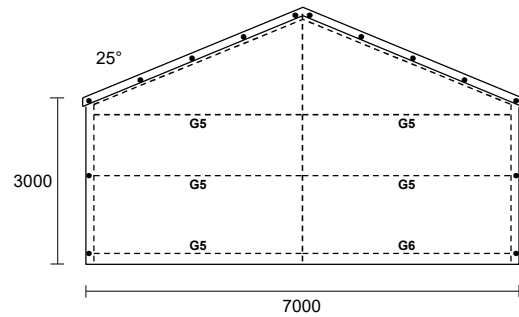
I, Jayanta Bhattacharya responsible for the design of that part of the building work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

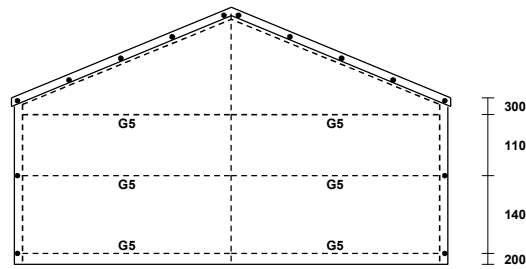
This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

Designer: Name: (print) Signed: Date:

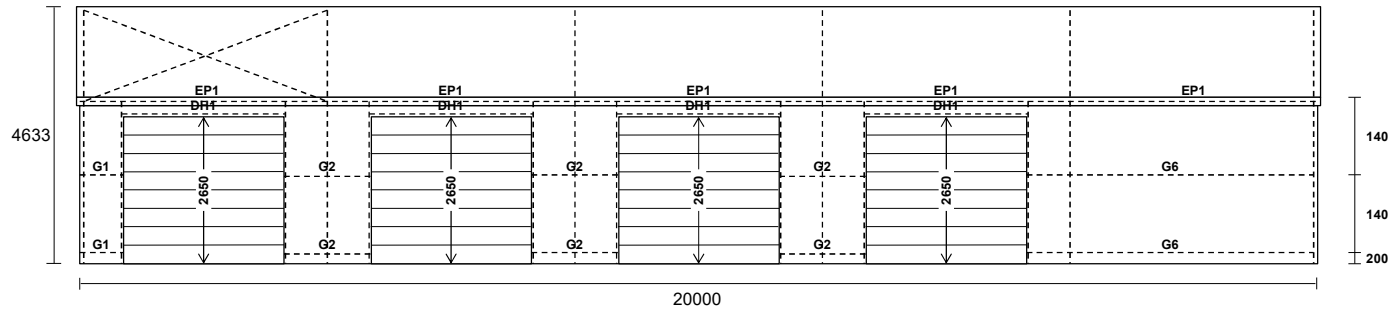
Licence No:



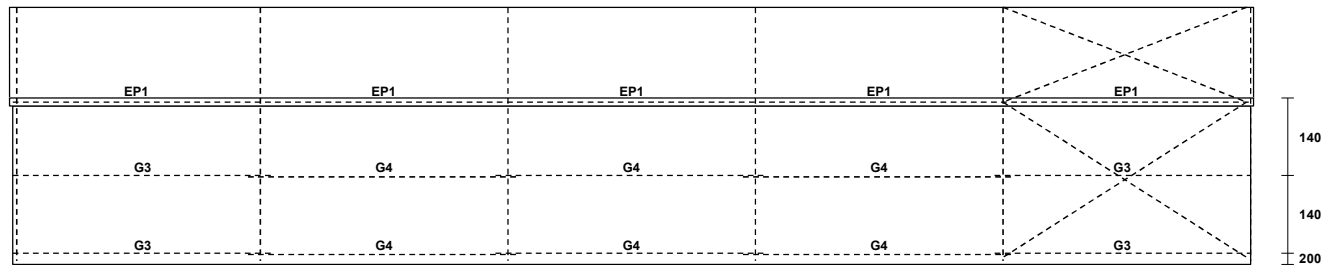
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



REAR ELEVATION

GENERAL NOTES

ALL DIMENSIONS ARE IN MILLIMETRES UNO.
THIS BUILDING DESIGN IS SUITABLE FOR A DESIGN CLASS OF 10a.
THIS BUILDING IS NOT DESIGNED FOR, AND CANNOT BE USED FOR, HUMAN HABITATION (CLASS 1).

THIS SITE SPECIFIC DETAIL REFERS TO THE STRUCTURAL SUITABILITY OF THE STRUCTURAL DESIGN ONLY. THE ENGINEER AND THE SUPPLIER TAKE NO RESPONSIBILITY FOR ANY COMPLIANCE WITH ANY LOCAL GOVERNMENT BY-LAWS, TOWN PLANNING REQUIREMENTS OR INDIVIDUAL SITE CIRCUMSTANCES THAT MAY AFFECT THE SUITABILITY OF THE INSTALLATION OF THE STRUCTURE AT THE ACTUAL SITE.

THESE DESIGNS WHEN CONSTRUCTED IN ACCORDANCE WITH THIS ENGINEERING COMPLIES WITH THE FOLLOWING STANDARDS AND REGULATIONS:-

AS1170.0 TO AS1170.4-2006, AS3600-2009,
AS4055-2011, AS4100-1998 & AS4600-2005
NCC 2018

THE FRAMING MEMBERS, ROOF PURLIN MEMBERS AND CLADDING WITHIN THESE DESIGNS ARE BASED ON THE SECTIONAL DESIGN PROPERTIES OF THE ROLLFORMED PRODUCTS MANUFACTURED BY LYSAGHT BUILDING PRODUCTS.

ALL SCREW FIX FASTENERS TO COMPLY WITH AS3566. ALL CONNECTION BOLTS TO COMPLY WITH AS1252 IN ACCORDANCE AS4100. ALL SCREW FASTENERS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS. FRAMING BOLTS TO BE TIGHTENED TO A SHANK TENSION OF 90kN.

REFER TO PAGE 2 FOR FLOOR PLAN & MEMBER TABLE & WALL CLADDING DETAILS, PAGE 3 FOR SLAB AND FOUNDATION DETAILS, PAGE 4 FOR ROOF PLAN AND ROOF CLADDING DETAILS AND PAGE 5 FOR FRAME AND MEMBER CONNECTION DETAILS.

THIS BUILDING IS TO BE CONSTRUCTED IN ACCORDANCE WITH GOOD PRACTICE. DURING CONSTRUCTION THE STRUCTURE MUST BE MAINTAINED IN A STABLE MANNER AND SUFFICIENTLY BRACED TO PREVENT OVERSTRESSING OF FRAME. THE ENGINEER AND THE SUPPLIER ACCEPT NO RESPONSIBILITY FOR ANY MISTAKES, FROM WHATEVER SOURCE, THROUGH PLEA OF IGNORANCE OF THE OWNER/BUILDER/ERECTOR.

INCLUSIONS

- WINDLOCKED STRAMIT 2650H 2600W DOOR TO FRONT BAY 1
- WINDLOCKED STRAMIT 2650H 2600W DOOR TO FRONT BAY 2
- WINDLOCKED STRAMIT 2650H 2600W DOOR TO FRONT BAY 3
- WINDLOCKED STRAMIT 2650H 2600W DOOR TO FRONT BAY 4

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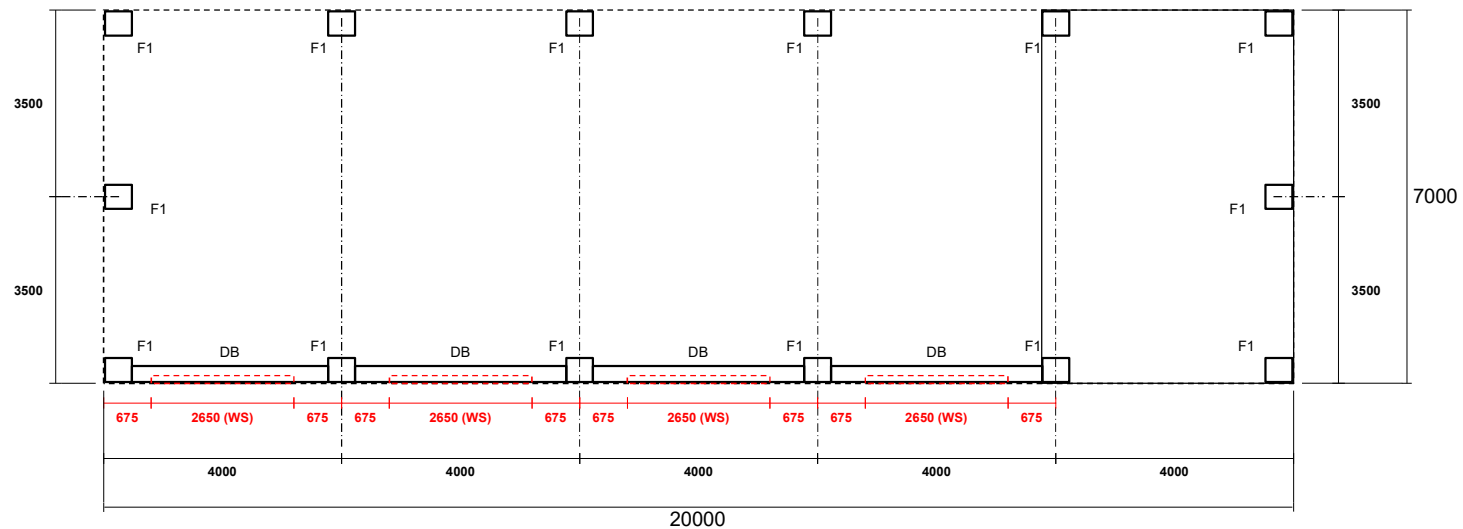


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STRUCTURAL DRAWING NO. LEG109077-2 - DATE 23/02/2022

PROPERTY DETAILS: OWNER: STEPHEN HASSETT - SITE ADDRESS: 61 ARNDELL PLACE RICHMOND 7018

MUNICIPAL DISTRICT: CLARENCE CITY COUNCIL



SLAB AND FOOTING LAYOUT

SLAB/FOOTING DIMENSIONS AND FOUNDATION NOTES

100 DEEP SLAB TO BAY 5. 1 LAYER OF SL72 MESH - 30 COVER MIN. PLASTIC MEMBRANE TO UNDERSLAB.

PIER FOOTINGS (F1) TO BE 450 SQ x 800 DEEP.

SQUARE FOOTINGS CAN BE ROUND FOOTINGS OF THE SAME DIAMETER AND SQUARED ON TOP.

300 WIDE X 300 DEEP DOOR BEAM (DB) TO ROLLER DOOR LOCATIONS. BEAM TO GO FROM FOOTING TO FOOTING. 1 LAYER OF 11TM TRENCH MESH TO BEAM. PLACE MESH 50 FROM BOTTOM OF BEAM.

OPTIONAL WEATHER SLOPES (WS) TO ROLLER DOOR LOCATIONS. START SLOPE 150 BACK FROM EDGE OF SLAB AND FALL TO FRONT.

WHERE FILL IS REQUIRED ALL FOOTINGS ARE TO PENETRATE A MINIMUM OF ONE THIRD FOOTING DEPTH INTO THE NATURAL FOUNDATION.

SLAB & FOOTINGS SHALL HAVE A MINIMUM CONCRETE STRENGTH OF 25MPa.

THIS SLAB HAS BEEN DESIGNED FOR A MAXIMUM LIVE LOAD OF 3kPa.

FOOTINGS SHALL BE ALLOWED TO CURE FOR A PERIOD OF NOT LESS THAN SEVEN DAYS AFTER POURING BEFORE STANDING OF STEELWORK.

SLAB AND FOOTINGS HAVE BEEN DESIGNED TO BEAR ON NATURAL GROUND OR CONTROLLED FILL WITH A MINIMUM BEARING CAPACITY OF 100kPa.

WHERE REQUIRED, CONTROLLED FILL TO BE NON-SAND GRAVEL COMPACTED IN LAYERS TO A MAXIMUM DEPTH OF 600. EACH LAYER NOT TO EXCEED 150 DEEP. ALL FOOTINGS TO EXTEND TO NATURAL FOUNDATION.

ALL FILL TO BE COMPACTED WITH MECHANICALLY VIBRATING ROLLER.

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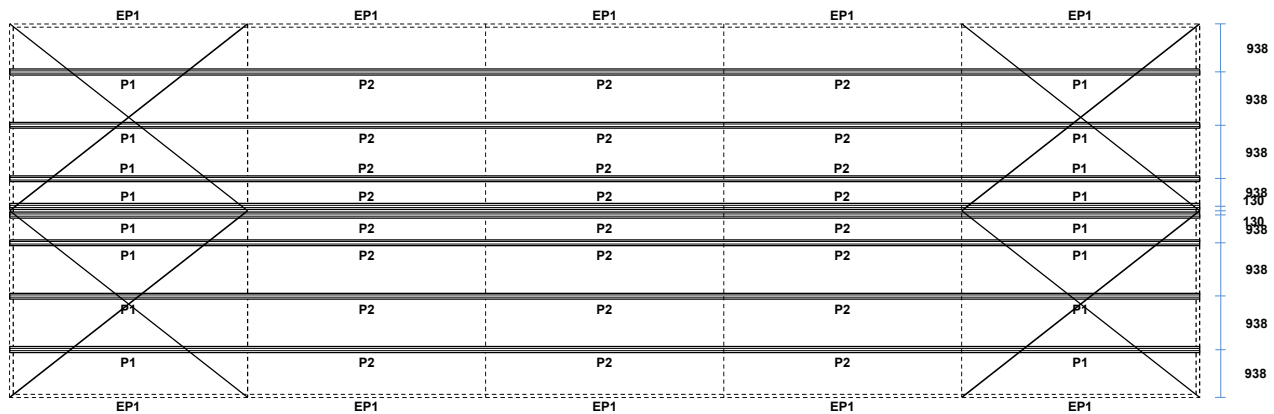
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STRUCTURAL DRAWING NO. LEG109077-2 - DATE 23/02/2022

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ROOF PURLIN LAYOUT

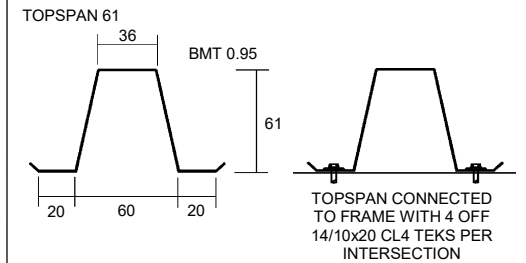
**PROPERTY DETAILS: OWNER: STEPHEN HASSETT - SITE ADDRESS: 61 ARNDELL PLACE RICHMOND 7018
MUNICIPAL DISTRICT: CLARENCE CITY COUNCIL**

ROOF CLADDING AND FASTENING DETAILS

ROOF CLADDING - CUSTOMORB 0.42 BMT



ROOF PURLIN / WALL GIRT DETAIL



ROOF BRACING NOTES

32 x 1.2 BRACING STRAP TO FRAME AS DETAILED. BRACING STRAP TO BE FIXED UNDER TENSION PRIOR TO CLADDING BUILDING TO PREVENT MOVEMENT. FIX TO FRAME WITH 2 OFF 14/10x20 CL4 TEKS TO EACH END.

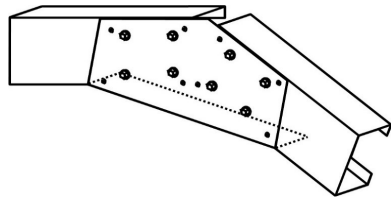
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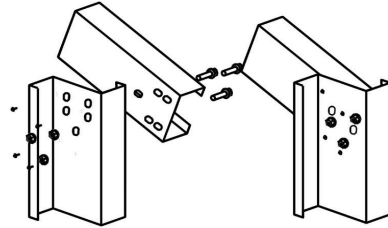
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STRUCTURAL DRAWING NO. LEG109077-2 - DATE 23/02/2022



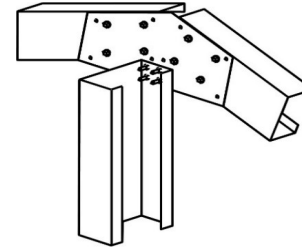
RAFTERS CONNECTED AT APEX WITH FURM APEX CLEAT. FASTEN WITH 8 OFF M16x30 8.8/s BOLT ASSY & 8 OFF 14/10x20 CL3 TEKS.

APEX CONNECTION



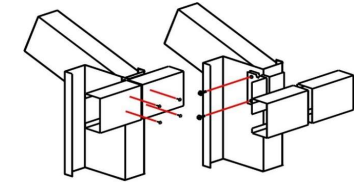
RAFTERS CONNECTED DIRECTLY TO COLUMN AT KNEE WITH 3 OFF M16x30 8.8/s BOLT ASSY & 4 OFF 14/10x20 CL3 TEKS.

KNEE CONNECTION



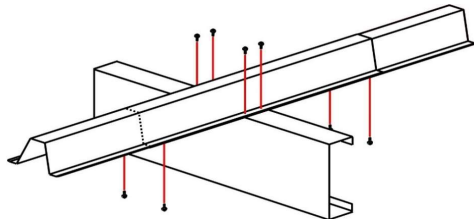
END WALL COLUMNS CONNECTED DIRECTLY TO APEX CLEAT AND/OR RAFTER. FASTEN WITH 4 OFF 14/10x20 CL3 TEKS.

END WALL COLUMN CONNECTION



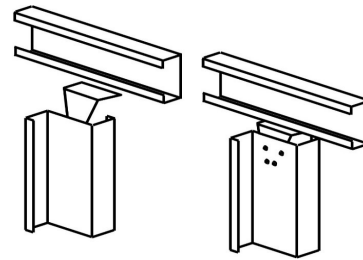
EAVE PURLIN TO BE C100 PURLIN. FASTEN TO COLUMNS WITH FURM EAVE003 CLEAT. SINGLE CLEAT TO END PORTALS AND BACK-TO-BACK CLEATS TO INTERNAL PORTALS. FASTEN WITH 2 OFF 14/10x20 CL3 TEKS TO EACH CONNECTION.

EAVE PURLIN CONNECTION



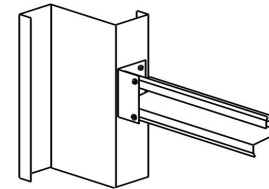
ROOF PURLINS FASTENED WITH 4 OFF 14/10x20 CL3 TEKS TO RAFTER. FIX LAP ENDS WITH 4 OFF 14/10x20 CL3 TEKS.

ROOF PURLIN CONNECTION



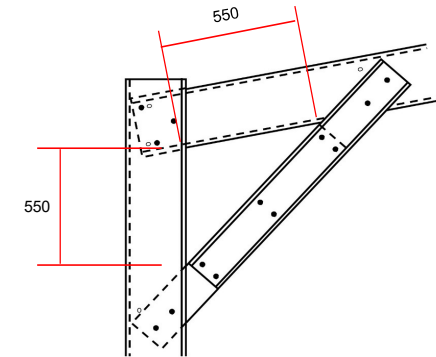
DOOR MULLIONS CONNECTED TO EAVE PURLIN WITH FURM MULLION CLEAT. FASTEN WITH 4 OFF 14/10x20 CL3 TEKS.

SIDE WALL DOOR MULLION EAVE CONNECTION



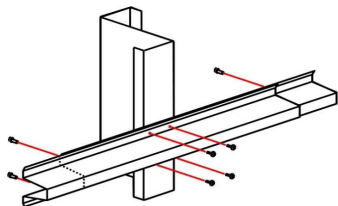
DOOR HEAD FIXED TO DOOR MULLION WITH FURM TOPSPAN CLEAT. FIX WITH 4 OFF 14/10x20 CL3 TEKS.

ROLLER DOOR HEAD CONNECTION



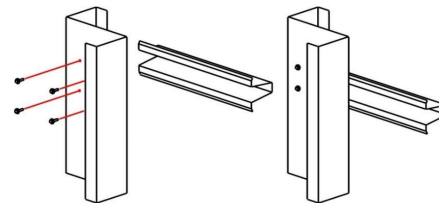
KNEE BRACE IS BACK-TO-BACK C PURLIN. BRACE IS TO FIT DIRECTLY TO THE BACK FACE OF BOTH UNCLAD COLUMN AND RAFTER. FIX WITH 6 OFF M16x30 8.8/s BOLT ASSY TO LAPS AND 2 OFF M16x30 8.8/s BOLT ASSY TO EACH END.

UNCLAD PORTAL KNEE BRACE DETAIL



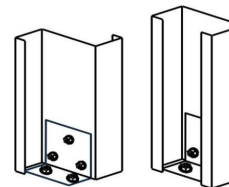
WALL GIRTS PURLINS FASTENED WITH 4 OFF 14/10x20 CL3 TEKS TO COLUMN/RAFTER. FIX LAP ENDS WITH 4 OFF 14/10x20 CL3 TEKS.

WALL GIRT CONNECTION



WALL GIRTS FIXED DIRECTLY TO CLAD COLUMN. FIX WITH 4 OFF 14/10x20 CL3 TEKS.

CLAD PORTAL WALL GIRT CONNECTION



COLUMNS & MULLIONS FIXED TO FOUNDATION WITH FURM BASE CLEATS. FIX WITH 3 OFF M16x30 8.8/s BOLT ASSY TO COLUMNS 150 COLUMNS - 2 OFF M12x100 SCREWBOLTS

COLUMN BASE CONNECTION

PROPERTY DETAILS: OWNER: STEPHEN HASSETT - SITE ADDRESS: 61 ARNDELL PLACE RICHMOND 7018

MUNICIPAL DISTRICT: CLARENCE CITY COUNCIL

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STRUCTURAL DRAWING NO. LEG109077-2 - DATE 23/02/2022