



DEVELOPMENT APPLICATION

PDPLANPMTD-2024/041948

PROPOSAL: 2 Multiple Dwellings (1 Existing & 1 New)

LOCATION: 19 Schouten Street, Warrane

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 08 April 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 08 April 2024. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 08 April 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

2 Unit Development (1 Existing)

Location:

Address 19 Schouten Street

Suburb/Town Warrane

Postcode 7018

Current
Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for
application fees to
be in the name of:
(if different from
applicant)

Estimated cost of development

\$ 300,000

Is the property on the Tasmanian Heritage Register?

Yes

☐

No

☒

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Dwelling

Does the proposal involve land administered or owned by the Crown or Council?

Yes

☐

No

☒

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's
Signature:

Signature K. Dalco Date 2/2/24

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST
ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST
BE SUBMITTED WITH YOUR APPLICATION.**

SEARCH OF TORRENS TITLE

VOLUME 63452	FOLIO 4
EDITION 5	DATE OF ISSUE 24-Jun-2015

SEARCH DATE : 01-Feb-2024

SEARCH TIME : 11.44 AM

DESCRIPTION OF LAND

City of CLARENCE

Lot 4 on Plan 63452 (formerly being P1573)

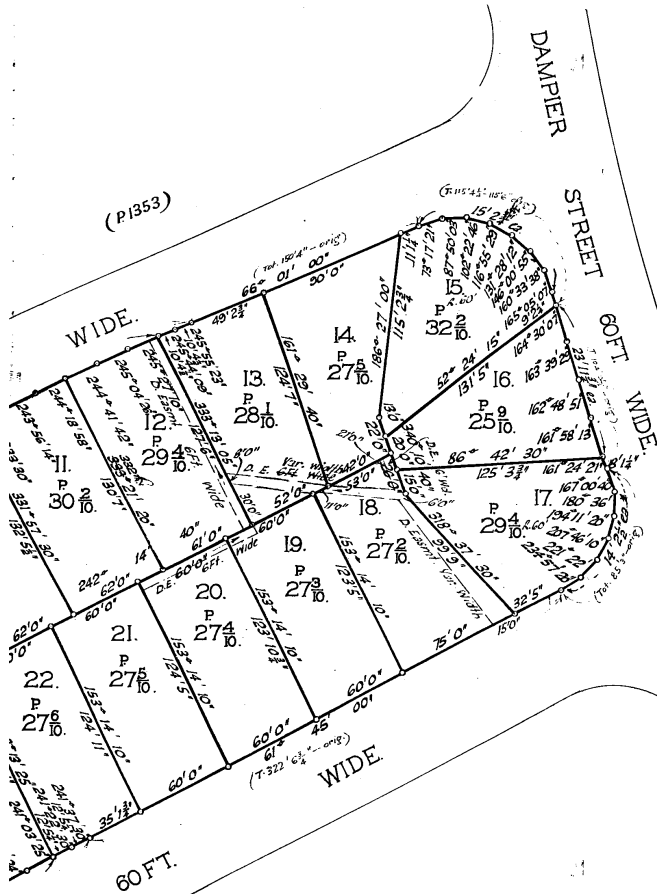
Derivation : Whole of 5A-2R-5Ps Granted to The Director of
Housing

Prior CT 2039/69

SCHEDULE 1C948103 TRANSFER to LUKE ANDREW CHARLES MARSHALL Registered
03-Sep-2010 at noonSCHEDULE 2Reservations and conditions in the Crown Grant if any
E13940 MORTGAGE to Commonwealth Bank of Australia
Registered 24-Jun-2015 at 12.01 PMUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

82911
REGISTERED NUMBER
63452



TOWN OF WARRANE

SCALE 50 FT TO AN INCH.

SEC. K

Whole of S. 2.5, Lots 1-30. Gld. to The Director of Housing 247-416
Part of 117-0-38, 27-0-30, 154-2-33. Acq^d for the Erection of Homes.

The Director of Housing 247-416

Note: This plan was checked against orig. at Lands Office on 30.7.63 *W.H.*

this is a correct copy of diagram of
Miles (P. 368)
which the Surveyor-General has added to
the Director of Housing.

Surveyor-General
24/1/63

LY CHECKED _____

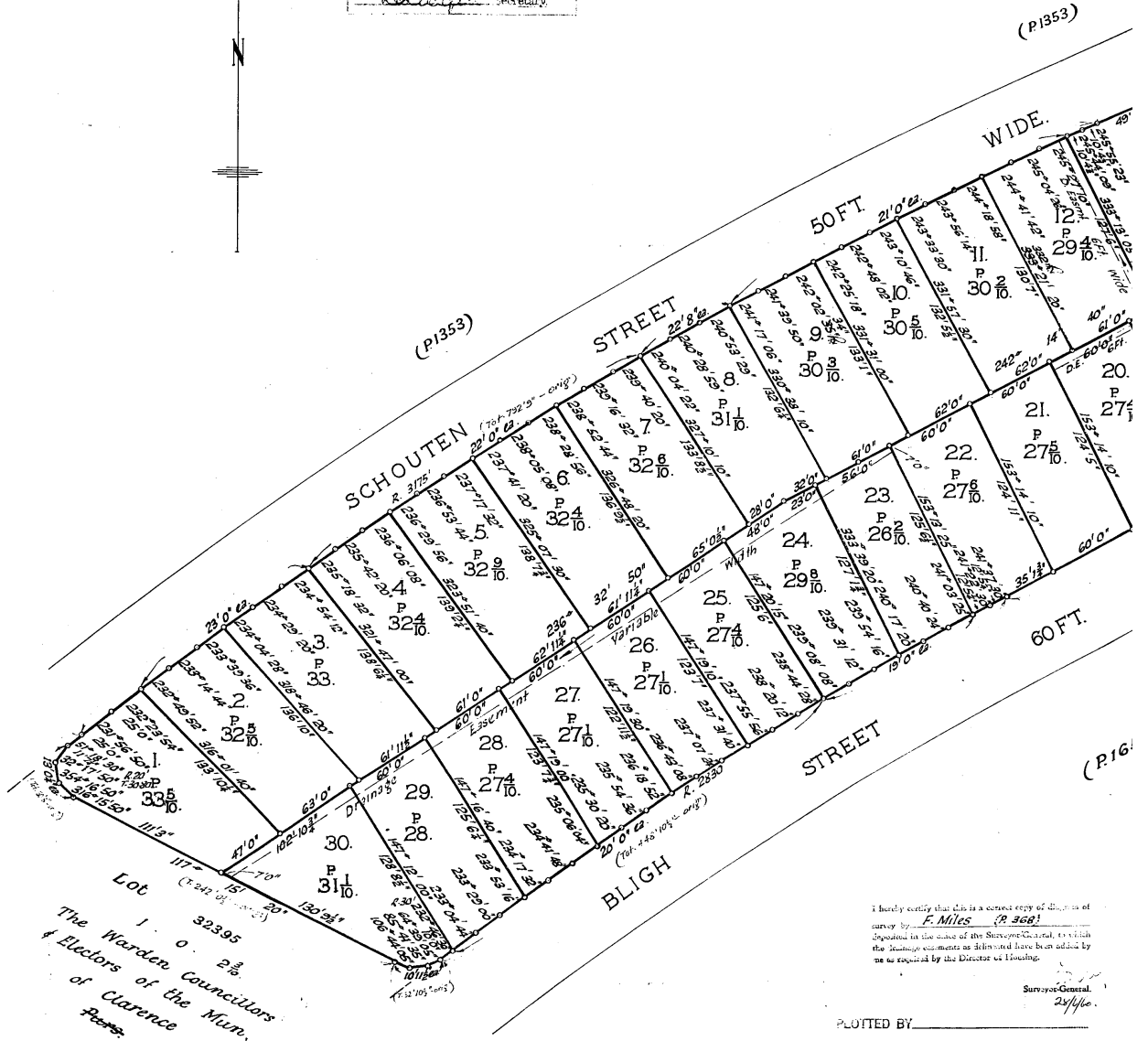
O BOUNDARIES *W.H.* 31.7.63

WRD BY *W.H.*

P/I

See FN's.
Program No. 218 Separate Titles Issued

July 20th
The following is a true and correct copy of the original plan as filed in the office of the Registrar of Titles on the 21st day of July 1960.
Commissioner
Secretary



Lot 32395
The Warden, Councilors
& Electors of the Municipality
of Clarence

REGISTERED NUMBER
63452

P1573

I hereby certify that this is a correct copy of the original plan as filed in the office of the Registrar of Titles on the 21st day of July 1960.

Surveyor-General
24/7/60

PLOTTED BY _____

MATHEMATICALLY CHECKED _____

EXAMINED AS TO BOUNDARIES 21/7/63

ENTERED ON CARD BY 21/7/63


PROPOSED 2 UNIT DEVELOPMENT (1 EXISTING) AT
19 SCHOUTEN STREET, WARRANE
C.T.63452-4

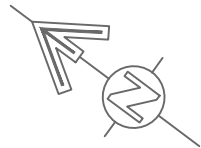
DRAWING NUMBER

A00	COVER PAGE
A01	SITE PLAN - EXISTING
A01a	SITE PLAN - PROPOSED
A02	DRAINAGE PLAN - SITE FOR DA ONLY
A02a	DRAINAGE PLAN - UNIT 2
A03	FLOOR PLAN - UNIT 2
A03a	FLOOR PLAN - EXISTING
A04	ROOF PLAN TBC
A05	SECTION TBC
A06	ELEVATIONS - UNIT 2
A06a	ELEVATIONS - EXISTING
A07	ELECTRICAL PLAN TBC
A08	SETOUT PLAN TBC
A09	BAL PLAN
A10	EASE OF ACCESS
A11	SWMP - TBC
A12	LANDSCAPING PLAN
A13	SHADOW DIAGRAM - 9AM
A13a	SHADOW DIAGRAM - 12PM
A13b	SHADOW DIAGRAM - 3PM

COMPLIANCE NUMBER:

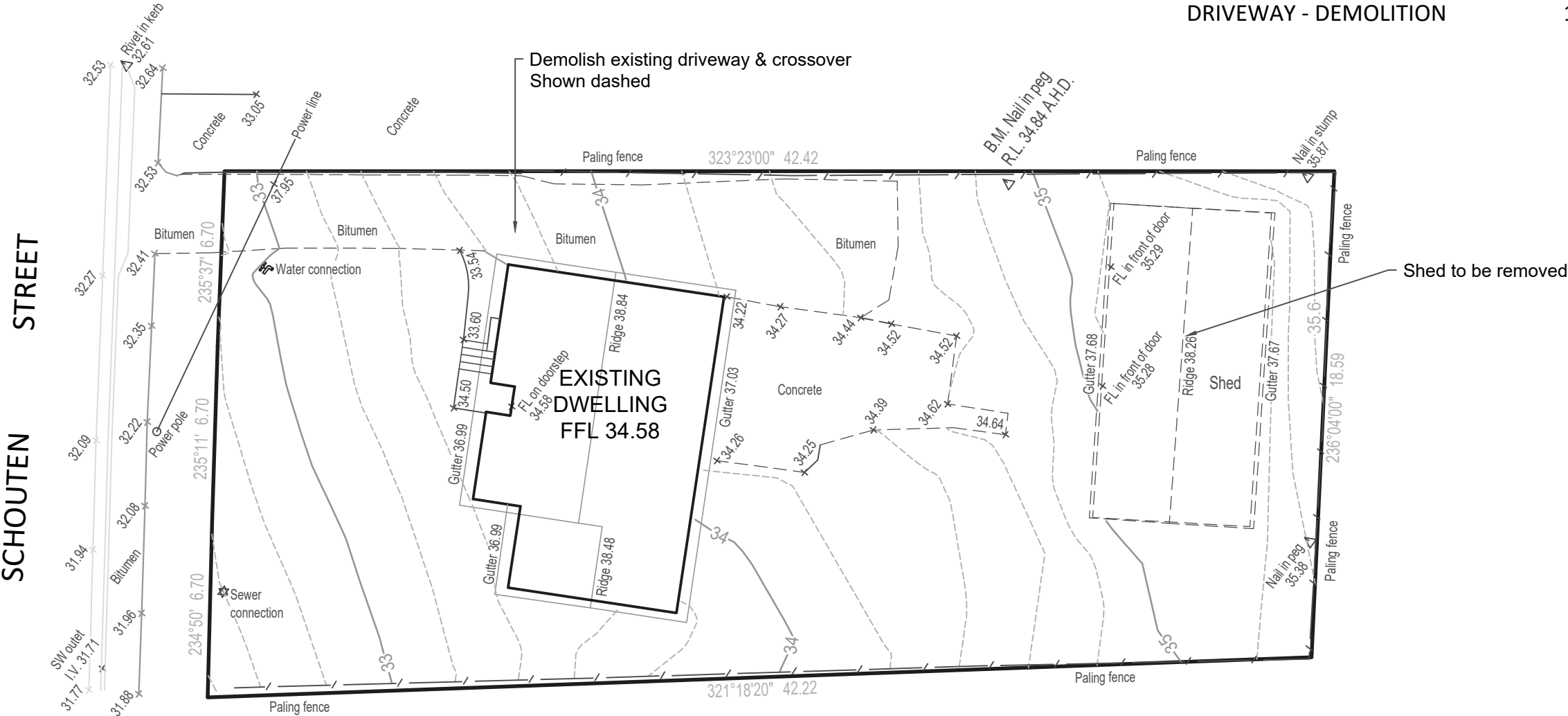
B01	WET AREA NOTES
B02	GENERAL SPEC NOTES

Revision notes:			Job Number: J2114	Drawn by: AW	Project: 19 SCHOUTEN STREET, WARRANE	Date: 05/03/2024		14 Mertonvale Circuit, Kingston sales@mavericbuilders.com.au 6229 1430
Rev:	Date:	Notes:		Client: L & R MARSHALL	Drawing Title: COVER PAGE	Scale @ A3: NA		
01	05/03/2024	Add Shadow Diagrams				Page Number: A00		



C.T. 63452-4

SITE AREA	818m ²
ROOF AREA (excl. eaves) EXIST.	95m ²
ROOF AREA PROPOSED	232m ²
TOTAL SITE COVERAGE	28.36%
DRIVEWAY - DEMOLITION	112m ²



SITE PLAN - EXISTING
1:200



BEWARE OF UNDERGROUND SERVICES
THE LOCATION OF UNDER GROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

Revision notes:		
Rev:	Date:	Notes:

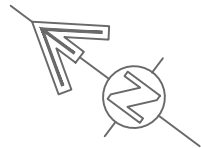
Drawn by: AW
Client: L & R MARSHALL

Project: J2114 - 19 SCHOUTEN STREET, WARRANE
Drawing Title: SITE PLAN - EXISTING

Date: 29/01/2024
Scale @ A3: 1:200
Page Number: A01

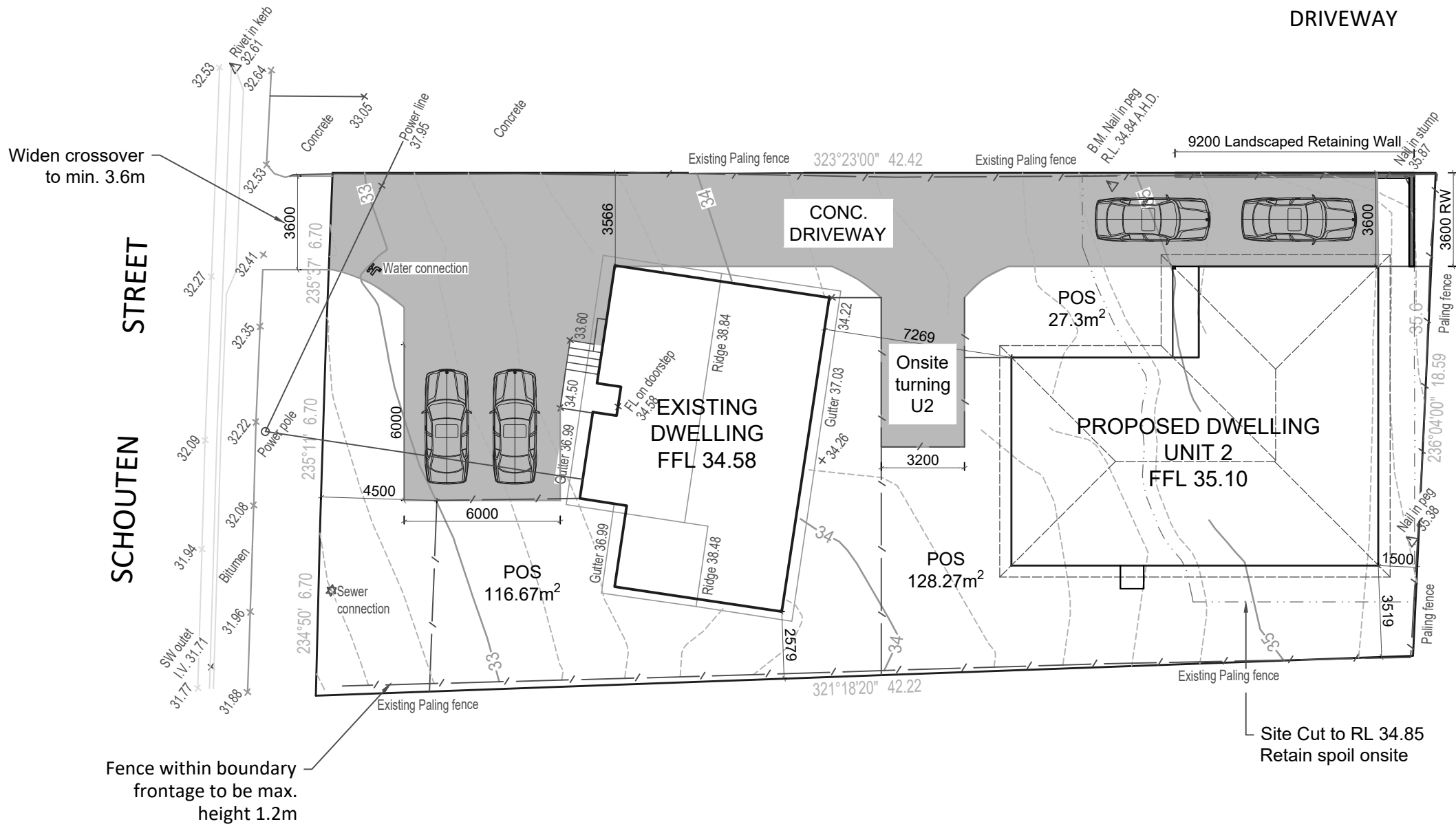


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6229 1430
DO NOT SCALE



C.T. 63452-4

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ROOF AREA PROPOSED	232m ²
TOTAL SITE COVERAGE	28.36%
DRIVEWAY	228.3m ²



SITE PLAN - PROPOSED

1:200

Nail in kerb
31.42



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Revision notes:

Rev:	Date:	Notes:
01	05/03/2024	Frontage fence, RW and DW

Drawn by:

AW

Client:

L & R MARSHALL

Project:

J2114 - 19 SCHOUTEN STREET, WARRANE

Drawing Title:

SITE PLAN - PROPOSED

Date:

05/03/2024

Scale @ A3:

1:200

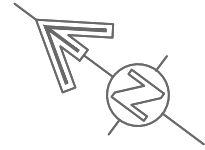
Page Number:

A01a



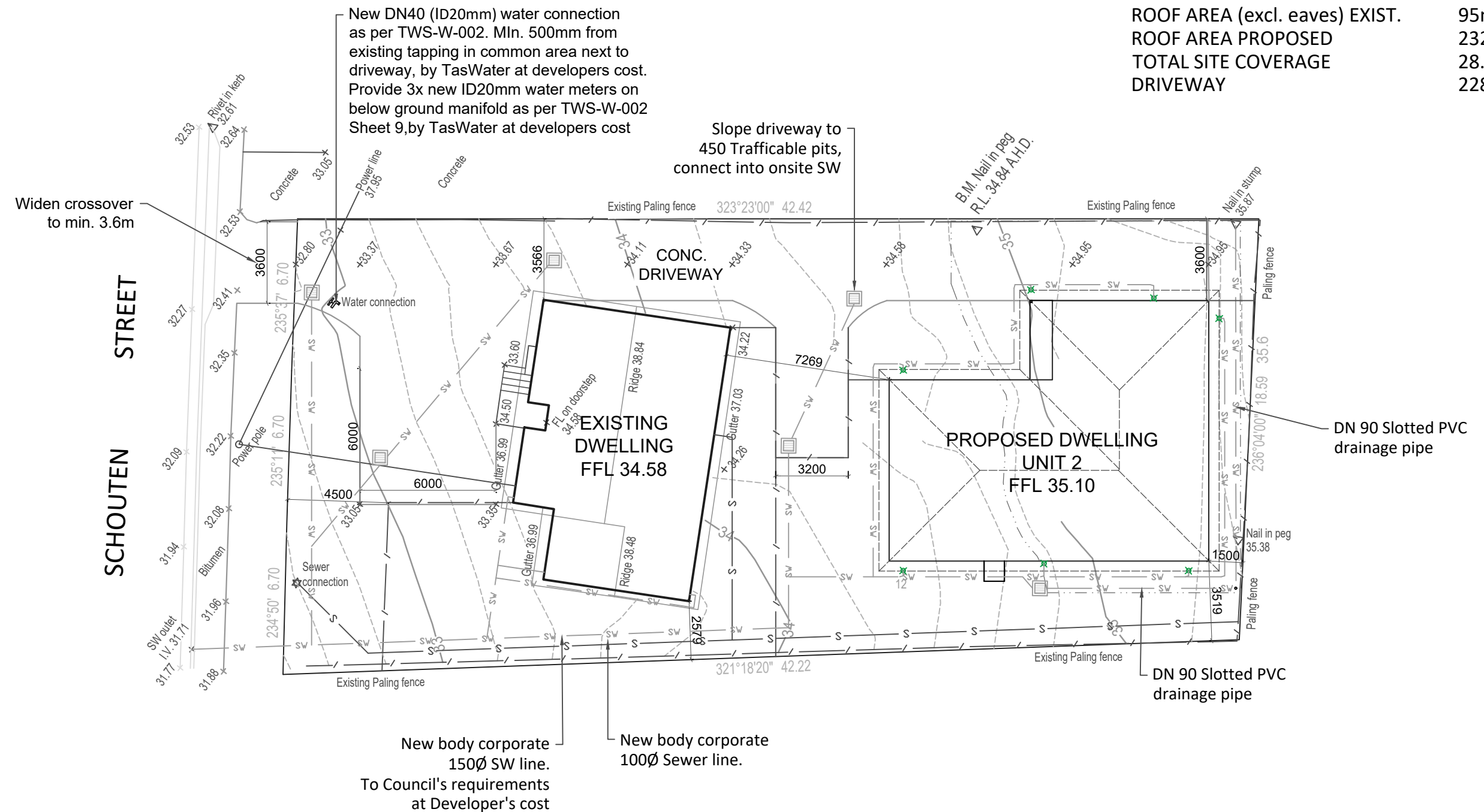
14 Mertonvale Circuit, Kingston
sales@mavericbuilders.com.au
6229 1430

DO NOT SCALE



C.T. 63452-4

SITE AREA	818m ²
ROOF AREA (excl. eaves) EXIST.	95m ²
ROOF AREA PROPOSED	232m ²
TOTAL SITE COVERAGE	28.36%
DRIVEWAY	228.3m ²



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DRAINAGE PLAN - SITE

1:200

Nail in kerb
31.42

Revision notes:		
Rev:	Date:	Notes:
01	06/03/2024	Amendments to SW, note DW FSL's

Drawn by:

AW

Client:

L & R MARSHALL

Project: J2114 - 19 SCHOUTEN STREET, WARRANE	
Drawing Title: DRAINAGE PLAN - SITE	

Date: 06/03/2024
Scale @ A3: 1:200
Page Number: A02

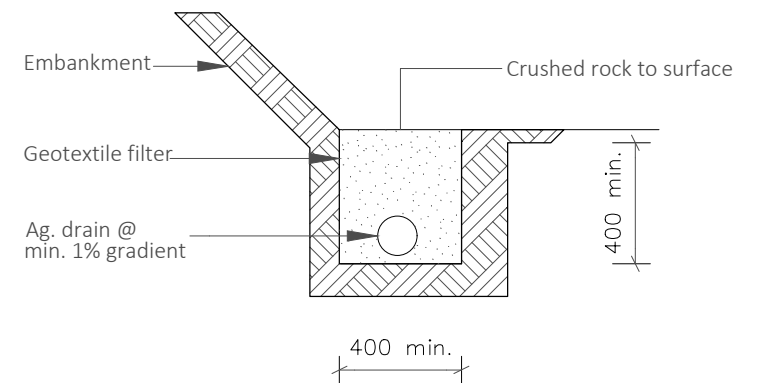
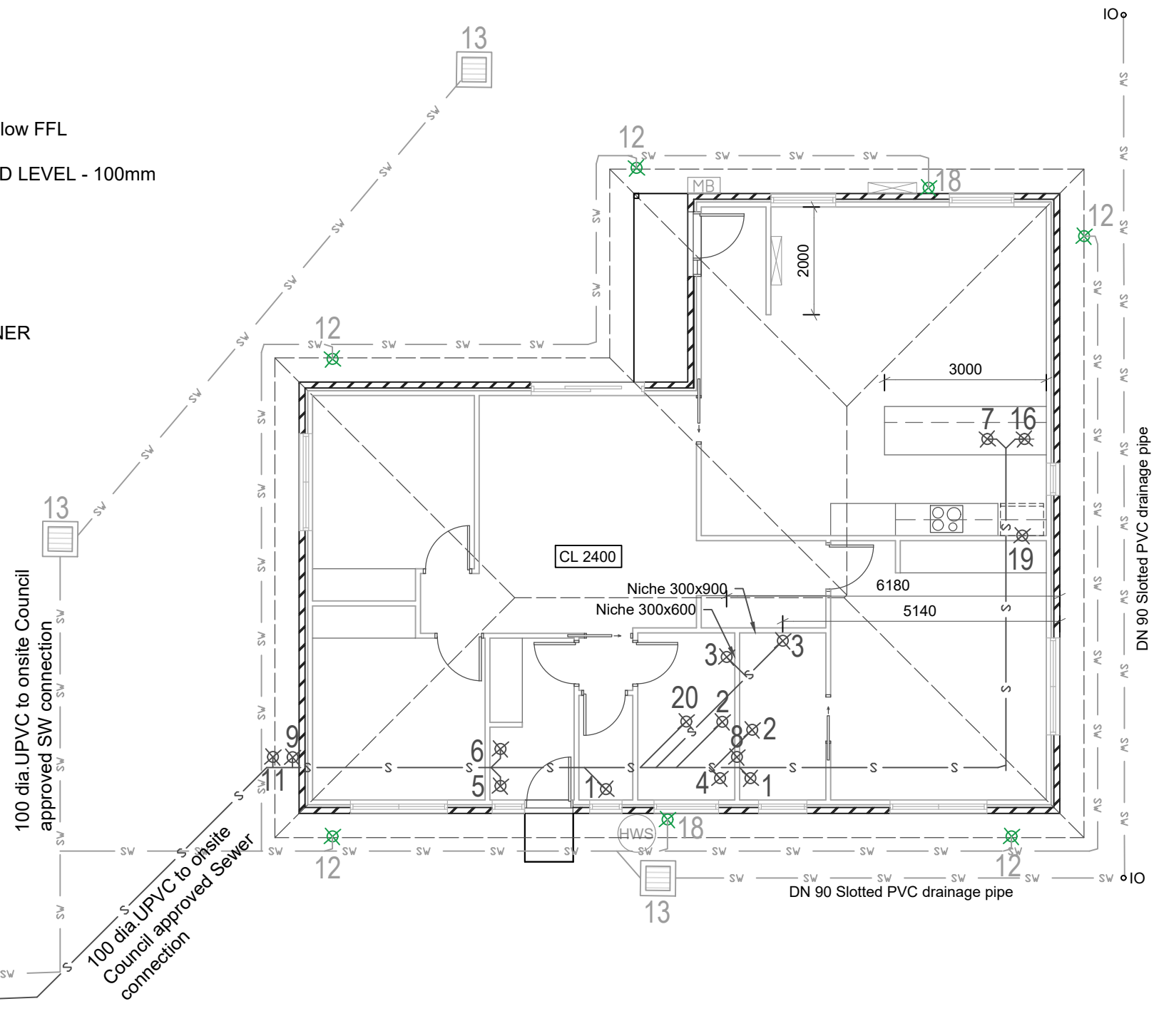


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DO NOT SCALE

1	WC - 100mm
2	HANDBASIN - 40mm
3	SHOWER - 50mm
4	BATH - 40mm
5	LAUNDRY TROUGH - 50mm
6	WASHING MACHINE
7	KITCHEN SINK - 50mm
8	VENT - 50mm
9	TAP CHARGED ORG min 150mm below FFL
10	RAINWATER PIPE
11	INSPECTION OPENING TO GROUND LEVEL - 100mm
12	DOWNPIPE - 90mm
13	450mm GRATED PIT
14	SPREADER PIPE - 90mm
15	150mm GRATED DRAIN
16	DISHWASHER
17	STACK
18	DRAIN FOR HWS & AIR-CONDITIONER
19	TAP FOR FRIDGE
20	FLOOR WASTE
21	EXTERNAL TAP

PLUMBER TO CONFIRM ALL DETAILS ON SITE PRIOR TO COMMENCING ANY WORK AND BE INSPECTED AND APPROVED BY A QUALIFIED ENGINEER.



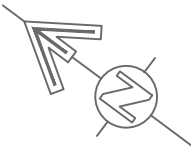
AG DRAIN DETAIL
Not to scale

Revision notes:		
Rev:	Date:	Notes:

A02a

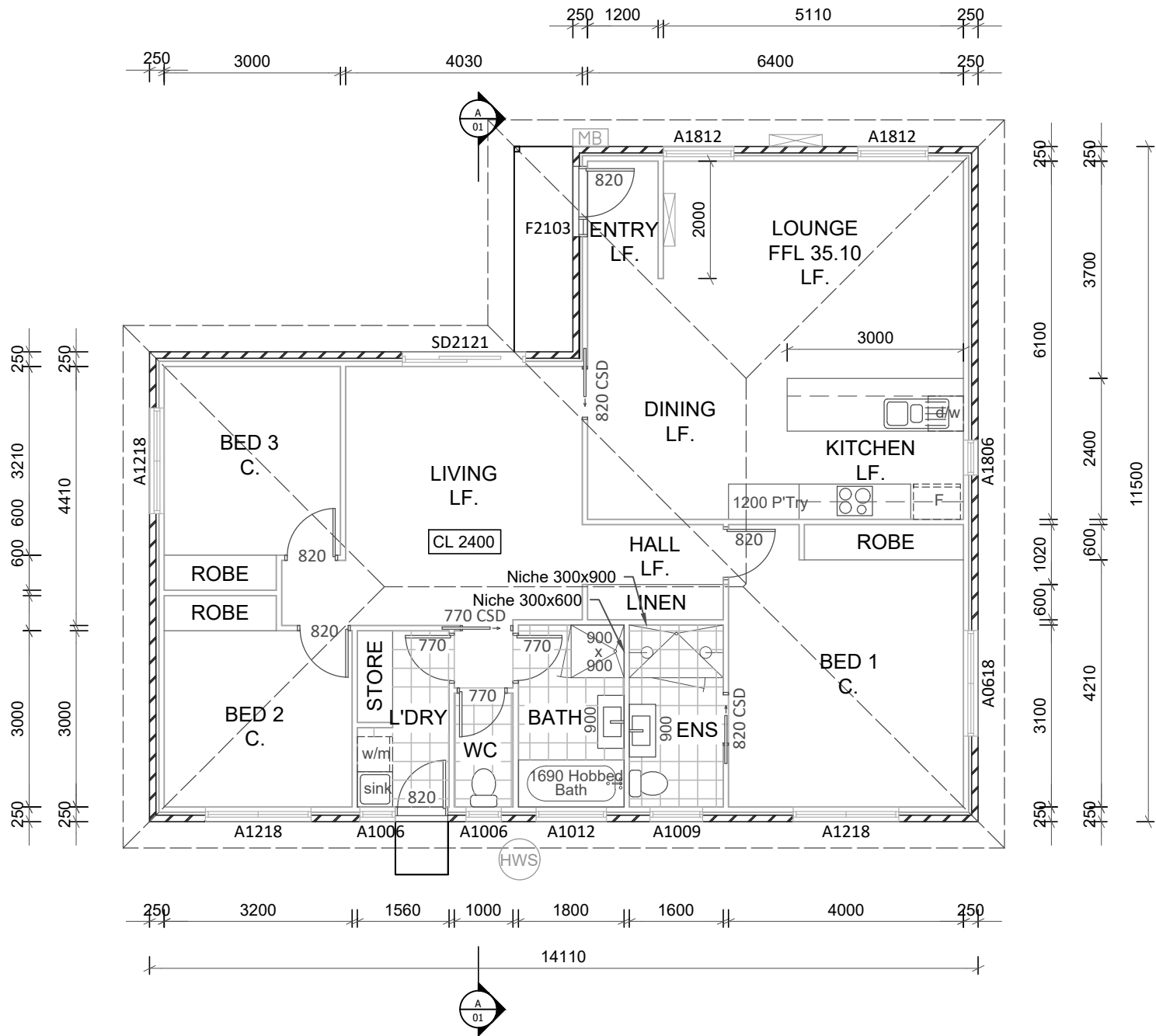


DO NOT SCALE




FLOOR AREA 137m²

- Key - Wet areas
Tiles to be selected by owner
All wet areas need to be covered
with a waterproof membrane in
accordance with AS 3740
- C. Carpet & underlay
LF. Laminate flooring & underlay



Note:

Set down shower floor to accommodate 1:60 - 1:80 fall to waste

 Air-conditioner units - internal & external

Kitchen - refer to joinery quote

Revision notes:		
Rev:	Date:	Notes:

Drawn by:
AW
Client:
L & R MARSHALL

Project:
J2114 - 19 SCHOUTEN STREET, WARRANE
Drawing Title:
FLOOR PLAN - UNIT 2

Date:
29/01/2024
Scale @ A3:
1:100
Page Number:
A03

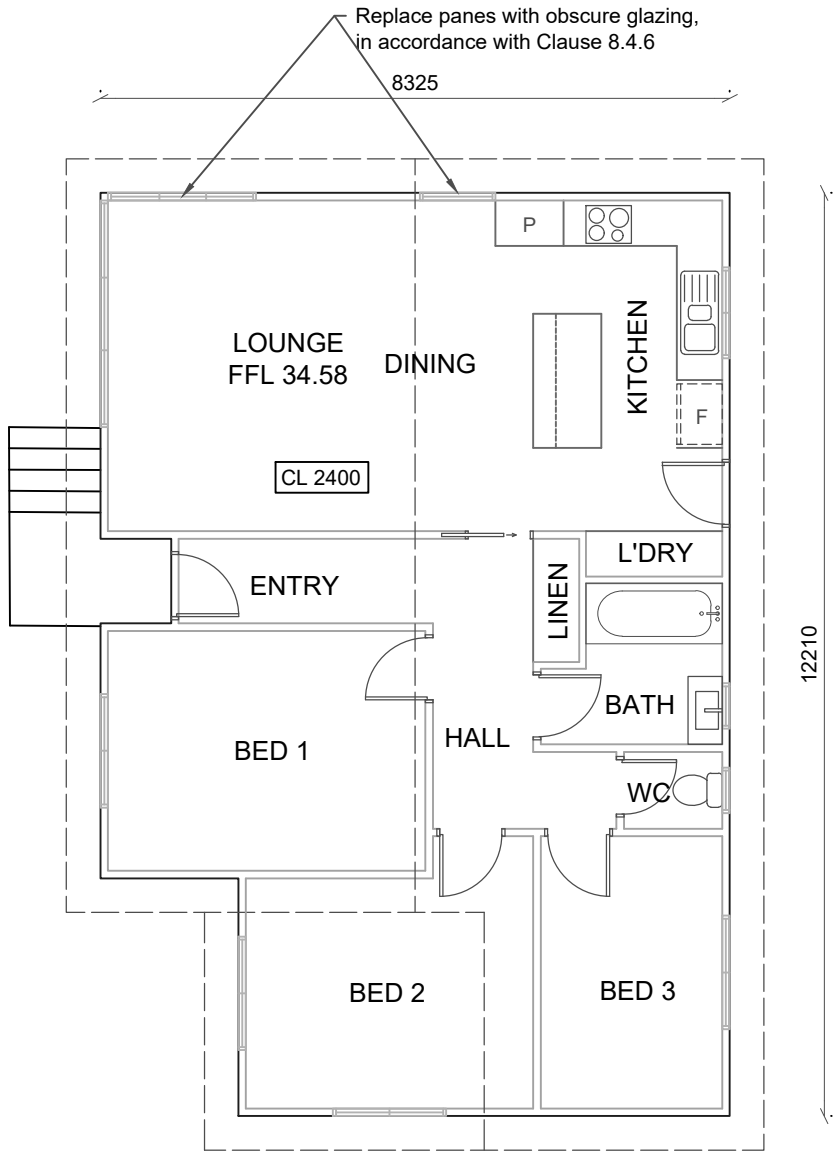


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DO NOT SCALE



FLOOR AREA 95m²



Revision notes:		
Rev:	Date:	Notes:
01	13/03/2024	Note obscure glazing to NE windows

Drawn by:
AW
Client:
L & R MARSHALL

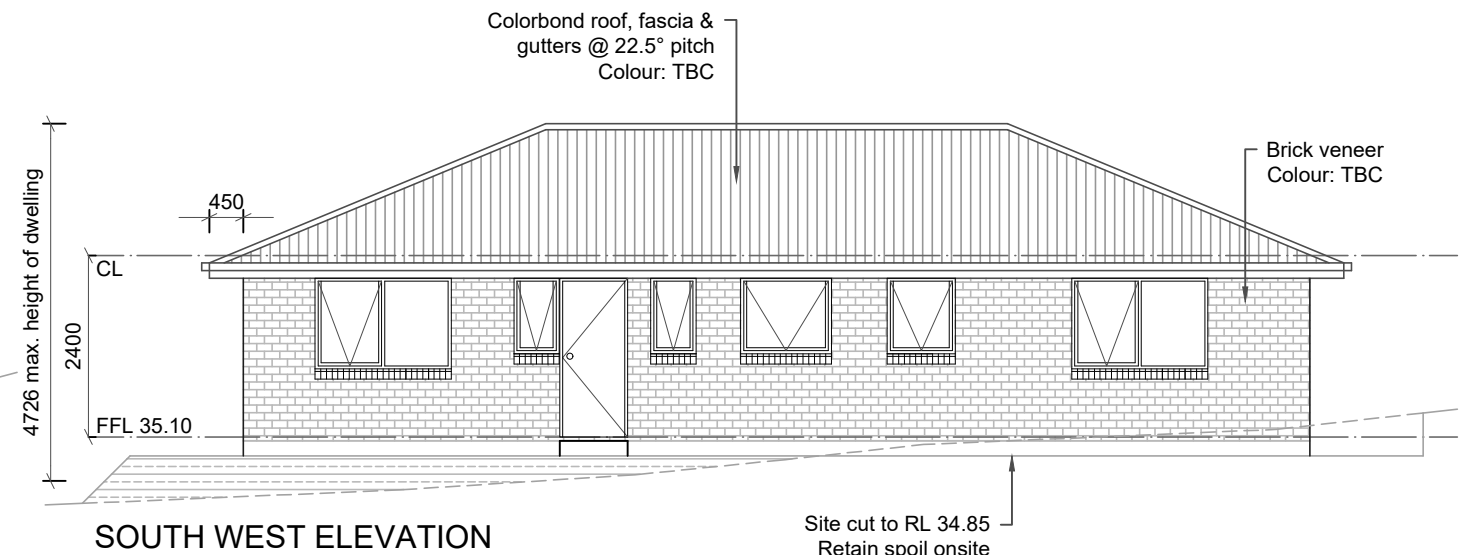
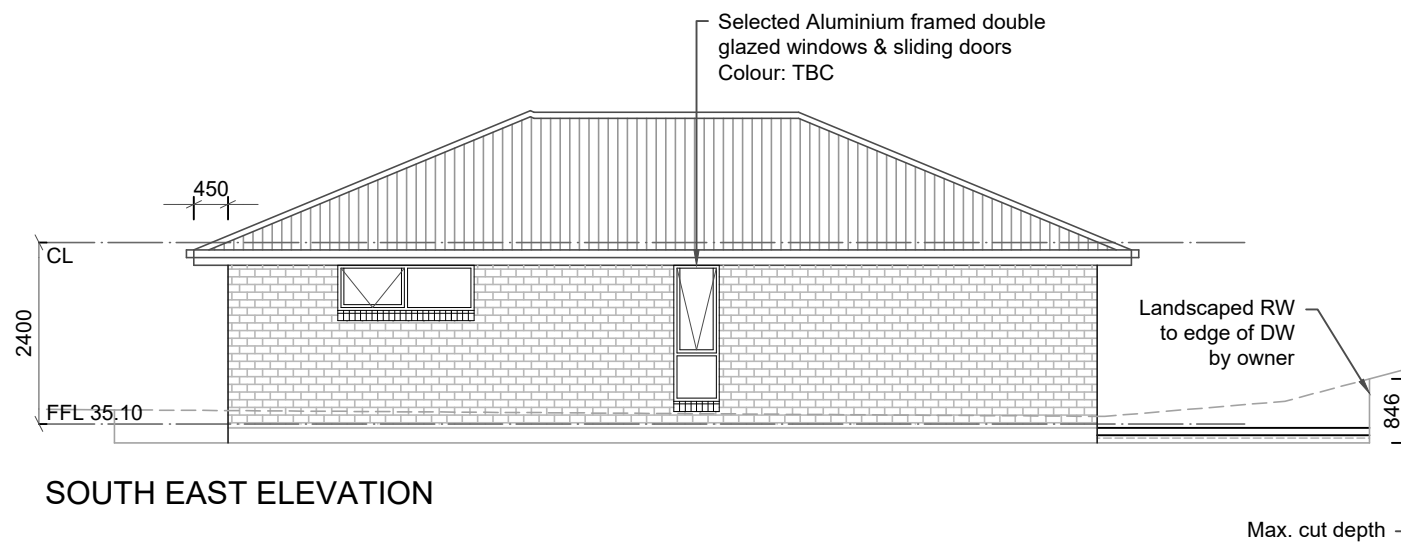
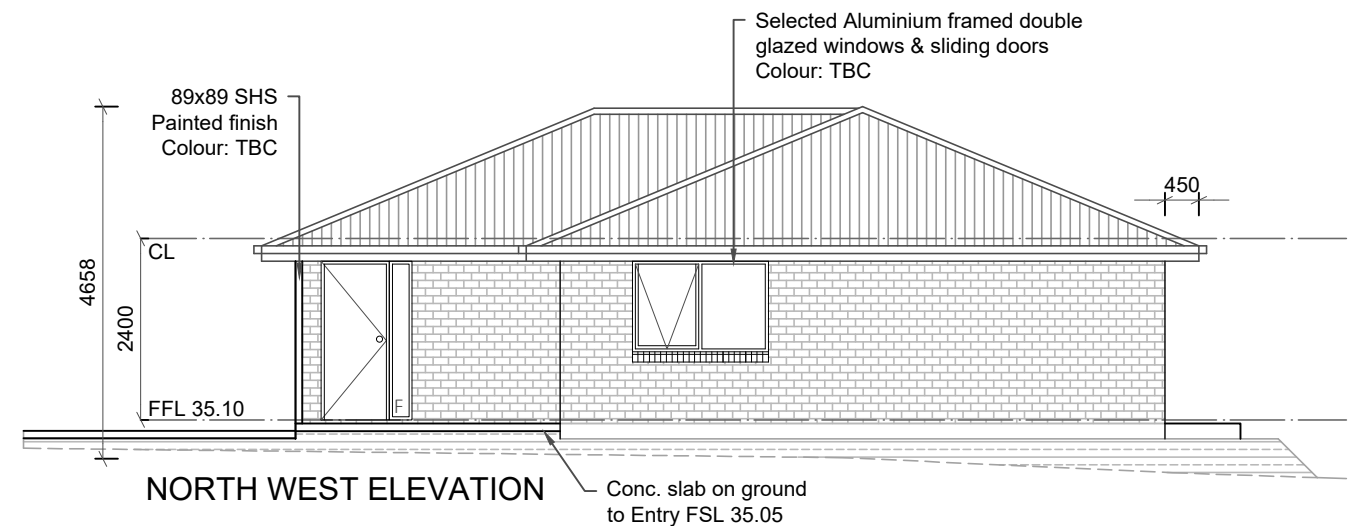
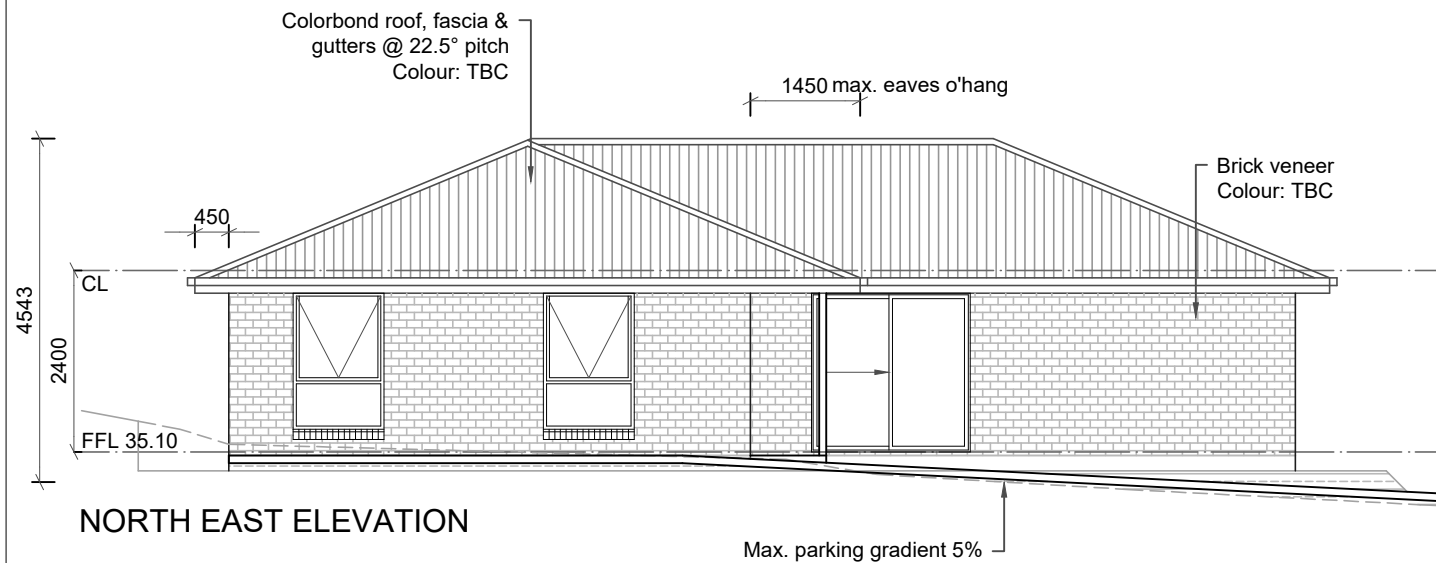
Project:
J2114 - 19 SCHOUTEN STREET, WARRANE
Drawing Title:
FLOOR PLAN - EXISTING

Date:
13/08/2024
Scale @ A3:
1:100
Page Number:
A03a



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DO NOT SCALE



NOTE: Vertical Articulation joints only provided in *unreinforced masonry* walls except walls built where the *site* soil classification is S or A. (Refer to Engineers report for details).

Revision notes:

Rev:	Date:	Notes:

Drawn by:

AW

Client:

L & R MARSHALL

Project:

J2114 - 19 SCHOUTEN STREET, WARRANE

Drawing Title:

ELEVATIONS - UNIT 2

Date:

30/01/2024

Scale @ A3:

1:100

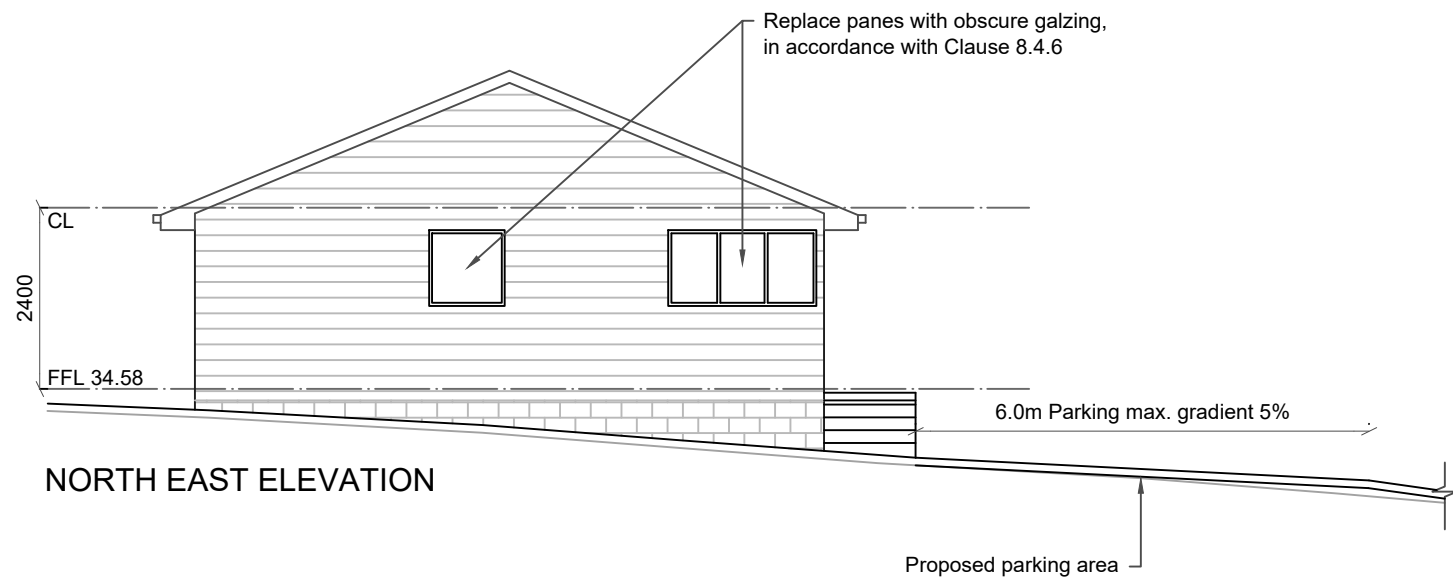
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A06

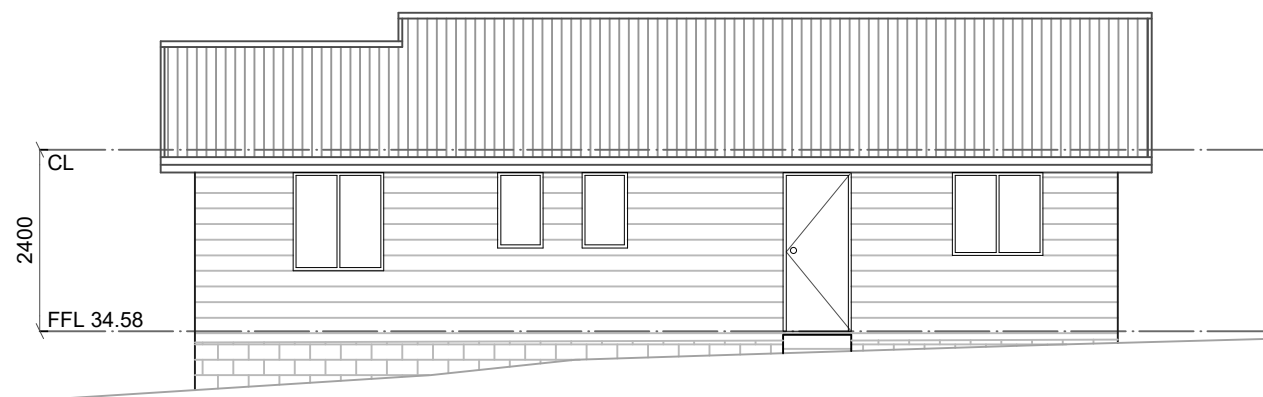


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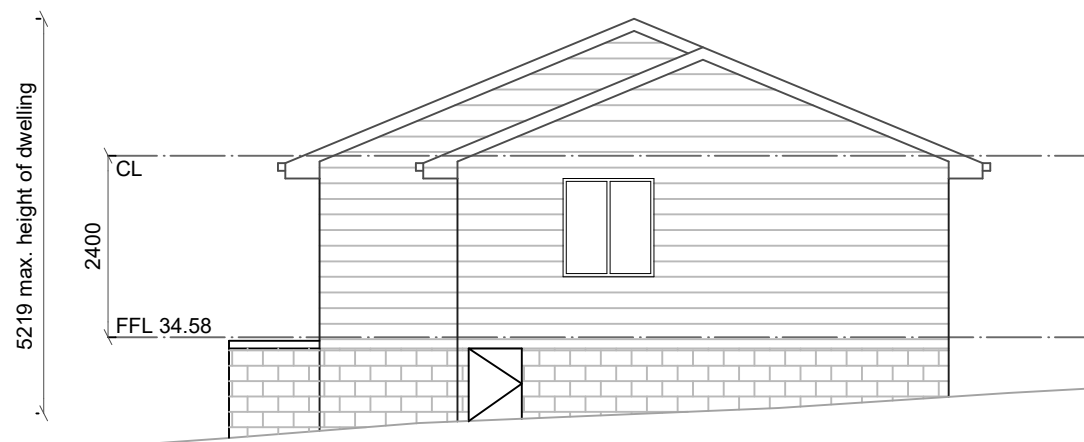
NORTH EAST ELEVATION



SOUTH EAST ELEVATION



NORTH WEST ELEVATION



SOUTH WEST ELEVATION

Revision notes:

Rev:	Date:	Notes:
01	05/03/2024	Note NE window finish
02	13/03/2024	Update note to NE windows

Drawn by:

AW

Client:

L & R MARSHALL

Project:

J2114 - 19 SCHOUTEN STREET, WARRANE

Drawing Title:

ELEVATIONS - EXISTING

Date:

13/03/2024

Scale @ A3:

1:100

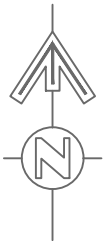
Page Number:

A06a



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THE BUSHFIRE ATTACK LEVEL FOR THIS
SITE HAS BEEN CATAGORISED AS
BAL - NA
IN ACCORDANCE WITH AS 3959-2018
"CONSTRUCTION OF BUILDINGS IN BUSHFIRE
PRONE AREAS".

Revision notes:

Rev:	Date:	Notes:

Drawn by:

AW

Client:

L & R MARSHALL

Project:

J2114 - 19 SCHOUTEN STREET, WARRANE

Drawing Title:

BAL PLAN

Date:

31/01/2024

Scale @ A3:

1:1000

Page Number:

A09

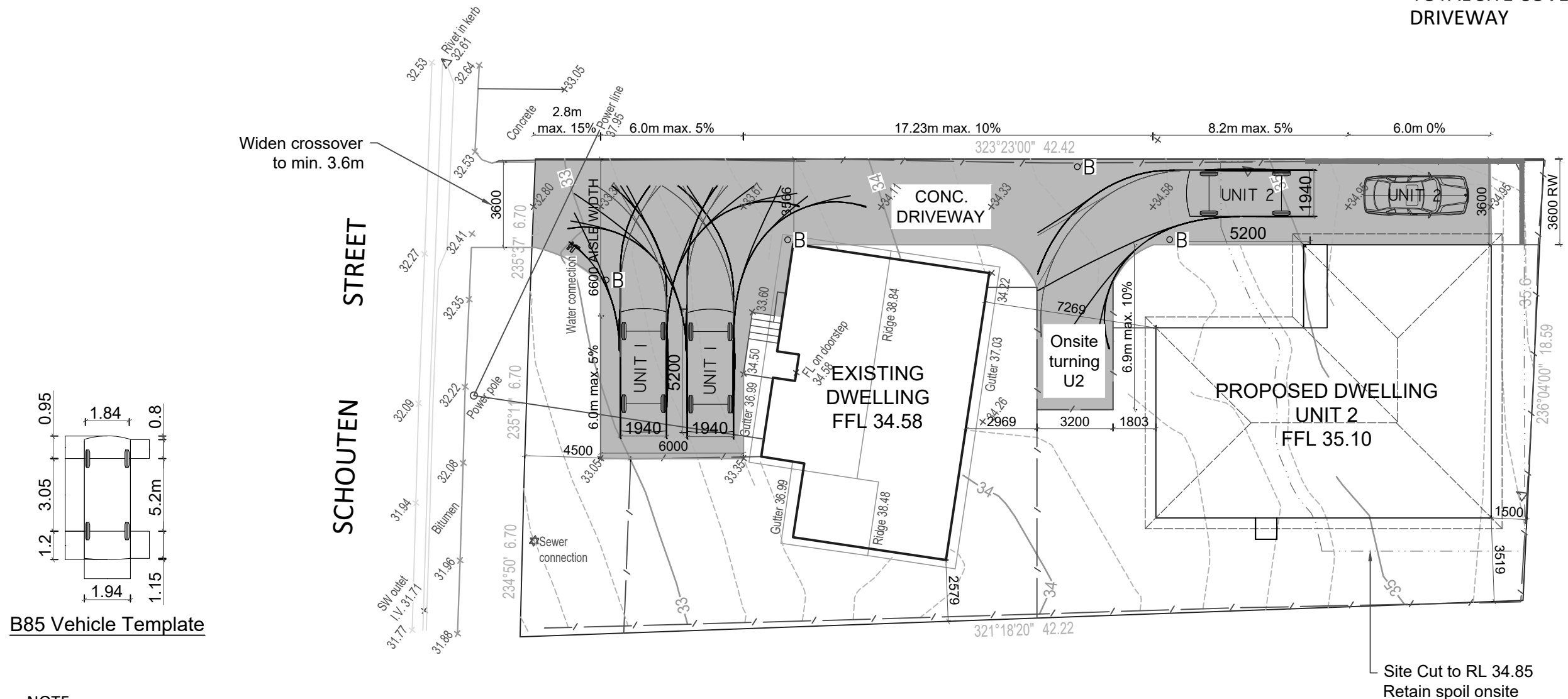


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6229 1430

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C.T. 63452-4

SITE AREA	818m ²
ROOF AREA (excl. eaves) EXIST.	95m ²
ROOF AREA PROPOSED	232m ²
TOTAL SITE COVERAGE	28.36%
DRIVEWAY	228.3m ²



B85 Vehicle Template

NOTE:

A reduction in the number of car parking spaces is requested. Proposed development is 400m to Metro Stop 8 and 300m to Metro Stop 7, both being situated on Bligh Street, Warrane with busses stop frequently throughout the day.

○B Bollard lighting in accordance with AS4282-2019


North-East windows of Unit 1 to be tinted in accordance with Clause 8.4.6

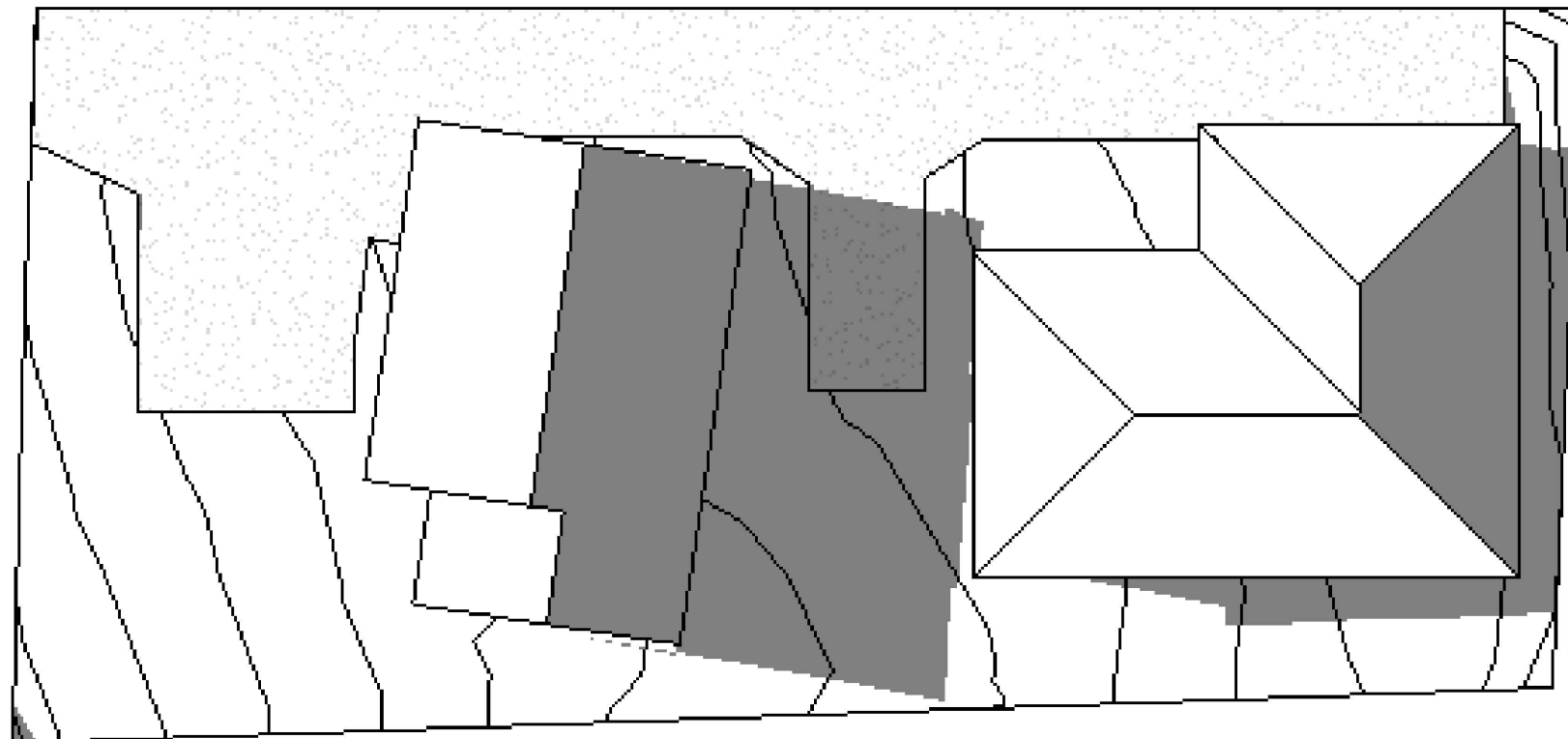
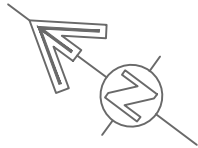
EASE OF ACCESS
1:200



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Revision notes:			Drawn by:		Project:		Date:		<div><div>14 Mertonvale Circuit, Kingston sales@mavericbuilders.com.au 6229 1430</div><div>DO NOT SCALE</div></div>	
Rev:	Date:	Notes:	AW		J2114 - 19 SCHOUTEN STREET, WARRANE		05/03/2024			
01	05/03/2024	RW, gradients, increase U1 aisle width, note U1 window finish	Client:		Drawing Title:		Scale @ A3:			
			L & R MARSHALL		EASE OF ACCESS		1:200			
							Page Number:			
							A10			



21st June
3pm

Revision notes:

Rev:	Date:	Notes:

Drawn by:

AW

Client:

L & R MARSHALL

Project:

J2114 - 19 SCHOUTEN STREET, WARRANE

Drawing Title:

SHADOW DIAGRAM - 3PM

Date:

05/03/2024

Scale @ A3:

1:200

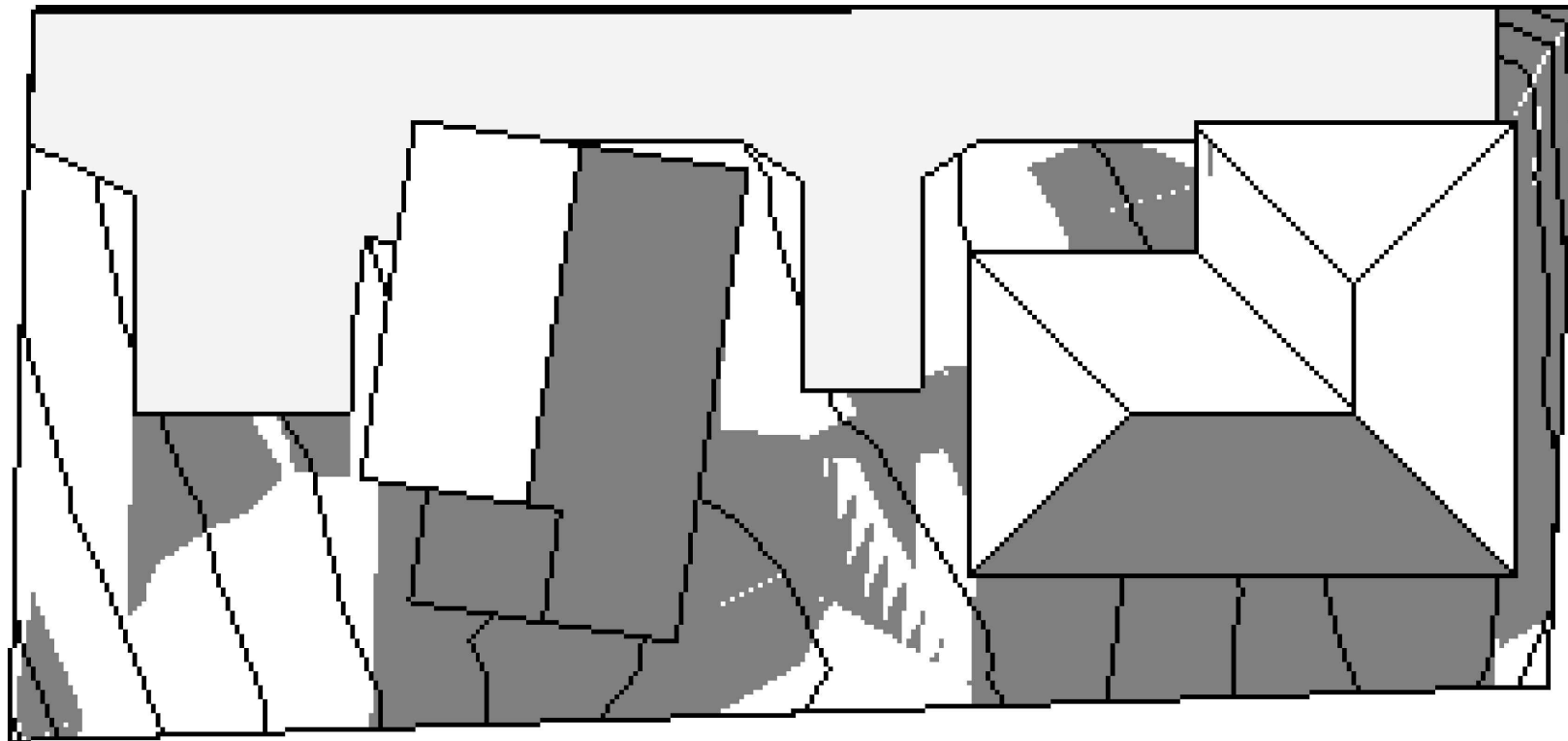
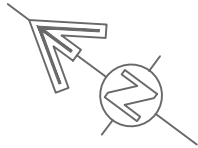
Page Number:

A13b



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sales@mavericbuilders.com.au
6229 1430

DO NOT SCALE



21st June
9am

Revision notes:

Rev:	Date:	Notes:

Drawn by:

AW

Client:

L & R MARSHALL

Project:

J2114 - 19 SCHOUTEN STREET, WARRANE

Drawing Title:

SHADOW DIAGRAM - 9AM

Date:

05/03/2024

Scale @ A3:

1:200

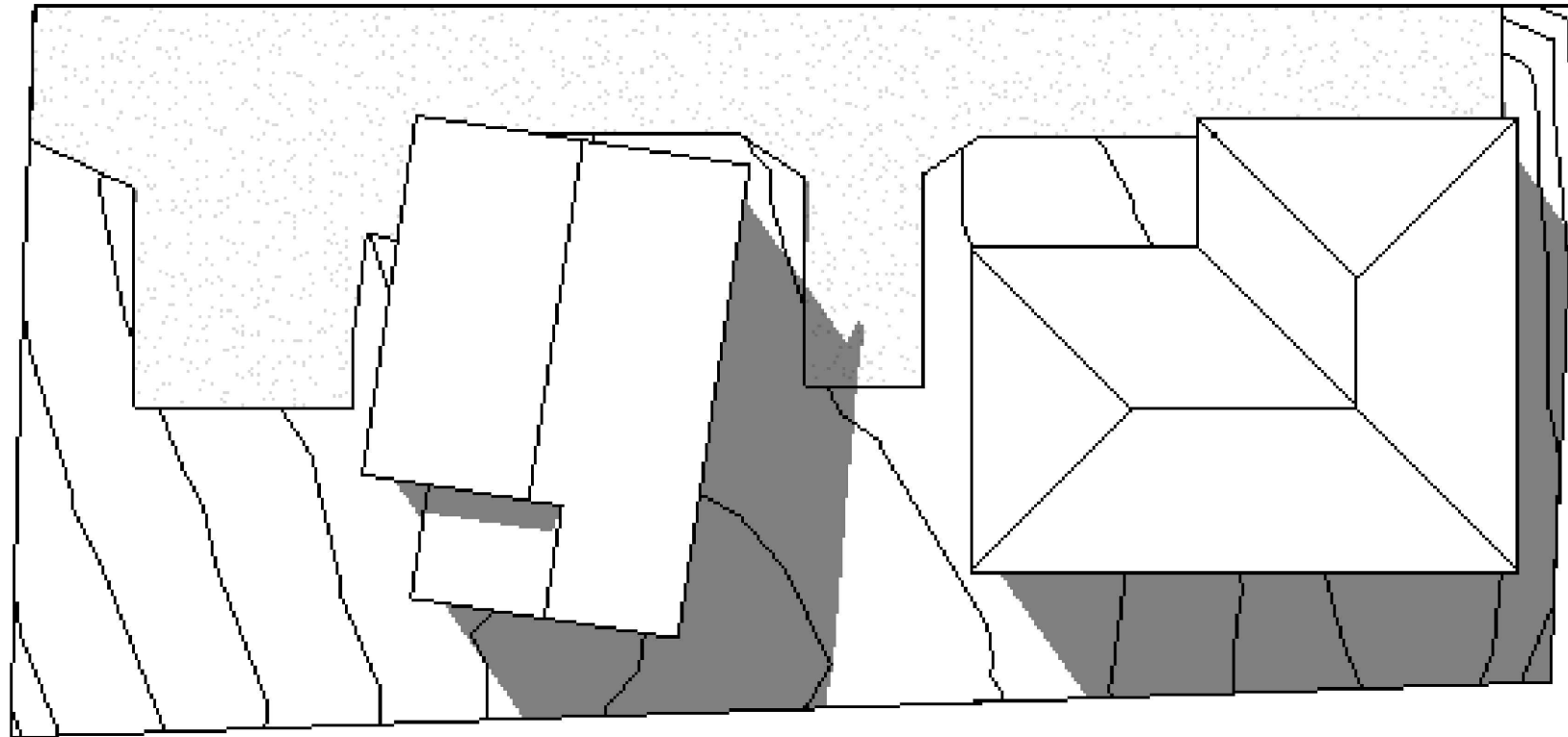
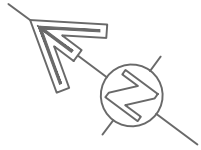
Page Number:

A13



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6229 1430

DO NOT SCALE



21st June
12pm

Revision notes:

Rev:	Date:	Notes:

Drawn by:

AW

Client:

L & R MARSHALL

Project:

J2114 - 19 SCHOUTEN STREET, WARRANE

Drawing Title:

SHADOW DIAGRAM - 12PM

Date:

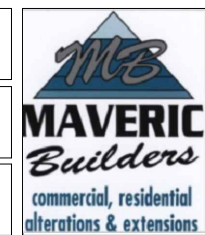
05/03/2024

Scale @ A3:

1:200

Page Number:

A13a



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DO NOT SCALE

Vessels or area where the fixture is installed	Floors & horizontal surfaces	Walls	Wall junctions & joints	Penetrations
Enclosed shower with hob.	Waterproof entire enclosed shower area, including hob.	Waterproof to not less than 150mm above the shower floor substrate or not less than 25mm above the maximum retained water level which ever is the greater with the remainder being water resistant to a height of not less than 1800mm above the finished floor level.	Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction.	Waterproof all penetrations.
Enclosed shower without hob.	Waterproof entire enclosed shower area, including waterstop.	Waterproof to not less than 150mm above the shower floor substrate with the remainder being water resistant to a height of not less than 1800mm above the finished floor level.	Waterproof internal and external corners and horizontal joints within height of 1800mm above the floor level with not less than 40mm width either side of the junction.	Waterproof all penetrations.
Enclosed shower with step down.	Waterproof entire enclosed shower area, including the step down.	Waterproof to not less than 150mm above the shower floor substrate or not less than 25mm above the maximum retained water level which ever is the greater with the remainder being water resistant to a height of not less than 1800mm above the finished floor level.	Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction.	Waterproof all penetrations.
Enclosed shower with preformed shower base.	N/A	Water resistant to a height of not less than 1800mm above finished floor level.	Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of junction.	Waterproof all penetrations.
Unenclosed shower.	Waterproof entire enclosed shower area.	Waterproof to not less than 150mm above the shower floor substrate or not less than 25mm above the maximum retained water level which ever is the greater with the remainder being water resistant to a height of not less than 1800mm above the finished floor level.	Waterproof internal and external corners and horizontal joints within a height of 1800mm above the floor level with not less than 40mm width either side of the junction.	Waterproof all penetrations.
Areas outside the shower area for concrete and compressed fibre cement sheet flooring.	Water resistant to entire floor.	N/A	Waterproof all wall / floor junctions. Where a flashing is used the horizontal leg must be not less than 40mm.	N/A
Areas outside the shower area for timber floors including particleboard, plywood, and other timber based flooring materials.	Waterproof entire floor.	N/A	Waterproof all wall / floor junctions. Where a flashing is used the horizontal leg must be not less than 40mm.	N/A

Vessels or area where the fixture is installed	Floors & horizontal surfaces	Walls	Wall junctions & joints	Penetrations
Areas adjacent to baths and spas for concrete and compressed fibre cement.	Water resistant to entire floor.	Water resistant to a height of not less than 150mm above the vessel and exposed surfaces below the vessel lip to the floor.	Waterproof edges of the vessel and junction of bath enclosure with floor. Where the lip of the bath is supported by a horizontal surface, this must be waterproof for showers over bath and water resistant for all other cases.	Waterproof all tap and spout penetrations where they occur in a horizontal surface.
Areas adjacent to baths and spas (see note 1) for timber floors including particleboard, plywood and other timber based flooring materials.	Waterproof entire floor.	Water resistant to a height of not less than 150mm above the vessel and exposed surfaces below the vessel lip to the floor.	Waterproof edges of the vessel and junction of bath enclosure with floor. Where the lip of the bath is supported by a horizontal surface, this must be waterproof for showers over bath and water resistant for all other cases.	Waterproof all tap and spout penetrations where they occur in a horizontal surface.
Inserted baths.	N/A for under bath. Waterproof entire shelf area, incorporating waterstop under the bath lip and project not less than 5mm above the tile surface.	N/A for wall under bath. Waterproof to not less than 150mm above the vessel if the vessel is within 75mm of the wall.	N/A for under bath.	Waterproof all tap and spout penetrations where they occur in a horizontal surface.
Walls adjoining other vessels (eg. sinks, l'dry, tubs and basins).	N/A	Water resistant to a height of not less than 150mm above the vessel if the vessel is within 75mm of the wall.	Where the vessel is fixed to a wall, waterproof edges for extent of vessel.	Waterproof all tap and spout penetrations where they occur in a horizontal surface.
Laundries and WC's	Water resistant to entire floor.	Waterproof all wall / floor junctions to not less than 25mm above the finished floor level, sealed to floor.	Waterproof all wall / floor junctions. Where flashing is used the horizontal leg must be not less than 40mm.	N/A

- NOTES:
- If a shower is included above a bath, refer to the requirements for shower and wall penetrations.
 - N/A means not applicable.
 - Certification to be provided to the building surveyor.
 - Contractor or builder to determine the appropriate waterproofing in accordance with AS3740 and Part 10.2 of NCC

IMPORTANT:
The above information is for general guidance and is indicative only. Waterproofing installers to comply with all current codes of legislation which takes precedence over this specification.

Revision notes:

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14 Mertonvale Circuit, Kingston
sales@mavericbuilders.com.au
6229 1430

ROOF AND WALL CLADDING

Generally to be in accordance with NCC H1D7 and;
Roof Tiles AS 2049 & AS 2050.
Metal sheet roofing AS 1562.1.
Plastic sheet roofing AS/NZS 4256.1, .2, .3 & 5, & AS 1562.3.
Gutters and downpipes, generally to be in accordance with NCC 7.4 & AS/NZS 3500.3.2 & the Plumbing Code of Australia (PCA).
Eaves, internal and valley guttering to have cross sectional area of 6500m².
Downpipes to be 90Ø or 100 x 50 rectangular section to max. 12000 crs. and to be within 1000 of internal/valley gutter.
Wall cladding to be installed in accordance with NCC H1D7 & Manufacturers specifications.
Flashings to NCC 7.2, 7.3 & 7.5

GLAZING

Generally glazing to be in accordance with AS 1288.
Refer to window legend for sizes and type.
Windows to comply with NCC H1D8

SERVICES

Generally in accordance with NCC 13.7
Hot water supply system designed and installed in accordance with AS/NZS 3500.

FIRE SAFETY

Generally to be in accordance with NCC H3.
Fire separation to be in accordance with NCC 9.2.
External walls and gable ends constructed within 900 of boundary are to extend to underside of non-combustible roofing / eaves & are to be of a masonry skin 90 thick with FRL 60/60/60.
Sarking to have a flammability index less than 5.
Roof lights not to be placed closer than 900 from boundary.
Installations of smoke alarms to be in accordance with NCC H3D6. Locations indicated on floor plan. Smoke alarms are to be interconnected where more than 1 smoke alarm is installed.
Installation locations;
Ceilings - 300mm away from wall junction.
Sloping ceiling - 500 - 1500 down from apex.
Walls - 300 down from ceiling junction.
Heating appliances generally to be in compliance with NCC 12.4 & AS 2918.
Fireplace - extend hearth 150 to side of opening. 300 in front of opening.
Freestanding - extend hearth 400 beyond unit.
Freestanding appliance to be 1200 from combustible wall surface. 50 from masonry wall. Heat shield - 90 masonry with 25 air gap to combustible wall, extend 600 above unit.
Flue installation to NCC Figure 12.4.5c & NCC 12.4.4
Top of chimney / flue to terminate 300 above horizontal plane 3600 away from roof.
Construction in Bush Fire Area to be in accordance with NCC H7F4 & AS 3959.

HEALTH AND AMENITY

Generally wet area waterproofing to be in accordance with AS 3740 and NCC 10.2.
Waterproofing of surface adjacent to open shower, including shower over bath, to extend vertically 1.5 and to a height of 1.8 above finished floor. Wall surfaces adjacent to plumbing fixtures, bath etc. to be protected to a height 150 above vessel.
Ceiling heights to be in accordance with NCC 10.3.1.

FACILITIES

Generally to be in accordance with NCC 10.4.
Required facilities in accordance with NCC 10.4.1. Refer to plan for locations.
Sanitary compartment to be in accordance with NCC 10.4.2. Refer to plan for detail.
Provision of natural light to be in accordance with NCC 10.5.
Windows to provide light transmission area equal to 10% of floor area of room.
Roof lights to have a transmitting area of not less than 3% of the floor area and are open to the sky.

Ventilation to be in accordance with NCC 10.6 or AS 1668.2 for mechanical ventilation.
Exhaust fan from bathroom / WC to be vented to outside for steel roof and roof space for tiled roof.
Natural ventilation to be provided at a rate of 5% of room area, in accordance with NCC 10.6.2.

STAIR CONSTRUCTION

Generally to be in accordance with NCC 11.2.2
Stairs;
Maximum 18 risers to each flight.
Riser openings to be less than 125.
Treads to have slip resistant surface or nosing.
Risers - min. 115 - max. 190.
Tread - min. 240 - max. 355.
Balustrade;
Generally in accordance with NCC 11.3.
Balustrade required where area is not bounded by a wall or where level exceeds 1000 above floor level or ground level.
865 high on stairs , measured from line of stair nosing.
1000 high above floor or landing.
Openings between balusters / infill members to be constructed so as not to allow 125 sphere to pass between members. Where floor level exceeds 4000 above lower level, infill members between 150 and 760 above floor level, to be constructed so as to restrict climbing.

SWIMMING POOLS

Generally swimming pools and safety fences to be constructed in accordance with NCC H2 & H7 and AS 1926.1.

ENERGY EFFICIENCY

Generally in accordance with NCC H6, Climate Zone 7, applicable to Tasmania. (Zone 8 applicable to Alpine areas).

BUILDING FABRIC

Generally in accordance with NCC 13.2.
BUILDING FABRIC INSULATION
Insulation to be fitted to form continuous barrier to roof / ceiling, walls and floors.
REFLECTIVE BUILDING MEMBRANE
To be 'vapour permeable' with a min. value of 1.14ug/N.s., installed to form 20mm airspace between reflective faces and external lining / cladding, fitted closely up to penetrations / openings, adequately supported and joints to be taped together, or overlapped min. 150.
BULK INSULATION
To maintain thickness and position after insulation. Continuous cover without voids except around services / fittings.
ROOF INSULATION
Roof construction to achieve min. additional R Value of R4.
Roof lights to comply with NCC 13.2.4.
EXTERNAL WALLS
External wall construction to achieve min. R Value of R1.5.
Wall surface density min. - 220kg/m².
FLOORS
Generally in accordance with NCC 13.2.6.
Suspended timber floor with single skin masonry perimeter required to achieve a min. total R value of R1.5.
Concrete slab on ground with an in-slab heating system to be insulated to R1.0. around vertical edge of slab perimeter.
ATTACHED CLASS 10a BUILDING
Must have an external fabric that achieves the required thermal level of a Class 1 building.

EXTERNAL GLAZING

Generally in accordance with NCC 13.3.
To AS 3959 - 2018 Section 3.9 (Construction of Buildings in Bushfire-prone Areas) where applicable.
Windows to comply with NCC 11.3.7 Protection of Openable Windows.

BUILDING SEALING

Generally in accordance with NCC 13.4.
Chimneys or flues to be fitted with sealing damper or flap.
Roof lights to habitable rooms to be fitted with operable or permanent seal to minimise air leakage.
External windows and doors to habitable rooms / conditioned spaces, to be fitted with air seal to restrict air infiltrations.
Exhaust fans to habitable rooms / conditioned spaces to be fitted with self closing damper or filter.
Building envelope to be constructed to minimise air leakage. Construction joints and junctions, or adjoining surfaces to be tight fitting and sealed by caulking, skirting, architraves and cornices.

SITWORKS

Earthworks of site to be in accordance with NCC 3.2 and AS 2870.
Drainage works to be in accordance with NCC 3.3 and AS/NZS 3500.3
Surface drainage - finished ground to fall away from building 50mm in 1000mm.
Finished slab level to be:
-150 above finished ground.
-50 above paved surfaces.
Prevent ponding of water under suspended floors.

FOOTINGS AND SLAB

Generally in accordance with NCC Part 4 and AS 2870.
Preparation for placement of concrete and reinforcement to be in accordance with AS 2870.
Concrete and steel reinforcement to be in accordance with AS 2870 and AS/NZS 3500.
The site classification to be in accordance with AS 2870.
Alternatively footings and slabs to be in accordance with structural engineers design and specification.

MASONRY

Generally masonry walls to be constructed in accordance with NCC Part 5 and AS 3700.
Masonry veneer to NCC 5.2.
Un-reinforced masonry to NCC 5.4.
Masonry components and accessories to NCC 5.6.
Weatherproofing of masonry to NCC 5.7.

FRAMING

Timber framing to be in accordance with NCC H1D6 and AS 1684.2.
Manufactured timber members to be in accordance with prescribed framing manual.
Sub-floor ventilation in accordance with NCC 6.2. Sub-floor area to be clear of organic materials and rubbish.
Provide vent openings in substructure walls at a rate of not less than 6000mm² per meter of wall length, with vents not more than 600mm from corners.
150mm clearance required to underside by floor framing members unless specified otherwise by flooring material specification.
Tie-down and bracing of frame to be in accordance with AS 1684.2 and AS 4055.
Structural steel framing to be in accordance with NCC Part 6 and AS 1250, AS 4100 and structural steel engineers design and specifications.

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14 Mertonvale Circuit, Kingston
sales@mavericbuilders.com.au
6229 1430