



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2024/041906**

**PROPOSAL:** Dwelling

**LOCATION:** 1 Hallett Drive, Rokeby

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 21 March 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 21 March 2024. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 21 March 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

# Clarence City Council



## APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at Council offices.

Proposal:

New Residential Dwelling

Location:

Address 1 Hallett Drive

Suburb/Town Rokeby

Postcode 7019

Current Owners/s:

Applicant:

**Personal Information Removed**

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$468,660.00

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site: Vacant Land

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

**Declaration:**

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

**Acknowledgement:**

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's Signature:

Signature.....Date.....
-------------------------

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.**

SEARCH OF TORRENS TITLE

VOLUME 180218	FOLIO 1
EDITION 3	DATE OF ISSUE 31-Aug-2023

SEARCH DATE : 31-Jan-2024  
 SEARCH TIME : 10.10 AM

DESCRIPTION OF LAND

City of CLARENCE  
 Lot 1 on Sealed Plan 180218  
 Derivation : Part of 100 Acres Loc. to William Nicholls Snr.  
 Prior CT 156979/1

SCHEDULE 1

N143604 TRANSFER to JASWINDER SINGH BILLING Registered  
 31-Aug-2023 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 SP180218 COVENANTS in Schedule of Easements  
 SP180218 FENCING PROVISION in Schedule of Easements  
 SP156979 FENCING COVENANT in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: HBA DAESUNG PTY LTD

FOLIO REFERENCE: CT.156979-1

GRANTEE: PART OF 410-0-0 GRANTED TO ROBERT WHITE & JOHN ROBERTSON. PART OF 100 ACRES & 50 ACRES LOCATED TO WILLIAM NICHOLLS SNR

PLAN OF SURVEY

BY SURVEYOR TIMOTHY LEIGH GOWLLAND  
ROGERSON AND BIRCH SURVEYORS  
UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK  
PH 6248-5898 MOB. 0419-594-966

CITY OF CLARENCE

SCALE 1:2500 LENGTHS IN METRES

REGISTERED NUMBER

SP180218

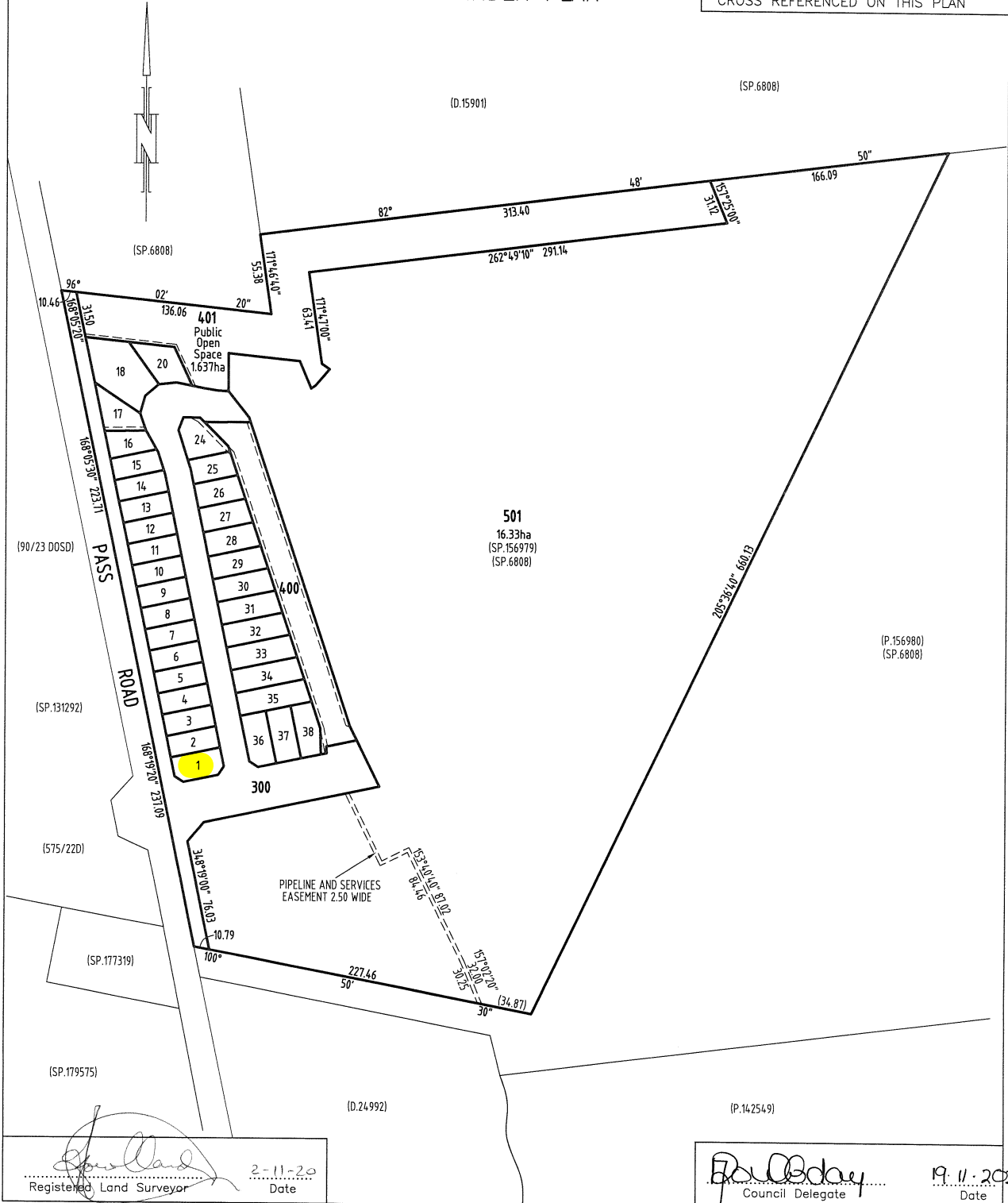
APPROVED EFFECTIVE FROM 27 NOV 2020

*Renn*

Recorder of Titles

INDEX PLAN

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



*Timothy Leigh Gowlland*  
Registered Land Surveyor

2-11-20  
Date

*Bob Oddy*  
Council Delegate

19.11.2020  
Date

<p>PLAN OF SURVEY ANNEXURE SHEET</p> <p>SHEET 1 OF 2 SHEETS</p>	<p>OWNER: HBA DAESUNG PTY LTD</p> <p>FOLIO REFERENCE: CT.156979-1</p> <p>SCALE 1:750                      LENGTH IN METRES</p>	<p>Registered Number</p> <p><b>SP 180218</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p><i>Paul O'Day</i>                      19.11.2020 Council Delegate                      Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN</p> <p><i>[Signature]</i>                      2-11-20 Registered Land Surveyor                      Date</p>	<p>APPROVED EFFECTIVE FROM 27 NOV 2020</p> <p><i>[Signature]</i> Recorder of Titles</p>







ZONE: 8.0 GENERAL RESIDENTIAL  
2km DISTANCE FROM CALM MARINE (HOWRAH BEACH)

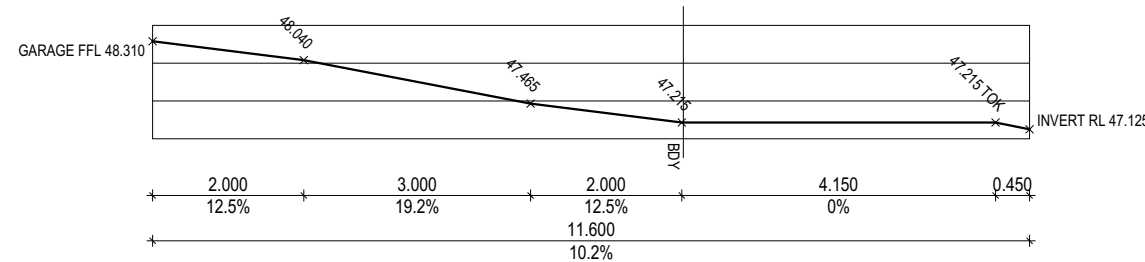
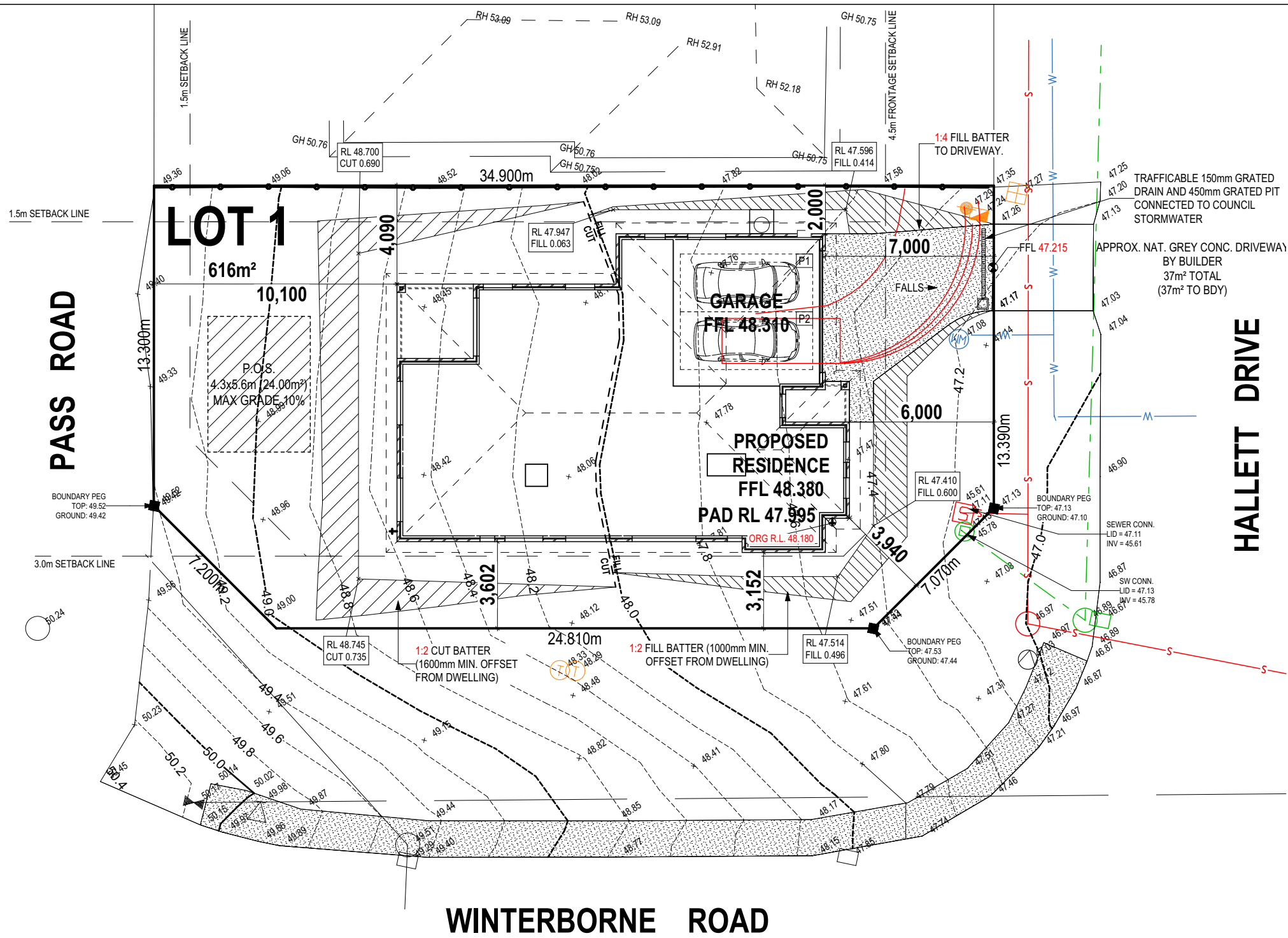
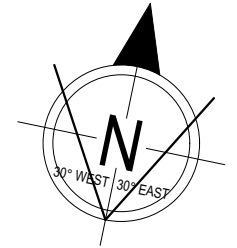
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	NEW
LATITUDE	0° 00' 00" S
LONGITUDE	0° 00' 00" E

APPROX. IMPORT/EXPORT FILL	
CUT VOLUME	56.90m³
FILL VOLUME	55.21m³
DIFFERENCE	1.69m³
EVEN CUT & FILL	

LOT SIZE:	616.00m²
HOUSE (COVERED AREA):	215.89m²
SITE COVERAGE:	33.41%

**BAL-12.5 BUSHFIRE REQUIREMENTS**  
SEE SHEET 1 (COVER SHEET) FOR DETAILS



**DRIVEWAY DETAILS**  
Scale: 1:100

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THIS PLAN ACCEPTED BY:  
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PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING  
SIGNATURE:  
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DATE:  
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SPECIFICATION:	DESIGNER
COPYRIGHT:	© 2024

REVISION	DRAWN
1 DRAFT SALES PLAN - SOW	JOL 2023.11.08
2 PRELIM PLANS - INITIAL ISSUE	MLG 2024.01.19
3 PRELIM PLAN - COLOUR & VARIATION REF.001	HMI 2024.02.27

CLIENT:	JASWINDER SINGH BILLING
ADDRESS:	1 HALLETT DRIVE, ROKEBY TAS 7019
LOT / SECTION / CT:	1 / - / 180218
COUNCIL:	CLARENCE COUNCIL

HOUSE DESIGN:	MARBELLA
FACADE DESIGN:	CLASSIC
SHEET TITLE:	SITE PLAN
SHEET No.:	2 / 13

HOUSE CODE:	H-WDNMBL10SA
FACADE CODE:	F-WDNMBL10CLASA
SCALES:	1:200

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.  
**713853**



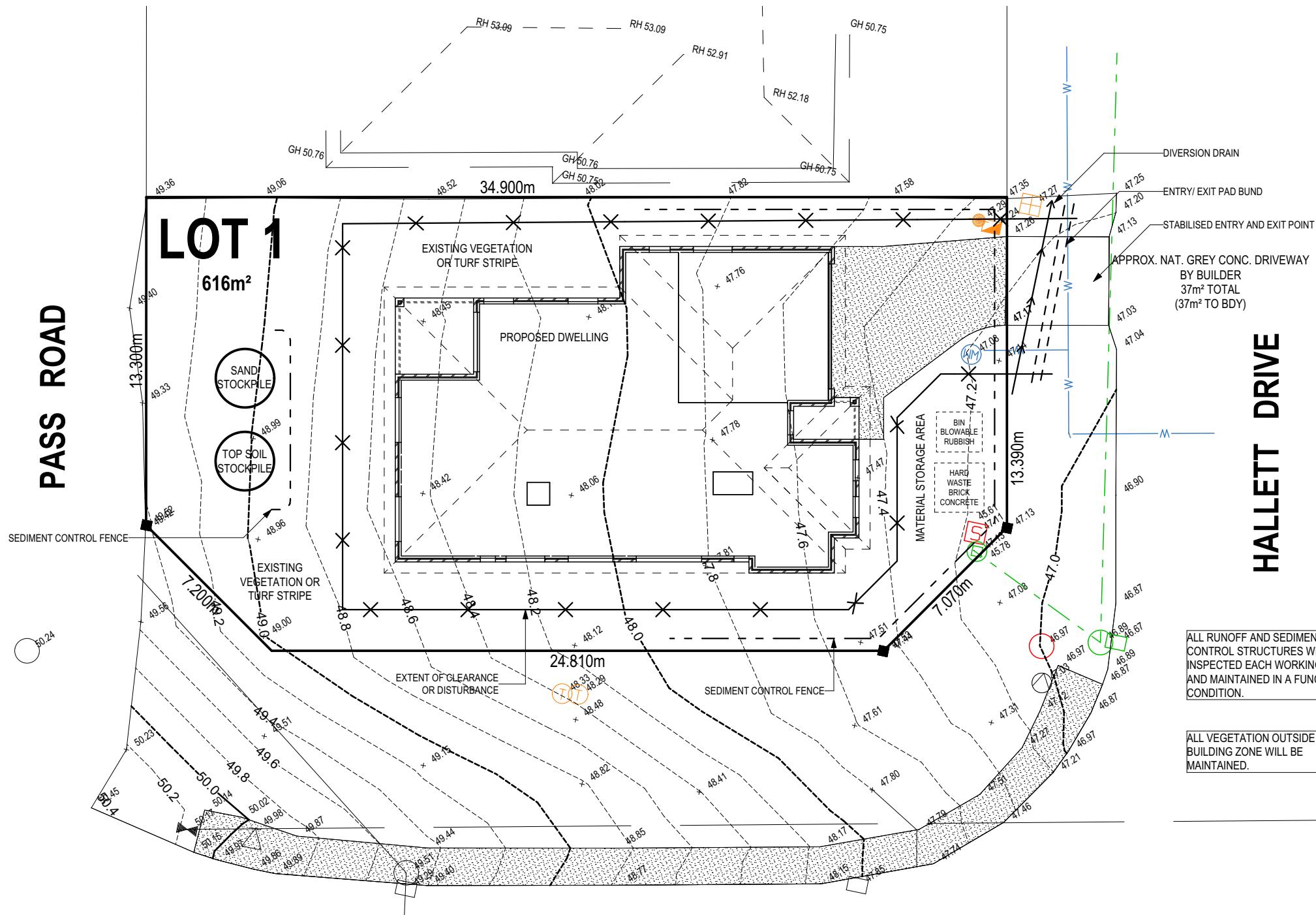
ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.

OWNER TO STABILISE THE SITE ON COMPLETION OF THE BUILD WITH TURF LAWNS, GRASS SEEDS, NATIVE GROUND COVERS AND/ OR MULCH SPREAD TO A DEPTH OF 75-100mm

THE FOLLOWING IS A STANDARD APPROACH. SEDIMENT AND EROSION CONTROL MEASURES WILL BE REVIEWED PRIOR TO COMMENCING WORK AND INSTALLED BASED ON THE OUTCOME OF THAT REVIEW.

**NOTES:**

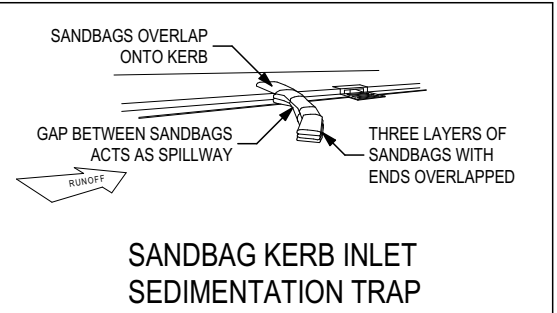
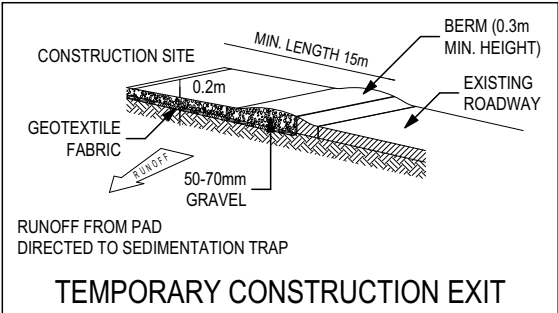
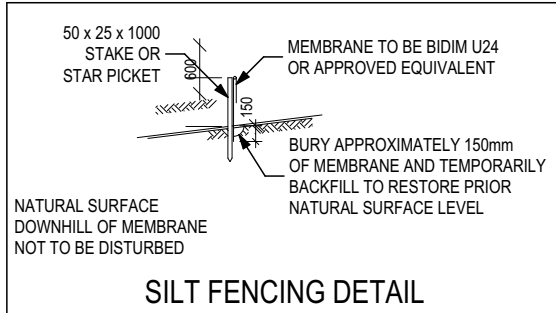
1. ALL EROSION AND SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY AND MAINTAINED IN GOOD WORKING ORDER.
2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING THE BUILDING PHASE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE PERMANENT UNDERGROUND STORMWATER DRAINAGE SYSTEM AS SOON AS PRACTICAL AFTER THE ROOF IS LAID.
6. DIVERSION DRAINS ARE TO BE CONNECTED TO A LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM, WATERCOURSE OR ROAD DRAIN).
7. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS.



DIVERSION DRAIN  
ENTRY/ EXIT PAD BUND  
STABILISED ENTRY AND EXIT POINT  
APPROX. NAT. GREY CONC. DRIVEWAY BY BUILDER  
37m² TOTAL  
(37m² TO BDY)

ALL RUNOFF AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED EACH WORKING DAY AND MAINTAINED IN A FUNCTIONAL CONDITION.

ALL VEGETATION OUTSIDE THE BUILDING ZONE WILL BE MAINTAINED.



THIS PLAN ACCEPTED BY:  
-----  
PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING  
SIGNATURE:  
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DATE:  
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1 DRAFT SALES PLAN - SOW	JOL 2023.11.08
2 PRELIM PLANS - INITIAL ISSUE	MLG 2024.01.19
3 PRELIM PLAN - COLOUR & VARIATION REF.001	HMI 2024.02.27

CLIENT:	JASWINDER SINGH BILLING
ADDRESS:	1 HALLETT DRIVE, ROKEBY TAS 7019
LOT / SECTION / CT:	1 / - / 180218
COUNCIL:	CLARENCE COUNCIL

HOUSE DESIGN:	MARBELLA
FACADE DESIGN:	CLASSIC
SHEET TITLE:	SOIL & WATER MANAGEMENT PLAN
SHEET No.:	3 / 13

HOUSE CODE:	H-WDNMBL10SA
FACADE CODE:	F-WDNMBL10CLASA
SCALES:	

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

**713853**

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
 - SUSTAINABILITY REQUIREMENTS  
 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

**BAL-12.5 BUSHFIRE REQUIREMENTS**  
 SEE SHEET 1 (COVER SHEET) FOR DETAILS

**TOTAL FLOOR AREAS**

ALFRESCO	9.81
GARAGE	40.29
LIVING	161.89
PORCH	3.90
<b>TOTAL</b>	<b>215.89 m<sup>2</sup></b>

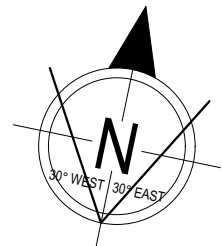
ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2455 ABOVE FFL UNLESS NOTED OTHERWISE

ALL GROUND FLOOR INTERNAL DOORS TO BE 2340 HIGH UNLESS NOTED OTHERWISE (EXCLUDES CAVITY SLIDING DOORS)

REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS

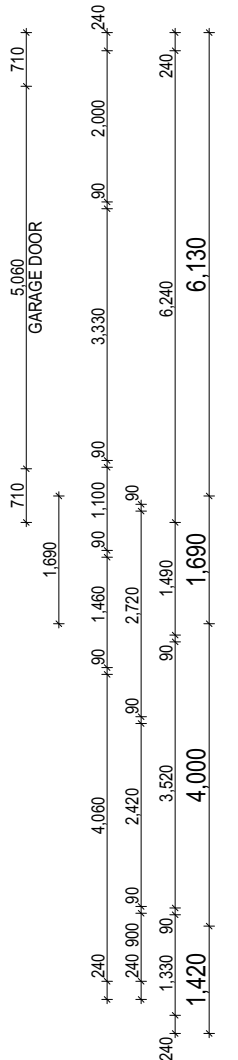
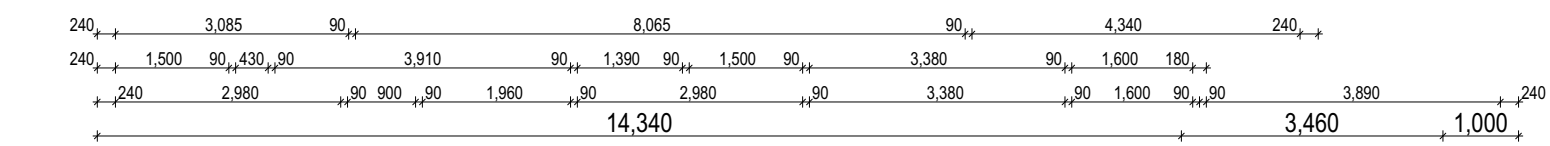
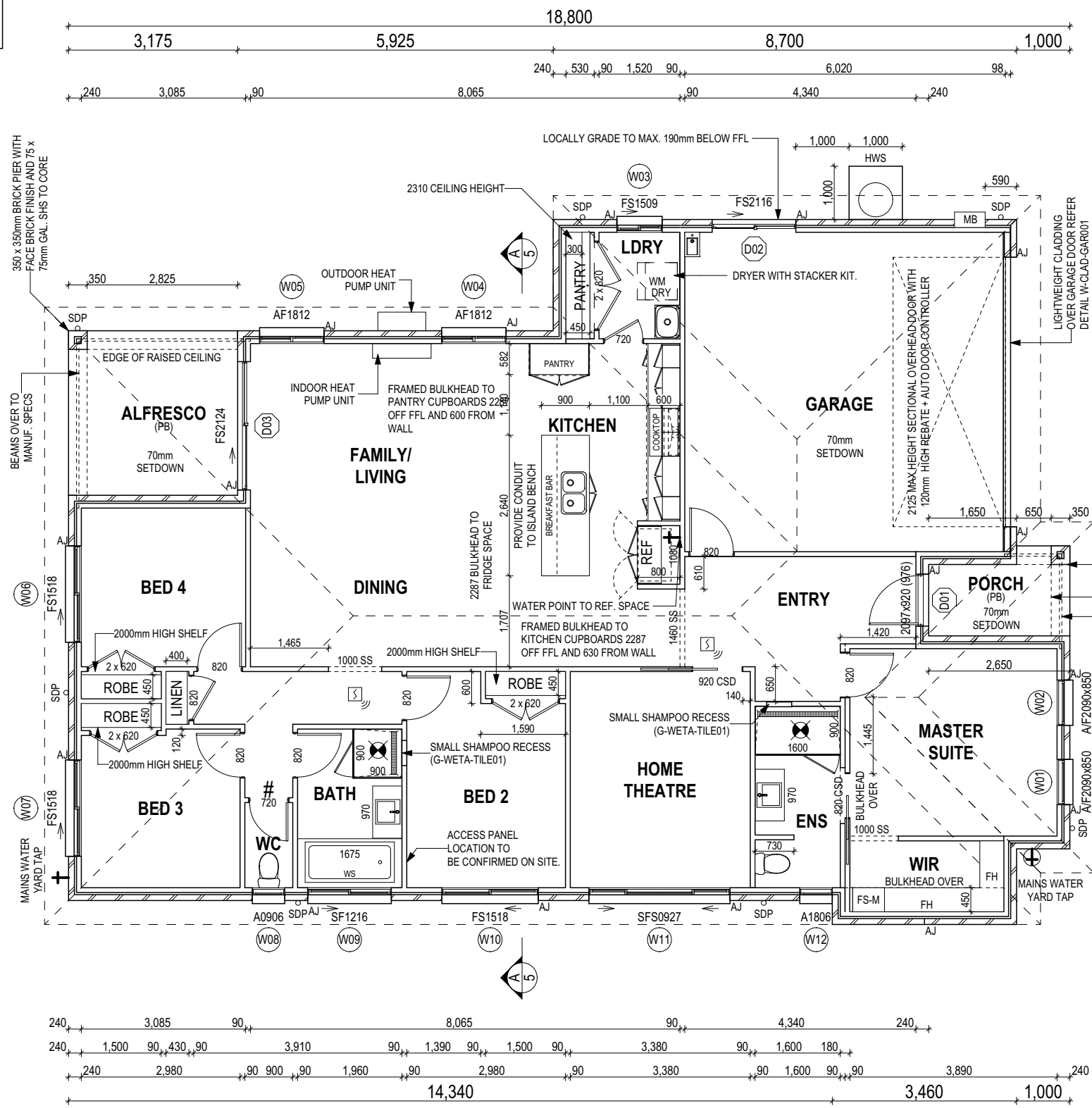
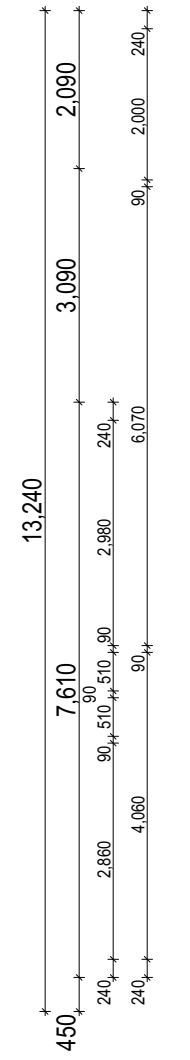
FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



**FLOOR PLAN LEGEND**

- HS / WS HOB SPOUT / WALL SPOUT
- [Symbol] FACE BRICK / COMMON BRICK
- [Symbol] RENDER
- [Symbol] SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- 3D DENOTES DRAWER SIDE
- [Symbol] MECHANICAL VENTILATION
- L.B.W LOAD BEARING WALL
- PB PLASTERBOARD
- FC FIBRE CEMENT
- [Symbol] THIS DOOR OPENS FIRST
- [Symbol] SMOKE ALARM
- # LIFT OFF HINGE
- † WATER POINT
- [Symbol] FLOOR WASTE
- [Symbol] CLEAN OUT POINT
- [Symbol] GAS BAYONET



**ALL DIMENSIONS ARE FRAME DIMENSIONS**

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SHAMPOO RECESS SIZE	STRUCTURAL DIMENSIONS
"SMALL"	470 x 380mm WIDTH: 548mm HEIGHT: 446mm
"MEDIUM"	800 x 380mm WIDTH: 878mm HEIGHT: 446mm
"LARGE"	1500 x 380mm WIDTH: 1578mm HEIGHT: 446mm

REFER WILSON HOMES' DETAIL G-WETA-TILE01 FOR FURTHER DETAIL PRIOR TO INSTALLATION.

THIS PLAN ACCEPTED BY:  
 \_\_\_\_\_  
 PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING  
 SIGNATURE:  
 \_\_\_\_\_  
 DATE:  
 \_\_\_\_\_



SPECIFICATION:	DESIGNER
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REVISION	DRAWN
1 DRAFT SALES PLAN - SOW	JOL 2023.11.08
2 PRELIM PLANS - INITIAL ISSUE	MLG 2024.01.19
3 PRELIM PLAN - COLOUR & VARIATION REF.001	HMI 2024.02.27

CLIENT:	JASWINDER SINGH BILLING
ADDRESS:	1 HALLETT DRIVE, ROKEBY TAS 7019
LOT / SECTION / CT:	1 / - / 180218
COUNCIL:	CLARENCE COUNCIL

HOUSE DESIGN:	MARBELLA
FACADE DESIGN:	CLASSIC
SHEET TITLE:	GROUND FLOOR PLAN
SHEET No.:	4 / 13

HOUSE CODE:	H-WDNMBL10SA
FACADE CODE:	F-WDNMBL10CLASA
SCALES:	1:100

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<b>713853</b>

**BAL-12.5 BUSHFIRE REQUIREMENTS**  
SEE SHEET 1 (COVER SHEET) FOR DETAILS

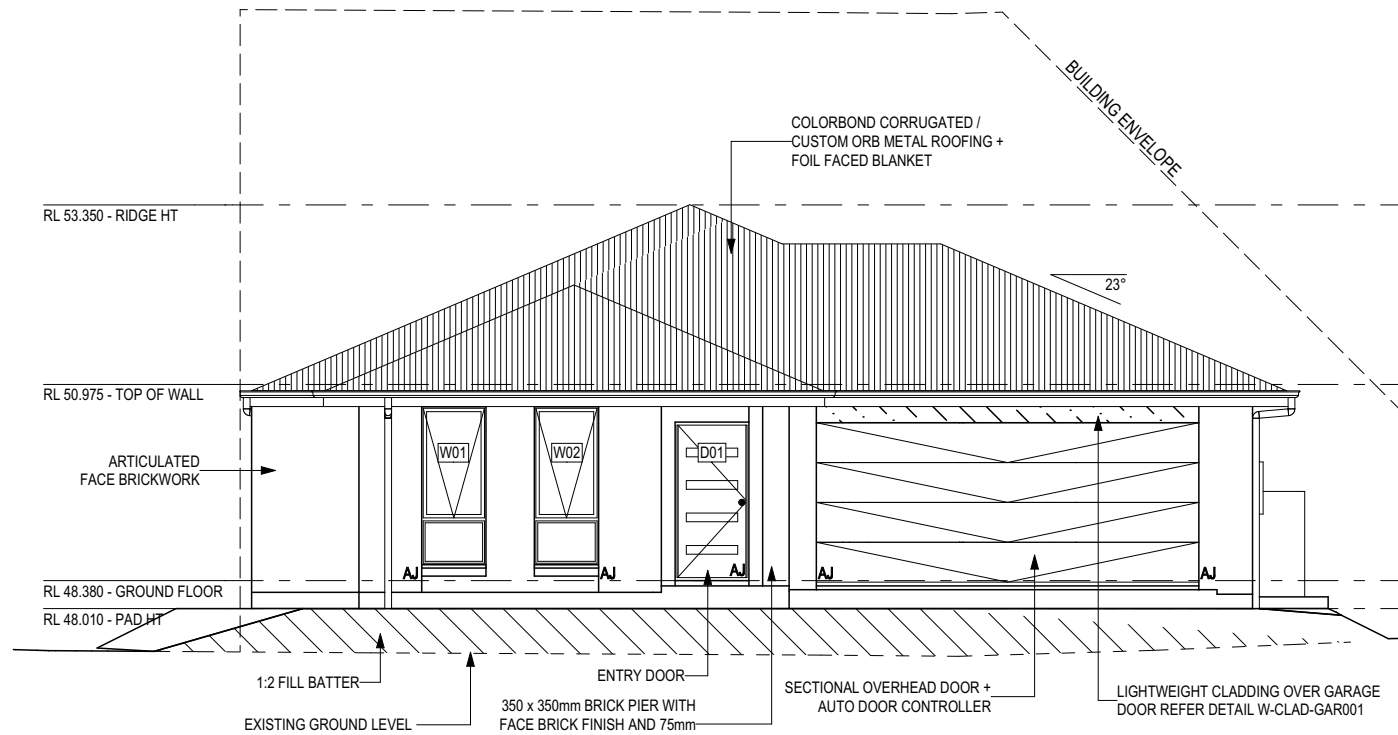
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

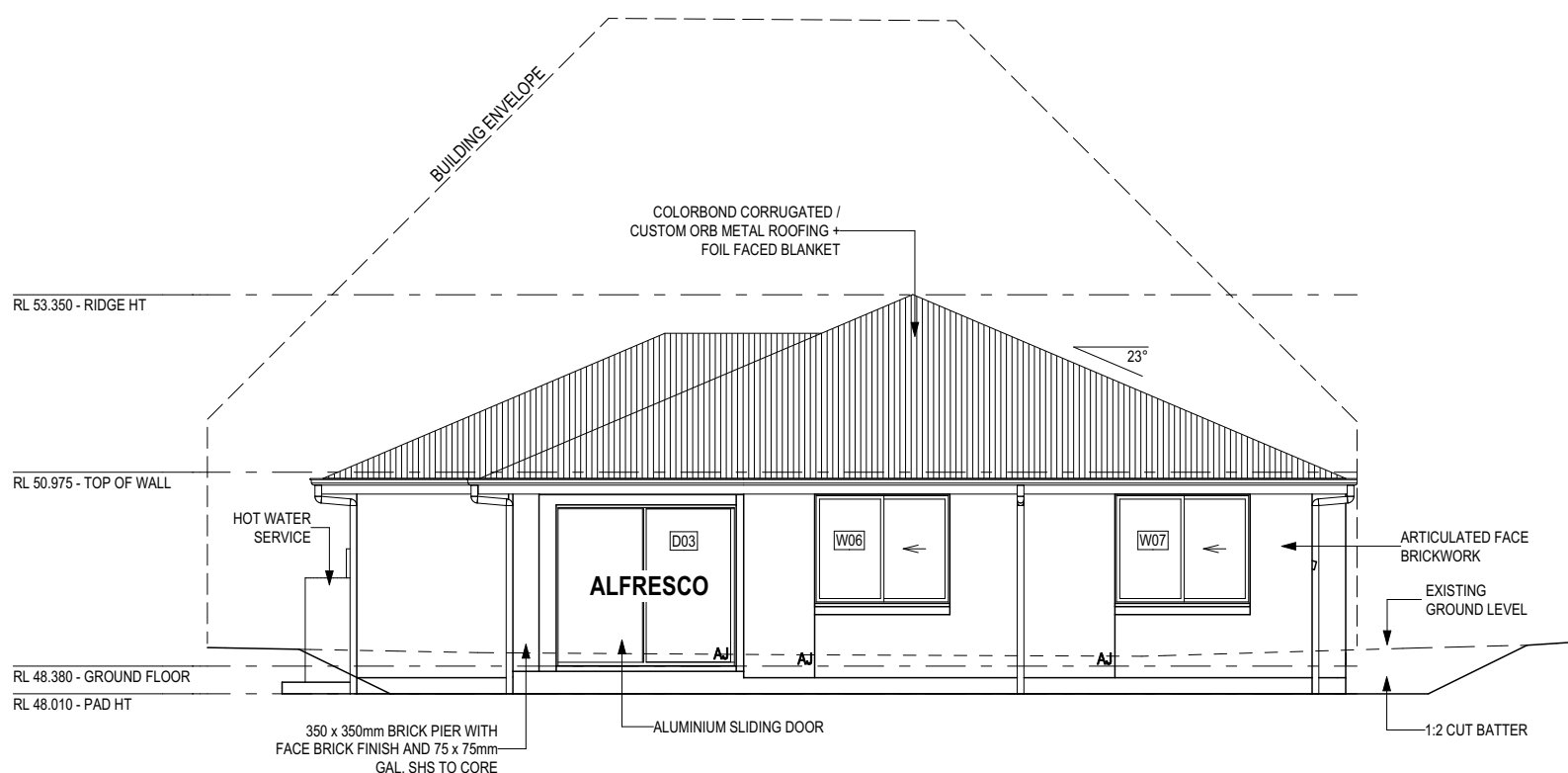
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

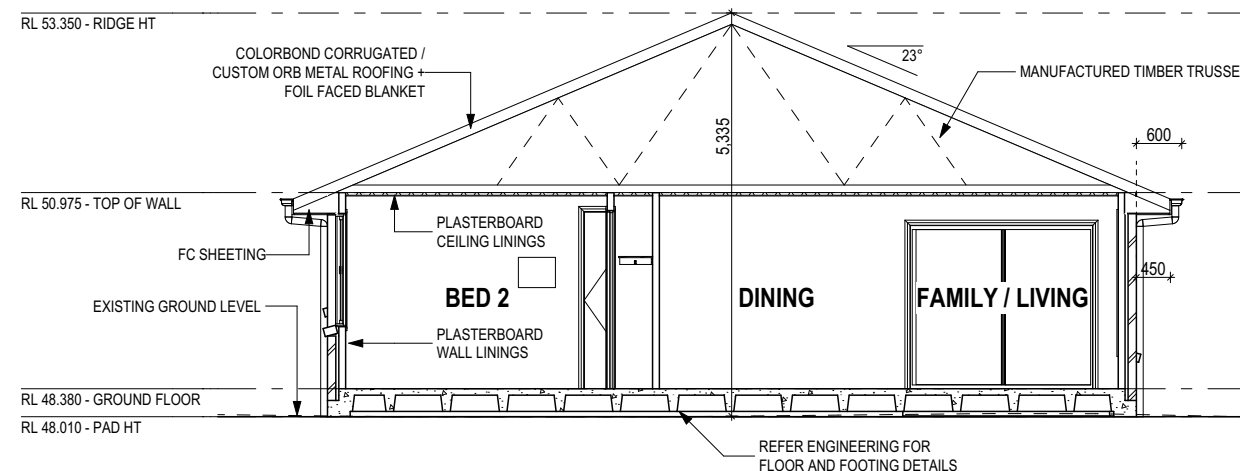
REFER TO THE FOLLOWING DETAILS:  
BRICK COURSING W-BRIC-001



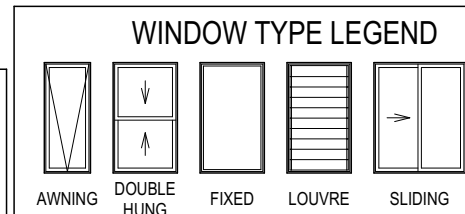
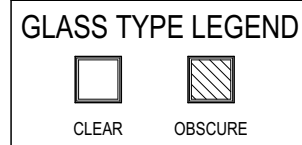
**EAST ELEVATION**  
Scale: 1:100



**WEST ELEVATION**  
Scale: 1:100



**SECTION A-A**  
Scale: 1:100



LOW REFLECTANCE GLAZING TO BE USED ON WINDOWS AND GLAZED DOORS AS REQUIRED BY CLA-S4.7.1

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

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ADDRESS:	1 HALLETT DRIVE, ROKEBY TAS 7019
LOT / SECTION / CT:	1 / - / 180218
COUNCIL:	CLARENCE COUNCIL

HOUSE DESIGN:	MARBELLA
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ELEVATIONS / SECTION

HOUSE CODE:	H-WDNMBL10SA
FACADE CODE:	F-WDNMBL10CLASA
SHEET No.:	5 / 13
SCALES:	1:100

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**713853**

**BAL-12.5 BUSHFIRE REQUIREMENTS**  
SEE SHEET 1 (COVER SHEET) FOR DETAILS

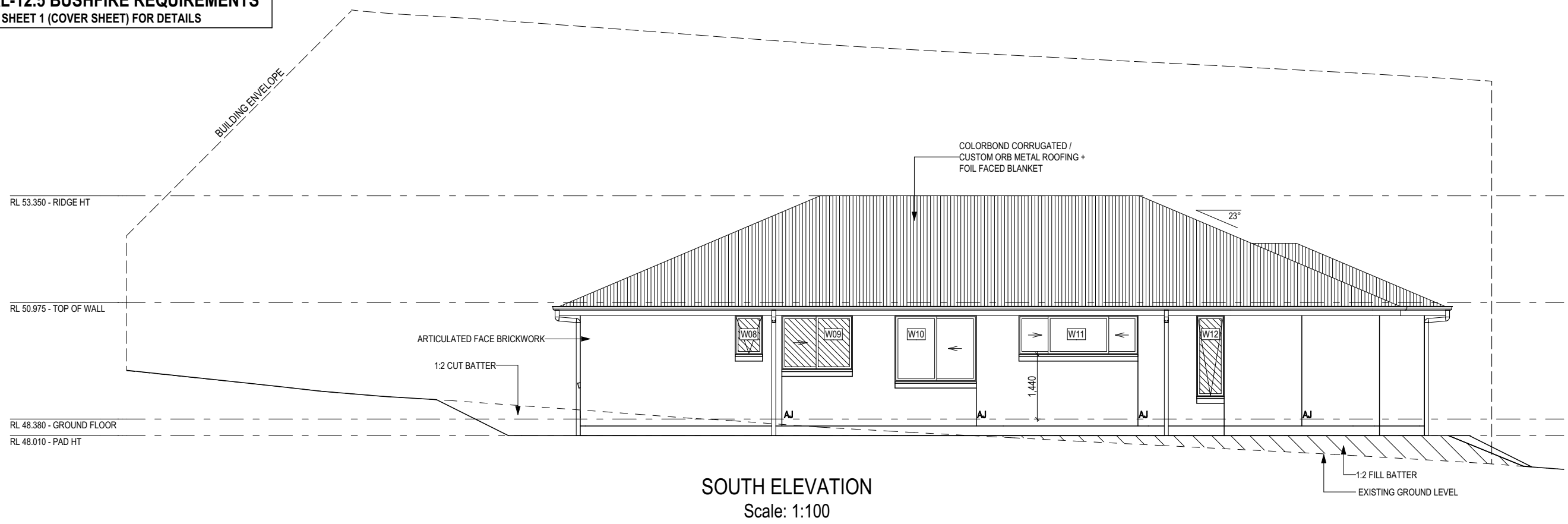
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

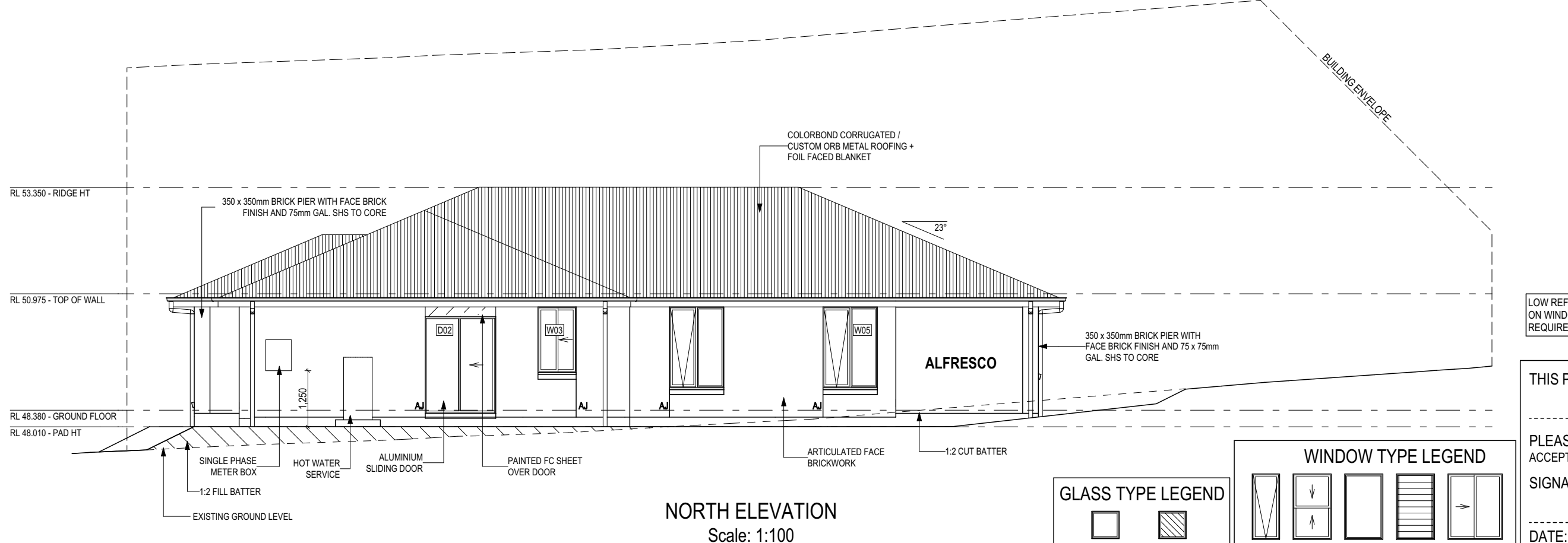
BEDROOM WINDOW OPENINGS ABOVE 2m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

ROOMS OTHER THAN BEDROOM WINDOW OPENINGS ABOVE 4m OFF THE SURFACE BENEATH TO BE RESTRICTED AS REQUIRED BY NCC 11.3.7 (VOLUME TWO)

REFER TO THE FOLLOWING DETAILS:  
BRICK COURSING W-BRIC-001



**SOUTH ELEVATION**  
Scale: 1:100



**NORTH ELEVATION**  
Scale: 1:100

LOW REFLECTANCE GLAZING TO BE USED ON WINDOWS AND GLAZED DOORS AS REQUIRED BY CLA-S4.7.1

THIS PLAN ACCEPTED BY:  
  
PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING  
SIGNATURE:  
  
DATE:

**GLASS TYPE LEGEND**

CLEAR	OBSCURE

**WINDOW TYPE LEGEND**

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

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1 DRAFT SALES PLAN - SOW	JOL 2023.11.08
2 PRELIM PLANS - INITIAL ISSUE	MLG 2024.01.19
3 PRELIM PLAN - COLOUR & VARIATION REF.001	HMI 2024.02.27

CLIENT:	JASWINDER SINGH BILLING
ADDRESS:	1 HALLETT DRIVE, ROKEBY TAS 7019
LOT / SECTION / CT:	1 / - / 180218
COUNCIL:	CLARENCE COUNCIL

HOUSE DESIGN:	MARBELLA
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ELEVATIONS
SHEET No.:	6 / 13

HOUSE CODE:	H-WDNMBL10SA
FACADE CODE:	F-WDNMBL10CLASA
SCALES:	1:100

HOUSE CODE:	H-WDNMBL10SA
FACADE CODE:	F-WDNMBL10CLASA
SCALES:	1:100

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**713853**



# WINDOW SCHEDULE

<sup>0,3</sup> ASSUME LOOKING FROM OUTSIDE <sup>1,2</sup> ASSUME LOOKING FROM INSIDE

ID	CODE <sup>0</sup>	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m <sup>2</sup> )	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m <sup>2</sup> )	GLAZING TYPE	ADDITIONAL INFORMATION <sup>1</sup>
W01	A/F2090x850	MASTER SUITE	2,090	850	5,880	1.78	ALUMINIUM	BAL-12.5	ANGLED	E	1.40	CLEAR, DOUBLE GLAZED, TOUGHENED	BP 600
W02	A/F2090x850	MASTER SUITE	2,090	850	5,880	1.78	ALUMINIUM	BAL-12.5	ANGLED	E	1.40	CLEAR, DOUBLE GLAZED, TOUGHENED	BP 600
W03	FS1509	LDRY	1,460	850	4,620	1.24	ALUMINIUM	BAL-12.5	ANGLED	N	1.02	CLEAR, DOUBLE GLAZED	
W04	AF1812	FAMILY / LIVING	1,800	1,210	6,020	2.18	ALUMINIUM	BAL-12.5	ANGLED	N	1.72	CLEAR, DOUBLE GLAZED	MP 605
W05	AF1812	FAMILY / LIVING	1,800	1,210	6,020	2.18	ALUMINIUM	BAL-12.5	ANGLED	N	1.72	CLEAR, DOUBLE GLAZED	MP 605
W06	FS1518	BED 4	1,460	1,810	6,540	2.64	ALUMINIUM	BAL-12.5	ANGLED	W	2.35	CLEAR, DOUBLE GLAZED	
W07	FS1518	BED 3	1,460	1,810	6,540	2.64	ALUMINIUM	BAL-12.5	ANGLED	W	2.35	CLEAR, DOUBLE GLAZED	
W08	A0906	WC	860	610	2,940	0.52	ALUMINIUM	BAL-12.5	ANGLED	S	0.35	OBSCURE, DOUBLE GLAZED, TOUGHENED	
W09	SF1216	BATH	1,200	1,570	5,540	1.88	ALUMINIUM	BAL-12.5	ANGLED	S	1.64	OBSCURE, DOUBLE GLAZED, TOUGHENED	
W10	FS1518	BED 2	1,460	1,810	6,540	2.64	ALUMINIUM	BAL-12.5	ANGLED	S	2.35	CLEAR, DOUBLE GLAZED	
W11	SFS0927	HOME THEATRE	860	2,650	7,020	2.28	ALUMINIUM	BAL-12.5	ANGLED	S	1.97	CLEAR, DOUBLE GLAZED	
W12	A1806	ENS	1,800	610	4,820	1.10	ALUMINIUM	BAL-12.5	ANGLED	S	0.81	OBSCURE, DOUBLE GLAZED, TOUGHENED	
						<b>22.86</b>					<b>19.08</b>		

LOW REFLECTANCE GLAZING TO BE USED ON WINDOWS AND GLAZED DOORS AS REQUIRED BY CLA-S4.7.1

**NOTE:**  
Provide BAL-12.5 rated aluminium windows and external glass sliding doors in lieu of standard.

Provide flyscreens with corrosion resistant mesh to all opening window sashes only.

Manufacturer - Clark Windows			
Window Type	Glazing	U-Value	SHGC
Awning	Single	6.5	0.67
	Double	4.1	0.57
Fixed	Single	5.9	0.75
	Double	3.2	0.67
Sliding	Single	6.4	0.76
	Double	4.2	0.59
Fixed Pane	Single	5.9	0.75
	Double	3.2	0.67
Fixed Glass Panel Hinged Door	Single	6.0	0.62
	Double	4.3	0.55
Sliding Door	Single	6.1	0.74
	Double	3.6	0.66
Stacking Door	Single	6.3	0.74
	Double	3.8	0.66
135 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
135 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
90 deg. Awning Bay Window	Single	6.5	0.67
	Double	4.1	0.57
90 deg. Sliding Bay Window	Single	6.5	0.76
	Double	4.2	0.59
Bifold Doors	Single	6.1	0.61
	Double	4.4	0.53

**NOTE:**  
Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures. Restricted windows to have their openability restricted as per N.C.C 11.3.6.

# EXTERIOR DOOR SCHEDULE

<sup>0,1</sup> ASSUME LOOKING FROM OUTSIDE

ID	CODE <sup>0</sup>	ROOM	HEIGHT	WIDTH	AREA (m <sup>2</sup> )	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING TYPE	DOOR TYPE	ADDITIONAL INFORMATION <sup>1</sup>
D01	2097x920	ENTRY	2,097	976	2,05	ALUMINIUM	BAL-12.5	SNAP HEADER	E	CLEAR	SWINGING	
D02	FS2116	GARAGE	2,158	1,570	3,39	ALUMINIUM	BAL-12.5	SNAP HEADER	N	CLEAR, DOUBLE GLAZED, TOUGHENED	SLIDING	
D03	FS2124	FAMILY / LIVING	2,158	2,410	5,20	ALUMINIUM	BAL-12.5	SNAP HEADER	W	CLEAR, DOUBLE GLAZED, TOUGHENED	SLIDING	INTRUDA GUARD SECURITY SCREEN
					<b>10.64 m<sup>2</sup></b>							

# INTERIOR DOOR SCHEDULE

NOTE: INTERNAL DOORS TO WET AREAS WITH MECHANICAL VENTILATION TO BE UNDERCUT 20mm

QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING	ADDITIONAL INFORMATION
2	1000 SS	SQUARE SET OPENING	2,155	1,000	N/A	
1	1460 SS	SQUARE SET OPENING	2,455	1,460	N/A	
2	2 x 620	SWINGING	2,340	1,240	N/A	
1	2 x 620	SWINGING	2,040	1,240	N/A	
1	2 x 820	SWINGING	2,040	1,640	N/A	
1	720	SWINGING	2,340	720	N/A	LIFT-OFF HINGES
1	720	SWINGING	2,340	720	N/A	
7	820	SWINGING	2,340	820	N/A	
1	820 CSD	CAVITY SLIDING	2,340	820	N/A	
1	920 CSD	CAVITY SLIDING	2,340	920	N/A	

# PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

QTY	TYPE	HEIGHT	WIDTH	AREA (m <sup>2</sup> )

SINGLE GLAZING U.N.O. REFER TO GENERAL NOTES FOR FURTHER DETAIL AND REQUIREMENTS.

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
- SUSTAINABILITY REQUIREMENTS  
- SITE CLASSIFICATION  
- GENERAL BUILDING INFORMATION

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

# BAL-12.5 BUSHFIRE REQUIREMENTS

SEE SHEET 1 (COVER SHEET) FOR DETAILS

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COUNCIL:	CLARENCE COUNCIL

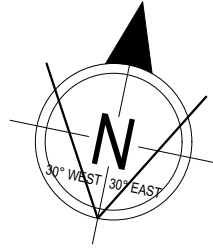
HOUSE DESIGN:	MARBELLA
FACADE DESIGN:	CLASSIC
SHEET TITLE:	WINDOW & DOOR SCHEDULES

HOUSE CODE:	H-WDNMBL10SA
FACADE CODE:	F-WDNMBL10CLASA
SHEET No.:	7 / 13

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WHERE DOWNPIPES ARE FURTHER THAN 1.2m AWAY FROM VALLEY REFER TO N.C.C. 7.3.5(2)

POSITION AND QUALITY OF DOWNPIPES ARE NOT TO BE ALTERED WITHOUT CONSULTATION WITH DESIGNER.

AREA'S SHOWN ARE SURFACE AREAS/ CATCHMENT AREAS, NOT PLAN AREAS

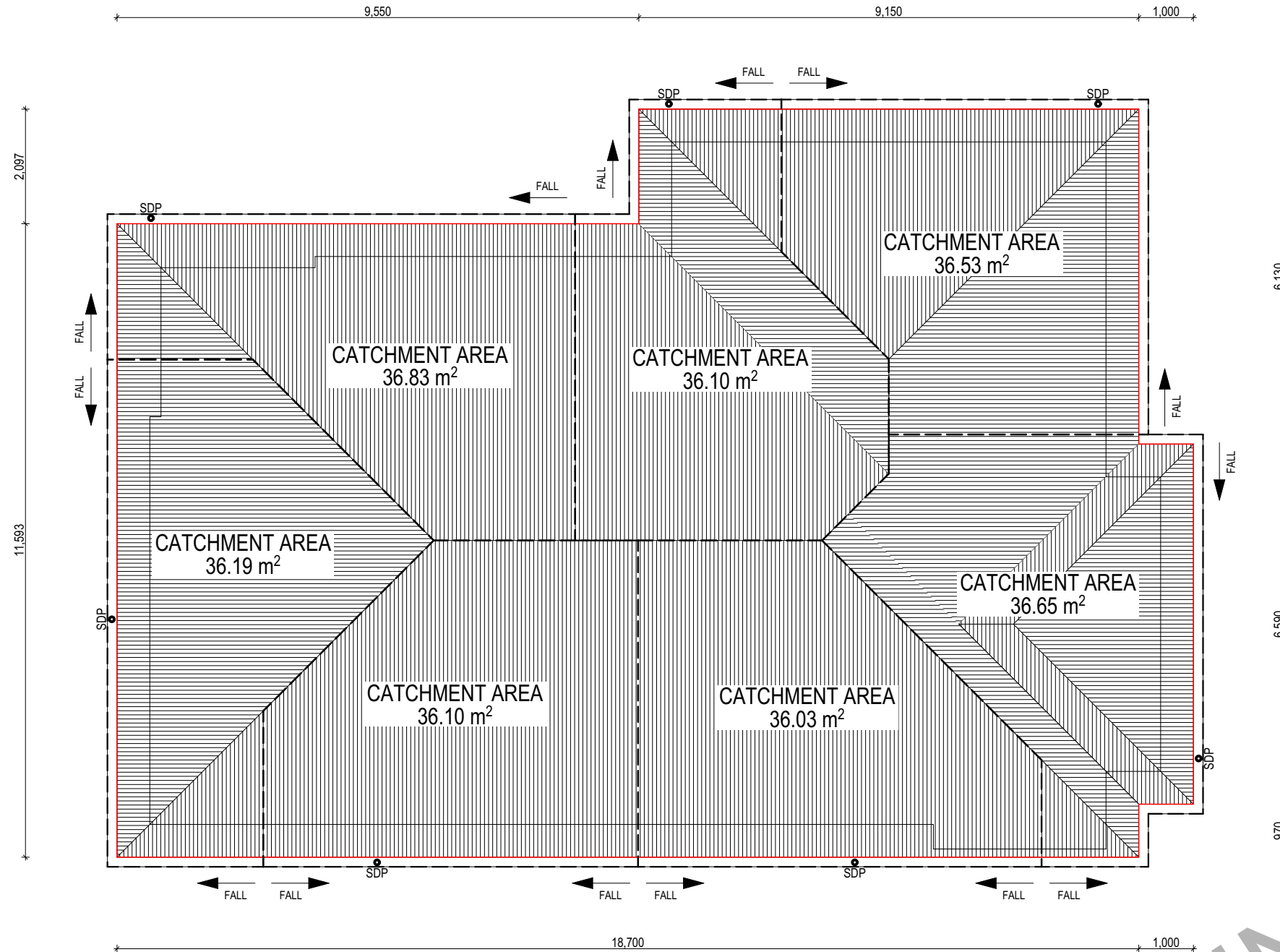
### Roofing Data

	242.56	Flat Roof Area (excluding gutter and slope factor) (m <sup>2</sup> )
	263.51	Roof Surface Area (includes slope factor, excludes gutter) (m <sup>2</sup> )

### Downpipe roof calculations (as per AS/NZA3500.3:2018)

Ah	254.43	Area of roof catchment (including 115mm Slotted Quad Gutter) (m <sup>2</sup> )
Ac	307.86	Ah x Catchment Area Multiplier for slope (Table 3.4.3.2 from AS/NZS 3500.3:2018) (1.21 for 23° pitch) (m <sup>2</sup> )
Ae	6300	Cross sectional area of 57 x 115 Slotted Quad Gutter (mm <sup>2</sup> )
DRI	86	Design Rainfall Intensity (determined from Table E1 from AS/NZS 3500.3:2018)
Acdp	64	Catchment area per Downpipe (determined from Figure 3.5(A) from AS/NZS 3500.3:2018) (m <sup>2</sup> )
Required Downpipes	4.8	Ac / Acdp
Downpipes Provided	7	

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EV SOFFIT EAVE VENT PROPOSED LOCATION TO BE MIN. 1M FROM CORNER JOINT

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



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COUNCIL:	CLARENCE COUNCIL

HOUSE DESIGN:	MARBELLA
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ROOF DRAINAGE PLAN
SHEET No.:	8 / 13

HOUSE CODE:	H-WDNMBL10SA
FACADE CODE:	F-WDNMBL10CLASA
SCALES:	

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