



DEVELOPMENT APPLICATION

PDPLANPMTD-2024/041806

PROPOSAL: Visitor Accommodation (Two Units)

LOCATION: 23 Sabre Place, Sandford

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 08 April 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 08 April 2024. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 08 April 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.



Clarence... a brighter place

Clarence City Council

APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

Visitor Accommodations x2

Location:

Address 23 Sabre Pl

Suburb/Town Sandford

Postcode 7020

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$ 820,000

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Memory Hatendi

Current Use of Site:

Vacant land

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

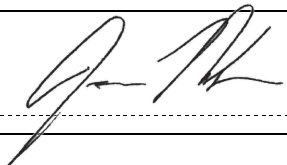
Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's Signature:

Signature.......... Date 25/01/2024

PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

SEARCH OF TORRENS TITLE

VOLUME 38160	FOLIO 56
EDITION 4	DATE OF ISSUE 26-Apr-2022

SEARCH DATE : 25-Jan-2024

SEARCH TIME : 12.01 PM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 56 on Sealed Plan 38160
 Derivation : Part of 338A-1R-30Ps Gtd to C J F Hayes part of
 49 Acres Gtd to W Atkins Part of 50 Acres Gtd to S Free Part
 of 60 Acres Located to J Joseph and Part of Lot 38366 Gtd to S.
 O.F. Nominees Pty. Ltd.
 Prior CT 4528/3

SCHEDULE 1

M953995 TRANSFER to KRIS ANDREW FORSYTH Registered
 26-Apr-2022 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP 38160 COVENANTS in Schedule of Easements
 SP 9686 SP 38160 FENCING PROVISION in Schedule of Easements
 SP 38160 COUNCIL NOTIFICATION under Section 468(12) of the
 Local Government Act 1962
 E299196 MORTGAGE to Commonwealth Bank of Australia
 Registered 26-Apr-2022 at 12.01 PM

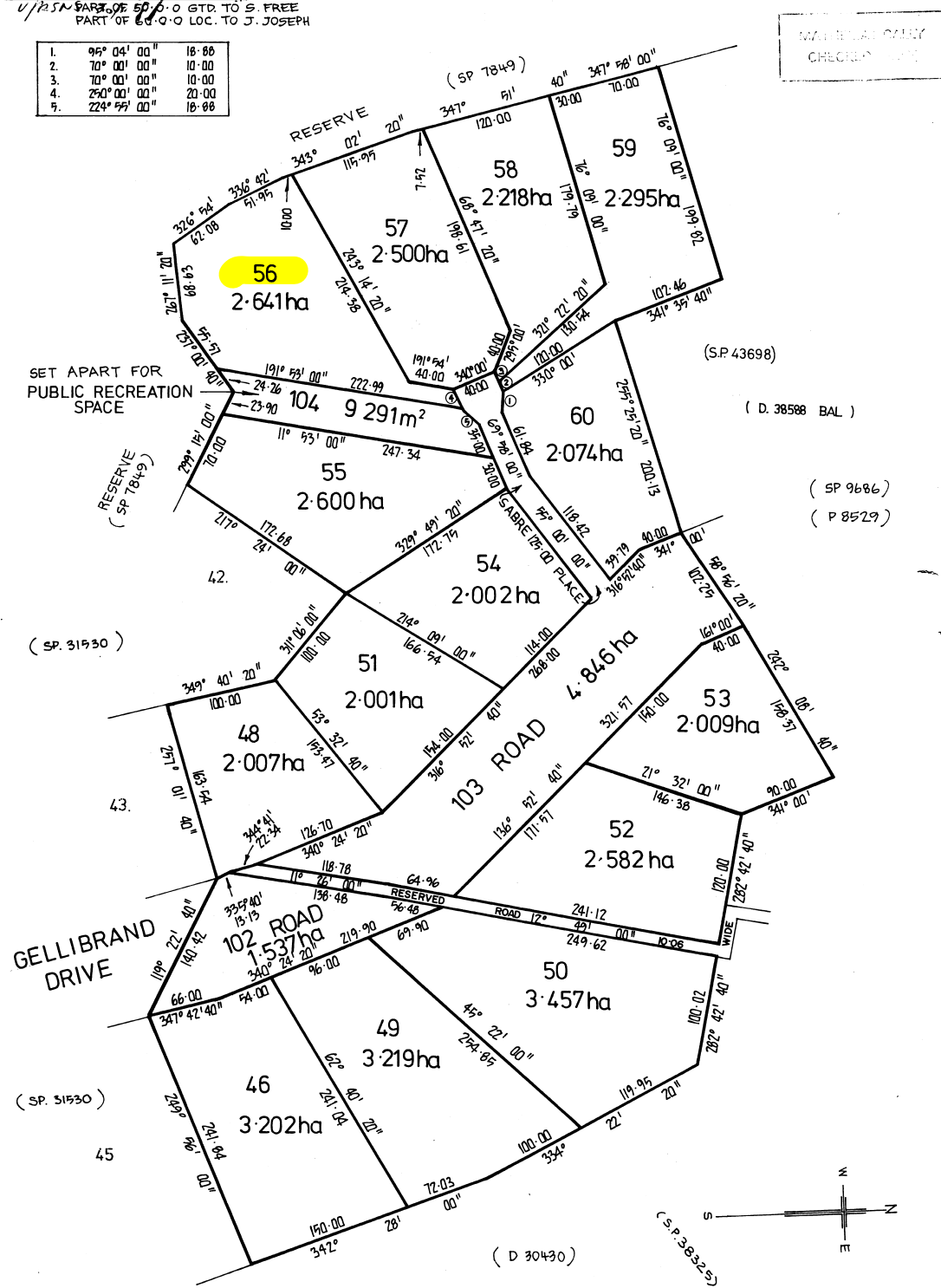
UNREGISTERED DEALINGS AND NOTATIONS

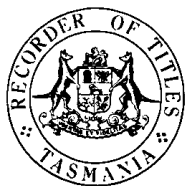
No unregistered dealings or other notations

OSK 1110

Owner: KINGSTON HOLDINGS P/L.	PLAN OF SURVEY by Surveyor.....D.....M.....MAYOY..... of land situated in the CITY OF CLARENCE LAND DISTRICT OF MONMOUTH PARISH OF RALPHS BAY	Registered Number SP38160 Approved Effective from 12 JAN 1989 Recorder of Titles
Title Reference: SP 3676 C, 3854 51 C.T. 4372/58	SCALE 1: 3000 MEASUREMENTS IN METRES	
Grantee: PART OF 140Ac. GTD TO P. WOOD PART OF 3000Ac. GTD TO G.H.B. GELLIBRAND PART OF 49Ac. GTD TO W. ATKINS PART OF 338Ac. 1/4 30P. GTD TO C. J. F. HAYES PART OF 1st 3826Ac. GTD TO S.F. MORGAN PTY.LTD. PART OF 5000Ac. GTD. TO S. FREE PART OF 6000Ac. LOC. TO J. JOSEPH		

1.	95° 04' 00"	16.88
2.	70° 00' 00"	10.00
3.	70° 00' 00"	10.00
4.	250° 00' 00"	20.00
7.	224° 44' 00"	16.88





SCHEDULE OF EASEMENTS

PLAN NO.

NOTE:—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

SP38160

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

EASEMENTS AND PROFITS

Each lot on the plan is together with:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits à prendre described hereunder.

Each lot on the plan is subject to:—

- (1) such rights of drainage over the drainage easements shewn on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits à prendre described hereunder.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

COVENANTS:

The Owners of each Lot except Lots 102, 103 and 104 on the said plan covenant with Kingston Holdings Pty. Ltd. and the owner or owners for the time being of every other Lot except Lots 102, 103 and 104 shown on the plan to the extent that the burden of these covenants may run with and bind the covenantor's Lot and every part thereof and that the benefit thereof shall be annexed to and devolved with each and every part of every other Lot except Lots 102, 103 and 104 shown on the said plan to observe the following stipulations:

- (a) Not without the consent of the corporation to cut down lop or destroy on such Lot any tree shrub or growth of the like character PROVIDED ALWAYS this covenant shall not apply to cutting down lopping topping destruction or removal of any trees shrubs or growths of the like

character for the purposes of obtaining access to such lot building thereon installation of services or by reason of consideration of safety.

- (b) Not to erect any building on such Lot which is closer to any public road or public recreation area adjoining it and one-sixth of the depth of Lot.
- (c) Not to erect or place any building or structure on such Lot without having its siting and location previously approved by the corporation.
- (d) Not to erect any building on such Lot constructed of materials other than those of a type or colour that to the satisfaction of the corporation will blend rather than contrast with the natural environment and without limiting the generality of the foregoing not to utilise unpainted metal surfaces in any such construction.
- (e) Not to use any building or structure erected or placed on such Lot other than as a single residence for one family only.
- (f) Not to subdivide such Lot at any time.

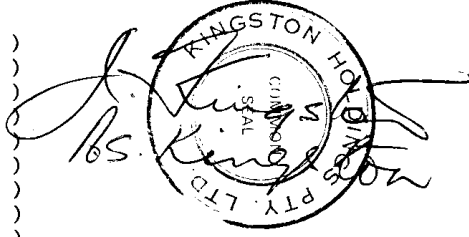
INTERPRETATION:

"Corporation" means the Warden Councillors and Electors of the Municipality of Clarence.

FENCING PROVISION:

In respect of each Lot except Lots 102, 103 & 104 shown on the plan the Vendor (Kingston Holdings Pty. Ltd.) shall not be required to fence.

THE COMMON SEAL of KINGSTON HOLDINGS PTY. LTD. was affixed hereto as the registered proprietor of the land comprised in Folio of the Register Volume ~~3854~~⁴³⁷² folio ~~51~~⁵⁷ and Volume ~~3676~~ folio ~~6~~ in the presence of:



SIGNED by KENNETH MURDOCH DRAKE and ROBERT JOHN BADENACH as Mortgagees under Mortgage No. B8241 in the presence of:

Handwritten signatures of Kenneth Murdoch Drake and Robert John Badenach.

Handwritten signature of Clive Pearce, Law Clerk, TOBART.

38160

This is the schedule of easements attached to the plan of
(Insert Subdivider's Full Name)

..... affecting land in

.....
(Insert Title Reference)

Scaled by **MUNICIPALITY OF CLARENCE** on **23rd SEPTEMBER 1982**

Solicitor's Reference
B. G. G. G.
Council Clerk/Town Clerk

OS-K 3134

PINNACLE



23 Sabre Pl, Sandford 7020












Owner(s) or Clients Kris Forsyth
 Building Classification 1a
 Designer Jason Nickerson CC6073Y
 Total Floor Area (Combined) 200m² Deck 106m²
 Alpine Area N/A
 Other Hazards Low landslip hazard area, Flood prone area, Waterway and coastal protection area, Bushfire prone area, Priority vegetation area, High coastal erosion hazard band

(e.g., High wind, earthquake, flooding, landslip, dispersive soils, sand dunes, mine subsidence, landfill, snow & ice, or other relevant factors)

Title Reference 38160/56
 Zoning Rural Living
 Land Size 26410m²
 Design Wind Speed TBA
 Soil Classification TBA
 Climate Zone 7
 Corrosion Environment Severe
 Bushfire Attack Level (BAL) TBA

ID	Sheet Name	Issue
A.01	Location Plan	DA - 03
A.02	Site Plan	DA - 03
A.03	Lower Floor Plan - V1 & V2	DA - 03
A.04	Upper Floor Plan - V1 & V2	DA - 03
A.05	Elevations - V1	DA - 03
A.06	Elevations - V1	DA - 03
A.07	Elevations - V2	DA - 03
A.08	Elevations - V2	DA - 03
A.09	Roof Plan - V1 & V2	DA - 03

Legend

-  - Electrical Connection
-  - Electrical Turret
-  - Sewer Connection
-  - Stormwater Connection
-  - Telstra Connection
-  - Telstra Pit
-  - Water Meter
-  - Water Stop Valve
-  - Fire Hydrant
-  - Solar Bollard Light
-  - Spotlight with sensor

Survey Notes from Surveyor

While all reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during the field survey. Prior to any demolition, excavation, final design or construction on this site, a full site inspection should be completed by the relevant engineers.

All survey data is 3D. The level (z-value) of any specific feature can be interrogated with a suitable CAD package. Spot heights of all features, including pipe inverts, are included in the model space but are not displayed on the PDF. Spot heights are organised into appropriate layers, and can be displayed as required.

DATUM - Vertical : AHD per SPM9670 with reputed AHD level of 82.006 from SURCOM on 26/09/2022

Date of Survey: 26/09/2022

Site Areas

Site Area	26410m ²
Building Footprint	200 m ²
Total Site Coverage	0.76%



PINNACLE
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 7/3 Abernant Way, Cambridge 7170
 03 6248 4218
 admin@pinnacledrafting.com.au
 www.pinnacledrafting.com.au
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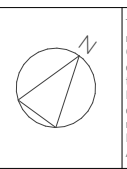
Location Plan
 Revision: DA - 03
 Approved by: JN & MM

Scale: 1:1000 @ A3
 Pg. No: A.01

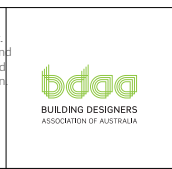
Proposal: Visitor Accommodations
 Client: Kris Forsyth
 Address: 23 Sabre Pl, Sandford 7020

Date: 25/01/2024
 Drawn by: RZ
 Job No: 047-2023
 Engineer: TBA
 Building Surveyor: TBA

Issue	Date	Description
DA 02	13.02.2024	Planning RFI Amendments
DA 03	28.02.2024	Planning RFI Amendments



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Legend

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Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

- Surface water must be diverted away from a Class 1 building as follows:
- (a) Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than (i) 25mm over the first 1m from the building (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claying); or (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or (ii) 50 mm over the first 1 m from the building in any other case.
 - (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or (iii) 150 mm in any other case.
 - (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

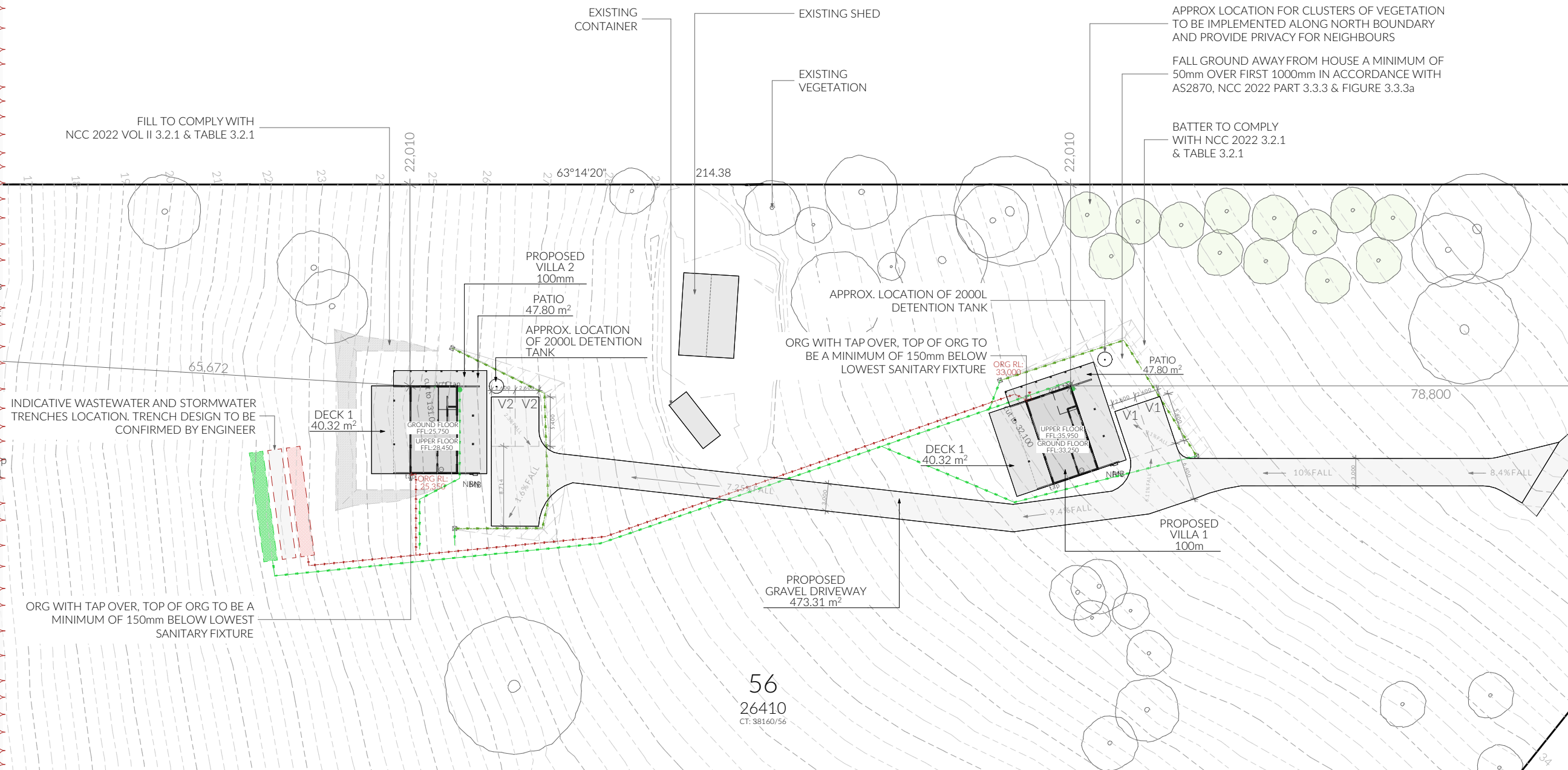
- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with-
 - (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet and provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be Class B.

Stormwater pits are indicative. Location may vary depending on site conditions.

Revision 13/02/24

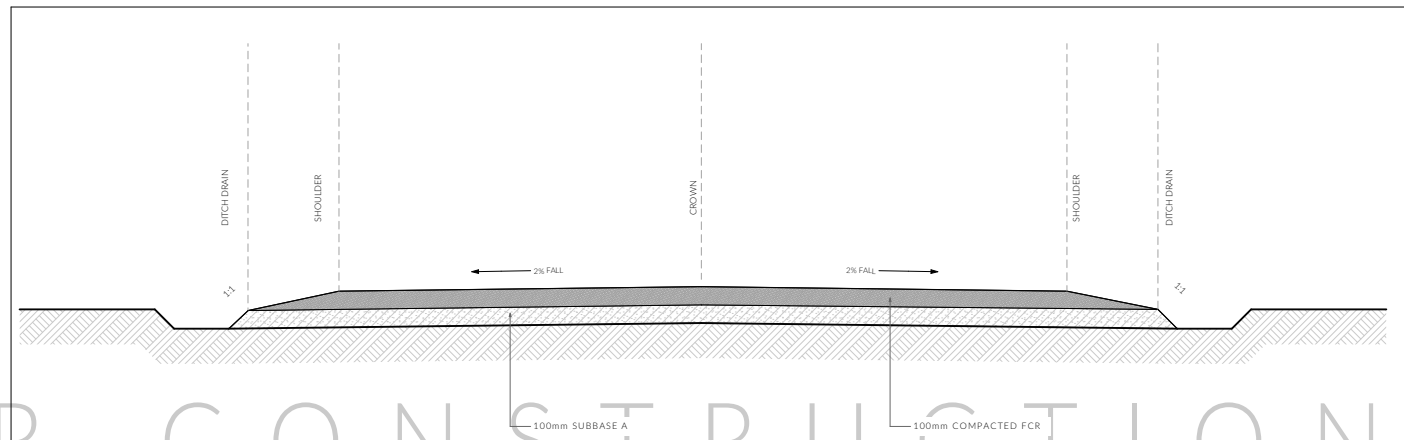


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Site Plan

Revision: DA - 03
Approved by: JN & MM

Scale: 1:500 @ A3
Pg. No: A.02

Proposal: Visitor Accommodations
Client: Kris Forsyth
Address: 23 Sabre Pl, Sandford 7020

Date: 25/01/2024
Drawn by: RZ
Job No: 047-2023
Engineer: TBA
Building Surveyor: TBA

Issue Date
DA 02 13.02.2024
DA 03 28.02.2024

Description
Planning RFI Amendments
Planning RFI Amendments



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Access Panel



Articulation Joint



Smoke Alarm

Construction of sanitary compartments

10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -
· open outwards; or
· slide; or
· be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the *sanitary compartment* and the doorway.

Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

Note: Paved Areas

All paths and patios to fall away from dwelling.

Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

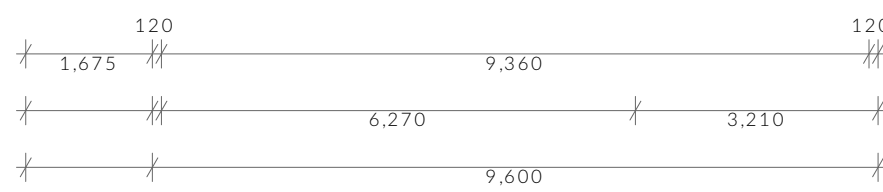
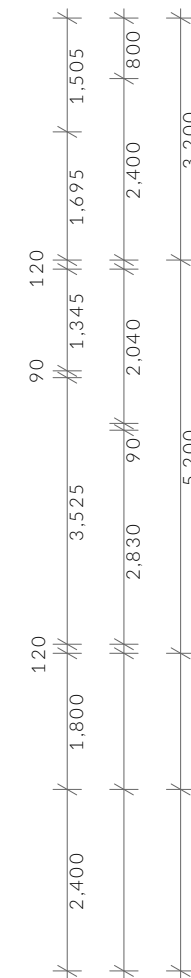
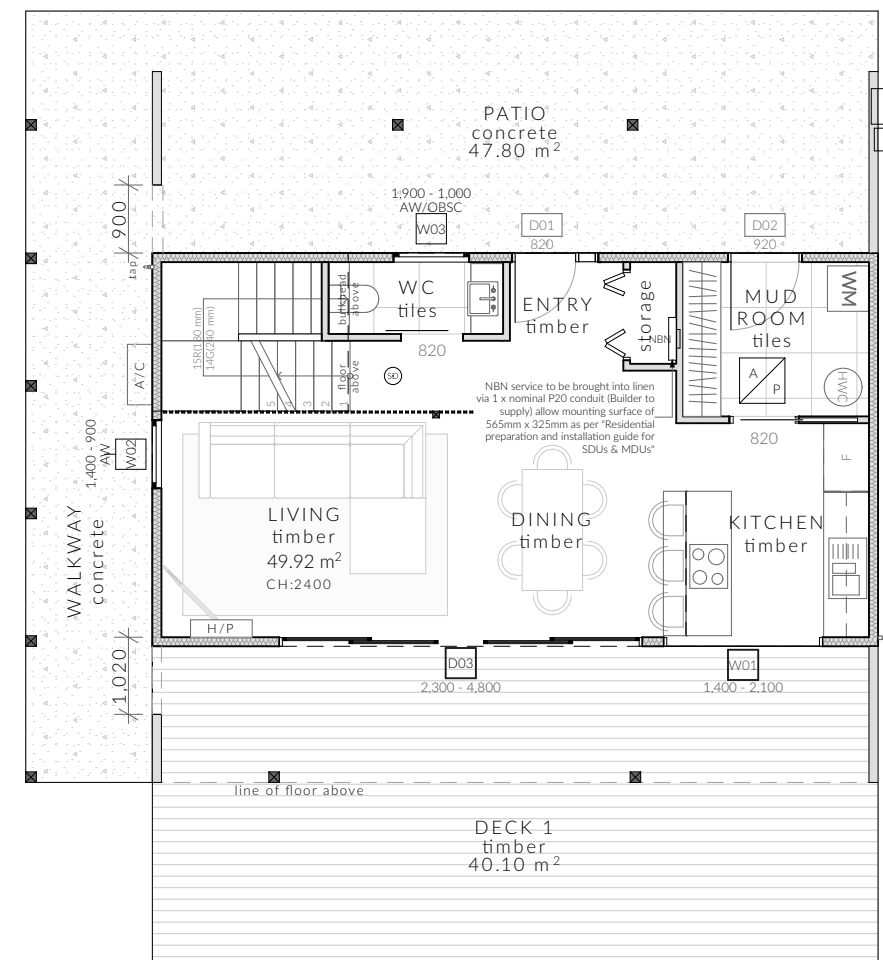
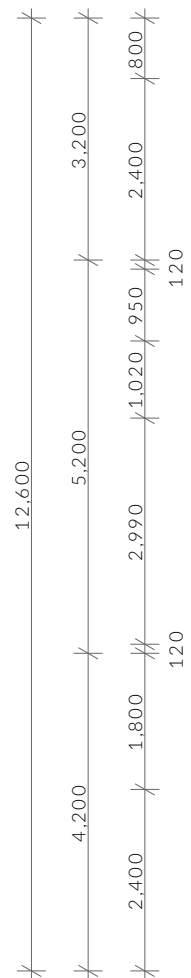
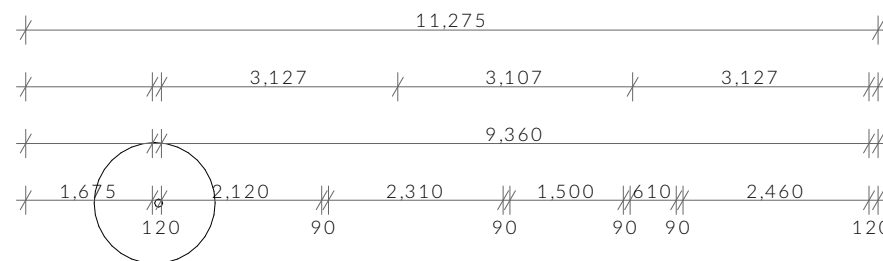
Heights of rooms & other spaces 10.3.1 of NCC 2022

Heights of rooms and other spaces must not be less than;
(a) in a *habitable room* excluding a kitchen - 2.4 m; and
(b) in a kitchen - 2.1 m; and
(c) in a corridor, passageway or the like - 2.1 m; and
(d) in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
(e) in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items
(f) in a stairway, ramp, *landing*, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact *Pinnacle* before undertaking works.

Floor Areas Per Villa

Lower Floor	49.92m ²
Upper Floor	49.92m ²
Total Floor Area	100m ²
Deck 1	40.07m ²
Deck 2	7.49m ²
Deck 3	5.40m ²
Patio & Walkway	47.80m ²



NOT FOR CONSTRUCTION

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www.pinnacledrafting.com.au
Licence: CC6073Y

Lower Floor Plan - V1 & V2

Revision: DA - 03
Approved by: JN & MM

Scale: 1:100 @ A3
Pg. No: A.03

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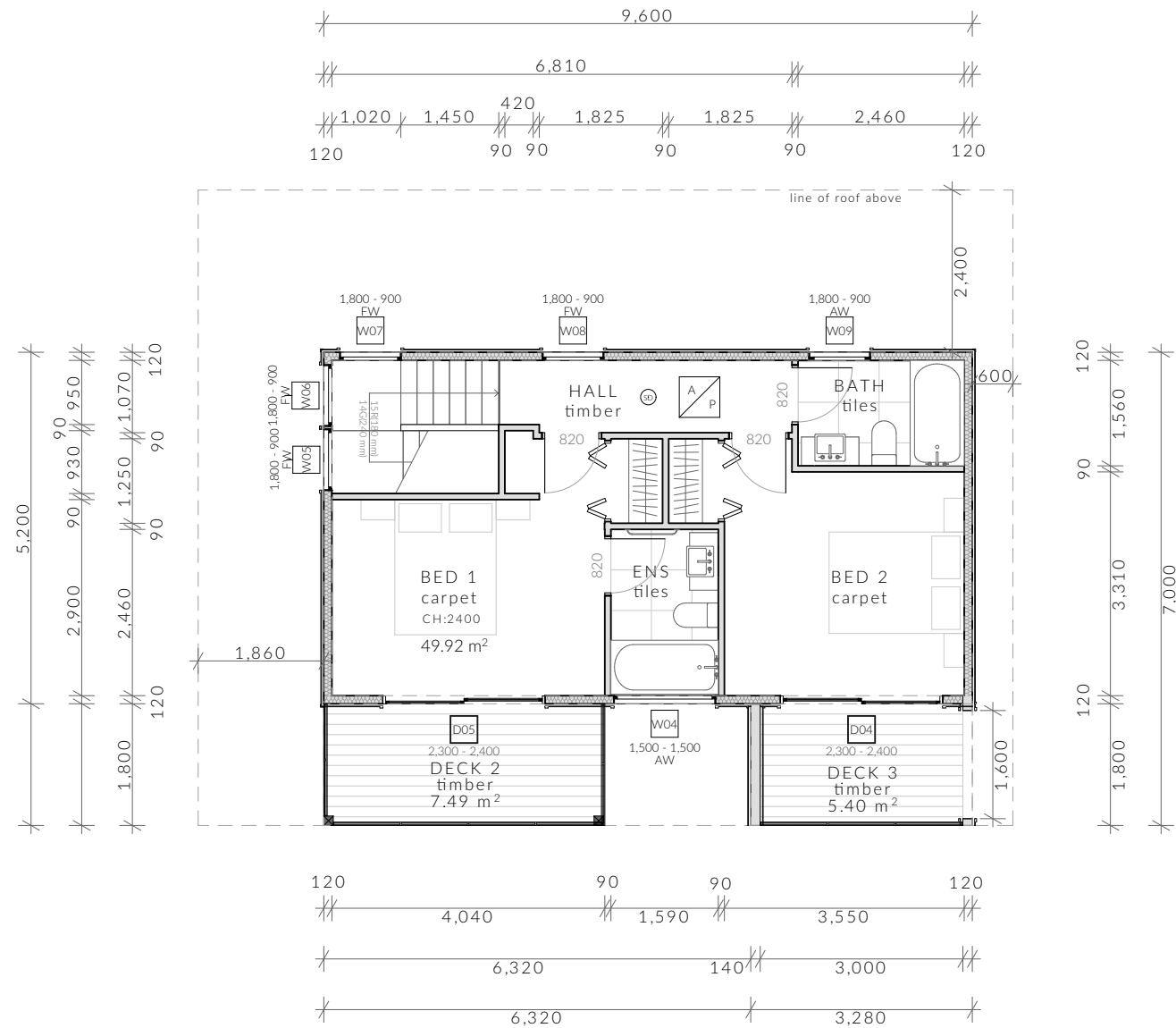
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Upper Floor Plan - V1 & V2

Revision: DA - 03
Approved by: JN & MM

Scale: 1:100 @ A3
Pg. No: A.04

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Engineer: TBA
Building Surveyor: TBA

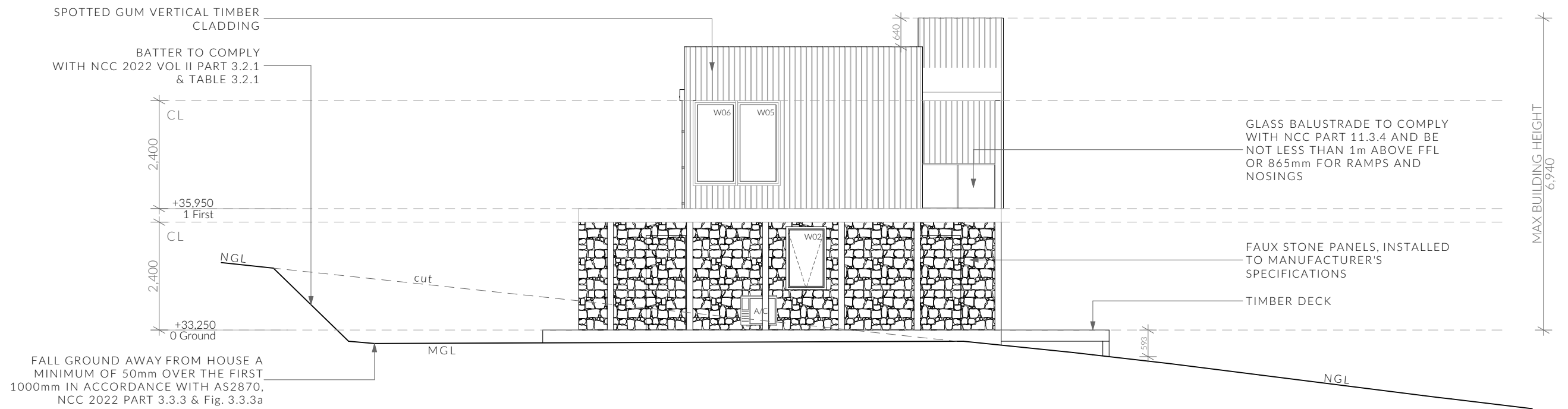
Issue Date
DA 02 13.02.2024
DA 03 28.02.2024

Description
Planning RFI Amendments
Planning RFI Amendments



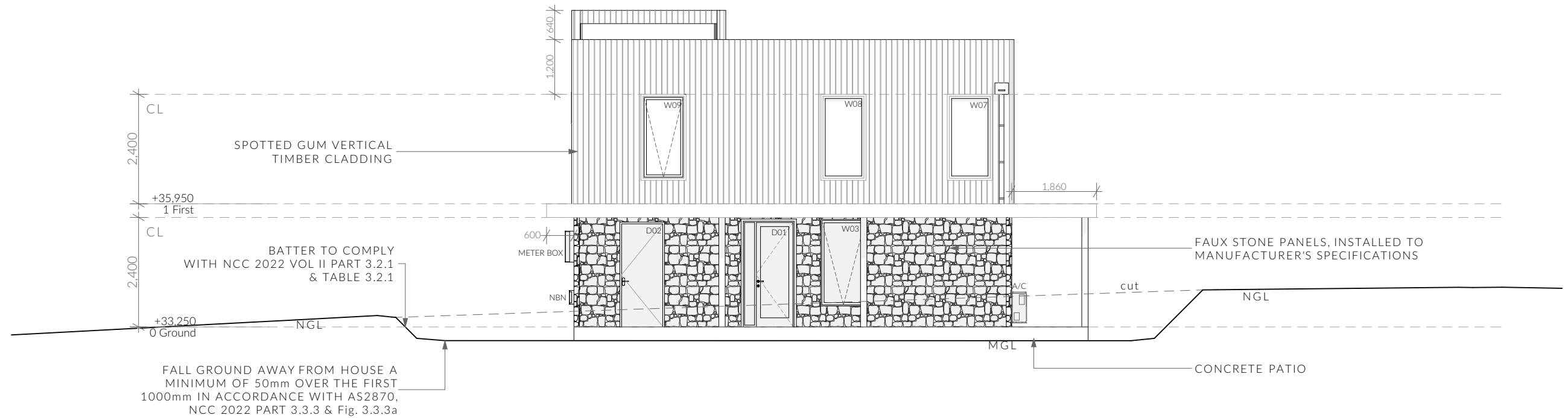
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V1 - North Elevation

1:100



V1 - East Elevation

1:100

NOTE

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,

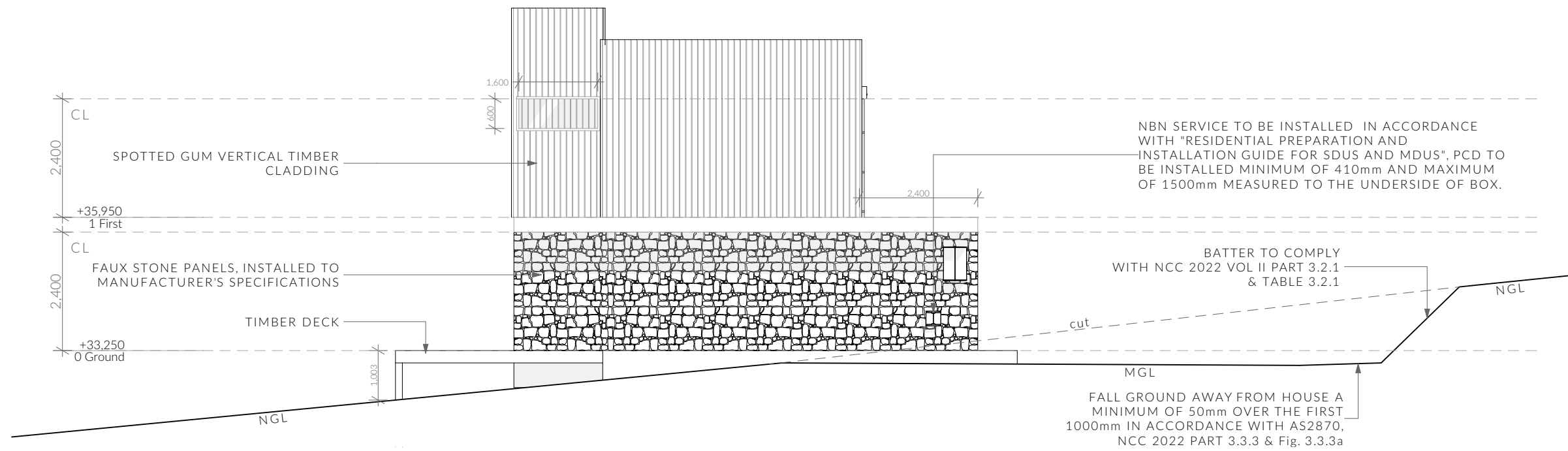
Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

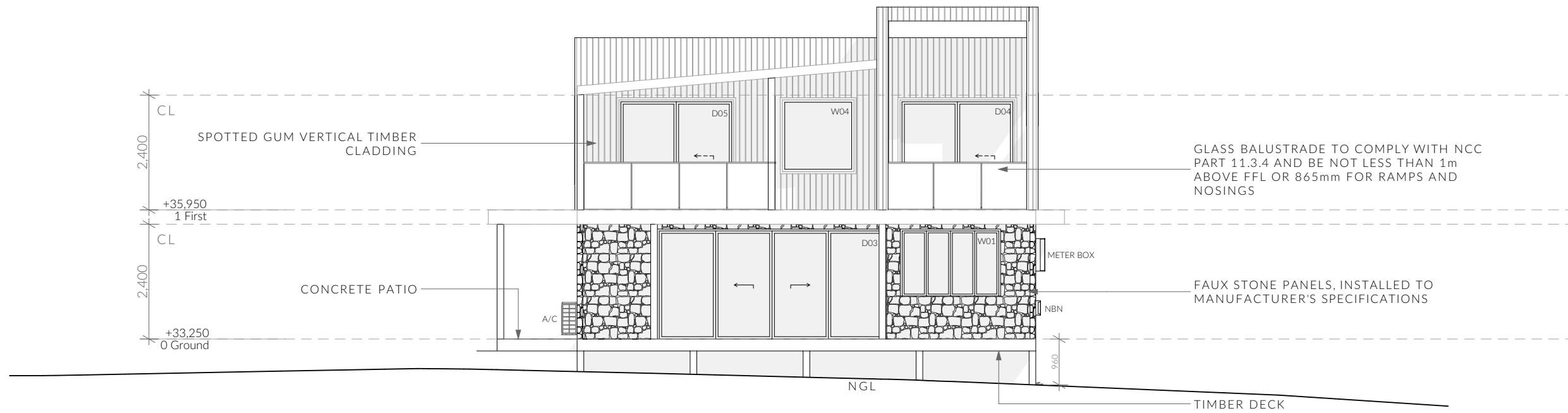
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V1 - South Elevation

1:100



V1 - West Elevation

1:100

NOTE

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All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

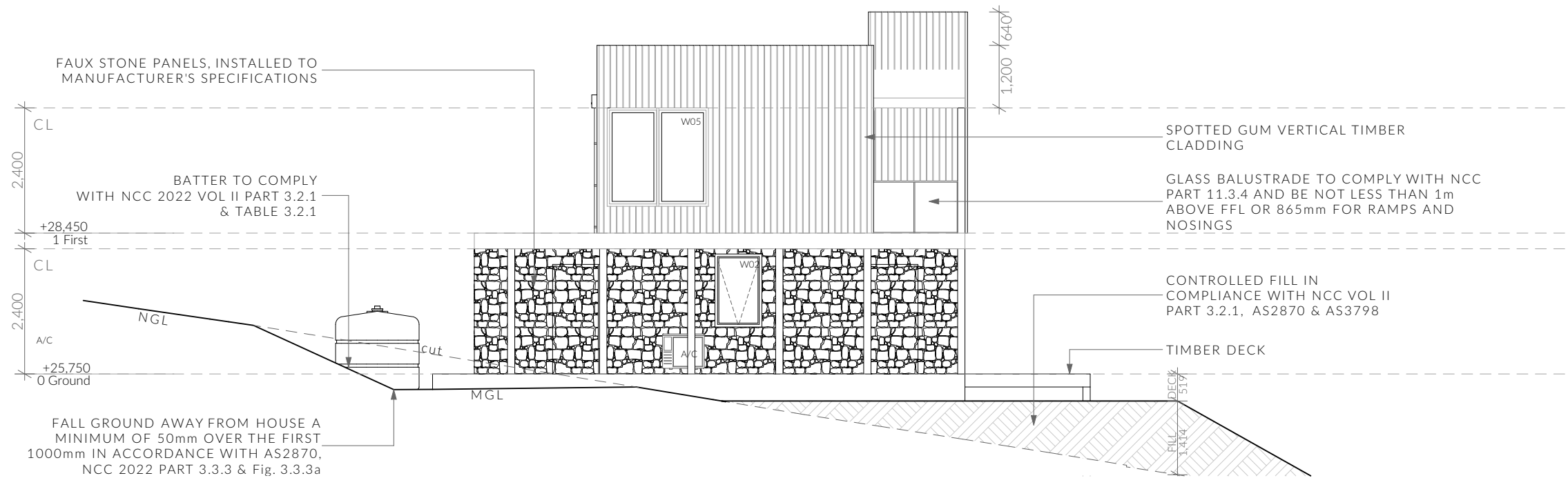
Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

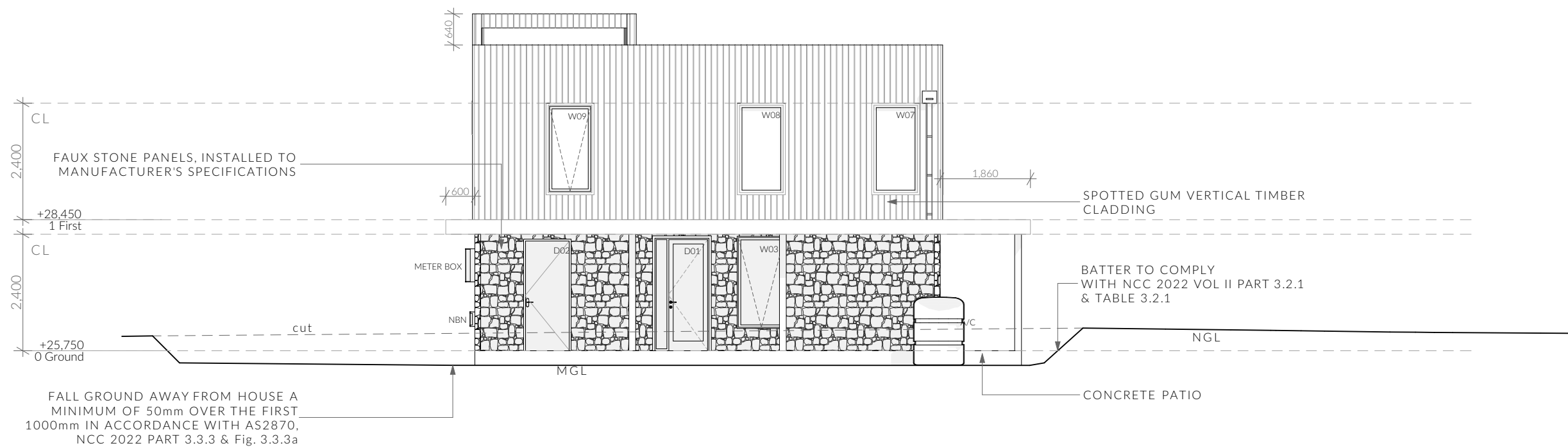
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V2 - North Elevation

1:100



V2 - East Elevation

1:100

NOTE

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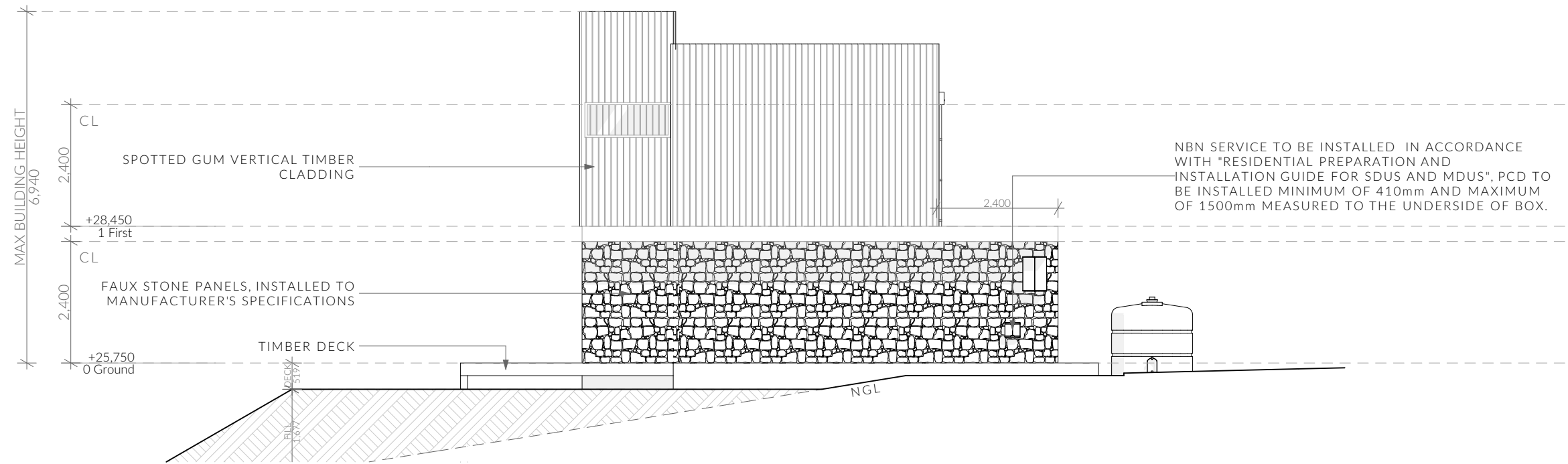
Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

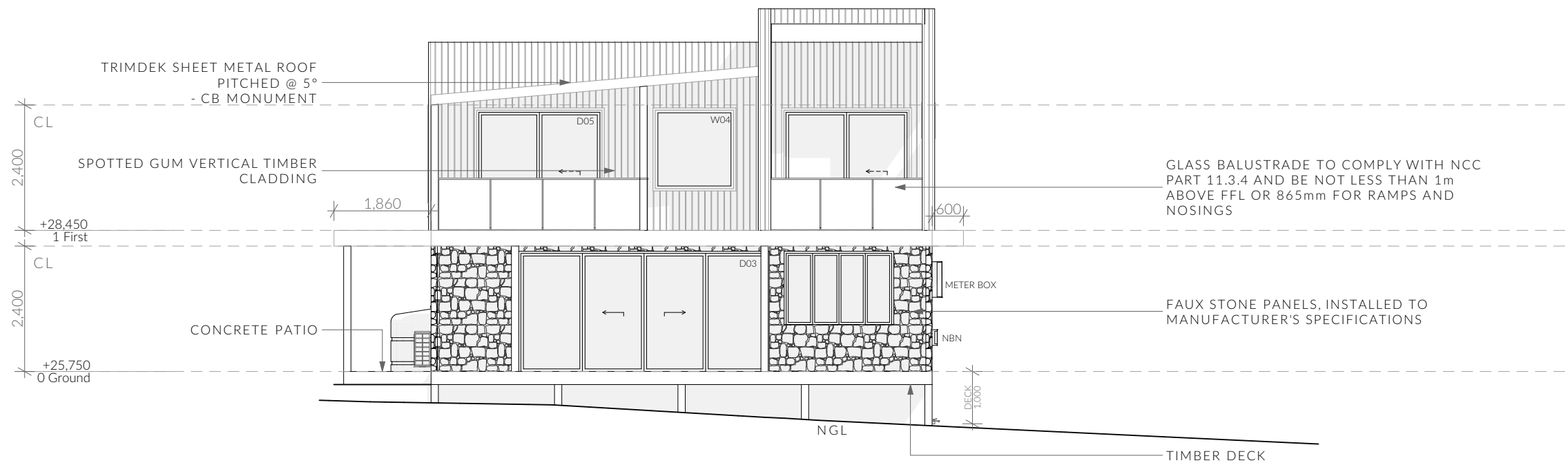
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	Document Set ID: 5207746 Version: 1, Version Date: 28/02/2024								



V2 - South Elevation

1:100



V2 - West Elevation

1:100

NOTE

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Riser: Min 115mm - Max 190mm Going: Min 240mm - Max 355mm Slope (2R+G): Max 550 - Min 700

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Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a) is located-
 - (i) immediately above the primary insulation layer; or
 - (ii) immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
 - (iii) immediately above ceiling insulation; and
- (b) has a height of not less than 20 mm; and
- (c) is either-
 - (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
 - (ii) located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a) comply with AS/NZS 2908.2 or ISO 8336; and
- (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
 - (i) 2.8 x 30 mm fibre-cement nails; or
 - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
 - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

ROOF PITCH	VENTILATION OF OPENINGS (TABLE 10.8.3)
<10°	25,000 mm2/m provided at each of two opposing ends
>10° AND <15°	25,000 mm2/m provided at the eaves and 5,000 mm2/m at high level
>15° AND <75°	7,000 mm2/m provided at the eaves and 5,000 mm2/m at high level, plus an additional 18,000 mm2/m at the eaves if the roof has a cathedral ceiling

(1) Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof.
 (2) For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.

REQUIRED NUMBER OF ROOF VENTS:

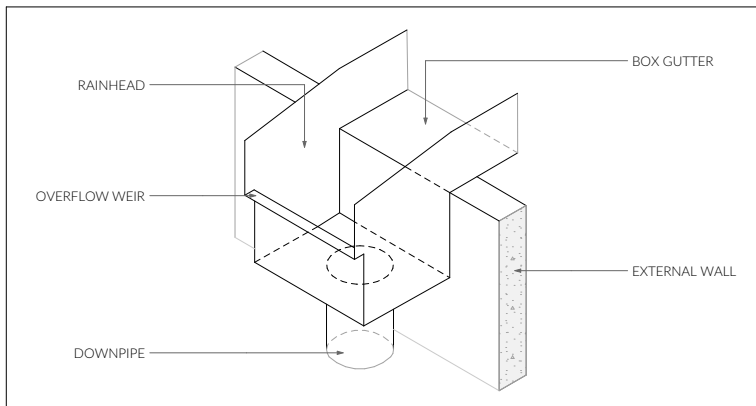
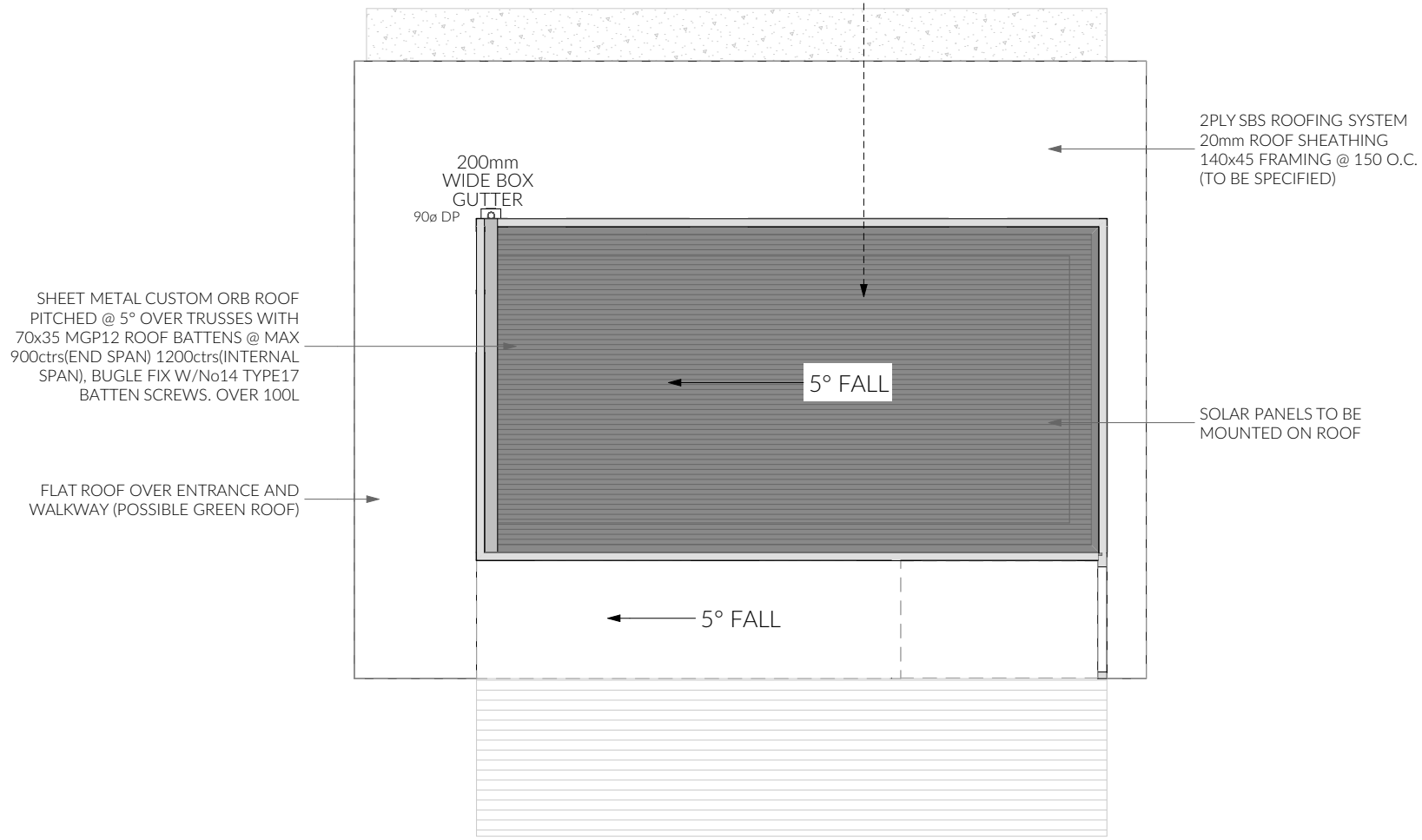
ROOF PITCH <10°
 PARAPET ROOF - LIGHTWEIGHT CLAD

REQUIRED VENT AREA
 Low Vents = 0.124m² (4.96m x 25,000mm2)
 High Vents = 0.124m² (4.96m x 25,000mm2)

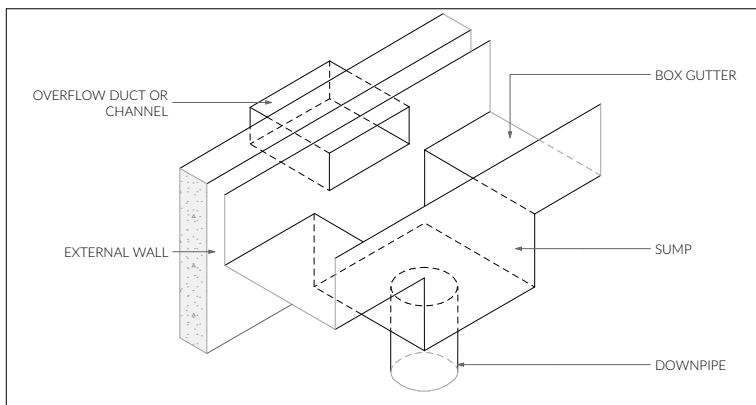
LOW VENTS
 6x HARON 300x150 WALL VENTS (0.023m²)
 OR
 25mm CONTINUOUS VENT

HIGH VENTS
 6x HARON 300x150 WALL VENTS (0.023m²)
 OR
 25mm CONTINUOUS VENT

NOTE: VENTS BASED ON USE OF 300x150 WALL VENT FITTED WITH STAINLESS STEEL ANTI SPARK BUSHFIRE MESH



EXTERNAL RAIN HEAD DETAIL (TYP) N.T.S



EXTERNAL RAIN HEAD DETAIL (TYP) N.T.S

Parapet cappings

Where a wall cladding is used to form a parapet wall, the cladding must be attached to a supporting frame and have a capping installed that complies with the following:

- (a) Cappings must-
 - (i) be purpose made, machine-folded sheet metal or equivalent sections of a material compatible with all up and downstream metal roof covering materials in accordance with 7.2.2(2); and
 - (ii) extend not less than 50 mm down the sides of the parapet; and
 - (iii) be separated from the supporting framing by a vapour permeable sarking installed in accordance with (f); and
 - (iv) be fixed with either self drilling screws or rivets with rubber washers at intervals of not more than 500 mm that do not penetrate the top of cappings, except at joints and corners.
- (b) The top of the capping must slope a minimum of 5 degrees.
- (c) Joints in cappings must-
 - (i) overlap by not less than 50 mm in the direction of flow; and
 - (ii) be securely fastened at intervals of not more than 40 mm; and
 - (iii) have sealant installed between laps.
- (d) Fixing for cappings must be compatible with the capping material in accordance with 7.2.2.
- (e) Lead cappings must not be used with prepainted steel or zinc/aluminium steel or on any roof if the roof is part of a drinking water catchment area.
- (f) Sarking must comply with AS 4200.1 and be installed behind all wall cladding where parapets are installed, with-
 - (i) each adjoining sheet or roll being-
 - (A) overlapped not less than 150 mm; or
 - (B) taped together; and
 - (ii) sarking fixed to supporting members at not more than 300 mm centres.

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	Document Set ID: 5207746 Version: 1, Version Date: 28/02/2024								

Dear Sir/Madam,

PDPLANPMTD-2024/041806
23 Sabre Place, Sandford

In response to your correspondence dated 19/02/2024,
I have addressed your requests as follows:

ITEM	COUNCIL REQUEST	DEVELOPMENT RESPONSE
1	<p>Cl.C2.6.1 Construction of parking areas (A1, A3)</p> <p>Please provide a written response addressing the performance criterion, P1, at the above Clause. For reference, this requires:</p> <p>All parking, access ways, manoeuvring and circulation spaces must be readily identifiable and constructed so that they are useable in all weather conditions, having regard to:</p> <ul style="list-style-type: none">(a) the nature of the use;(b) the topography of the land;(c) the drainage system available;(d) the likelihood of transporting sediment or debris from the site onto a road or public place;(e) the likelihood of generating dust; and(f) the nature of the proposed surfacing.	<p>P1</p> <p>The proposed development addresses performance criterion, P1, as per below:</p> <ul style="list-style-type: none">(a) The proposed gravel driveway is intended for the sole purpose of accommodating access for visitors to the proposed accommodations, and therefore the nature of the use is of irregular occurrence.(b) The proposed driveway follows the general topography of the block, descending towards the west boundary.(c) The proposed driveway is proposed with ditch drain, as detailed on Site Plan A.02, and disperses across the ground to not cause nuisance to dwellings and adjoining properties.(d) There is a 12m-long buffer between the front boundary and the cul-de-sac road, providing ample transition to minimize the likelihood of transporting debris onto the public road. Additionally, the proposal takes precedence over similar gravel driveways of adjoining properties, as seen on the Location Plan.(e) The proposed gravel driveway consists of 100mm Subbase A, layered with 100mm compacted FCR, thus the likelihood of generating dust is minimal.(f) As addressed in (e). Additionally please refer to Site Plan for a detail of the gravel driveway.

PINNACLE

- 2 Cl.7.6.2 Clearance within a priority vegetation area (A1)
- Please note that we are also awaiting a response from the Department of Natural Resources regarding the natural values on the site, and any precautions or advice that may be necessary. In the meantime, please provide details of any intended vegetation clearance to be associated with the proposal.
- See amended Location Plan A.01. There is 1 vegetation proposed to be removed to accommodate the location of Villa 2, which is also out of the priority vegetation area.

I trust the provided information addresses the matters identified in the further information request and ask that the council now accept the submitted documentation as a valid application under LUPA.

Kind Regards,



Jason Nickerson
Director