



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2024/041793**

**PROPOSAL:** Three Multiple Dwellings

**LOCATION:** 18 & 20 Kotona Street, Rokeby

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 05 April 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 05 April 2024. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 05 April 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

# Clarence City Council



## APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at Council offices.

Proposal:

Multiple dwellings x3

Location:

Address 18 & 20 Kotona St

Suburb/Town Rokeby

Postcode 7019

Current Owners/s:

Applicant:

**Personal Information Removed**

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$ 1.1 million

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Vacantland

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

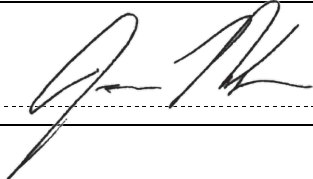
Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's Signature:

Signature..... 	Date.....25/01/2024
----------------------------------------------------------------------------------------------------	---------------------

**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.**

SEARCH OF TORRENS TITLE

VOLUME 184319	FOLIO 70
EDITION 2	DATE OF ISSUE 28-Aug-2023

SEARCH DATE : 27-Feb-2024

SEARCH TIME : 11.48 AM

DESCRIPTION OF LAND

City of CLARENCE  
 Lot 70 on Sealed Plan 184319  
 Derivation : Part of Lot 37617 (56.81ha) Gtd. to The  
 Director-General of Housing & Construction  
 Prior CT 142549/1

SCHEDULE 1

N137164 TRANSFER to S & D PROPERTY CO PTY LTD Registered  
 28-Aug-2023 at 12.05 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 SP184319 EASEMENTS in Schedule of Easements  
 SP184319 COVENANTS in Schedule of Easements  
 SP184319 FENCING PROVISION in Schedule of Easements  
 SP142549 COVENANTS in Schedule of Easements  
 SP142549 FENCING COVENANT in Schedule of Easements  
 SP142549 WATER SUPPLY RESTRICTION  
 SP142549 SEWERAGE AND/OR DRAINAGE RESTRICTION  
 E356704 MORTGAGE to National Australia Bank Limited  
 Registered 28-Aug-2023 at 12.08 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

SEARCH OF TORRENS TITLE

VOLUME 184319	FOLIO 69
EDITION 2	DATE OF ISSUE 28-Aug-2023

SEARCH DATE : 27-Feb-2024  
SEARCH TIME : 11.48 AM

DESCRIPTION OF LAND

City of CLARENCE  
Lot 69 on Sealed Plan 184319  
Derivation : Part of Lot 37617 (56.81ha) Gtd. to The  
Director-General of Housing & Construction  
Prior CT 142549/1

SCHEDULE 1

N137164 TRANSFER to S & D PROPERTY CO PTY LTD Registered  
28-Aug-2023 at 12.05 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
SP184319 EASEMENTS in Schedule of Easements  
SP184319 COVENANTS in Schedule of Easements  
SP184319 FENCING PROVISION in Schedule of Easements  
SP142549 COVENANTS in Schedule of Easements  
SP142549 FENCING COVENANT in Schedule of Easements  
SP142549 WATER SUPPLY RESTRICTION  
SP142549 SEWERAGE AND/OR DRAINAGE RESTRICTION  
E356703 MORTGAGE to National Australia Bank Limited  
Registered 28-Aug-2023 at 12.07 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

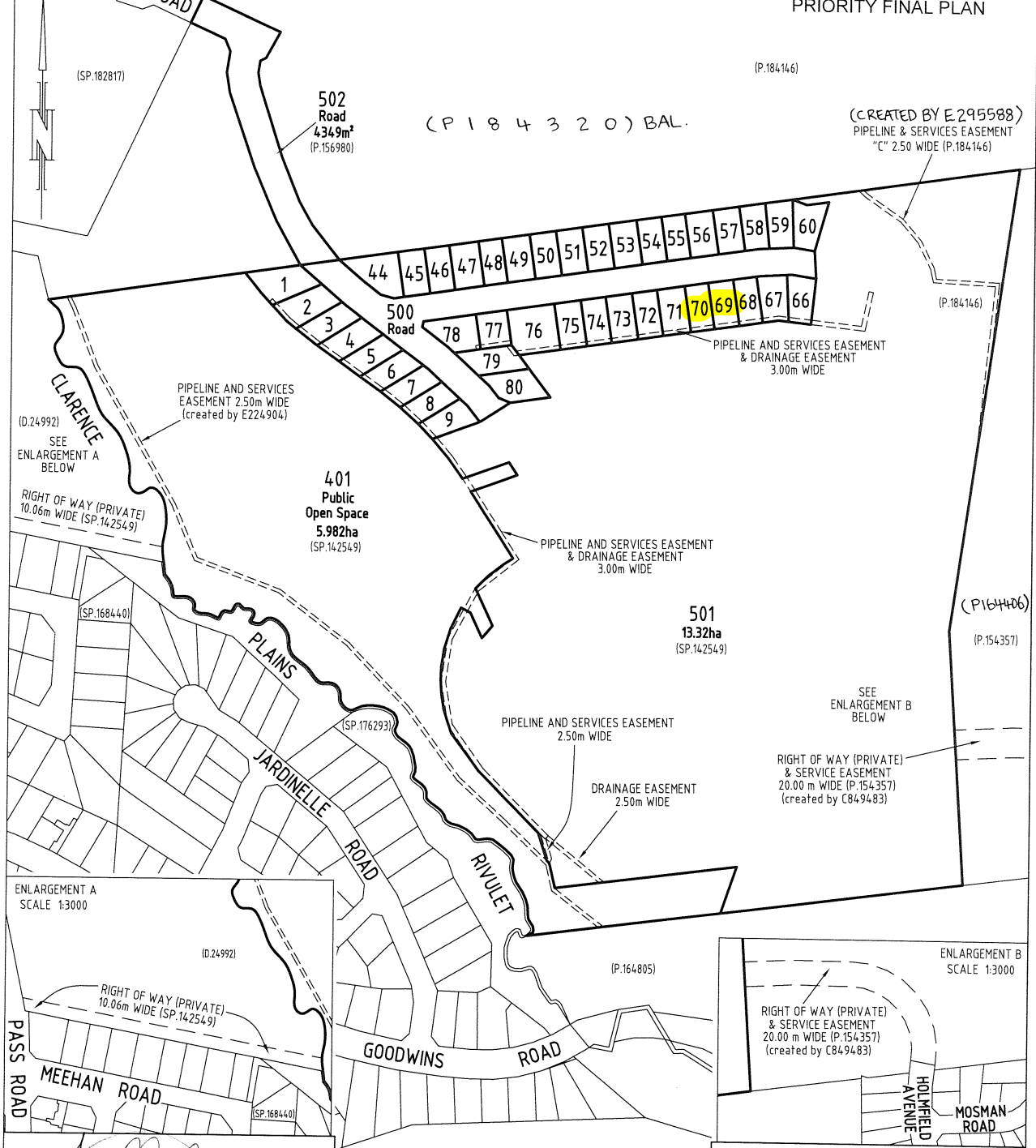
<p>OWNER DAESUNG TAS PTY LTD</p> <p>FOLIO REFERENCE C.T.142549-1 &amp; C.T.156980-1</p> <p>GRANTEE PART OF LOT 37617 (56.81ha) GTD TO THE DIRECTOR-GENERAL OF HOUSING &amp; CONSTRUCTION, PART OF 410 ACRES GTD TO ROBERT WHITE &amp; JOHN ROBERTSON</p>	<p><b>PLAN OF SURVEY</b></p> <p>BY SURVEYOR TIMOTHY LEIGH GOWLLAND ROGERSON AND BIRCH SURVEYORS UNIT 1 - 2 KENNEDY DRIVE, CAMBRIDGE PARK PH 6248-5898</p>	<p>REGISTERED NUMBER <b>SP184319</b></p>
<p>CITY OF CLARENCE</p>		<p>APPROVED EFFECTIVE FROM 6 APR 2023</p>
<p>SCALE 1:2500 LENGTHS IN METRES</p>		<p>Recorder of Titles</p>

LOT 401 IS COMPILED FROM C.T.142549-1 & THIS SURVEY

INDEX PLAN

ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN

PRIORITY FINAL PLAN

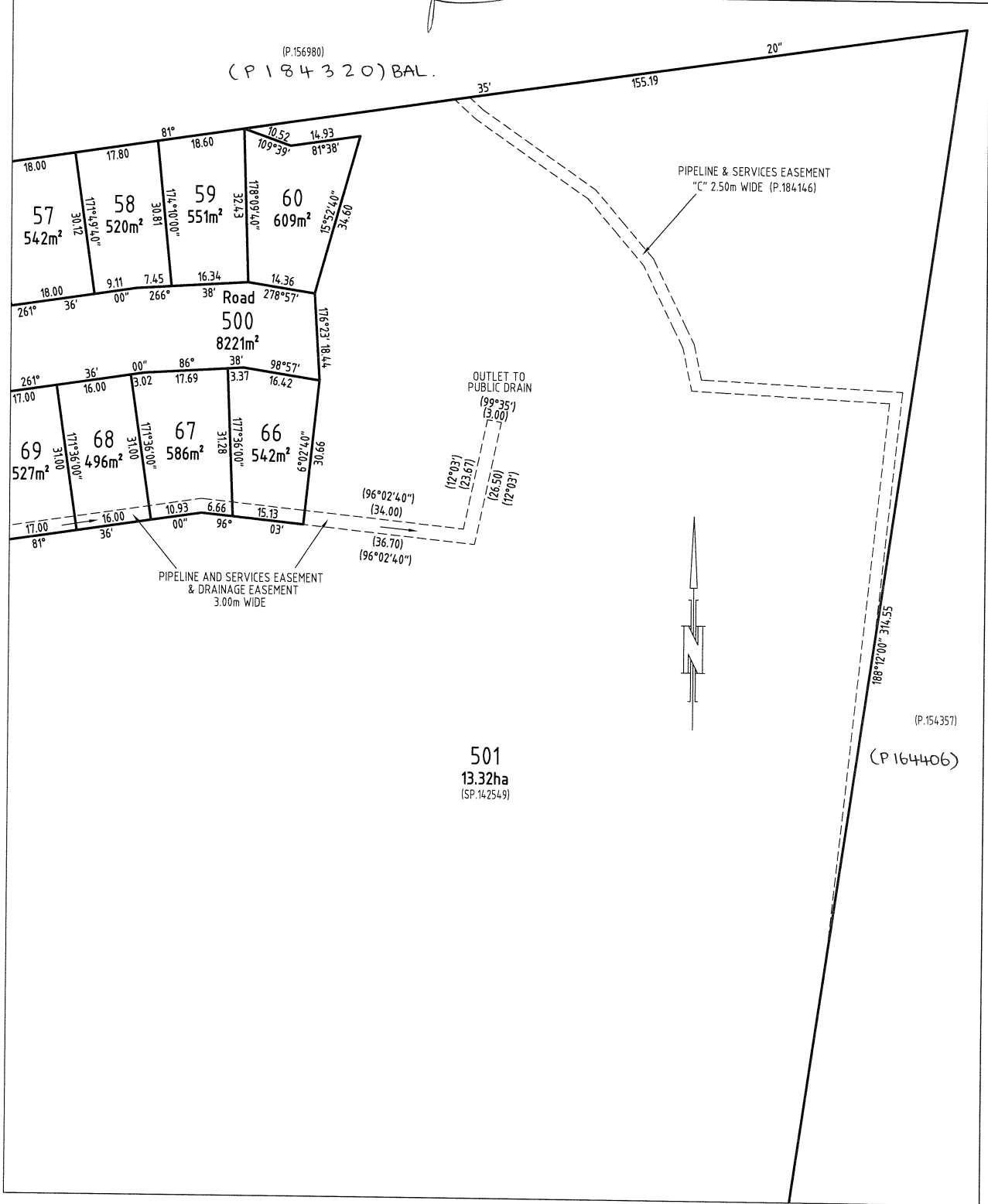


<p><i>[Signature]</i> Registered Land Surveyor</p>	<p>21-11-22 Date</p>	<p><i>[Signature]</i> Council Delegate</p>	<p>06/02/2023 Date</p>
--------------------------------------------------------	--------------------------	------------------------------------------------	----------------------------

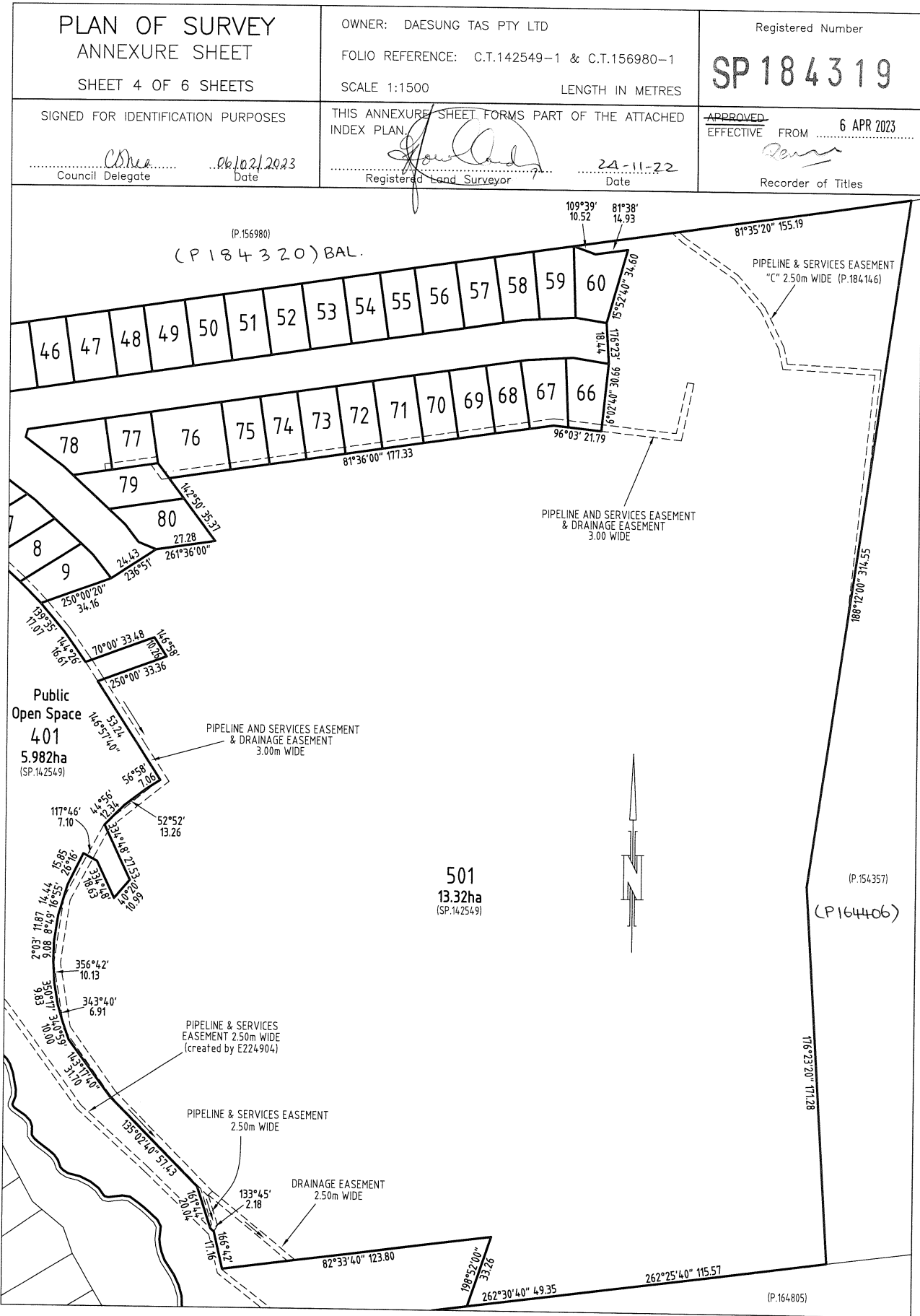
<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 2 OF 6 SHEETS</p>	<p>OWNER: DAESUNG TAS PTY LTD FOLIO REFERENCE: C.T.142549-1 &amp; C.T.156980-1 SCALE 1:750 LENGTH IN METRES</p>	<p>Registered Number <b>SP 184319</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES  Council Delegate: <i>Cona</i> Date: <i>06/02/2023</i></p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.  Registered Land Surveyor: <i>[Signature]</i> Date: <i>24-11-22</i></p>	<p>APPROVED EFFECTIVE FROM <i>6 APR 2023</i>  Recorder of Titles: <i>[Signature]</i></p>

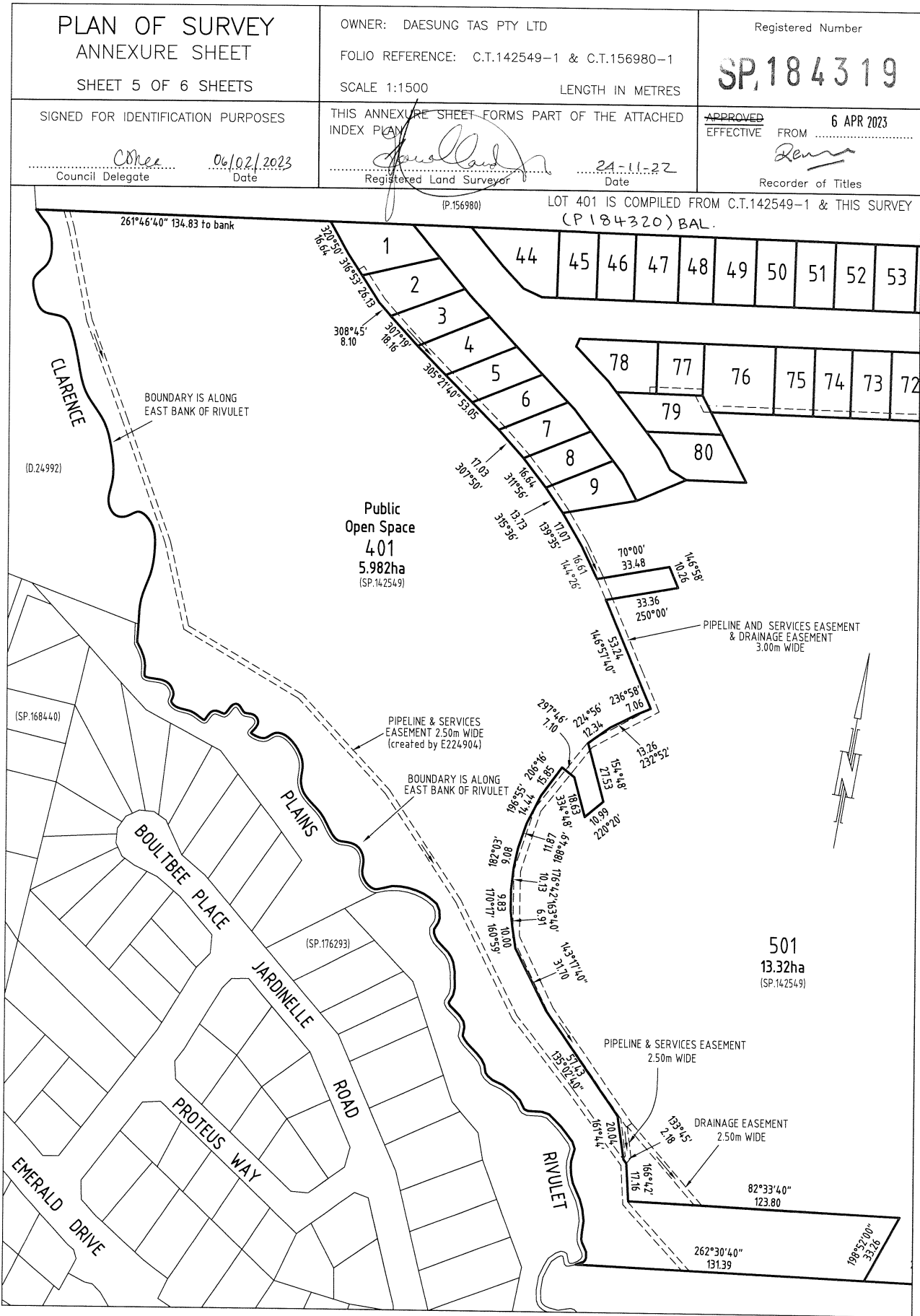


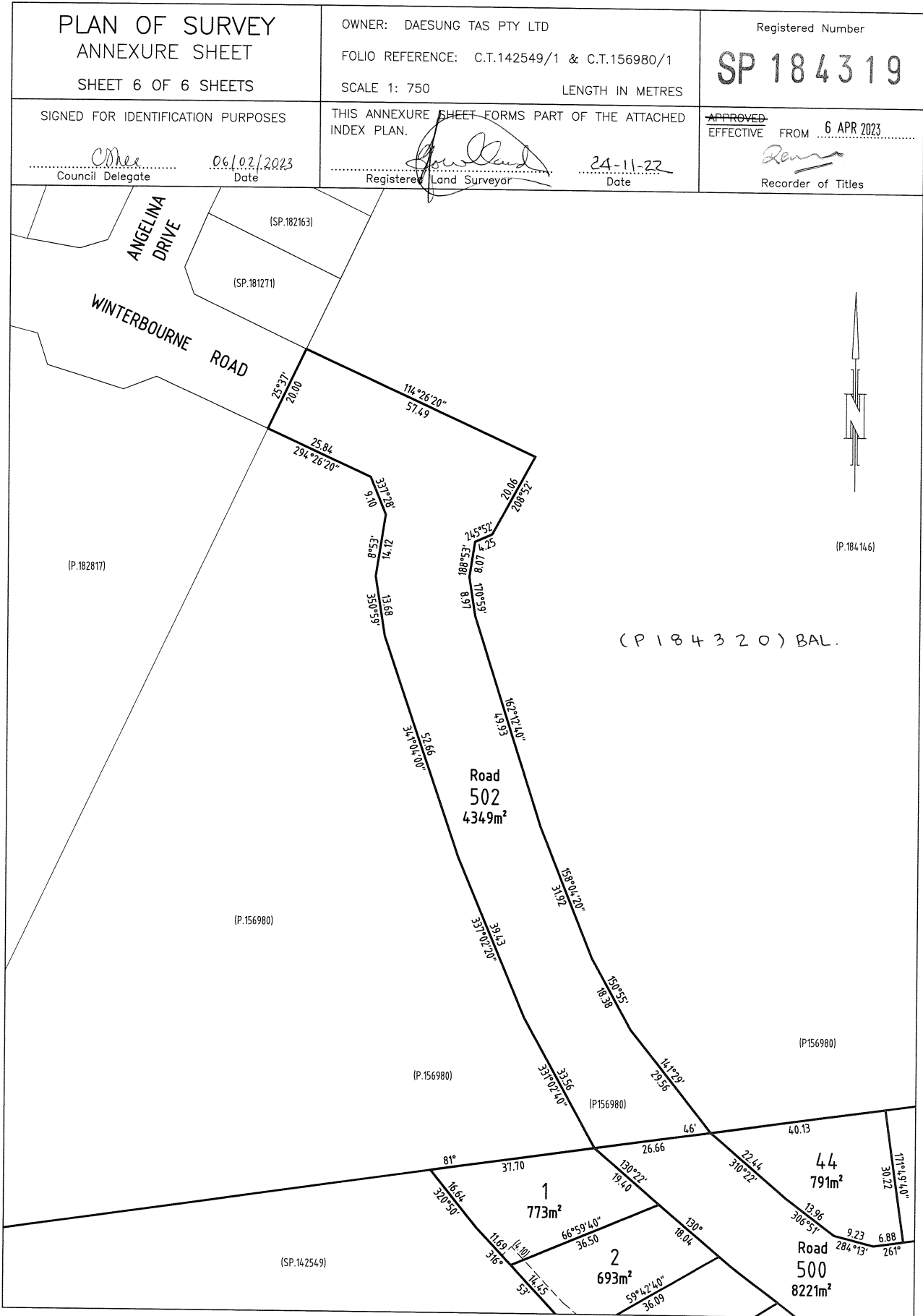
<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 3 OF 6 SHEETS</p>	<p>OWNER: DAESUNG TAS PTY LTD FOLIO REFERENCE: C.T.142549-1 &amp; C.T.156980-1 SCALE 1: 750                      LENGTH IN METRES</p>	<p>Registered Number <b>SP 184319</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES  ..... Council Delegate                      06/02/2023 Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN.  ..... Registered Land Surveyor                      24-11-22 Date</p>	<p><del>APPROVED</del> EFFECTIVE FROM 6 APR 2023  ..... Recorder of Titles</p>











# PINNACLE














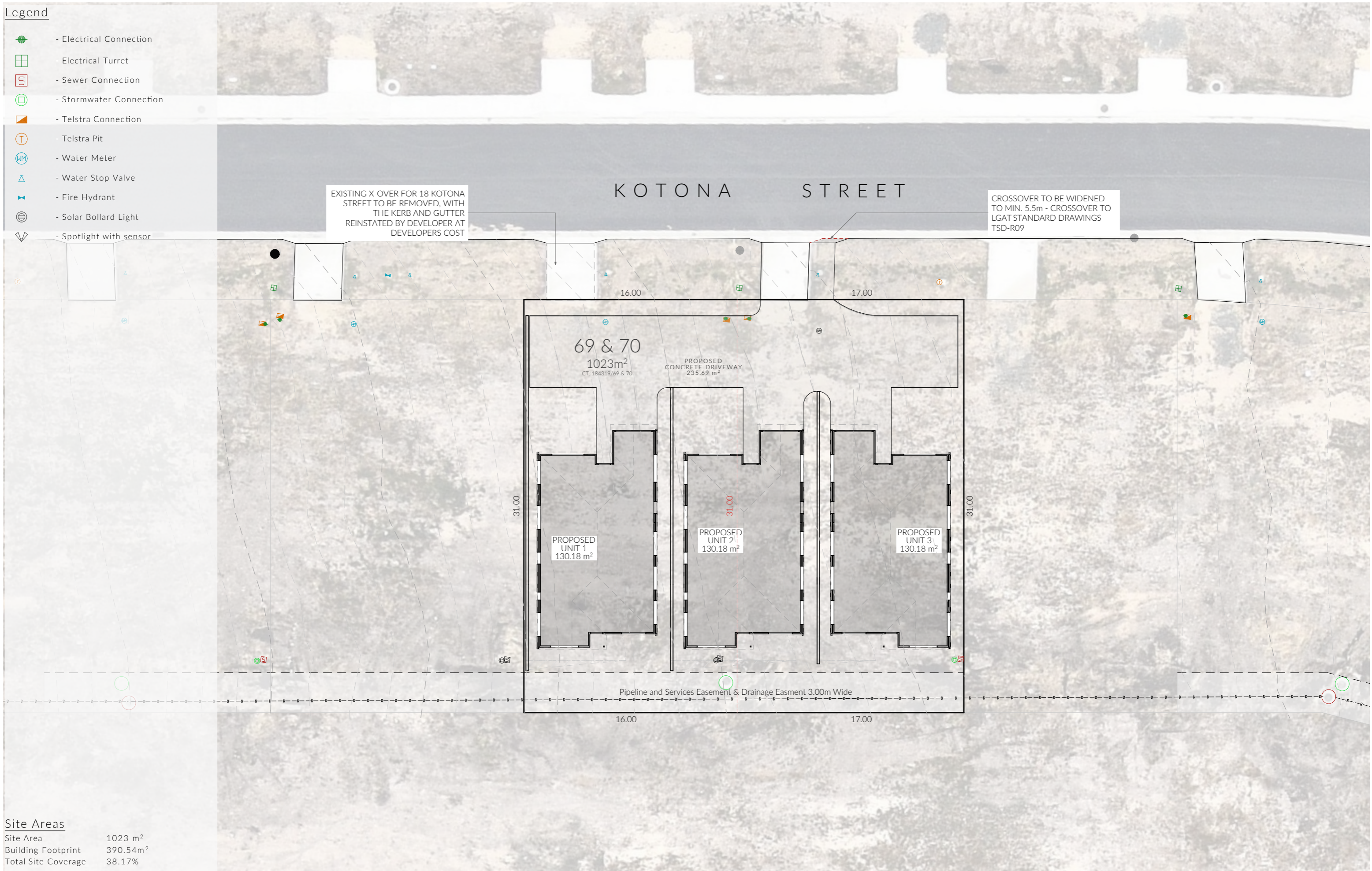
## 18 & 20 Kotona St, Rokeby 7019

Owner(s) or Clients	S & D Property Co Pty Ltd	Title Reference	184319/69 & 70
Building Classification	3 x 1a	Zoning	General Residential
Designer	Jason Nickerson CC6073Y	Land Size	1023m <sup>2</sup>
Total Floor Area (Combined)	390.54m <sup>2</sup> Patio 75.44m <sup>2</sup>	Design Wind Speed	TBA
Alpine Area	N/A	Soil Classification	TBA
Other Hazards	Safeguarding of Airports, Bushfire-Prone Areas, Paranzville Specific Area Plan	Climate Zone	7
		Corrosion Environment	Low
		Bushfire Attack Level (BAL)	12.5

ID	Sheet Name	Issue
A0.01	Location Plan	DA - 03
A0.02	Site Plan	DA - 03
A0.03	Site Elevations	DA - 03
A0.04	Shadow Diagrams, 21st June	DA - 03
A1.01	U1 - Floor Plan	DA - 03
A1.02	U1 - Elevations	DA - 03
A1.03	U1 - Elevations	DA - 03
A1.04	U1 - Roof Plan	DA - 03
A1.05	U1 - Electrical Plan	DA - 03
A2.01	U2 - Floor Plan	DA - 03
A2.02	U2 - Elevations	DA - 03
A2.03	U2 - Elevations	DA - 03
A2.04	U2 - Roof Plan	DA - 03
A2.05	U2 - Electrical Plan	DA - 03
A2.01	U3 - Floor Plan	DA - 03
A2.02	U3 - Elevations	DA - 03
A2.03	U3 - Elevations	DA - 03
A2.04	U3 - Roof Plan	DA - 03
A2.05	U3 - Electrical Plan	DA - 03
C.01	Civil Plan	DA - 03
C.02	Parking	DA - 03
C.03	Parking	DA - 03
L.01	Landscaping Plan	DA - 03
L.02	Planting Schedule & Details	DA - 03
P.01	Sewer & Water Plan	DA - 03

**Legend**

-  - Electrical Connection
-  - Electrical Turret
-  - Sewer Connection
-  - Stormwater Connection
-  - Telstra Connection
-  - Telstra Pit
-  - Water Meter
-  - Water Stop Valve
-  - Fire Hydrant
-  - Solar Bollard Light
-  - Spotlight with sensor



**Site Areas**

Site Area	1023 m <sup>2</sup>
Building Footprint	390.54m <sup>2</sup>
Total Site Coverage	38.17%

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	<b>Location Plan</b>  Revision: DA - 03 Approved by: JM	Scale: 1:250 @ A3 Pg. No: A0.01	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	Issue Date DA 02 27.02.2024 DA 03 04.03.2024	Description Site Plan, Floor Plans, Landscaping, Parking Amendments Shadow Diagrams		These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	 
	Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024									

Legend

- Electrical Connection
- Electrical Turret
- Sewer Connection
- Stormwater Connection
- Telstra Connection
- Telstra Pit
- Water Meter
- Water Stop Valve
- Fire Hydrant
- Solar Bollard Light
- Spotlight with sensor

Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a) Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than
  - (i) 25mm over the first 1m from the building
    - (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or
    - (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
  - (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than
  - (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or
  - (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or
  - (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

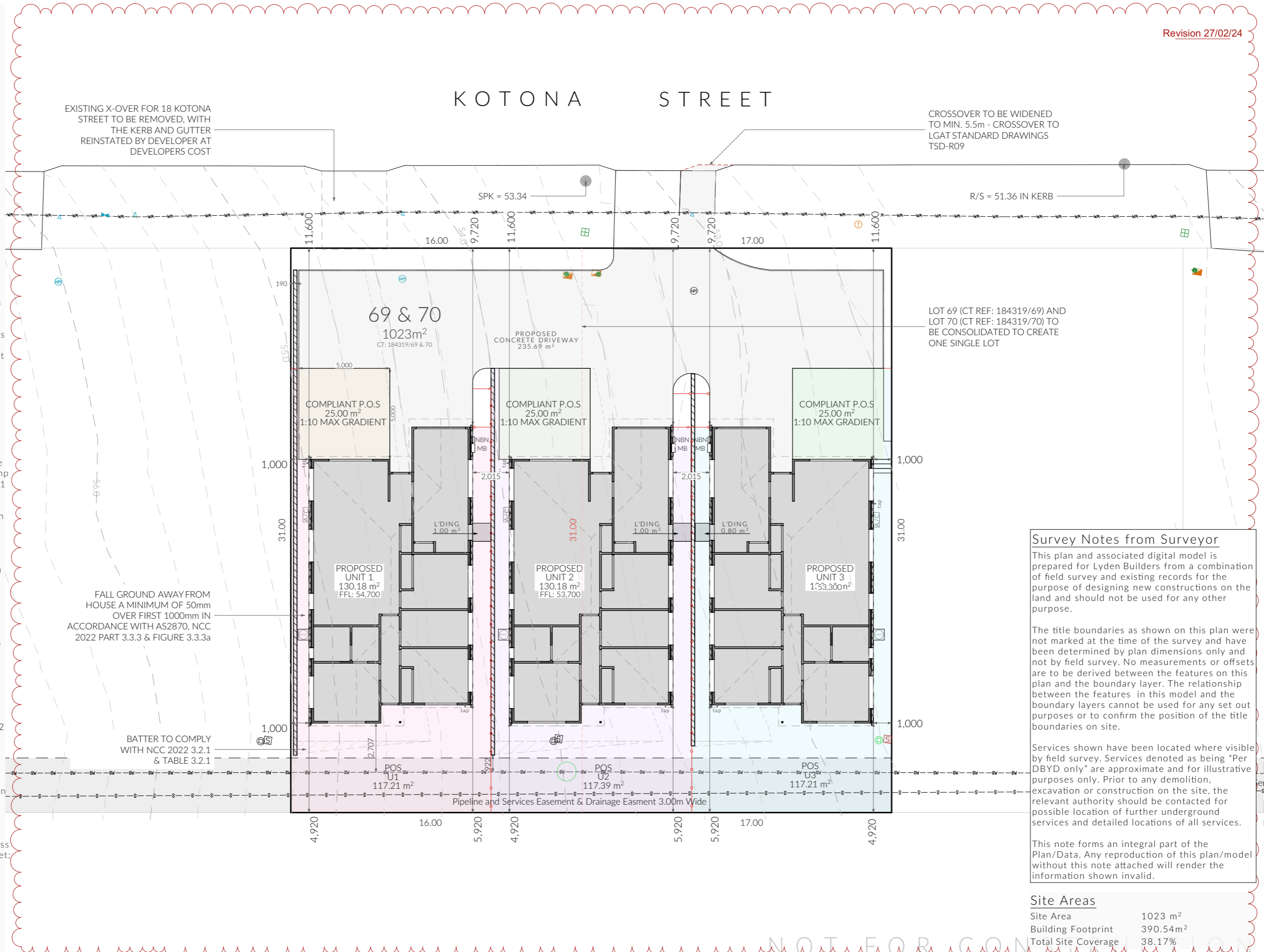
Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with-
  - (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and provision for cleaning and maintenance.

Note

All driveway pits and grate drains to be Class B.

Stormwater pits are indicative. Location may vary depending on site conditions.



Survey Notes from Surveyor

This plan and associated digital model is prepared for Lyden Builders from a combination of field survey and existing records for the purpose of designing new constructions on the land and should not be used for any other purpose.

The title boundaries as shown on this plan were not marked at the time of the survey and have been determined by plan dimensions only and not by field survey. No measurements or offsets are to be derived between the features on this plan and the boundary layer. The relationship between the features in this model and the boundary layers cannot be used for any set out purposes or to confirm the position of the title boundaries on site.

Services shown have been located where visible by field survey. Services denoted as being "Per DBYD only" are approximate and for illustrative purposes only. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services and detailed locations of all services.

This note forms an integral part of the Plan/Data. Any reproduction of this plan/model without this note attached will render the information shown invalid.

Site Areas

Site Area	1023 m <sup>2</sup>
Building Footprint	390.54m <sup>2</sup>
Total Site Coverage	38.17%

**PINNACLE**  
PINNACLE DRAFTING & DESIGN  
7/3 Abernant Way, Cambridge 7170  
03 6248 4218  
admin@pinnacledrafting.com.au  
www.pinnacledrafting.com.au  
Licence: CC6073Y

**Site Plan**  
Revision: DA - 03  
Approved by: JM

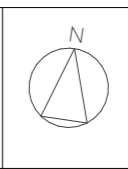
Scale: 1:200 @ A3  
Pg. No: A0.02

Proposal: Unit Development  
Client: S & D Property Co Pty Ltd  
Address: 18 & 20 Kotona St, Rokeyby 7019

Date: 25/01/2023  
Drawn by: JSM/RZ  
Job No: 083-2023  
Engineer: TBA  
Building Surveyor: TBA

Issue Date  
DA 02 27.02.2024  
DA 03 04.03.2024

Description  
Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams



These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.





Site Elevation - North Elevation

1:100



Site Elevation - South Elevation

1:100

**NOTE**

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

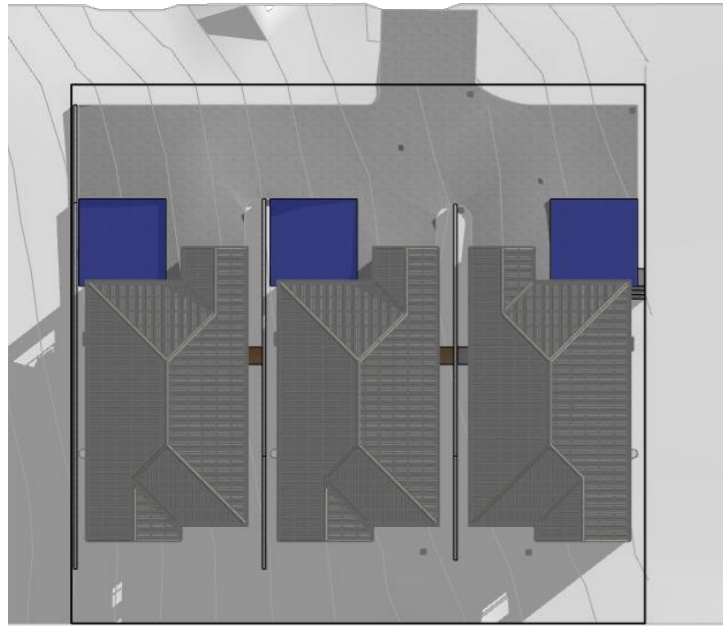
Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

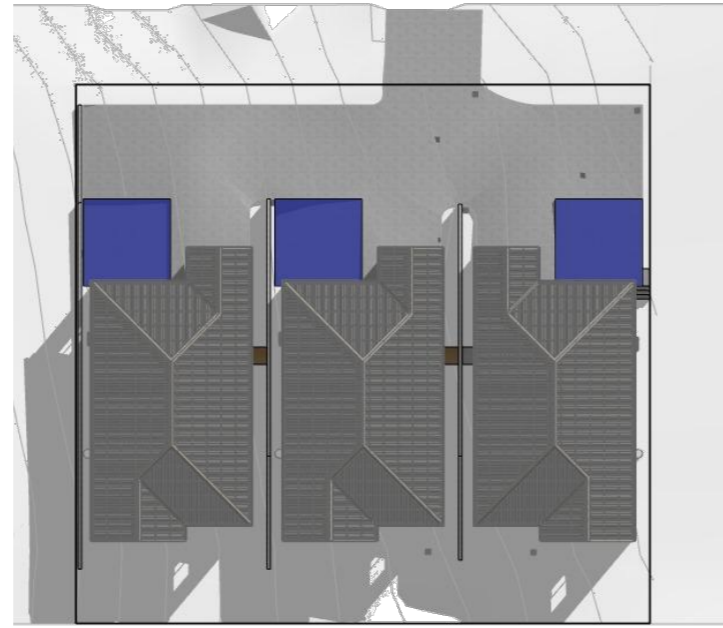
Slope (2R+G): Max 550 - Min 700

NOT FOR CONSTRUCTION

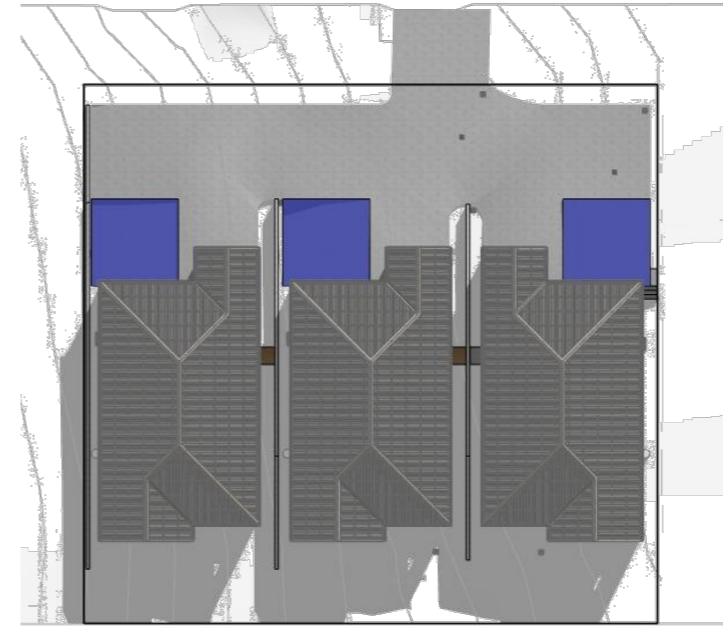
	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Scale: 1:100 @ A3 Pg. No: A0.03	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	Issue Date DA 02 27.02.2024 DA 03 04.03.2024	Description Site Plan, Floor Plans, Landscaping, Parking Amendments Shadow Diagrams	These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	 
	Site Elevations Revision: DA - 03 Approved by: JM							



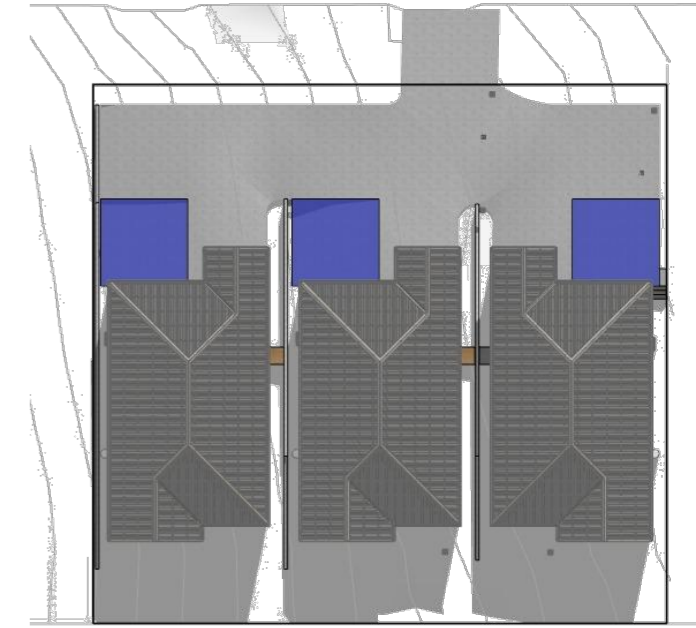
9 a m



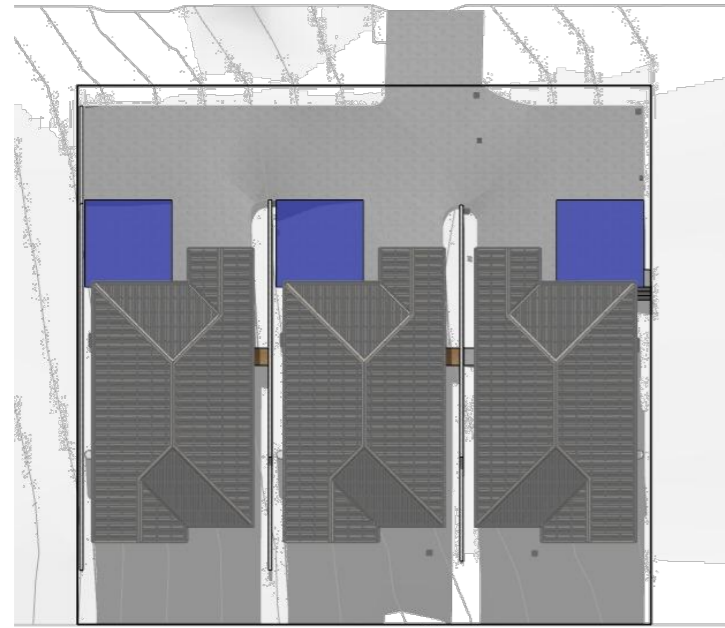
10 a m



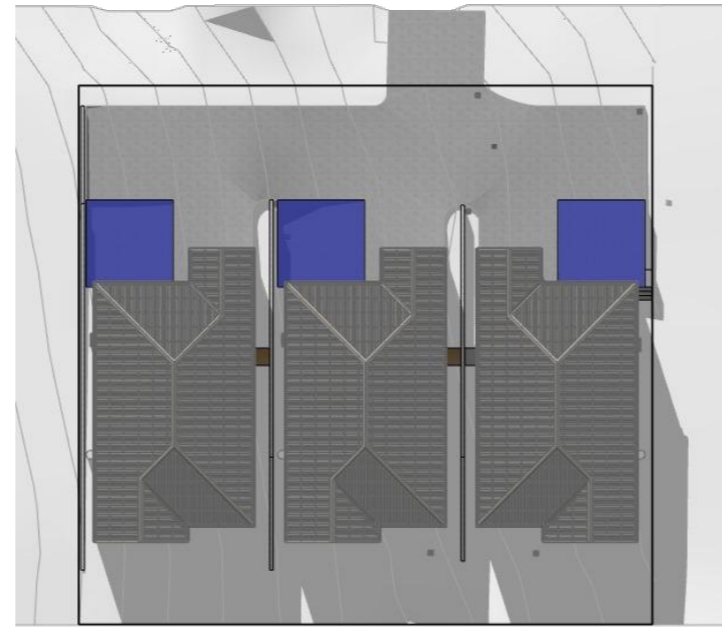
11 a m



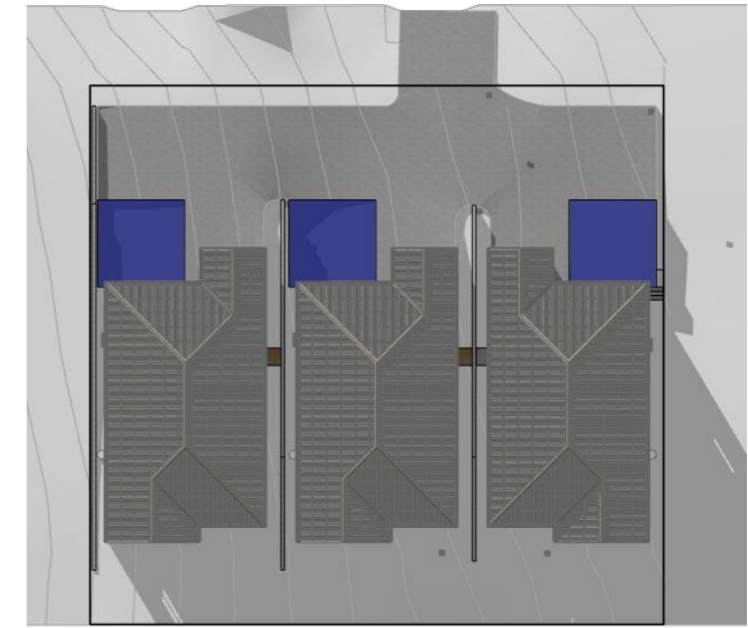
12 p m



1 p m



2 p m



3 p m

NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	Shadow Diagrams, 21st June Revision: DA - 03 Approved by: JM	Scale: @ A3 Pg. No: A0.04	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	<table border="1"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>DA 02</td> <td>27.02.2024</td> <td>Site Plan, Floor Plans, Landscaping, Parking Amendments</td> </tr> <tr> <td>DA 03</td> <td>04.03.2024</td> <td>Shadow Diagrams</td> </tr> </tbody> </table>	Issue	Date	Description	DA 02	27.02.2024	Site Plan, Floor Plans, Landscaping, Parking Amendments	DA 03	04.03.2024	Shadow Diagrams	These drawing are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	 
	Issue	Date	Description														
DA 02	27.02.2024	Site Plan, Floor Plans, Landscaping, Parking Amendments															
DA 03	04.03.2024	Shadow Diagrams															
Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024																	





Access Panel



Articulation Joint



Smoke Alarm

### Construction of sanitary compartments 10.4.2 of NCC 2022

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

### Note: Safe Movement & Egress

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

### Note: Paved Areas

All paths and patios to fall away from dwelling.

### Note: Stair Construction

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

### Heights of rooms & other spaces

#### 10.3.1 of NCC 2022

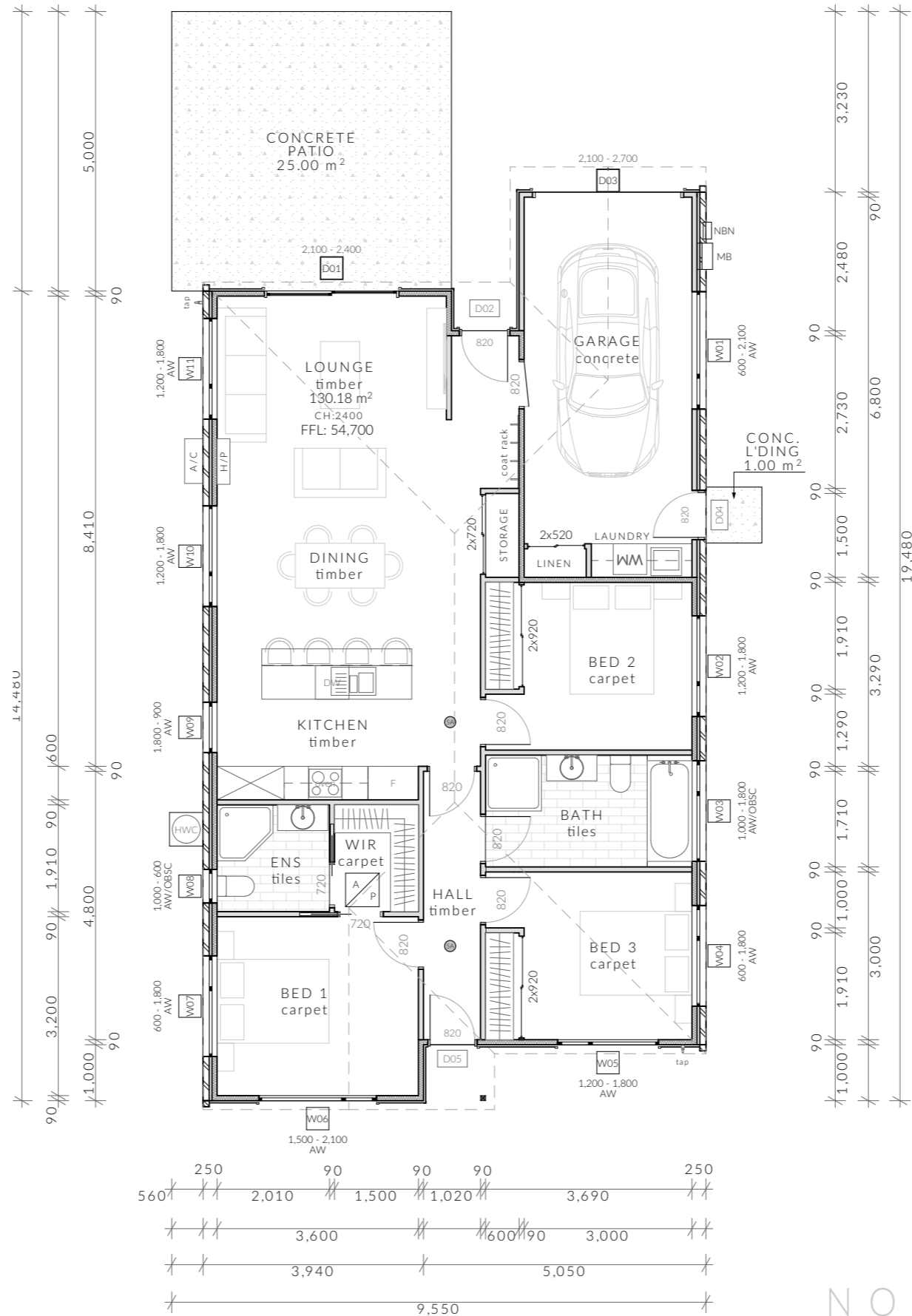
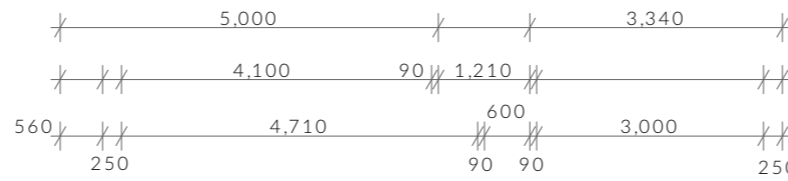
Heights of rooms and other spaces must not be less than;

- (a) in a habitable room excluding a kitchen - 2.4 m; and
- (b) in a kitchen - 2.1 m; and
- (c) in a corridor, passageway or the like - 2.1 m; and
- (d) in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
- (e) in a room or space with a sloping ceiling or projections below the ceiling line within - See NCC directly for these items
- (f) in a stairway, ramp, landing, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact Pinnacle before undertaking works.

### Floor Areas

Total Floor Area	130.18m <sup>2</sup>
Patio	25.00m <sup>2</sup>



Revision 27/02/24

### Important Note

- Glazing to be Reduced- or low-reflectivity glass (0-10% reflectivity) wherever possible. Alternative options are set out in Section 4.2.3 Bird-friendly applications: micro scale of the Minimizing the Swift Parrot Collision Threat where unable to meet the reduced or low-reflectivity glass option.
- Some of these examples are:
  - installing internal screens as close to the glass as possible so as to maximise the noise projected through the window
  - attaching external screens to operable windows; (applicable in bushfire prone areas)
  - attaching exterior decorative grilles, provided the sections are less than 28 cm wide (10 cm/handprint width being optimal);

NOT FOR CONSTRUCTION

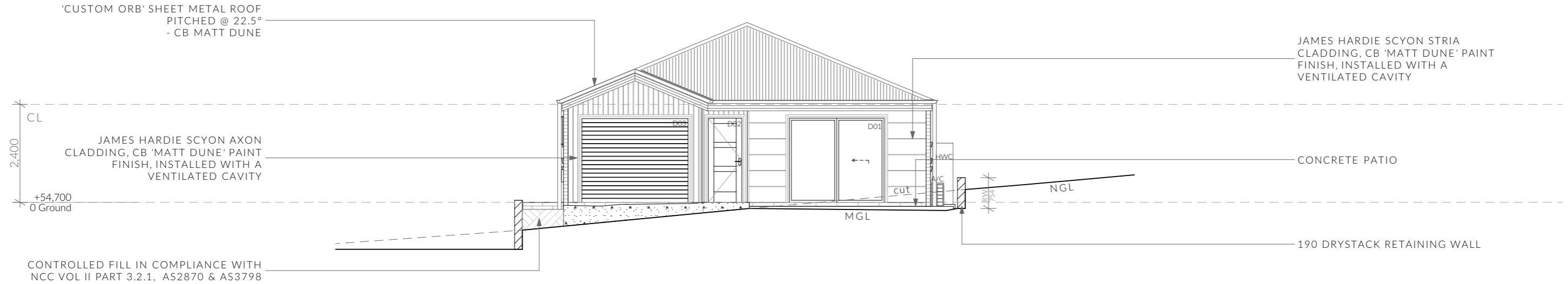
	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	<b>U1 - Floor Plan</b>  Revision: DA - 03 Approved by: JM	Scale: 1:100 @ A3 Pg. No: A1.01	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeyby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	Issue Date DA 02 27.02.2024 DA 03 04.03.2024	Description Site Plan, Floor Plans, Landscaping, Parking Amendments Shadow Diagrams		These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	 
	Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024									

**Important Note**

- Glazing to be Reduced- or low-reflectivity glass (0-10% reflectivity) wherever possible. Alternative options are set out in Section 4.2.3 Bird-friendly applications: micro scale of the Minimizing the Swift Parrot Collision Threat where unable to meet the reduced or low-reflectivity glass option.

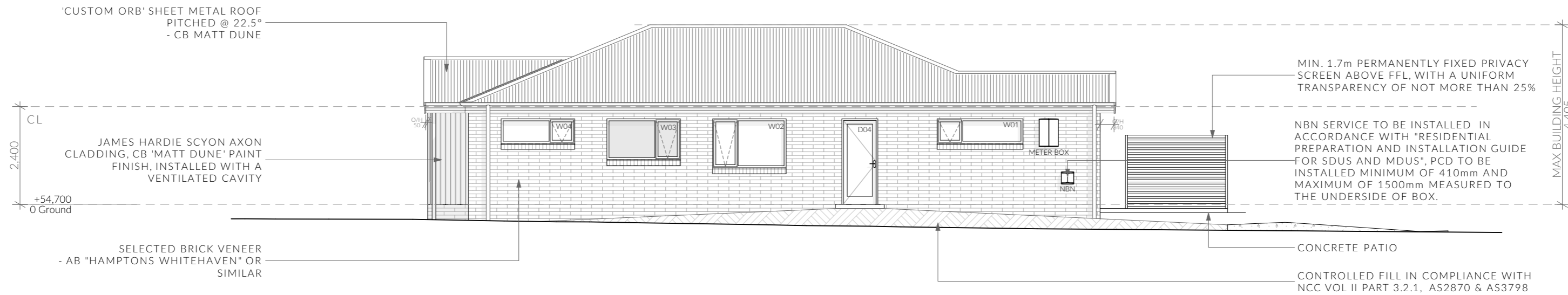
Some of these examples are:

- installing internal screens as close to the glass as possible so as to maximise the noise projected through the window
- attaching external screens to operable windows; (applicable in bushfire prone areas)
- attaching exterior decorative grilles, provided the sections are less than 28 cm wide (10 cm/handprint width being optimal);



U1 - North Elevation

1:100



U1 - East Elevation

1:100

**NOTE**

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

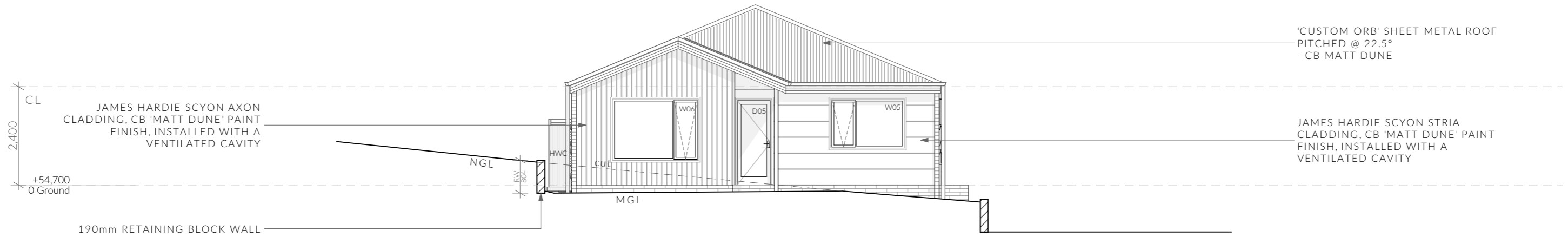
Slope (2R+G): Max 550 - Min 700

NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	U1 - Elevations Scale: 1:100 @ A3 Pg. No: A1.02 Approved by: JM	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	Issue Date: 27.02.2024 Description: Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams	These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.		
	Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024							

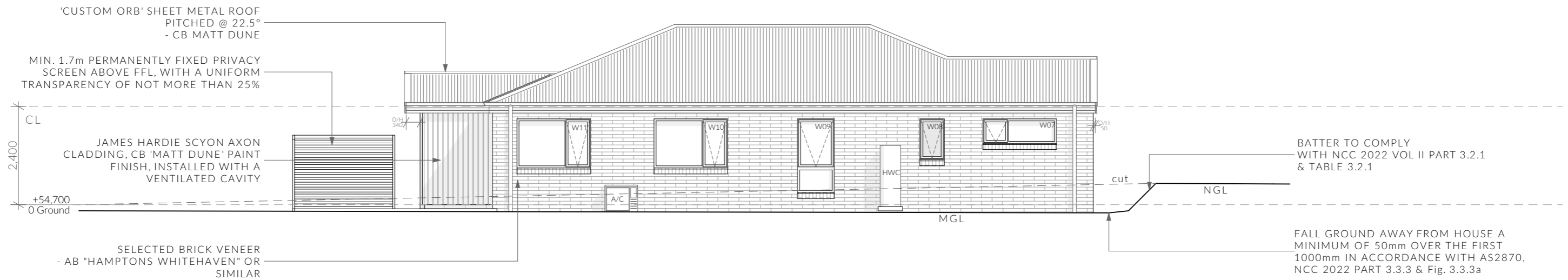
**Important Note**

- Glazing to be Reduced- or low-reflectivity glass (0-10% reflectivity) wherever possible. Alternative options are set out in Section 4.2.3 Bird-friendly applications: micro scale of the Minimizing the Swift Parrot Collision Threat where unable to meet the reduced or low-reflectivity glass option.
- Some of these examples are:
  - installing internal screens as close to the glass as possible so as to maximise the noise projected through the window
  - attaching external screens to operable windows; (applicable in bushfire prone areas)
  - attaching exterior decorative grilles, provided the sections are less than 28 cm wide (10 cm/handprint width being optimal);



U1 - South Elevation

1:100



U1 - West Elevation

1:100

**NOTE**

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

NOT FOR CONSTRUCTION

<p>PINNACLE</p>	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	<b>U1 - Elevations</b>  Revision: DA - 03 Approved by: JM	Scale: 1:100 @ A3  Pg. No: A1.03	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	Issue Date: 27.02.2024 Description: Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams DA 02 04.03.2024	These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	 
	Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024							

Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a) is located-
  - (i) immediately above the primary insulation layer; or
  - (ii) immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or
  - (iii) immediately above ceiling insulation; and
- (b) has a height of not less than 20 mm; and
- (c) is either-
  - (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
  - (ii) located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

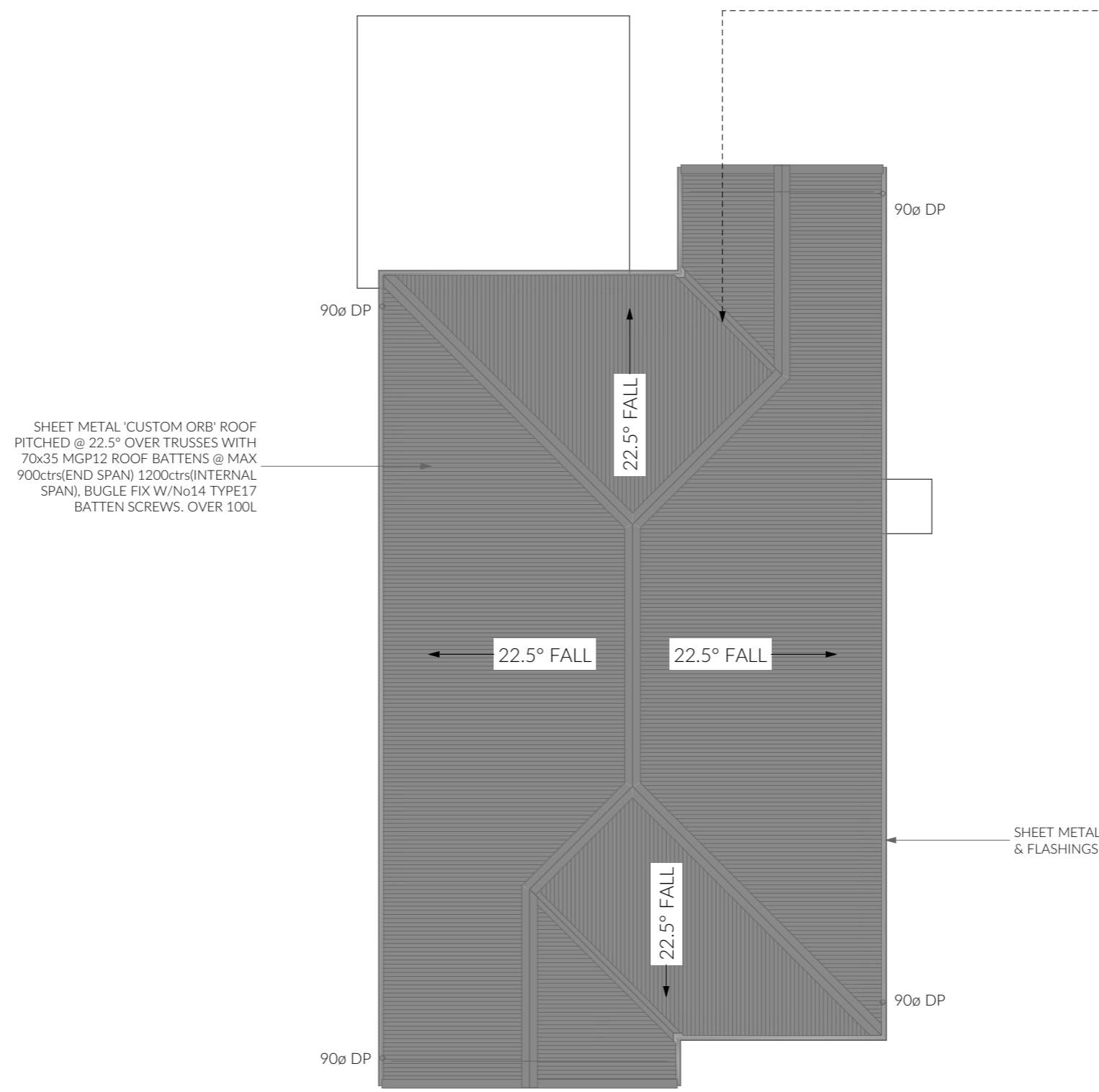
To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a) comply with AS/NZS 2908.2 or ISO 8336; and
- (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
  - (i) 2.8 x 30 mm fibre-cement nails; or
  - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
  - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

ROOF PITCH	VENTILATION OF OPENINGS (TABLE 10.8.3)
<10°	25,000 mm2/m provided at each of two opposing ends
>10° AND <15°	25,000 mm2/m provided at the eaves and 5,000 mm2/m at high level
>15° AND <75°	7,000 mm2/m provided at the eaves and 5,000 mm2/m at high level, plus an additional 18,000 mm2/m at the eaves if the roof has a cathedral ceiling

(1) Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof.  
 (2) For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.



REQUIRED NUMBER OF ROOF VENTS:

ROOF PITCH >15° and <75°  
HIP/GABLE ROOF

REQUIRED VENT AREA

Low Vents = 0.36m<sup>2</sup> (51.38m x 7,000mm<sup>2</sup>)  
 High Vents = 0.06m<sup>2</sup> (11.94m x 5,000mm<sup>2</sup>)

EAVE VENTS

BUILDERS EDGE EAVE VENT (EV4020) FITTED WITH STAINLESS STEEL BUSHFIRE MESH  
 11x 400X200mm(0.035m<sup>2</sup>) VENTS EVENLY SPACED  
 OR  
 25mm CONTINUOUS VENT

RIDGE VENT SYSTEM

RIDGE CAP (Continuous 5mm gap in sarking)  
 1x GABLE VENTS 300x300mm (0.09m<sup>2</sup>)

NOTE: GABLE VENTS SHALL BE INSTALLED WITHIN 900mm OF RIDGE

NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	U1 - Roof Plan Revision: DA - 03 Approved by: JM	Scale: 1:100 @ A3 Pg. No: A1.04	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	Issue Date DA 02 27.02.2024 DA 03 04.03.2024	Description Site Plan, Floor Plans, Landscaping, Parking Amendments Shadow Diagrams		These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	 
	Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024									

ELECTRICAL LEGEND - UNIT 1

Symbol	Description	Allowance	Quantity
▽ <sup>P</sup>	DATA - CAT 6 (RJ45) - 1 GANG		3
▽ <sup>TV</sup>	DATA - TV CONNECTION		3
⊞	FAN - 3 IN 1 (2 LAMP)	10W (LIGHT)	3
⊞	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	3
⊞	FAN - CEILING - EXHAUST		6
⌒	GPO - (1) SINGLE		6
⌒	GPO - (2) DOUBLE		60
⌒	GPO - (2) DOUBLE (WITH COOKTOP ISOLATOR SWITCH)		3
⌒	GPO - WEATHER PROOF DOUBLE		3
⊗ <sub>R</sub>	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	57
—	LIGHT - CEILING - PENDANT - LED STRIP 2000L	20W (LM)	3
—	LIGHT - LED STRIP RECESSED CHANNEL	2W (LM)	6
⊗ <sub>W1</sub>	LIGHT - WALL MOUNTED - TYPE 1	10W	9
⊙	SERVICE - SMOKE ALARM		6
⌒	SWITCH - LIGHT 1 GANG		24
⌒	SWITCH - LIGHT 2 GANG		15
⌒	SWITCH - LIGHT 4 GANG		3

Smoke Alarms Part 9.5 of NCC 2022

Smoke alarms must-  
 (a) be located in-  
 (i) a Class 1a building in accordance with 9.5.2 and 9.5.4; and  
 (ii) a Class 1b building in accordance with 9.5.3 and 9.5.4;  
 and

(b) comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and  
 (c) be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

In a Class 1a building, smoke alarms must be located in-  
 (a) any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and  
 (b) each other storey not containing bedrooms.

Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:  
 (a) Where a smoke alarm is located on the ceiling it must be-  
 (i) a minimum of 300 mm away from the corner junction of the wall and ceiling; and  
 (ii) between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.  
 (b) Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

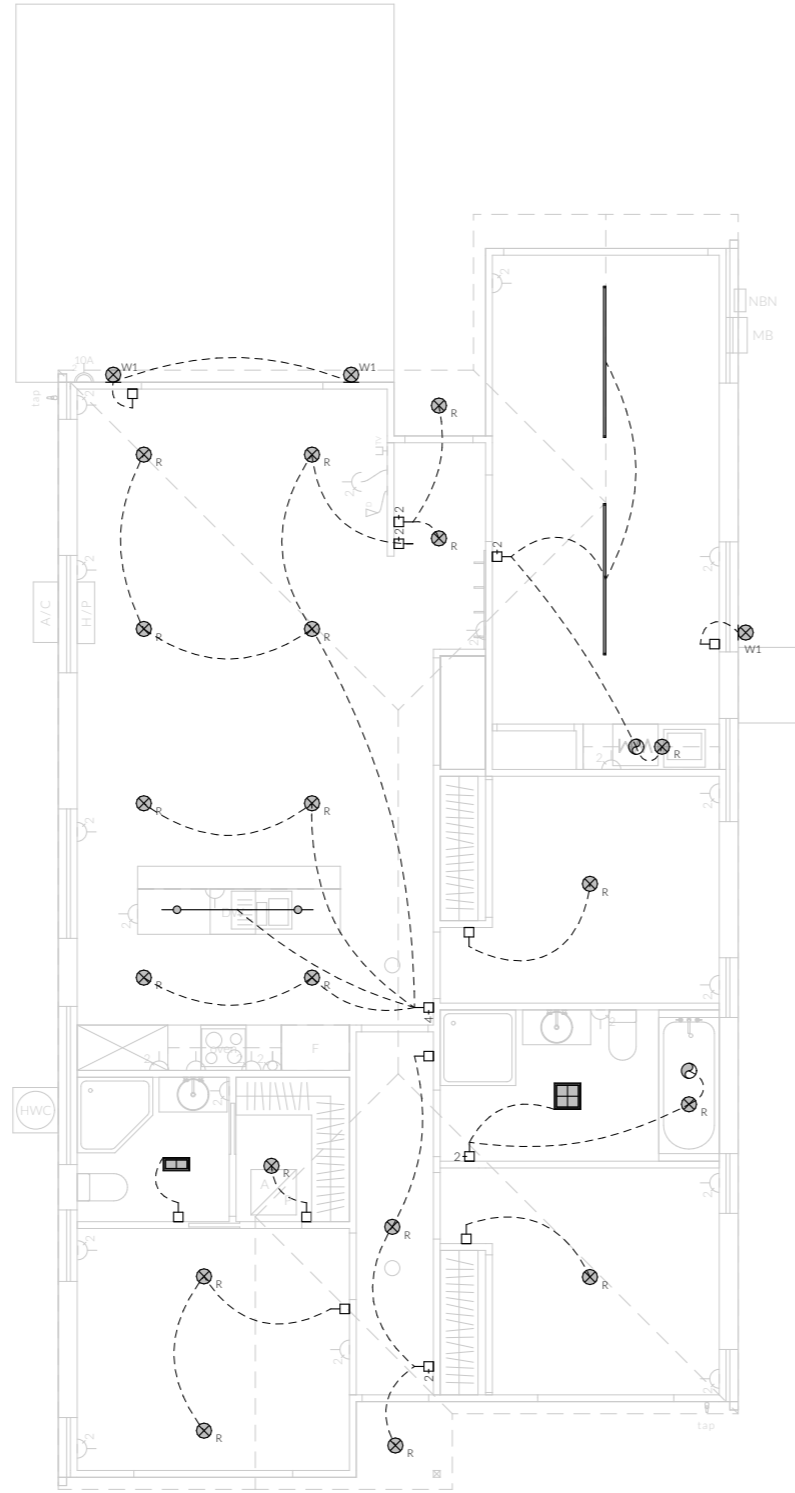
Note: Exhaust Fans

Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have;

- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-  
 (a) 25 L/s for a bathroom or sanitary compartment; and  
 (b) 40 L/s for a kitchen or laundry.
- Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
- Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
- An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-  
 (a) be interlocked with the room's light switch; and  
 (b) include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

Preparation for future Solar Installation:

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space - See electrical plan.

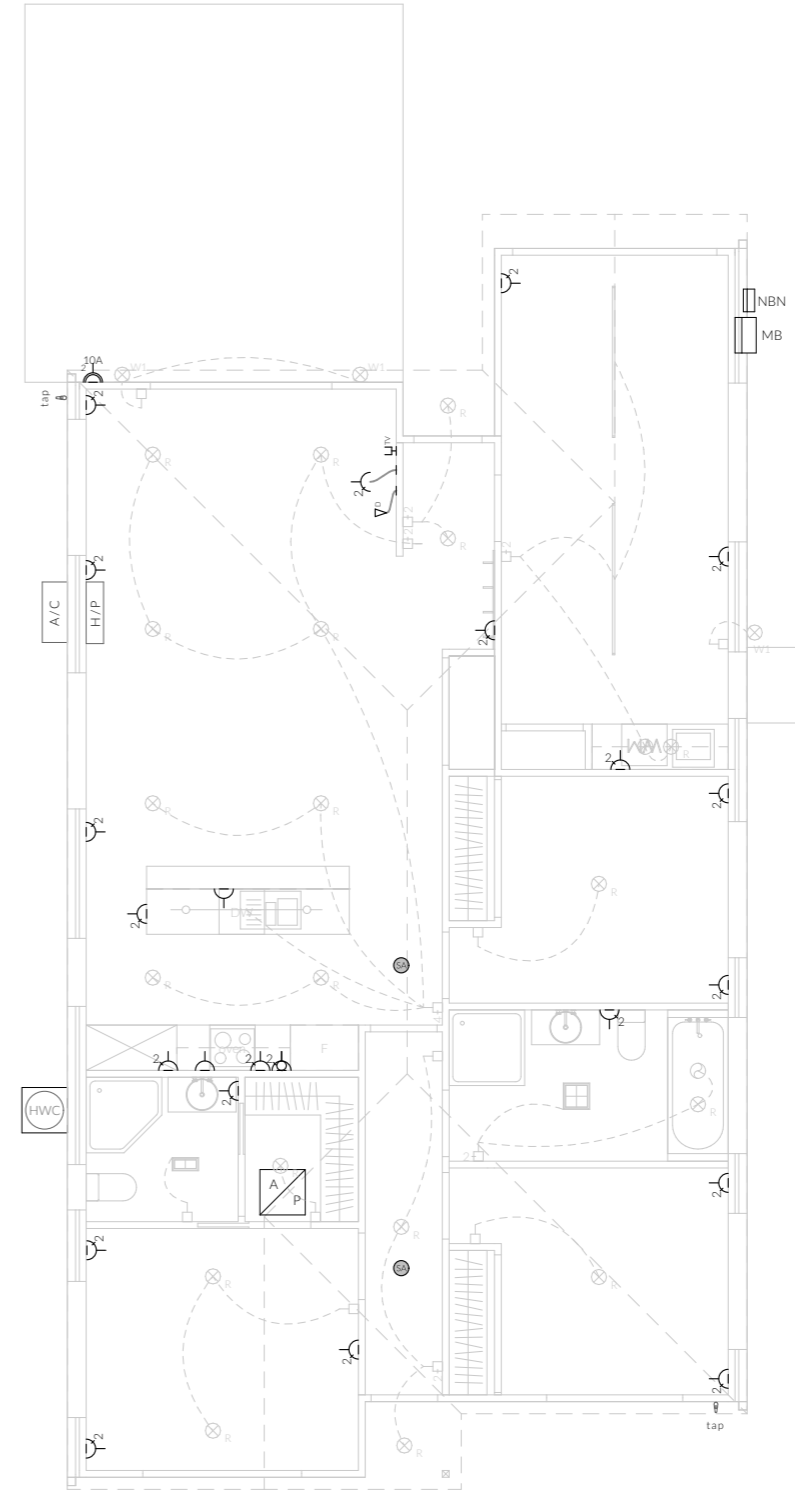


Electrical Plan - Light/Reflected Ceiling

Note: Lighting

Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:  
 5W/m<sup>2</sup> in class 1a dwellings  
 4W/m<sup>2</sup> to veranda, balcony or the like  
 3W/m<sup>2</sup> in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.



Electrical Plan - Power




Notes

U.N.O ceilings are to be plasterboard.

- D---D - Dimmable Circuit
- T---T - Timer Circuit(as fan note)
- PB - Plasterboard
- CS - Cement Sheet Eaves
- PW - Plywood Ceiling
- TB - Timber Batten Ceiling

NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	U1 - Electrical Plan Scale: @ A3 Pg. No: A1.05 Revision: DA - 03 Approved by: JM	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	Issue Date: 27.02.2024 Description: Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams DA 03 04.03.2024	These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	 
	Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024						

-  Access Panel
-  Articulation Joint
-  Smoke Alarm

**Construction of sanitary compartments 10.4.2 of NCC 2022**

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

**Note: Safe Movement & Egress**

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

**Note: Paved Areas**

All paths and patios to fall away from dwelling.

**Note: Stair Construction**

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:  
 Riser: Min 115mm - Max 190mm  
 Going: Min 240mm - Max 355mm  
 Slope (2R+G): Max 550 - Min 700  
 For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

**Heights of rooms & other spaces 10.3.1 of NCC 2022**

Heights of rooms and other spaces must not be less than;

- (a) in a habitable room excluding a kitchen - 2.4 m; and
- (b) in a kitchen - 2.1 m; and
- (c) in a corridor, passageway or the like - 2.1 m; and
- (d) in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
- (e) in a room or space with a sloping ceiling or projections below the ceiling line within - See NCC directly for these items
- (f) in a stairway, ramp, landing, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact Pinnacle before undertaking works.

**Floor Areas**

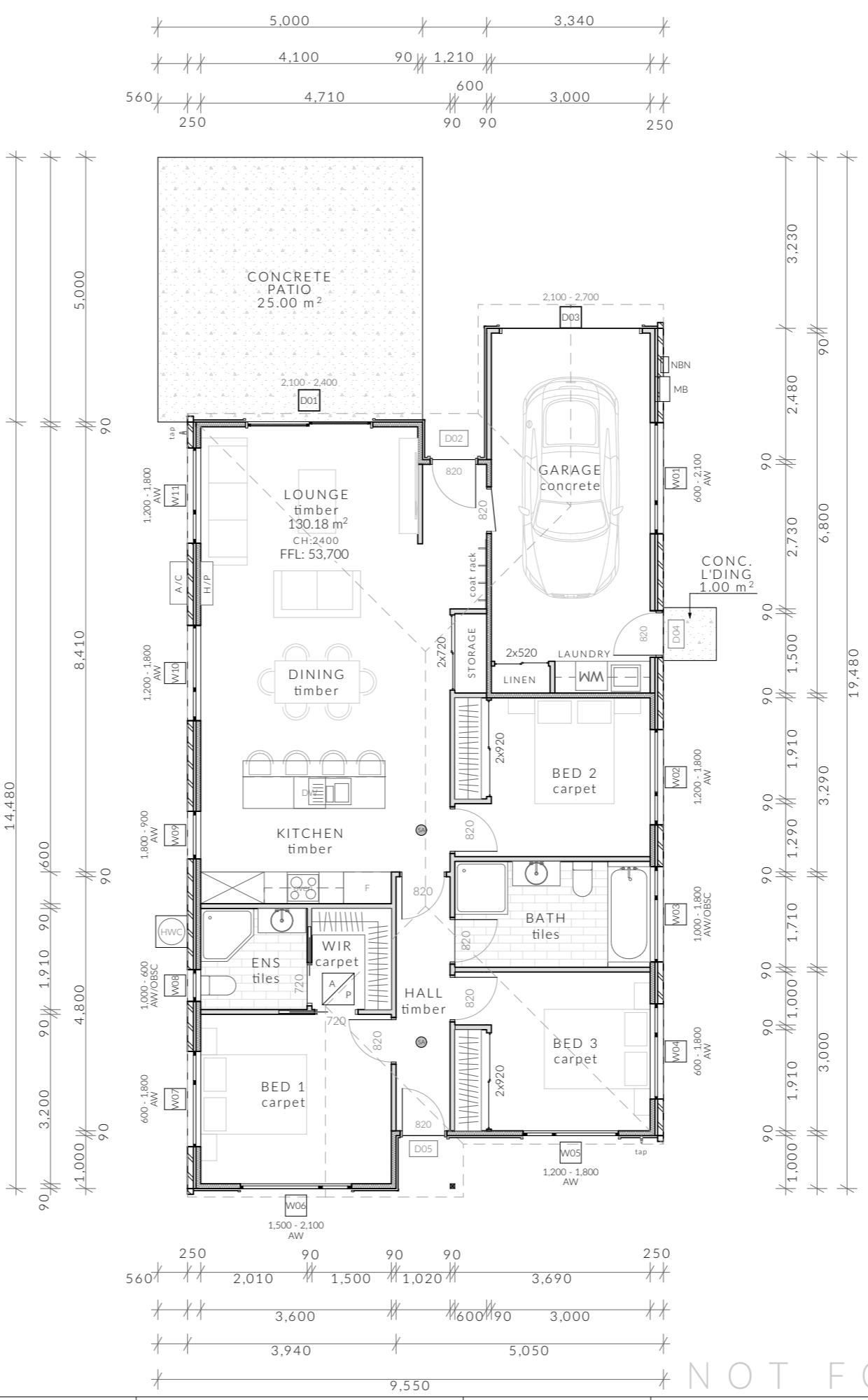
Total Floor Area	130.18m <sup>2</sup>
Patio	25.00m <sup>2</sup>

**Revision 27/02/24**

**Important Note**

- Glazing to be Reduced- or low-reflectivity glass (0-10% reflectivity) wherever possible. Alternative options are set out in Section 4.2.3 Bird-friendly applications: micro scale of the Minimizing the Swift Parrot Collision Threat where unable to meet the reduced or low-reflectivity glass option. Some of these examples are:

- installing internal screens as close to the glass as possible so as to maximise the noise projected through the window
- attaching external screens to operable windows; (applicable in bushfire prone areas)
- attaching exterior decorative grilles, provided the sections are less than 28 cm wide (10 cm/handprint width being optimal);



NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	<b>U2 - Floor Plan</b>  Revision: DA - 03 Approved by: JM	Scale: 1:100 @ A3  Pg. No: A2.01	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>DA 02</td> <td>27.02.2024</td> <td>Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams</td> </tr> <tr> <td>DA 03</td> <td>04.03.2024</td> <td></td> </tr> </tbody> </table>	Issue	Date	Description	DA 02	27.02.2024	Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams	DA 03	04.03.2024			These drawings are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	 
	Issue	Date	Description															
DA 02	27.02.2024	Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams																
DA 03	04.03.2024																	
Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024																		

**Important Note**

- Glazing to be Reduced- or low-reflectivity glass (0-10% reflectivity) wherever possible. Alternative options are set out in Section 4.2.3 Bird-friendly applications: micro scale of the Minimizing the Swift Parrot Collision Threat where unable to meet the reduced or low-reflectivity glass option.
- Some of these examples are:
  - installing internal screens as close to the glass as possible so as to maximise the noise projected through the window
  - attaching external screens to operable windows; (applicable in bushfire prone areas)
  - attaching exterior decorative grilles, provided the sections are less than 28 cm wide (10 cm/handprint width being optimal);



U 2 - North Elevation

1:100



U 2 - East Elevation

1:100

**NOTE**

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

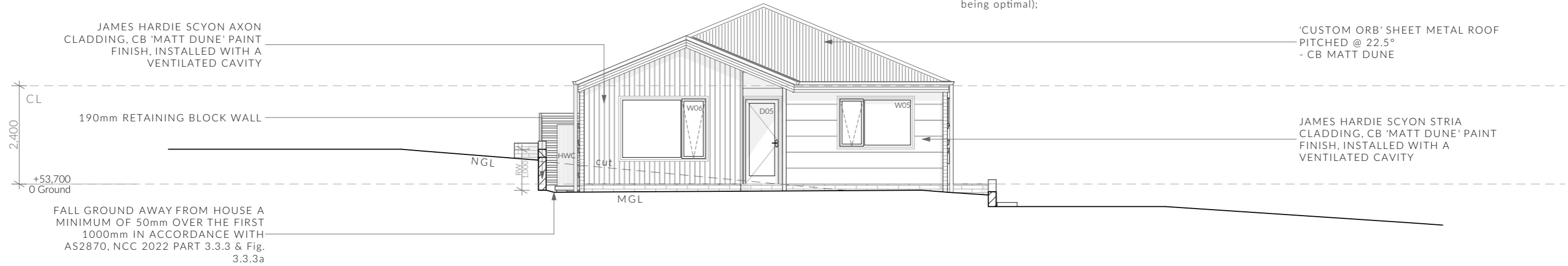
Slope (2R+G): Max 550 - Min 700

NOT FOR CONSTRUCTION

<p><b>PINNACLE</b> PINNACLE DRAFTING &amp; DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y</p>	<p><b>U2 - Elevations</b></p> <p>Revision: DA - 03 Approved by: JM</p>	<p>Scale: 1:100 @ A3 Pg. No: A2.02</p>	<p>Proposal: Unit Development Client: S &amp; D Property Co Pty Ltd Address: 18 &amp; 20 Kotona St, Rokeby 7019</p>	<p>Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA</p>	<p>Issue Date Description DA 02 27.02.2024 Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams DA 03 04.03.2024</p>	<p>These drawing are the property of Pinnacle Drafting &amp; Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING &amp; DESIGN PTY LTD.</p>	
	<p>Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024</p>						

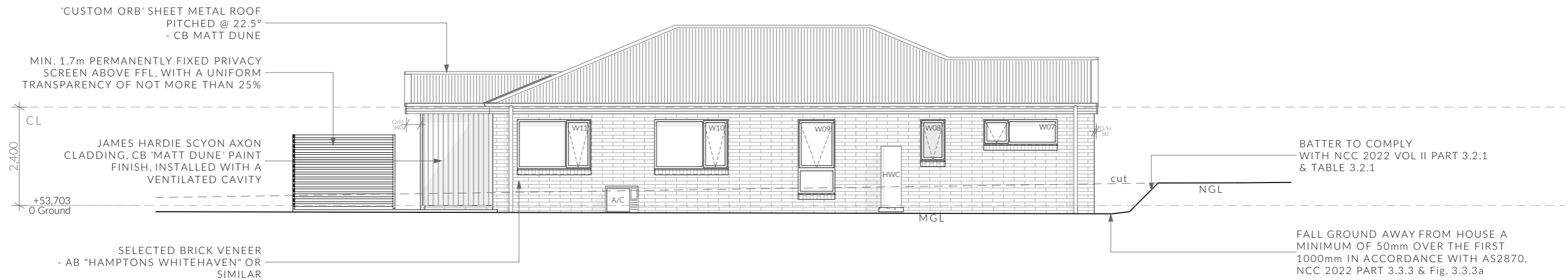
**Important Note**

- Glazing to be Reduced- or low-reflectivity glass (0-10% reflectivity) wherever possible. Alternative options are set out in Section 4.2.3 Bird-friendly applications: micro scale of the Minimizing the Swift Parrot Collision Threat where unable to meet the reduced or low-reflectivity glass option.
- Some of these examples are:
  - installing internal screens as close to the glass as possible so as to maximise the noise projected through the window
  - attaching external screens to operable windows; (applicable in bushfire prone areas)
  - attaching exterior decorative grilles, provided the sections are less than 28 cm wide (10 cm/handprint width being optimal);



U 2 - South Elevation

1:100



U 2 - West Elevation

1:100

**NOTE**

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700




NOT FOR CONSTRUCTION

<p>PINNACLE</p>	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	U2 - Elevations Scale: 1:100 @ A3 Pg. No: A2.03 Approved by: JM	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	Issue Date: 27.02.2024 Description: Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams	These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	
	Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024						







-  Access Panel
-  Articulation Joint
-  Smoke Alarm

**Construction of sanitary compartments 10.4.2 of NCC 2022**

The door to a fully enclosed sanitary compartment must -

- open outwards; or
- slide; or
- be readily removable from the outside of the compartment.

unless there is a clear space of at least 1.2 m, measured in accordance with Figure 10.4.2 of NCC 2022 Vol II, between the closet pan within the sanitary compartment and the doorway.

**Note: Safe Movement & Egress**

Openable windows greater than 4m above the surface below are to be fitted with a device to limit opening or a suitable screen so a 125mm sphere cannot pass through. Except for Bedrooms, where the requirement is for heights above 2m. Refer to clauses 11.3.7 and 11.3.8 of NCC 2022 for further information on suitable protective devices.

**Note: Paved Areas**

All paths and patios to fall away from dwelling.

**Note: Stair Construction**

All stairs to be constructed in accordance with NCC Vol II 2022 Part 11.2.2:  
 Riser: Min 115mm - Max 190mm  
 Going: Min 240mm - Max 355mm  
 Slope (2R+G): Max 550 - Min 700  
 For stairways serving non-habitable room used infrequently, refer to table 11.2.2(b).

Landings to comply with Clause 11.2.5 and be a minimum of 750mm deep measured 500mm from the inside edge of the landing.

Slip resistance of treads, nosings and ramps to comply with Clause 11.2.4.

**Heights of rooms & other spaces 10.3.1 of NCC 2022**

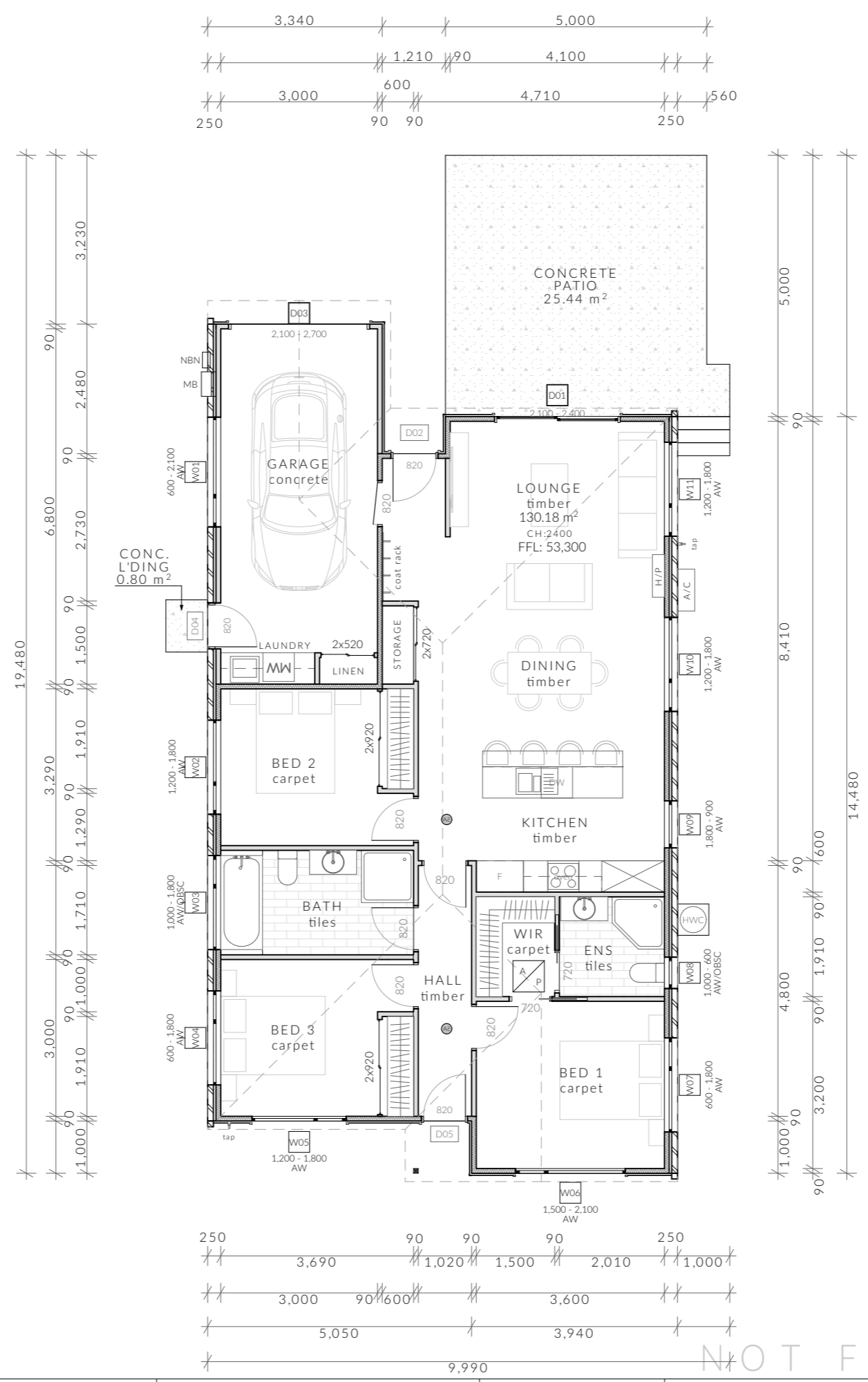
Heights of rooms and other spaces must not be less than;

- (a) in a habitable room excluding a kitchen - 2.4 m; and
- (b) in a kitchen - 2.1 m; and
- (c) in a corridor, passageway or the like - 2.1 m; and
- (d) in a bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like - 2.1 m; and
- (e) in a room or space with a sloping ceiling or projections below the ceiling line within- See NCC directly for these items
- (f) in a stairway, ramp, landing, or the like - 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, landing or the like.

If required onsite, the builder may work within the tolerances of the above as specified within the NCC 2022 Vol II. Builder to contact Pinnacle before undertaking works.

**Floor Areas**

Total Floor Area	130.18m <sup>2</sup>
Patio	25.44m <sup>2</sup>



**Important Note**

- Glazing to be Reduced- or low-reflectivity glass (0-10% reflectivity) wherever possible. Alternative options are set out in Section 4.2.3 Bird-friendly applications: micro scale of the Minimizing the Swift Parrot Collision Threat where unable to meet the reduced or low-reflectivity glass option.

Some of these examples are:

- installing internal screens as close to the glass as possible so as to maximise the noise projected through the window
- attaching external screens to operable windows; (applicable in bushfire prone areas)
- attaching exterior decorative grilles, provided the sections are less than 28 cm wide (10 cm/handprint width being optimal);

Revision 27/02/24

NOT FOR CONSTRUCTION

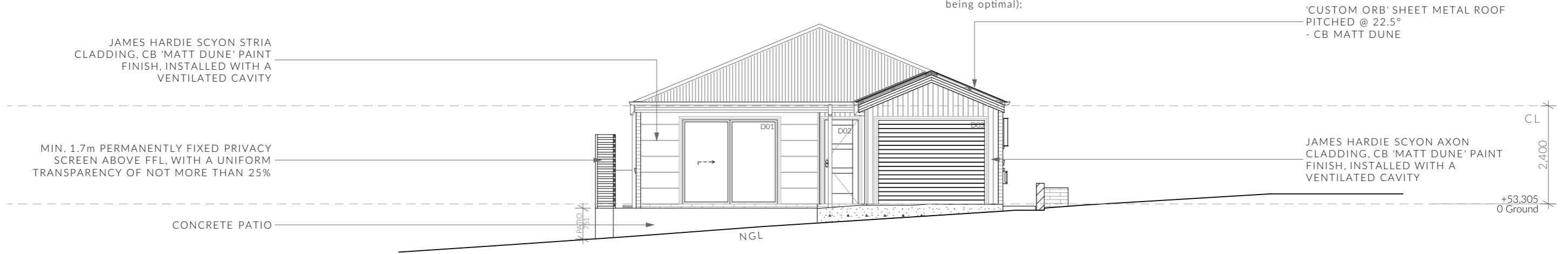
	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	<b>U3 - Floor Plan</b>  Revision: DA - 03 Approved by: JM	Scale: 1:100 @ A3  Pg. No: A2.01	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	Issue Date DA 02 27.02.2024 DA 03 04.03.2024	Description Site Plan, Floor Plans, Landscaping, Parking Amendments Shadow Diagrams		These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	 
	Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024									

**Important Note**

- Glazing to be Reduced- or low-reflectivity glass (0-10% reflectivity) wherever possible. Alternative options are set out in Section 4.2.3 Bird-friendly applications: micro scale of the Minimizing the Swift Parrot Collision Threat where unable to meet the reduced or low-reflectivity glass option.

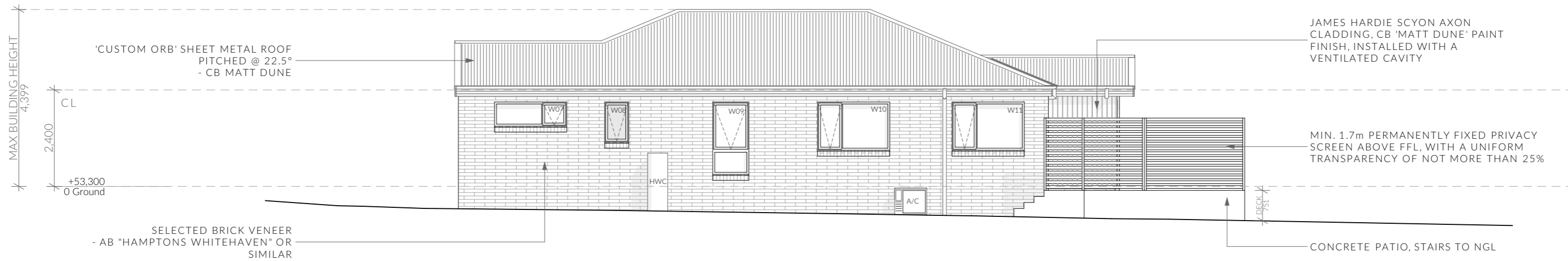
Some of these examples are:

- installing internal screens as close to the glass as possible so as to maximise the noise projected through the window
- attaching external screens to operable windows; (applicable in bushfire prone areas)
- attaching exterior decorative grilles, provided the sections are less than 28 cm wide (10 cm/handprint width being optimal);



U 3 - North Elevation

1:100



U 3 - East Elevation

1:100

**NOTE**

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

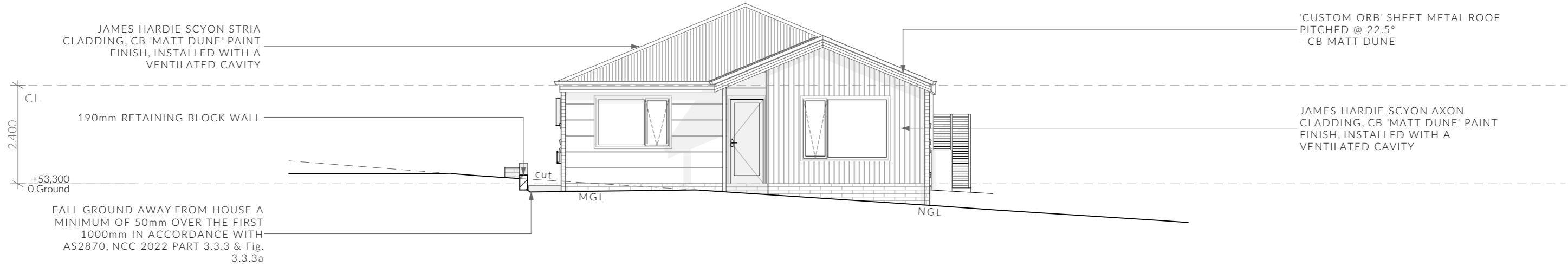
Slope (2R+G): Max 550 - Min 700

NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	<b>U3 - Elevations</b>  Revision: DA - 03 Approved by: JM	Scale: 1:100 @ A3  Pg. No: A2.02	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	Issue Date DA 02 27.02.2024 DA 03 04.03.2024	Description Site Plan, Floor Plans, Landscaping, Parking Amendments Shadow Diagrams	These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	 
	Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024								

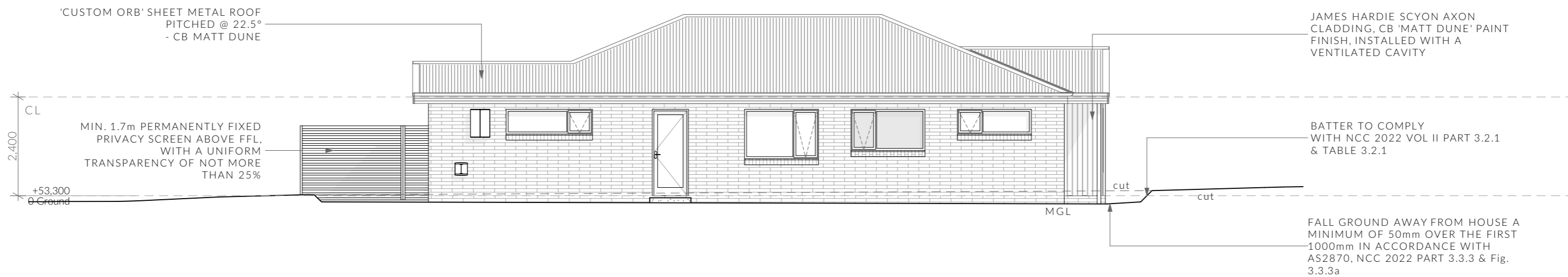
**Important Note**

- Glazing to be Reduced- or low-reflectivity glass (0-10% reflectivity) wherever possible. Alternative options are set out in Section 4.2.3 Bird-friendly applications: micro scale of the Minimizing the Swift Parrot Collision Threat where unable to meet the reduced or low-reflectivity glass option.
- Some of these examples are:
  - installing internal screens as close to the glass as possible so as to maximise the noise projected through the window
  - attaching external screens to operable windows; (applicable in bushfire prone areas)
  - attaching exterior decorative grilles, provided the sections are less than 28 cm wide (10 cm/handprint width being optimal);



U3 - South Elevation

1:100



U3 - West Elevation

1:100

**NOTE**

Clearances between cladding and ground shall comply with Clause 7.5.7 of the NCC 2022 and shall be a minimum clearance of: 100mm in low rainfall intensity areas or sandy, well-drained areas; or 50mm above impermeable areas that slope away from the building; or 150mm in any other case.

Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

U.N.O in builders specifications or located in saline environments or if using a glazed finish brick, brickwork is to be installed in stretcher bond pattern with raked joints.

As per NCC parts 11.3.7 and 11.3.8,

Openable windows greater than 4m above ground level are to be fitted with a device to limit the opening or a suitable screen so a 125mm sphere cannot pass through, and withstand a force of 250N. Except for bedrooms, where the requirement is for heights above 2m.

All stairs to be constructed in accordance with NCC 2022 Vol II Part 11.2.2

Riser: Min 115mm - Max 190mm

Going: Min 240mm - Max 355mm

Slope (2R+G): Max 550 - Min 700

NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	<b>U3 - Elevations</b>  Scale: 1:100 @ A3 Pg. No: A2.03 Approved by: JM	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	Issue Date: 27.02.2024 Description: Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams	These drawings are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	 
	Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024						

Ventilation of roof spaces NCC 2022

Part 10.8.3

A roof must have a roof space that-

- (a) is located-
  - (i) immediately above the primary insulation layer; or
  - (ii) immediately above sarking with a vapour permeance of not less than 1.14 μg/N.s, which is immediately above the primary insulation layer; or
  - (iii) immediately above ceiling insulation; and
- (b) has a height of not less than 20 mm; and
- (c) is either-
  - (i) ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or
  - (ii) located immediately underneath the roof tiles of an unsarked tiled roof.

Stormwater Notes

All gutters, downpipes and rain heads to be designed and installed in compliance with AS3500.3 & NCC 2022 Volume II Part 7.4.

Roofing Cladding

Roof cladding, flashings, cappings, roof sheeting and fixings are to be installed in accordance with NCC 2022 Volume II Part 7.2 for sheet roofing and Part 7.3 for tiled and shingle roofing.

Eaves & Soffit Linings

To comply with NCC 2022 Vol II Part 7.5.5 and where provided, external fibre-cement sheets and linings used as eaves and soffit linings must-

- (a) comply with AS/NZS 2908.2 or ISO 8336; and
- (b) be fixed in accordance with Table 7.5.5 and Figure 7.5.5 using-
  - (i) 2.8 × 30 mm fibre-cement nails; or
  - (ii) No. 8 wafer head screws (for 4.5 mm and 6 mm sheets only); or
  - (iii) No. 8 self embedding head screws (for 6 mm sheets only).

Refer to table 7.5.5 for trimmer and fastener spacings.

ROOF PITCH	VENTILATION OF OPENINGS (TABLE 10.8.3)
<10°	25,000 mm2/m provided at each of two opposing ends
>10° AND <15°	25,000 mm2/m provided at the eaves and 5,000 mm2/m at high level
>15° AND <75°	7,000 mm2/m provided at the eaves and 5,000 mm2/m at high level, plus an additional 18,000 mm2/m at the eaves if the roof has a cathedral ceiling

(1) Ventilation openings are specified as a minimum free open area per metre length of the longest horizontal dimension of the roof.  
 (2) For the purposes of this Table, high level openings are openings provided at the ridge or not more than 900 mm below the ridge or highest point of the roof space, measured vertically.

REQUIRED NUMBER OF ROOF VENTS:

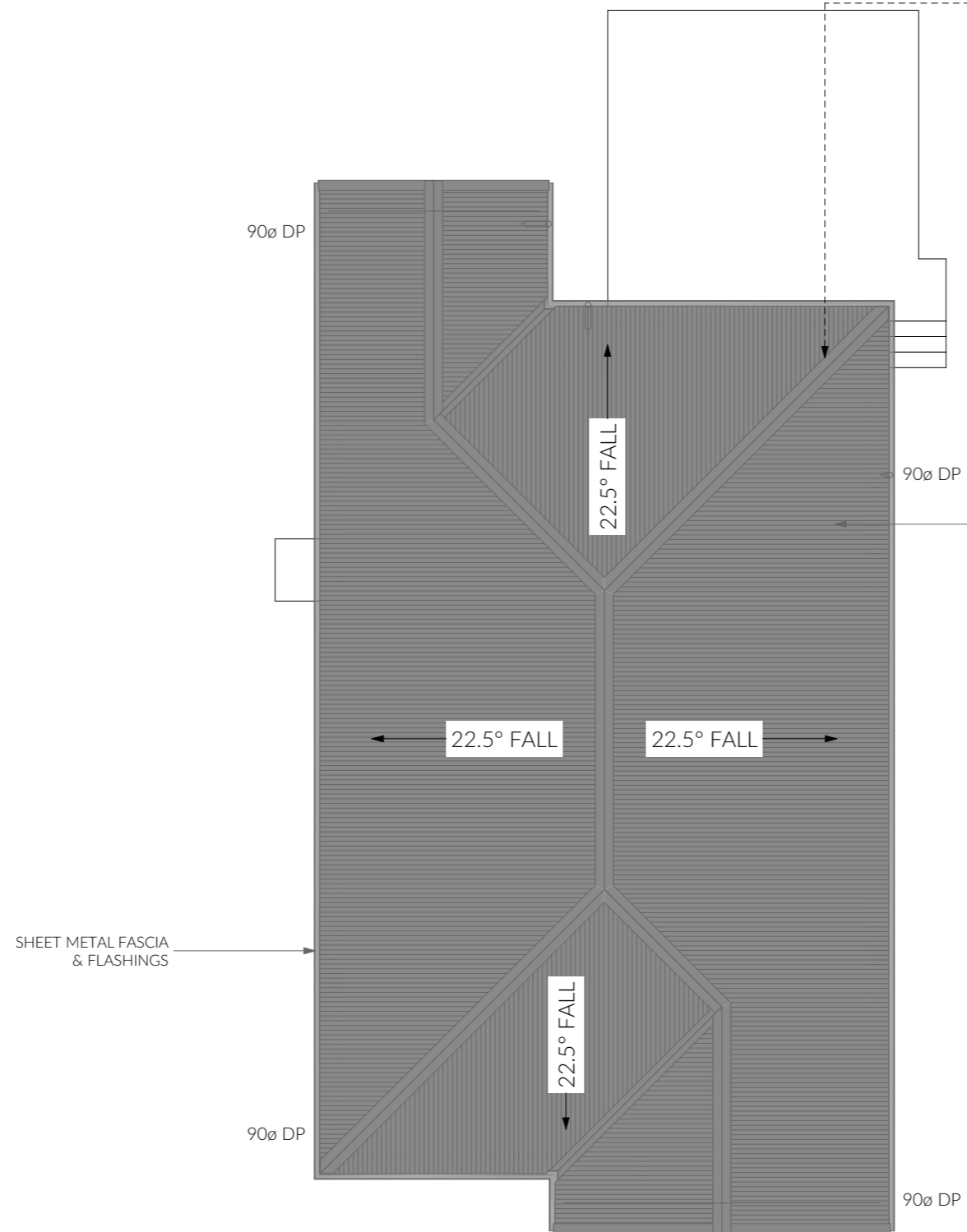
ROOF PITCH >15° and <75°  
HIP/GABLE ROOF

REQUIRED VENT AREA  
 Low Vents = 0.36m<sup>2</sup> (51.38m × 7,000mm<sup>2</sup>)  
 High Vents = 0.06m<sup>2</sup> (11.94m × 5,000mm<sup>2</sup>)

EAVE VENTS  
 BUILDERS EDGE EAVE VENT (EV4020) FITTED WITH STAINLESS STEEL BUSHFIRE MESH  
 11x 400X200mm(0.035m<sup>2</sup>) VENTS EVENLY SPACED  
 OR  
 25mm CONTINUOUS VENT

RIDGE VENT SYSTEM  
 RIDGE CAP (Continuous 5mm gap in sarking)  
 1x GABLE VENTS 300x300mm (0.09m<sup>2</sup>)

NOTE: GABLE VENTS SHALL BE INSTALLED WITHIN 900mm OF RIDGE



NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	U3 - Roof Plan Revision: DA - 03 Approved by: JM	Scale: 1:100 @ A3 Pg. No: A2.04	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	Issue Date: 27.02.2024 Description: Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams DA 03 04.03.2024		These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	 
	Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024								

ELECTRICAL LEGEND - UNIT 3

Symbol	Description	Allowance	Quantity
▽	DATA - CAT 6 (RJ45) - 1 GANG		3
▽	DATA - TV CONNECTION		3
⊞	FAN - 3 IN 1 (2 LAMP)	10W (LIGHT)	3
⊞	FAN - 3 IN 1 (4 LAMP)	10W (LIGHT)	3
⊞	FAN - CEILING - EXHAUST		6
⊞	GPO - (1) SINGLE		6
⊞	GPO - (2) DOUBLE		60
⊞	GPO - (2) DOUBLE (WITH COOKTOP ISOLATOR SWITCH)		3
⊞	GPO - WEATHER PROOF DOUBLE		3
⊞	LIGHT - CEILING - DOWNLIGHT RECESSED	10W	57
⊞	LIGHT - CEILING - PENDANT - LED STRIP 2000L	20W (LM)	3
⊞	LIGHT - LED STRIP RECESSED CHANNEL	2W (LM)	6
⊞	LIGHT - WALL MOUNTED - TYPE 1	10W	9
⊞	SERVICE - SMOKE ALARM		6
⊞	SWITCH - LIGHT 1 GANG		24
⊞	SWITCH - LIGHT 2 GANG		15
⊞	SWITCH - LIGHT 4 GANG		3

Smoke Alarms Part 9.5 of NCC 2022

Smoke alarms must-  
 (a) be located in-  
 (i) a Class 1a building in accordance with 9.5.2 and 9.5.4; and  
 (ii) a Class 1b building in accordance with 9.5.3 and 9.5.4;  
 and

(b) comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and  
 (c) be powered from the consumer mains source where a consumer mains source is supplied to the building; and be interconnected where there is more than one alarm.

In a Class 1a building, smoke alarms must be located in-  
 (a) any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no corridor or hallway, in an area between the bedrooms and the remainder of the building; and  
 (b) each other storey not containing bedrooms.

Smoke alarms required by 9.5.2 and 9.5.3 must be installed on or near the ceiling, in accordance with the following:  
 (a) Where a smoke alarm is located on the ceiling it must be-  
 (i) a minimum of 300 mm away from the corner junction of the wall and ceiling; and  
 (ii) between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.  
 (b) Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

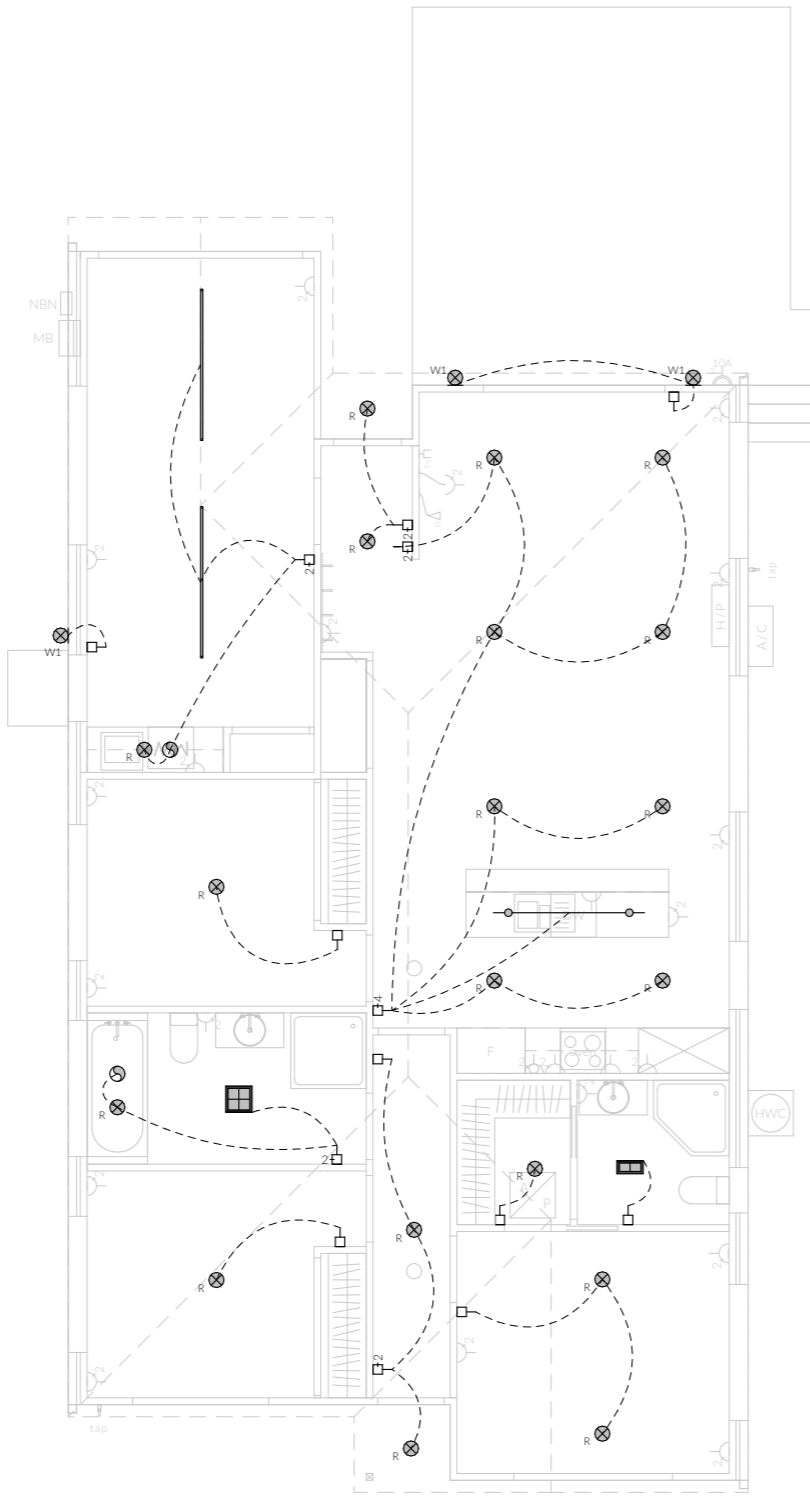
Note: Exhaust Fans

Exhaust fans to comply with NCC 2022 Vol 2 Part 10.8.2 and have;

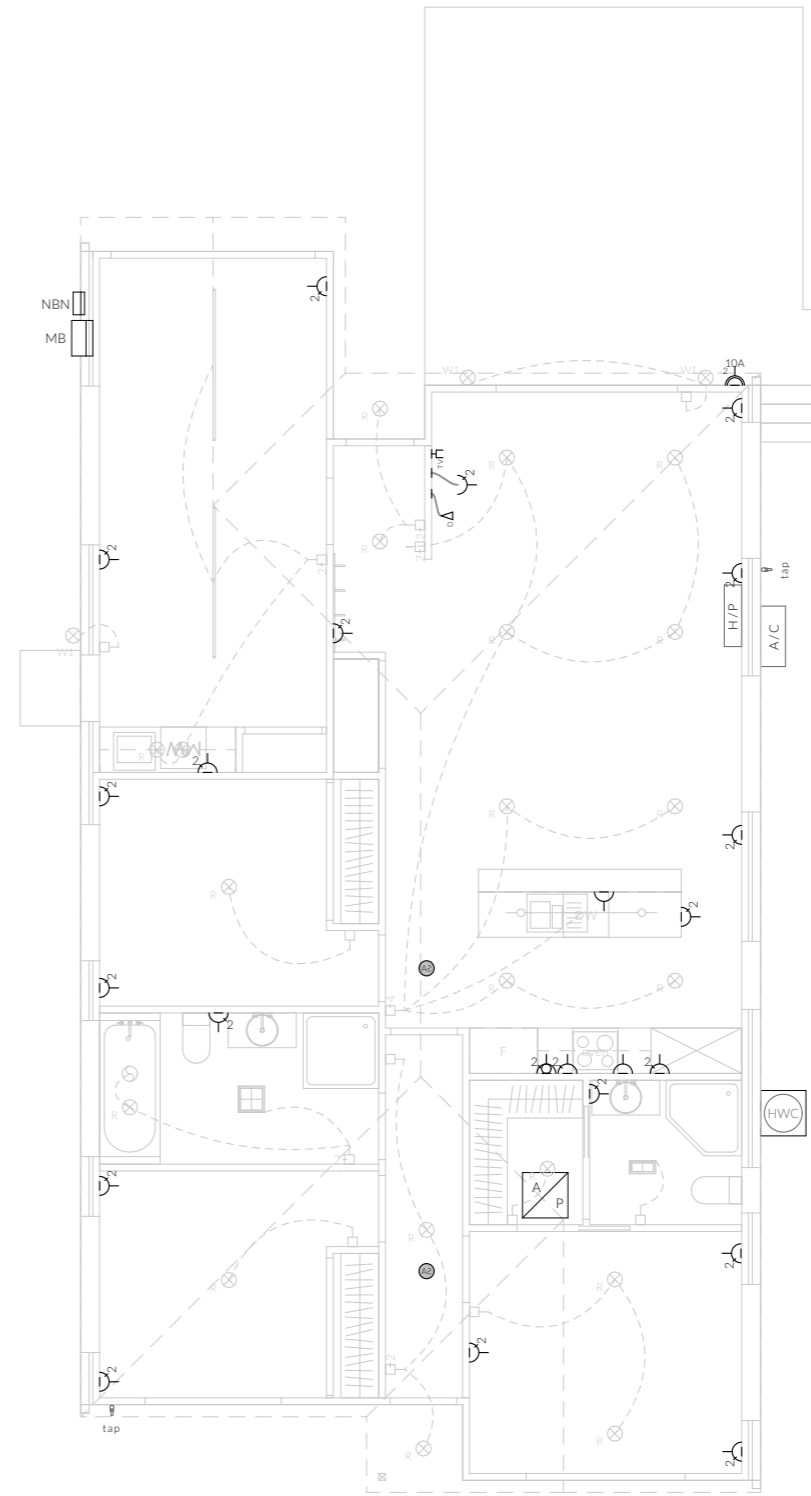
- An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of-  
 (a) 25 L/s for a bathroom or sanitary compartment; and  
 (b) 40 L/s for a kitchen or laundry.
- Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.
- Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.
- An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must-  
 (a) be interlocked with the room's light switch; and  
 (b) include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

Preparation for future Solar Installation:

Should the solar design be required for future installation, 2/25mm solarflex (or similar) conduits marked "solar" are to be installed from the meter box to the roof space - See electrical plan.



Electrical Plan - Light/Reflected Ceiling



Electrical Plan - Power

Note: Lighting

Lighting layout may change, owner to confirm with builder prior to purchase/installation of exact quantity and location of electrical services provided that installation is compliant with AS3000 and artificial lighting allowances do not exceed:  
 5W/m<sup>2</sup> in class 1a dwellings  
 4W/m<sup>2</sup> to veranda, balcony or the like  
 3W/m<sup>2</sup> in a class 10a dwelling associated with the class 1a dwelling

U.N.O - All downlights are to be Insulation Contact (IC) rated.

Notes

U.N.O ceilings are to be plasterboard.

- D-----D - Dimmable Circuit
- T-----T - Timer Circuit(as fan note)
- PB - Plasterboard
- CS - Cement Sheet Eaves
- PW - Plywood Ceiling
- TB - Timber Batten Ceiling

NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	U3 - Electrical Plan Scale: @ A3 Pg. No: A2.05 Approved by: JM	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	Issue Date: 27.02.2024 Description: Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams	These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	 
	Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024						

### Surface Water Drainage

Ground to fall away from building in all directions in compliance with AS2870 & N.C.C 2022 3.3.3.

Surface water must be diverted away from a Class 1 building as follows:

- (a) Slab-on-ground - finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than (i) 25mm over the first 1m from the building (A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or claypaving); or (B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1 (2) or (4)(c) of the ABCB Standard for Livable Housing Design; or (ii) 50 mm over the first 1 m from the building in any other case.
- (b) Slab-on-ground - finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than (i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or (ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or (iii) 150 mm in any other case.
- (c) The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.

### Subsoil Drainage

is to comply with AS2870, AS3500 & N.C.C 2022 3.3.4.

Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must-

- (a) be graded with a uniform fall of not less than 1:300; and
- (b) discharge into an external silt pit or sump with-
  - (i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet; and
  - (ii) provision for cleaning and maintenance.

### Note

All driveway pits and grate drains to be Class B.

Stormwater pits are indicative. Location may vary depending on site conditions.

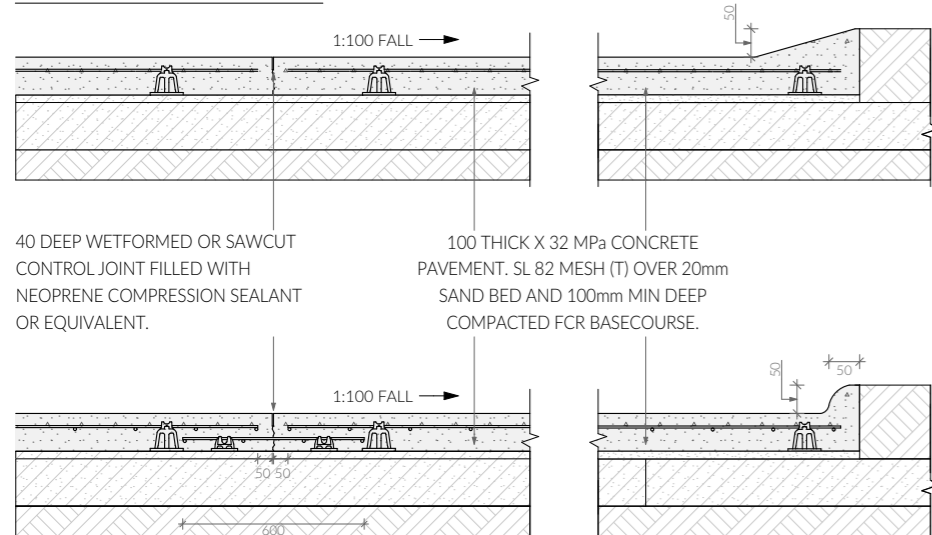
### Legend

- SW — Stormwater Line
- AG — Ag Drain
- ⊕ - Stormwater Connection
- ⊗ - Class A 300mm Stormwater Pit
- ⊗ - Class B 450mm Stormwater Pit
- ▬ - 100mm wide trafficable grate drain

### General Notes

1. Remove all topsoil and organic matter from beneath concrete driveway areas and provide 100mm deep compacted FCR basecourse layer.
2. Concrete strength shall be 32 mpa min.
3. Provide control joints at 6.0 m centres-refer detail.
4. Compact concrete using mechanical vibrators.
5. Cure all exposed concrete surfaces by keeping moist for 7 days. i.e cover with plastic sheets.
6. Connect new service connections into existing. Liaise with council's plumbing surveyor for location of existing connections.
7. All new and/or altered service connections shall be undertaken by council at the developer's expense.
8. Provide 100Ø agricultural drains at base of cut and connect to stormwater at lowest point
9. Driveway to be min 100mm thick 32mpa concrete with sl82 @ 40mm cover over 100mm compacted FCR. Provide deep tooled joints or sawcut joints @ max. 4m crs.
10. Driveway to be sloped to integrated kerb and gutter system on low side of driveway
11. Rainwater pipes to be PVC or Colorbond finish metal.
12. Driveway sawcuts to be installed at approx. 4m centres with expansion joints at 8-12m centres.

### TYPICAL PAVEMENT DETAIL



EXISTING X-OVER FOR 18 KOTONA STREET TO BE REMOVED, WITH THE KERB AND GUTTER REINSTATED BY DEVELOPER AT DEVELOPERS COST



CROSSOVER TO BE WIDENED TO MIN. 5.5m - CROSSOVER TO LGAT STANDARD DRAWINGS TSD-R09

50mm KERB & GUTTER

STORMWATER LINE @ 1:100 TO E: STORMWATER CONNECTION, WC PLUMBER

EXISTING STORMWATER CONNECTION  
RL: 52.82  
INV: 51.20

NOT FOR CONSTRUCTION

**PINNACLE**

PINNACLE DRAFTING & DESIGN  
7/3 Abernant Way, Cambridge 7170  
03 6248 4218  
admin@pinnacledrafting.com.au  
www.pinnacledrafting.com.au  
Licence: CC6073Y

Civil Plan

Revision: DA - 03  
Approved by: JM

Scale: 1:200 @ A3  
Pg. No: C.01

Proposal: Unit Development  
Client: S & D Property Co Pty Ltd  
Address: 18 & 20 Kotona St, Rokeby 7019

Date: 25/01/2023  
Drawn by: JSM/RZ  
Job No: 083-2023  
Engineer: TBA  
Building Surveyor: TBA

Issue Date  
DA 02 27.02.2024  
DA 03 04.03.2024

Description  
Site Plan, Floor Plans,  
Landscaping, Parking Amendments  
Shadow Diagrams



These drawings are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.



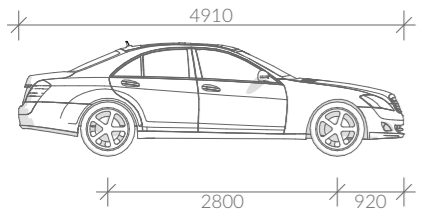


# Vehicle Movement Notes

- Movement templates demonstrate the ability of vehicles to enter intersection in a forwards direction and leave in a forwards direction.

- The base dimensions of the vehicle template represent the B85 (85th Percentile) Vehicle

- The swept path of the vehicle represent the outer extents of the vehicle.



### B85 Vehicle Dimensions

- Width: 1870
- Track: 1770
- L-L Time: 6.0
- Turning Radius: 5800

**Parking Space requirements**  
As defined by the Parking and Sustainable Transport Code - Table C2.3

**Parking Dimensions - 90°**

Width:	2600	2800	3000	3200
Length:	5400	5400	5400	5400
Aisle Width:	6400	5800	5200	4800

**Parking Dimensions - 45°**

Width:	2600
Length:	5400
Aisle Width:	3500

**Parking Dimensions - Parallel**

Width:	2300
Length:	6700
Aisle Width:	3600

### Legend

- - Solar Bollard Lighting
- ▽ - Spotlight with Sensor

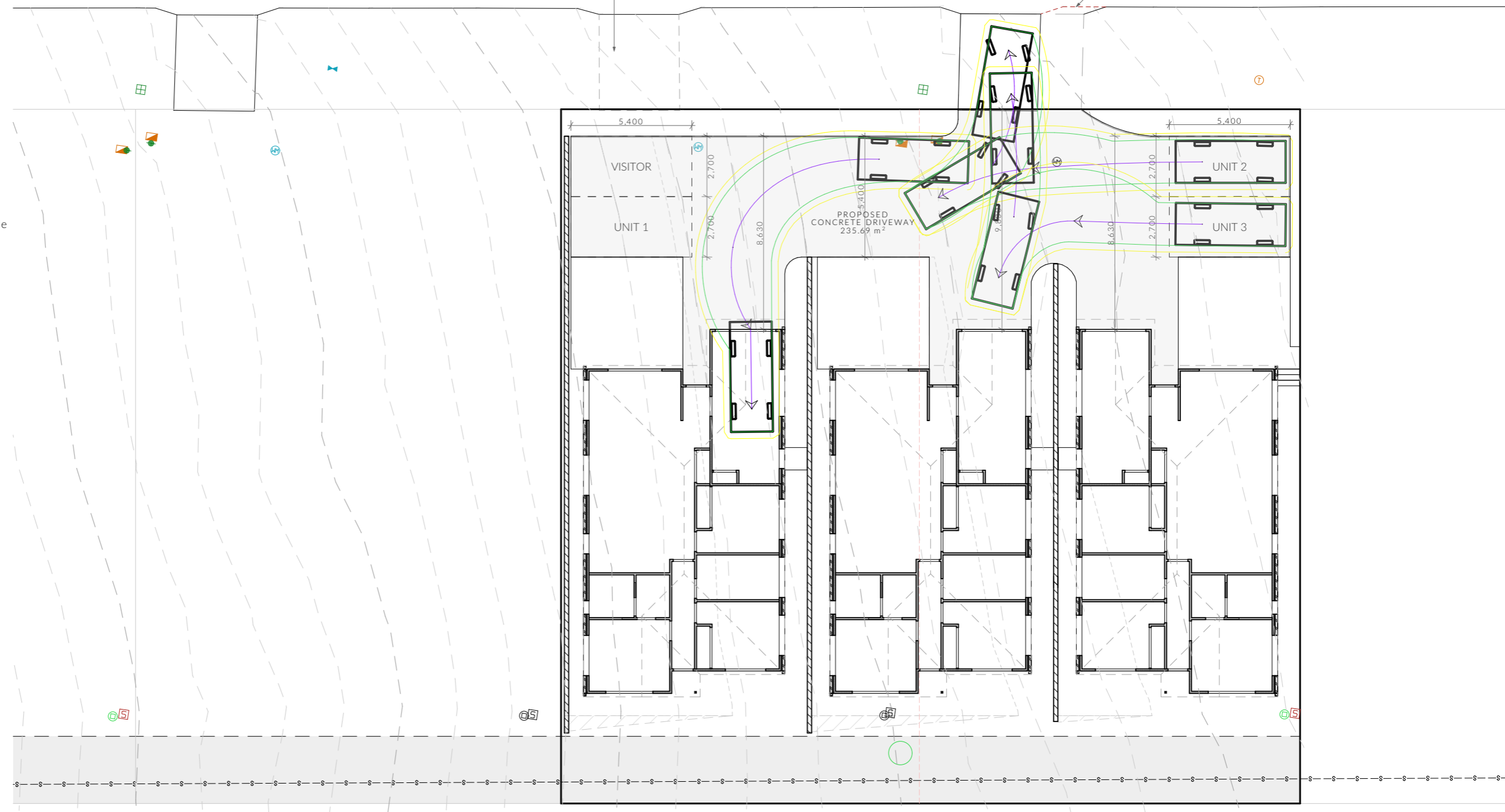
### Turning Path Legend

- - LINE OF BODY
- - 300mm BODY CLEARANCE
- ← - DIRECTION OF TRAVEL

EXISTING X-OVER FOR 18 KOTONA STREET TO BE REMOVED, WITH THE KERB AND GUTTER REINSTATED BY DEVELOPER AT DEVELOPERS COST

# KOTONA STREET

CROSSOVER TO BE WIDENED TO MIN. 5.5m - CROSSOVER TO LGAT STANDARD DRAWINGS TSD-R09



NOT FOR CONSTRUCTION

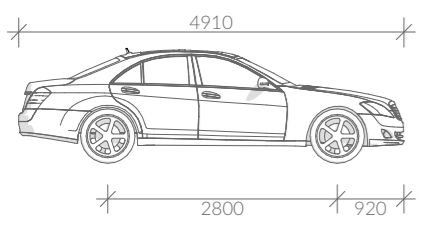
	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	<b>Parking</b>  Revision: DA - 03 Approved by: JM	Scale: 1:200 @ A3 Pg. No: C.02	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	<table border="1"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>DA 02</td> <td>27.02.2024</td> <td>Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams</td> </tr> <tr> <td>DA 03</td> <td>04.03.2024</td> <td></td> </tr> </tbody> </table>	Issue	Date	Description	DA 02	27.02.2024	Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams	DA 03	04.03.2024			These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	 
	Issue	Date	Description															
DA 02	27.02.2024	Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams																
DA 03	04.03.2024																	
Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024																		

**Vehicle Movement Notes**

- Movement templates demonstrate the ability of vehicles to enter intersection in a forwards direction and leave in a forwards direction.

- The base dimensions of the vehicle template represent the B85 (85th Percentile) Vehicle

- The swept path of the vehicle represent the outer extents of the vehicle.



**B85 Vehicle Dimensions**

- Width: 1870
- Track: 1770
- L-L Time: 6.0
- Turning Radius: 5800

**Parking Space requirements**  
As defined by the Parking and Sustainable Transport Code - Table C2.3

**Parking Dimensions - 90°**

Width:	2600	2800	3000	3200
Length:	5400	5400	5400	5400
Aisle Width:	6400	5800	5200	4800

**Parking Dimensions - 45°**

Width:	2600
Length:	5400
Aisle Width:	3500

**Parking Dimensions - Parallel**

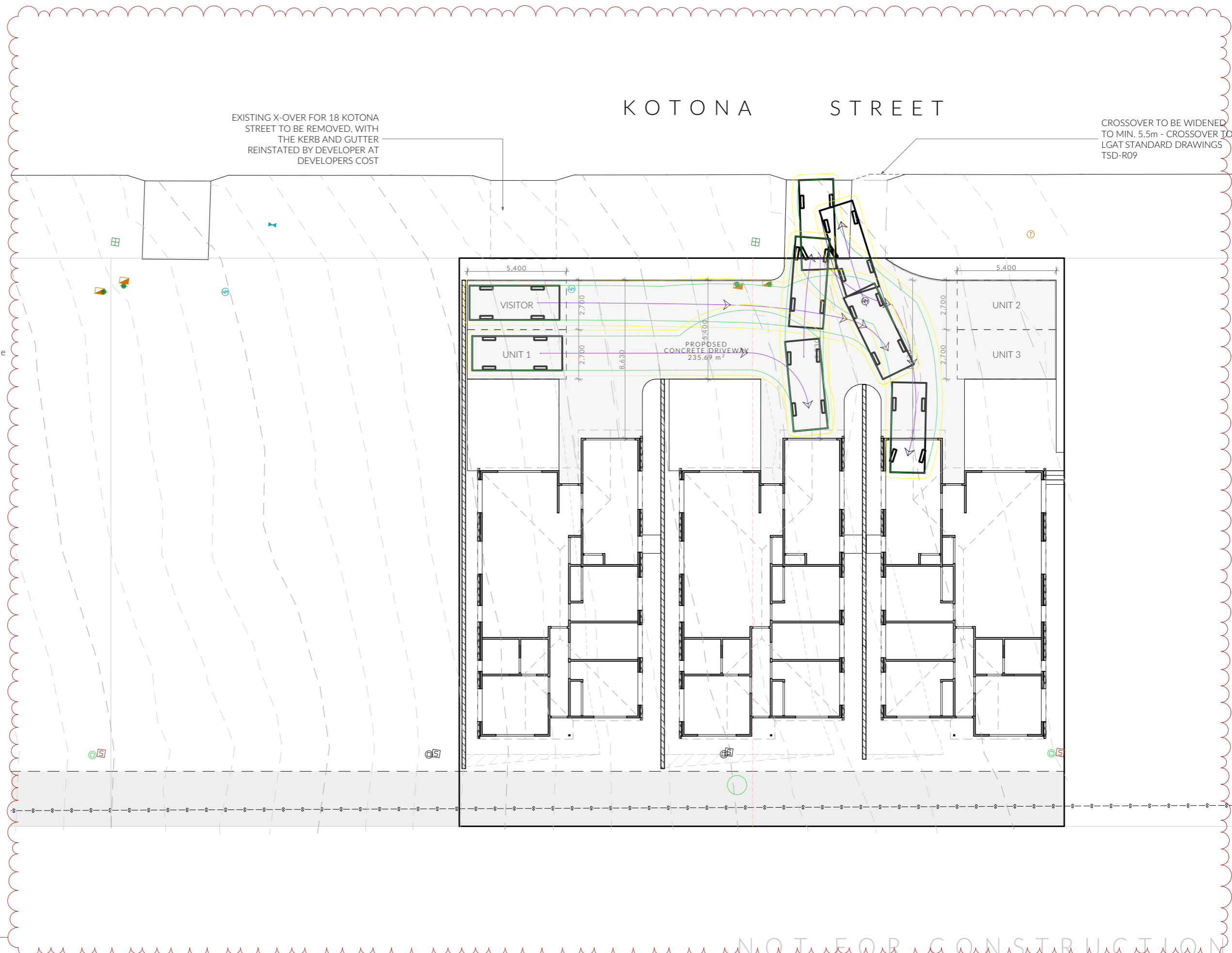
Width:	2300
Length:	6700
Aisle Width:	3600

**Legend**

- - Solar Bollard Lighting
- ▽ - Spotlight with Sensor

**Turning Path Legend**

- - LINE OF BODY
- - 300mm BODY CLEARANCE
- ← - DIRECTION OF TRAVEL





















Revision 27/02/24

NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	<b>Parking</b>  Revision: DA - 03 Approved by: JM	Scale: 1:200 @ A3 Pg. No: C.03	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	<table border="1"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>DA 02</td> <td>27.02.2024</td> <td>Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams</td> </tr> <tr> <td>DA 03</td> <td>04.03.2024</td> <td></td> </tr> </tbody> </table>	Issue	Date	Description	DA 02	27.02.2024	Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams	DA 03	04.03.2024			These drawing are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	 
	Issue	Date	Description															
DA 02	27.02.2024	Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams																
DA 03	04.03.2024																	
Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024																		

**Legend**

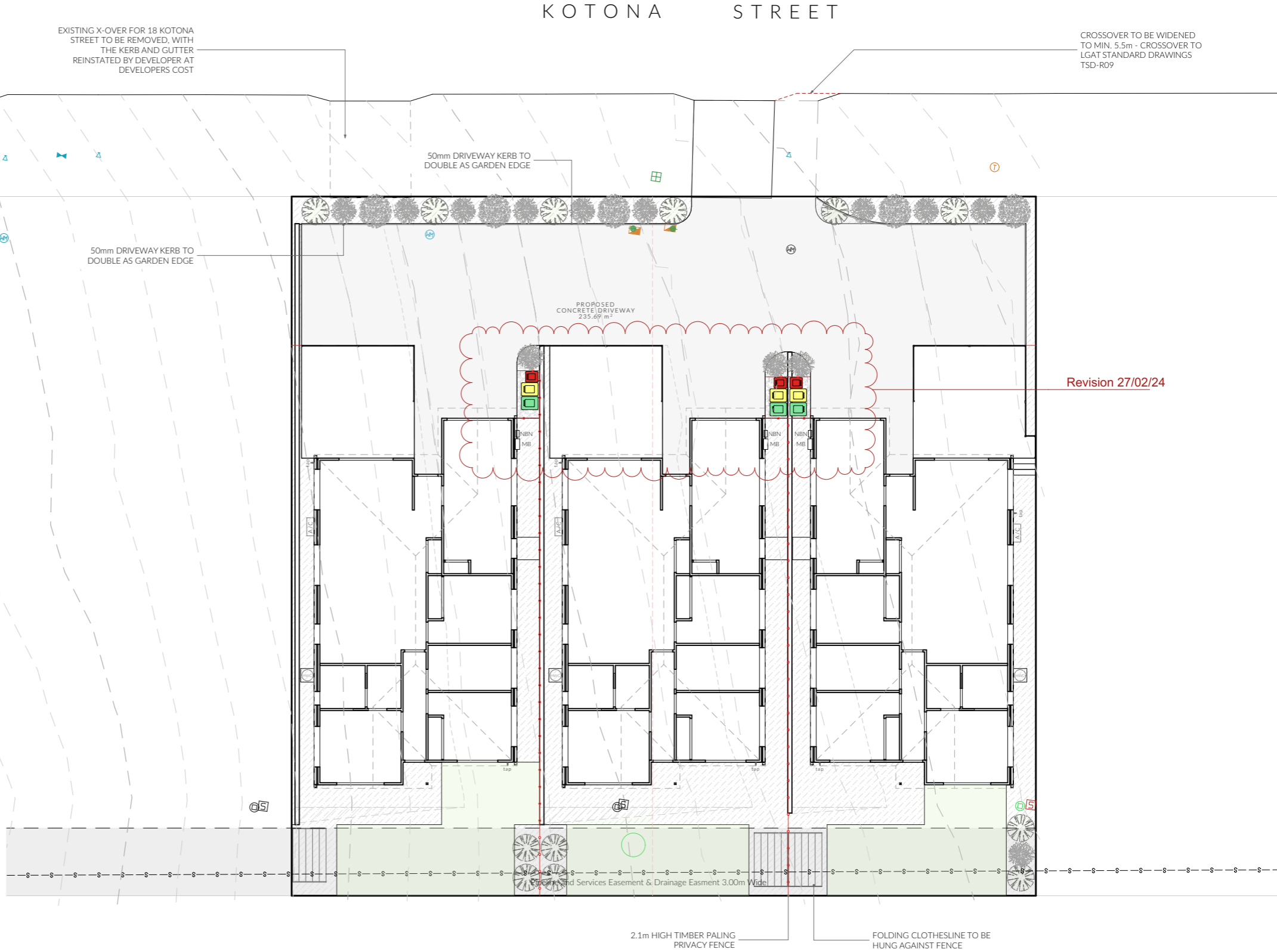
-  - General Waste Bin
-  - Recycling Bin
-  - Green Waste Bin
-  - Clothesline
-  - Air Conditioner unit
-  - Meter Box
-  - Hot Water Cylinder
-  - 1.8m to 2.1m Paling Fence
-  - 1.7m high Timber Screen
-  - 1.2m Timber Fence
-  - Solar Bollard Lighting
-  - Spotlight with Sensor
-  - Seeded Lawn
-  - Mulched Garden Bed
-  - Gravel Area - Fine
-  - Decorative Pebble
-  - Water
-  - Paving

**Note**  
Refer to Planting Schedule & Details page for plant information.



\*ONLY USE FOR 3 OR MORE UNITS\*

As defined by the Parking and Sustainable Transport Code	
minimum 3 + 1 visitor parking	2 plus 1 visitor per 4 dwellings
<b>Parking</b>	
3+1 visitor	Total Provided
<b>Impervious Areas</b>	
1023 sqm	Site area
390.54 sqm	Total Building Area
234.47 sqm	Driveway Area
625.01 sqm	Total Area
61.10%	Impervious Free



NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	<b>Landscaping Plan</b>  Revision: DA - 03 Approved by: JM	Scale: 1:200 @ A3 Pg. No: L.01	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	Issue Date DA 02 27.02.2024 DA 03 04.03.2024	Description Site Plan, Floor Plans, Landscaping, Parking Amendments Shadow Diagrams		These drawings are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	
	Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024									

# Planting Schedule

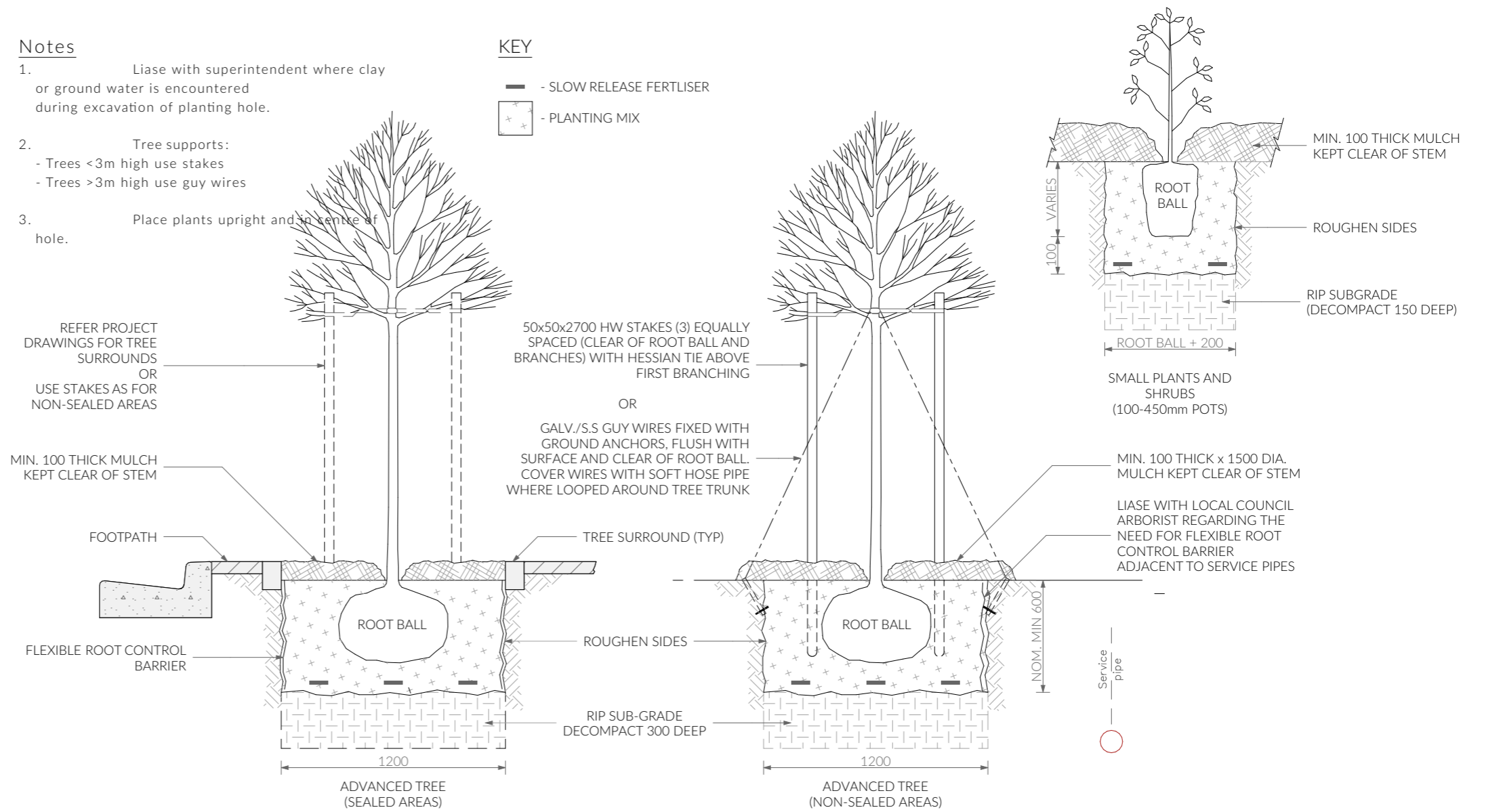
Symbol	Element ID	Qty	Pot Size
	Eremophila sp.	13	140mm
	Hebe sp.	6	tubestock
	Lavandula sp.	5	140mm
	Melaleuca sp.	6	140mm

## Notes

1. Liaise with superintendent where clay or ground water is encountered during excavation of planting hole.
2. Tree supports:
  - Trees <3m high use stakes
  - Trees >3m high use guy wires
3. Place plants upright and in centre of hole.

## KEY

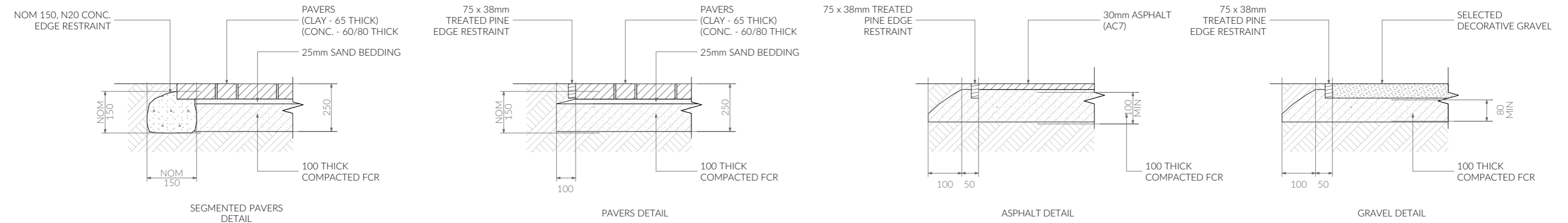
- SLOW RELEASE FERTILISER
- PLANTING MIX



## Note

Plants have been selected to be drought tolerant and low maintenance once established, it is recommended that a dripper system or similar be put into place until established. Plant locations are indicative and may be altered where suitable growing conditions cannot be met. Garden areas to be mulched with 75mm cover of selected mulch and plants are to be fertilised 6 monthly or where required until established. Garden edges are to be timber, steel, or brick. Plantings that are unsuccessful will be replaced where required.

## Tree and Shrub Planting



## Pavement Details

NOT FOR CONSTRUCTION 1:20

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	<b>Planting Schedule &amp; Details</b> Scale: @ A3 Pg. No: L.02 Approved by: JM	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	Issue Date: 27.02.2024 Description: Site Plan, Floor Plans, Landscaping, Parking Amendments, Shadow Diagrams Issue Date: 04.03.2024	These drawings are the property of Pinnacle Drafting & Design Pty Ltd. reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.	 
	Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024						

# Plumbing Notes

All plumbing to be in accordance with AS3500, NCC Vol III, Tas Plumbing Code and local authority regulations.

Sewer and stormwater to mains connections, plumber to verify location on site.  
(refer to site plan.)

All works are to be in accordance with the water supply code of Australia WSA 03-2011-3.1 version 3.1 MRWA edition v2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA version 2 and TasWater's supplements to these codes.

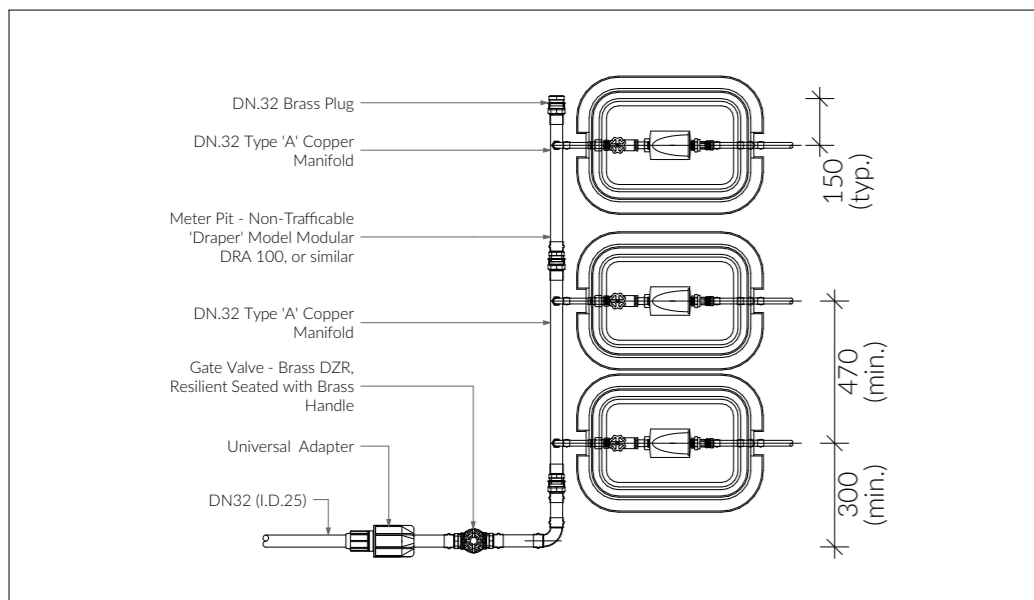
## Legend

Minimum gradient on sewer pipes as per AS3500.2.2  
 -65ø = 1:40 (2.5%)  
 -80ø, 100ø = 1:60 (1.65%)  
 -125ø = 1:80 (1.25%)  
 -150ø = 1:100 (1.00%)

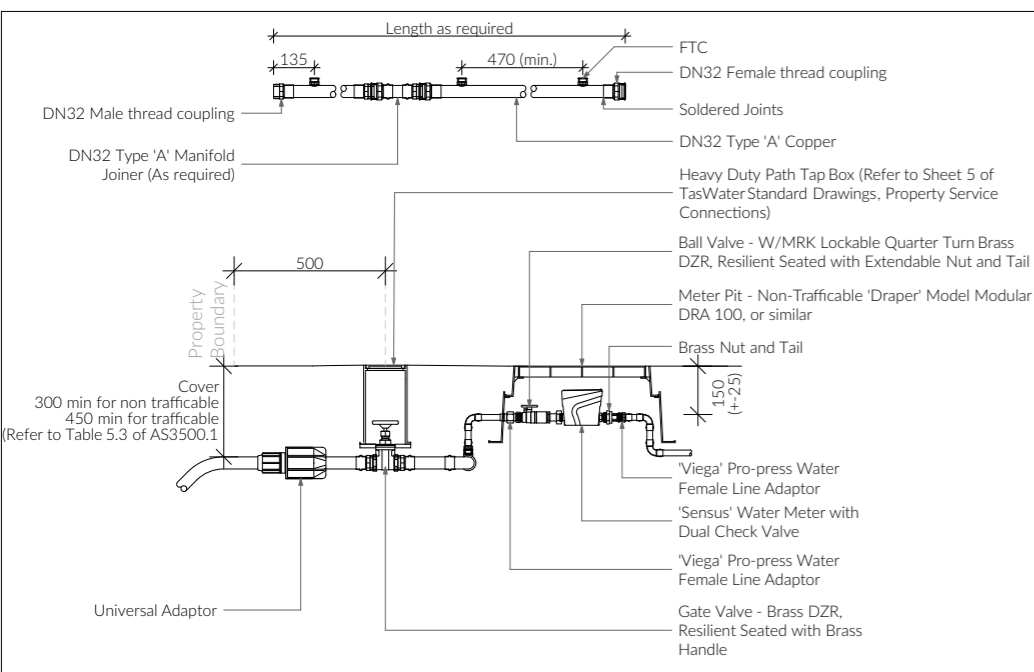
- Water Line
- Sewer Line
- Water Connection
- Water Stop Valve
- Fire Hydrant
- Sewer Connection

## Note

All driveway pits and grate drains to be Class B.  
 Stormwater pits are indicative. Location may vary depending on site conditions.



Meter Assembly - Below Ground Plan View



Meter Assembly - Profile View

EXISTING X-OVER FOR 18 KOTONA STREET TO BE REMOVED, WITH THE KERB AND GUTTER REINSTATED BY DEVELOPER AT DEVELOPERS COST

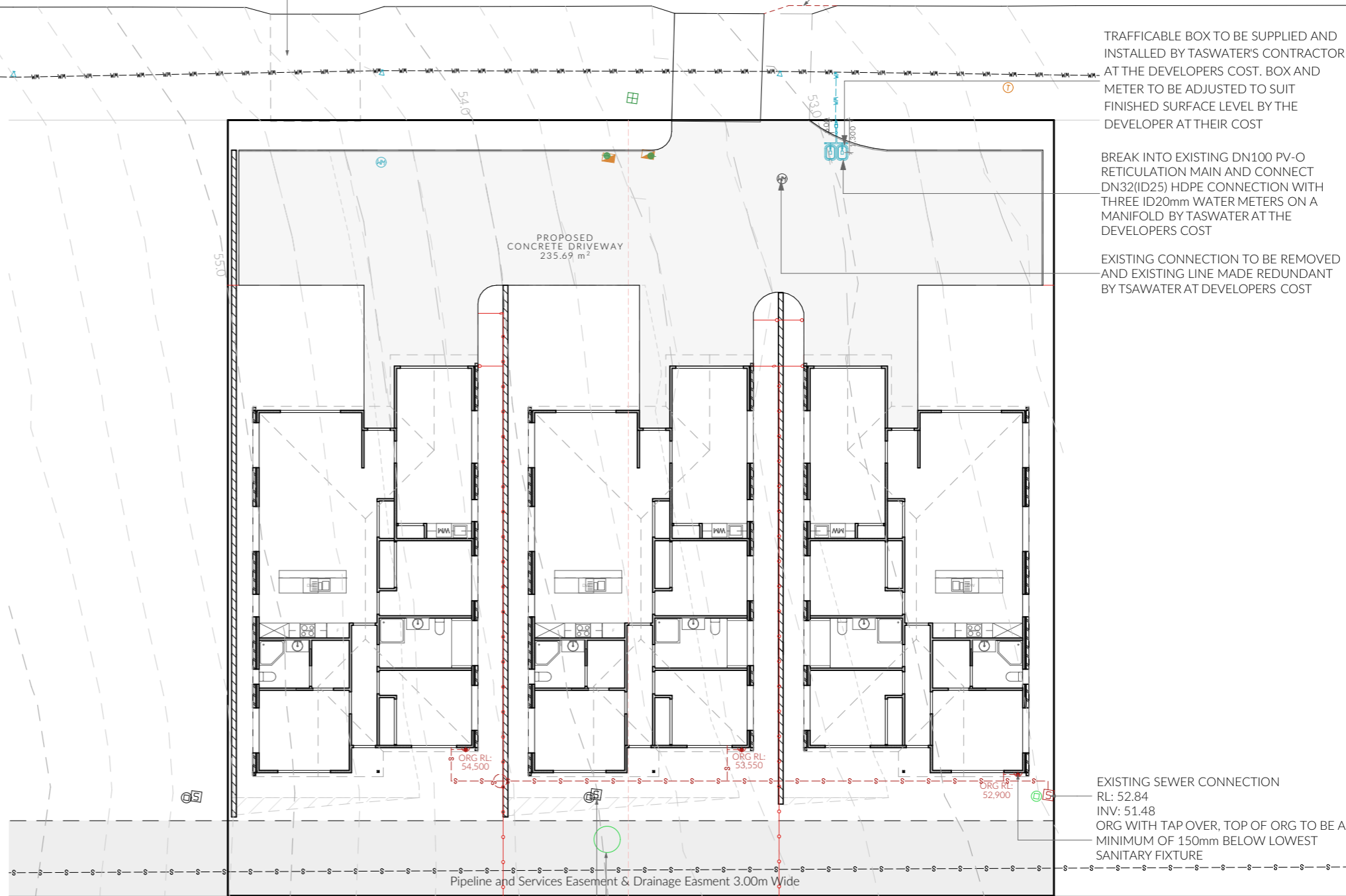
# KOTONA STREET

CROSSOVER TO BE WIDENED TO MIN. 5.5m - CROSSOVER TO LGAT STANDARD DRAWINGS TSD-R09

TRAFFICABLE BOX TO BE SUPPLIED AND INSTALLED BY TASWATER'S CONTRACTOR AT THE DEVELOPERS COST. BOX AND METER TO BE ADJUSTED TO SUIT FINISHED SURFACE LEVEL BY THE DEVELOPER AT THEIR COST

BREAK INTO EXISTING DN100 PV-O RETICULATION MAIN AND CONNECT DN32(ID25) HDPE CONNECTION WITH THREE ID20mm WATER METERS ON A MANIFOLD BY TASWATER AT THE DEVELOPERS COST

EXISTING CONNECTION TO BE REMOVED AND EXISTING LINE MADE REDUNDANT BY TSAWATER AT DEVELOPERS COST



EXISTING SEWER CONNECTION  
 RL: 54.08  
 INV: 52.63

EXISTING SW MANHOLE  
 LID: 54.03  
 INV: TBC

EXISTING SEWER CONNECTION  
 RL: 52.84  
 INV: 51.48  
 ORG WITH TAP OVER, TOP OF ORG TO BE A MINIMUM OF 150mm BELOW LOWEST SANITARY FIXTURE

NOT FOR CONSTRUCTION

	PINNACLE DRAFTING & DESIGN 7/3 Abernant Way, Cambridge 7170 03 6248 4218 admin@pinnacledrafting.com.au www.pinnacledrafting.com.au Licence: CC6073Y	<b>Sewer &amp; Water Plan</b>  Revision: DA - 03 Approved by: JM	Scale: 1:200 @ A3  Pg. No: P.01	Proposal: Unit Development Client: S & D Property Co Pty Ltd Address: 18 & 20 Kotona St, Rokeby 7019	Date: 25/01/2023 Drawn by: JSM/RZ Job No: 083-2023 Engineer: TBA Building Surveyor: TBA	Issue Date DA 02 27.02.2024 DA 03 04.03.2024	Description Site Plan, Floor Plans, Landscaping, Parking Amendments Shadow Diagrams		These drawing are the property of Pinnacle Drafting & Design Pty Ltd, reproduction in whole or part is strictly forbidden without written consent. © 2023. These drawings are to be read in conjunction with all drawings and documentation by Engineers, Surveyors and any other consultants referred to within this drawing set as well as any CLC and/or permit documentation. DO NOT SCALE FROM DRAWINGS. All Contractors are to verify dimensions on site before commencing any orders, works or requesting/producing shop drawings. ANY AND ALL DISCREPANCIES DISCOVERED BY OUTSIDE PARTIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PINNACLE DRAFTING & DESIGN PTY LTD.		
	Document Set ID: 5210465 Version: 1, Version Date: 04/03/2024										