



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2024/041476**

**PROPOSAL:** Change of use to Visitor Accommodation

**LOCATION:** 85 Spitfarm Road, Opossum Bay

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 21 March 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 21 March 2024. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 21 March 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

# Clarence City Council



## APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our *Privacy Policy*, which is available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at Council offices.

Proposal:

CHANGE OF USE TO (PARTIAL) VISITOR ACCOMMODATION

Location:

Address: 85 SPITFARM ROAD  
Suburb/Town: Opossum Bay Postcode: 7023

Current Owners/s:

Applicant:

**Personal Information Removed**

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)





# Clarence City Council

## DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



Documentation required:

### 1. **MANDATORY DOCUMENTATION**

*This information is required for the application to be valid. An application lodged without these items is unable to proceed.*

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.  
*May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.*
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

*Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.*

### 2. **ADDITIONAL DOCUMENTATION**

*In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.*

- Site analysis plan and site plan**, including where relevant:
  - Existing and proposed use(s) on site.
  - Boundaries and dimensions of the site.
  - Topography, including contours showing AHD levels and major site features.
  - Natural drainage lines, watercourses and wetlands on or adjacent to the site.
  - Soil type.
  - Vegetation types and distribution, and trees and vegetation to be removed.
  - Location and capacity of any existing services or easements on/to the site.
  - Existing pedestrian and vehicle access to the site.
  - Location of existing and proposed buildings on the site.
  - Location of existing adjoining properties, adjacent buildings and their uses.
  - Any natural hazards that may affect use or development on the site.
  - Proposed roads, driveways, car parking areas and footpaths within the site.
  - Any proposed open space, communal space, or facilities on the site.
  - Main utility service connection points and easements.
  - Proposed subdivision lot boundaries.



# Clarence City Council

## DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
  - *Internal layout of each building on the site.*
  - *Private open space for each dwelling.*
  - *External storage spaces.*
  - *Car parking space location and layout.*
  - *Major elevations of every building to be erected.*
  - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
  - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
  - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
  - *Planting concepts.*
  - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
  - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

*This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.*

copy 193

# CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

## TORRENS TITLE

VOLUME		FOLIO
221670		2
EDITION	DATE OF ISSUE	
6	22-Sep-2023	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



### DESCRIPTION OF LAND

City of CLARENCE  
Lot 2 on Plan 221670  
Derivation : Part of 3900 Acres Gtd. to G.H.B. Gellibrand.  
Prior CT 2744/63

### SCHEDULE 1

C499915 & N141872 TRANSFER to GINA SOUVLERIS Registered  
22-Sep-2023 at noon

### SCHEDULE 2

Reservations and conditions in the Crown Grant if any



ORIGINAL - NOT TO BE REMOVED FROM TITLES OFFICE

R.P. 1489  
TASMANIA  
REAL PROPERTY ACT, 1862, as amended  
NOTE—REGISTERED FOR OFFICE  
CONVENIENCE TO REPLACE



CERTIFICATE OF TITLE

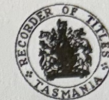
Register Book  
Vol. Fol.

2744 63

Cert. of Title Vol.422 Fol.111.

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple in the land within described together with such interests and subject to such encumbrances and interests as are shown in the Second Schedule. In witness whereof I have hereunto signed my name and affixed my seal.

*M. H. Hughes*



Recorder of Titles.

DESCRIPTION OF LAND

PARISH OF RALPH'S BAY LAND DISTRICT OF MONMOUTH  
THIRTEEN PERCHES on the Plan hereon

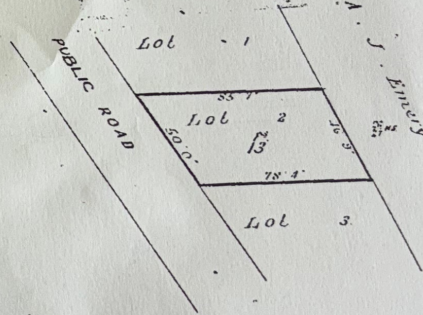
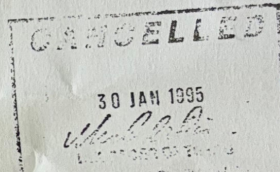
FIRST SCHEDULE (Continued overleaf)

GORDON REX FREE or Rokeby, Service Bus Operator

SECOND SCHEDULE (Continued overleaf)  
NIL.

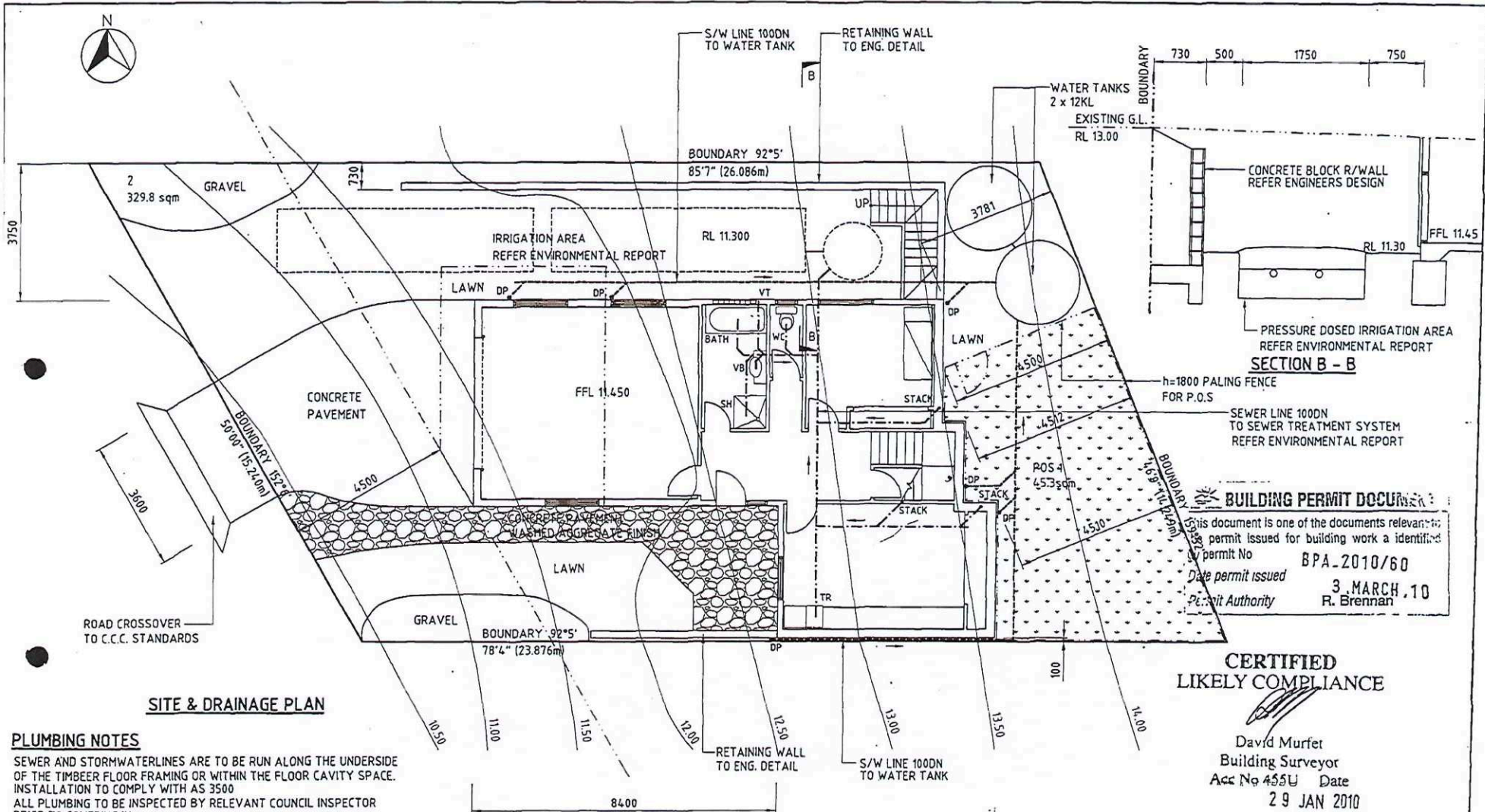
Lot 2 of this plan consists of all the land comprised in the above-mentioned cancelled folio of the Register.

REGISTERED NUMBER  
**221670**



Part of 3900 Acres Gtd. to G. H. B. Gellibrand Meas. in Ft. & Ins. 117/32D  
FIRST Edition. Registered  
Derived from C.T. Vol.422 Fol.111. Transfer 131462 N. H. B. Hughes





**SITE & DRAINAGE PLAN**

**PLUMBING NOTES**

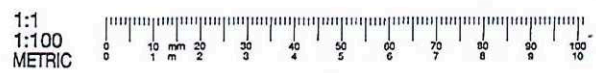
SEWER AND STORMWATERLINES ARE TO BE RUN ALONG THE UNDERSIDE OF THE TIMBER FLOOR FRAMING OR WITHIN THE FLOOR CAVITY SPACE. INSTALLATION TO COMPLY WITH AS 3500  
 ALL PLUMBING TO BE INSPECTED BY RELEVANT COUNCIL INSPECTOR PRIOR TO COVERING IN

**PIPE SIZES RECOMMENDED**

- PLUMBING LEGEND:  
 1. WC DN 100  
 2. URINAL DN 50  
 3. SINK DN 50  
 4. BASIN DN 40 OR DN 50  
 5. BATH DN 50  
 6. SHOWER DN 65, DN 100 RECOMMENDED  
 7. TROUGH DN 50, DN 65 or DN100

FWG FLOOR WASTE GULLY PRIMED BY BASIN, SINK OR TROUGH DN 50 OR FROM WHICH FIXTURE SIZE IS PRIMING

☞ EXTERNAL BRASS TAP  
 RUN VENTS IN STUD WALL LINE AS INDICATED  
 PROVIDE DEKTIITE FLASHINGS THROUGH ROOF



AREA TABLE		
SITE AREA		329.8 sqm
BLD AREA		96.9 sqm
-SITE COVERAGE		29.3 %
FLOOR AREA	GF	96.9 sqm
	1F	76.1 sqm
	2F	54.1 sqm
	TOTAL	227.1 sqm
	POS	VERANDAH
	POS 1	45.3 sqm
	TOTAL	74.2 sqm

REV. D : AREA TABLE CORRECTED, etc. 26/AUG/2009  
 REV. C : IRRIGATION AREA ADDED 21/JUL/2009  
 REV. B : LANDSCAPE, DRIVEWAY, etc. ADDED 20/MAY/2009  
 REV. A : GF PLAN ALTERED 29/JAN/2009

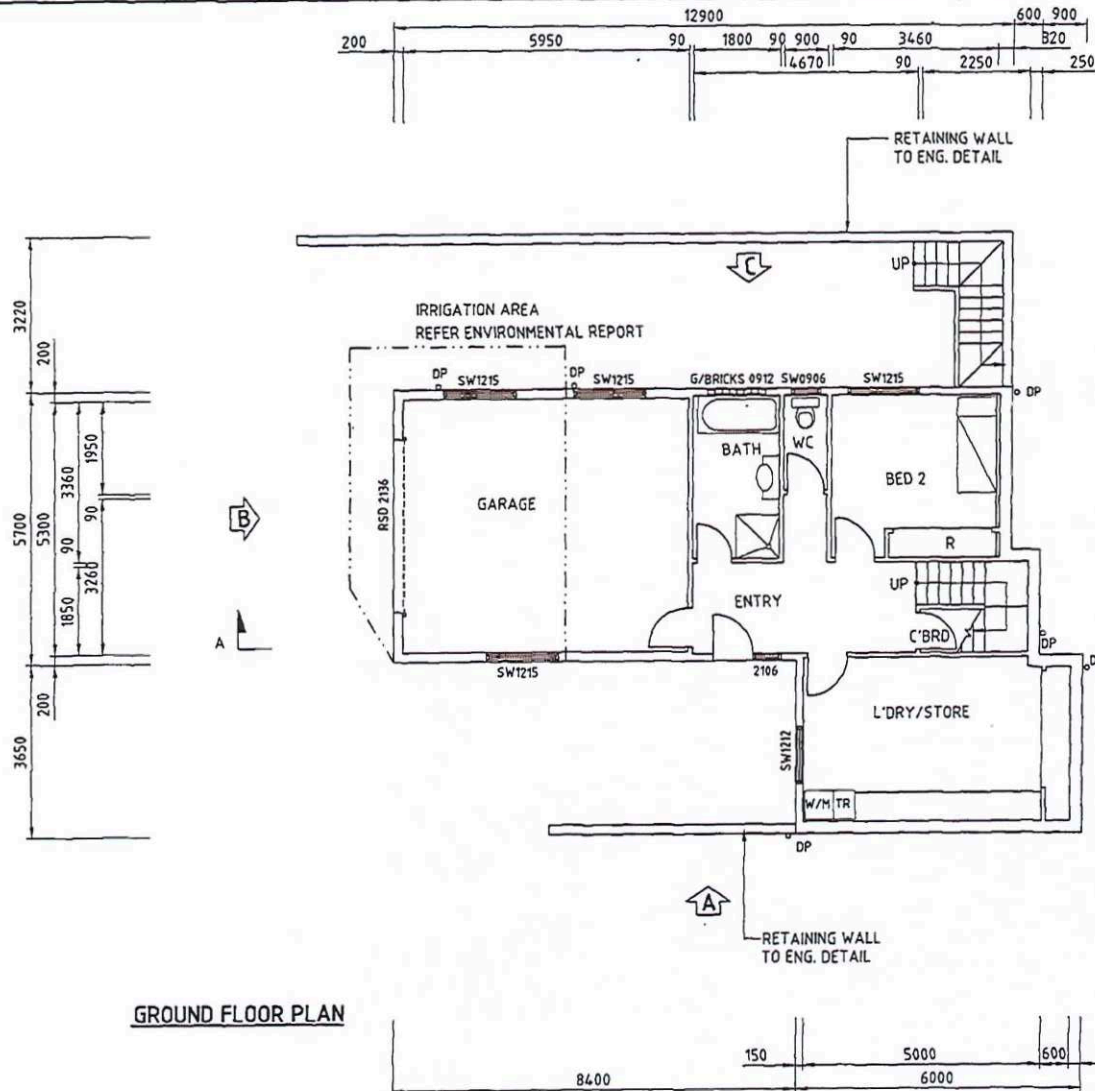
<p>CONSULTING ENGINEERS          Emmanuel Dellas Pty Ltd          phone: 4228 2225 fax: 4228 2235          mobile: 0418 232 811          email: edellas@bigpond.com.au          GPO Box 1805 Hobart 7001</p>	<p>Project Title:  <b>PROPOSED RESIDENCE          FOR Mr &amp; Mrs H.G. SOUVLERIS          85 SPITFARM RD, OPOSSUM BAY</b></p>	<p>Scale:          1:100</p>	<p>A3</p>	
	<p><b>SITE PLAN</b></p>	<p>Job No.          2659</p>		
	<p>Designed by: E.D. Date: JULY '09</p>	<p>Drawing No. <b>A0</b> Rev. <b>D</b></p>		

**BUILDING PERMIT DOCUMENT**  
 This document is one of the documents relevant to a permit issued for building work a identified by permit No **BPA-2010/60**  
 Date permit issued **3 MARCH 10**  
 Permit Authority **R. Brennan**

**CERTIFIED  
 LIKELY COMPLIANCE**

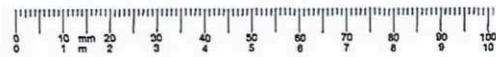
David Murfet  
 Building Surveyor  
 Acc No 455U Date  
**29 JAN 2010**

SCANNED



GROUND FLOOR PLAN

1:1  
1:100  
METRIC



SCANNED

**BUILDING PERMIT DOCUMENT**  
 This document is one of the documents relevant to the permit issued for building work identified by permit No BPA\_2010/60  
 Date permit issued 3 MARCH 10  
 Permit Authority R. Brennan

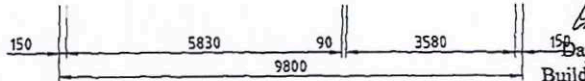
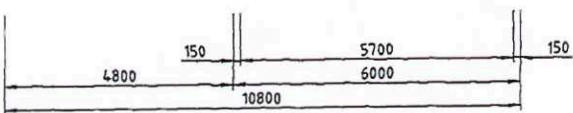
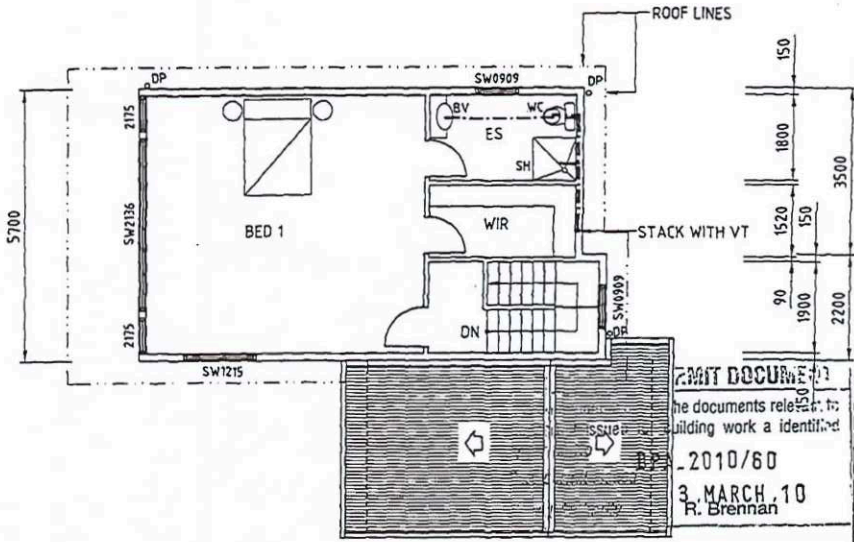
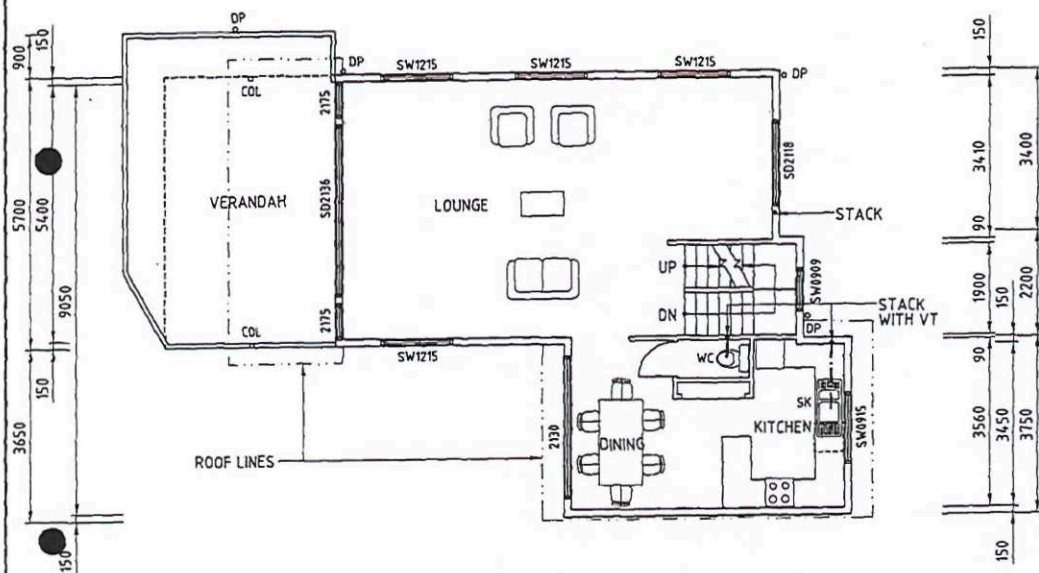
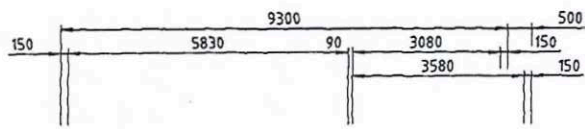
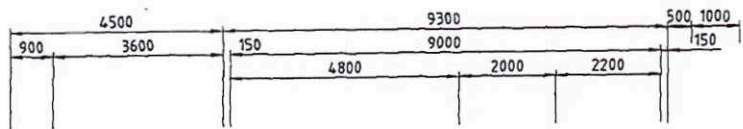
**CERTIFIED  
 LIKELY COMPLIANCE**

David Murfet  
 Building Surveyor  
 Acc No 455U Date  
 29 JAN 2010

REV. C : EXTERNAL & INTERNAL WALLS REPOSITIONED, etc. 26/AUG/2009  
 REV. B : WINDOWS ADDED & CHANGED 20/MAY/2009  
 REV. A : GF PLAN ALTERED 29/JAN/2009

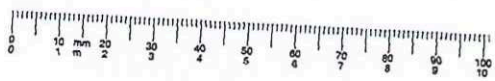
<p>CONSULTING ENGINEERS          Emmanuel Deltas Pty Ltd          phone: 6228 2225 fax: 6228 2235          mobile: 0418 232 811          email: eddeltas@bigpond.com.au          GPO Box 1805 Hobart 7001</p>	Project Title: <b>PROPOSED RESIDENCE          FOR Mr &amp; Mrs H.G. SOUVLERIS          85 SPITFARM RD, OPOSSUM BAY          PLAN - B GF PLAN</b>		Scale:	A3
	Designed by: E.D.		Date:	JUL '08
	Drawing No. Rev.		A1 C	





FIRST FLOOR PLAN

1:1  
1:100  
METRIC



SCANNED

SECOND FLOOR PLAN

REV. D : SIZE OF WINDOWS CHANGED 15/FEB/2010  
 REV. C : EXTERNAL & INTERNAL WALLS REPOSITIONED, etc. 26/AUG/2009  
 REV. B : OPENINGS ADDED & CHANGED 20/MAY/2009

EMIT DOCUMENT  
 The documents related to this building work are identified as:  
 2010/60  
 3 MARCH 10  
 R. Brennan

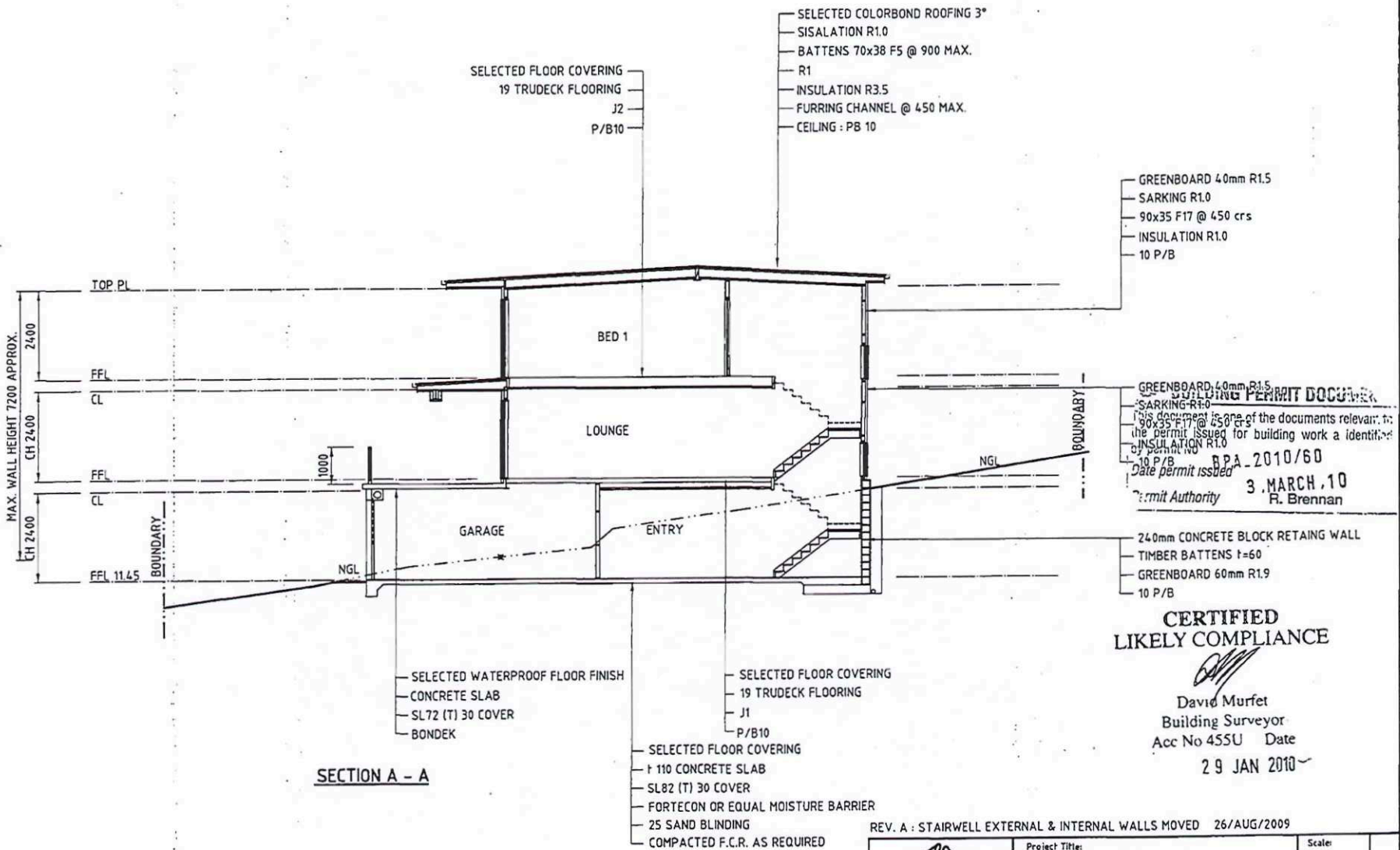
**CERTIFIED  
 LIKELY COMPLIANCE**

David Murfet  
 Building Surveyor  
 Acc No 455U Date

16 FEB 2010

<b>RECEIVED</b> 16 FEB 2010 CONSULTING ENGINEERS Emma-Jane Dallas Pty Ltd phone: 6228 2222 fax: 6228 2235 mobile: 016 232 8111 email: emadallas@emjeng.com.au GPO Box 1895 Melbourne 3001	Project Title:		Scale:
	<b>PROPOSED RESIDENCE          FOR Mr &amp; Mrs H.G. SOUVLERIS          85 SPITFARM RD, OPOSSUM BAY          PLAN - B 1F &amp; 2F PLAN</b>		1:100 A3
Designed by:	E.D.	Date:	JUL '08
			Drawing No. Rev. A2 D





SECTION A - A

- SELECTED FLOOR COVERING
- 19 TRUDECK FLOORING
- J2
- P/B10

- SELECTED COLORBOND ROOFING 3°
- SISALATION R1.0
- BATTENS 70x38 F5 @ 900 MAX.
- R1
- INSULATION R3.5
- FURRING CHANNEL @ 450 MAX.
- CEILING : PB 10

- GREENBOARD 40mm R1.5
- SARKING R1.0
- 90x35 F17 @ 450 crs
- INSULATION R1.0
- 10 P/B

**BUILDING PERMIT DOCUMENT**  
 This document is one of the documents relevant to the permit issued for building work a identified by permit no. **BPA-2010/60**  
 Date permit issued **3 MARCH 10**  
 Permit Authority **R. Brennan**

- 240mm CONCRETE BLOCK RETAINING WALL
- TIMBER BATTENS t=60
- GREENBOARD 60mm R1.9
- 10 P/B

**CERTIFIED LIKELY COMPLIANCE**

*David Murfet*  
 David Murfet  
 Building Surveyor  
 Acc No 455U Date  
 29 JAN 2010


- SELECTED WATERPROOF FLOOR FINISH
- CONCRETE SLAB
- SL72 (T) 30 COVER
- BONDEK

- SELECTED FLOOR COVERING
- 19 TRUDECK FLOORING
- J1
- P/B10

- SELECTED FLOOR COVERING
- t 110 CONCRETE SLAB
- SL82 (T) 30 COVER
- FORTECON OR EQUAL MOISTURE BARRIER
- 25 SAND BLINDING
- COMPACTED F.C.R. AS REQUIRED

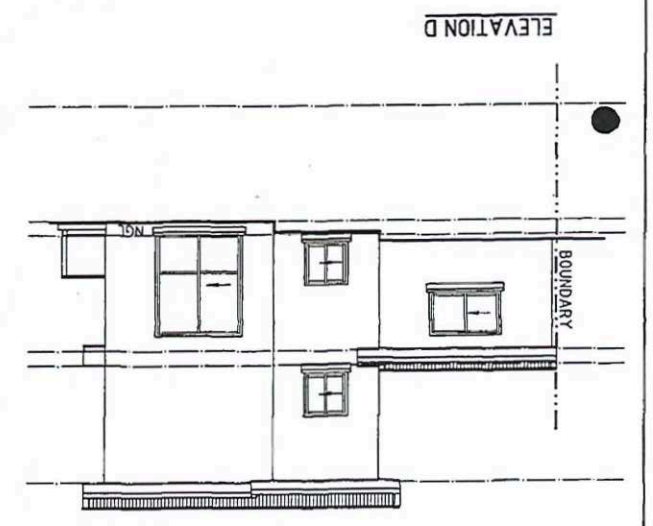
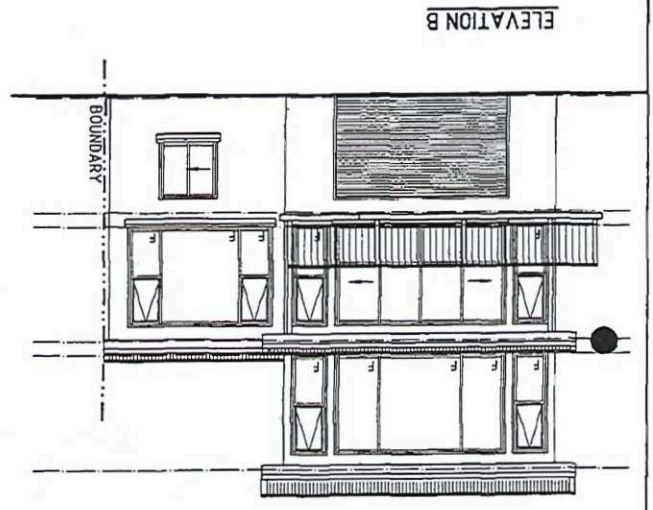
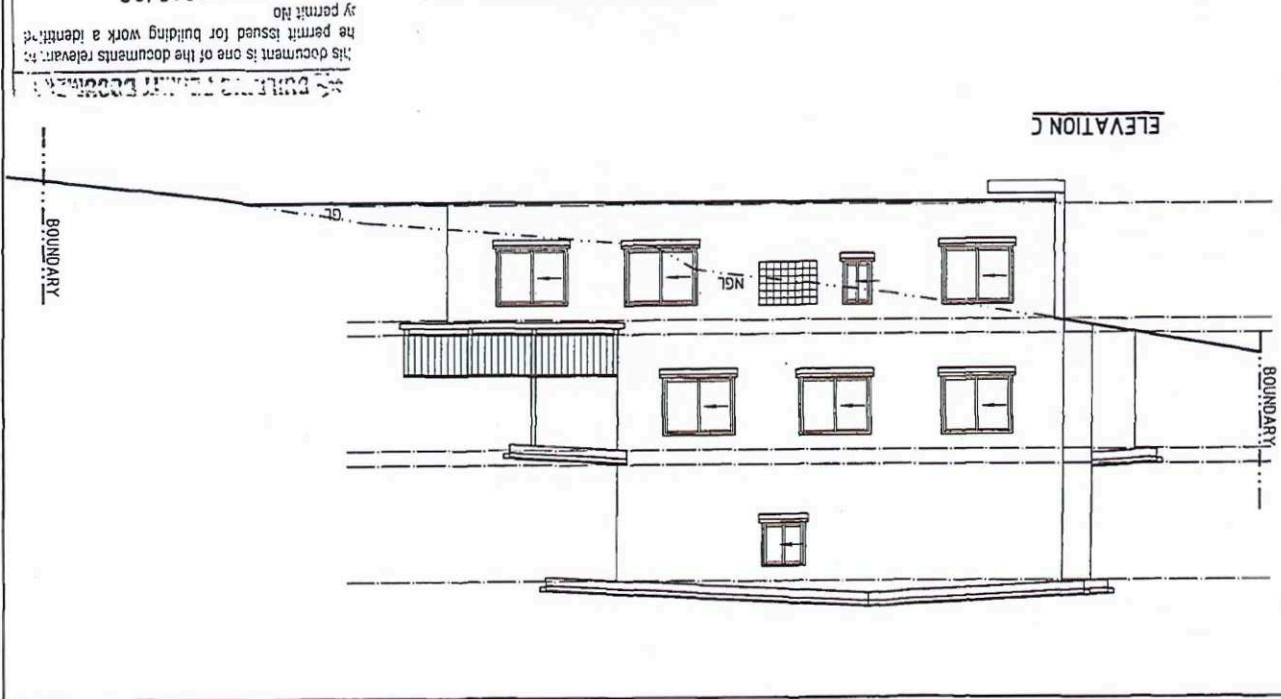
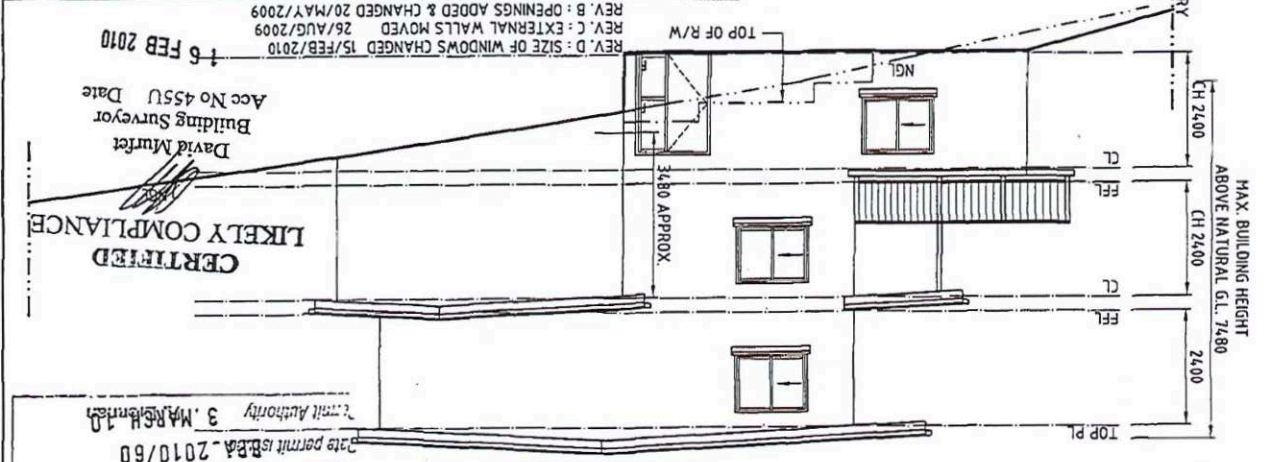
REV. A : STAIRWELL EXTERNAL & INTERNAL WALLS MOVED 26/AUG/2009

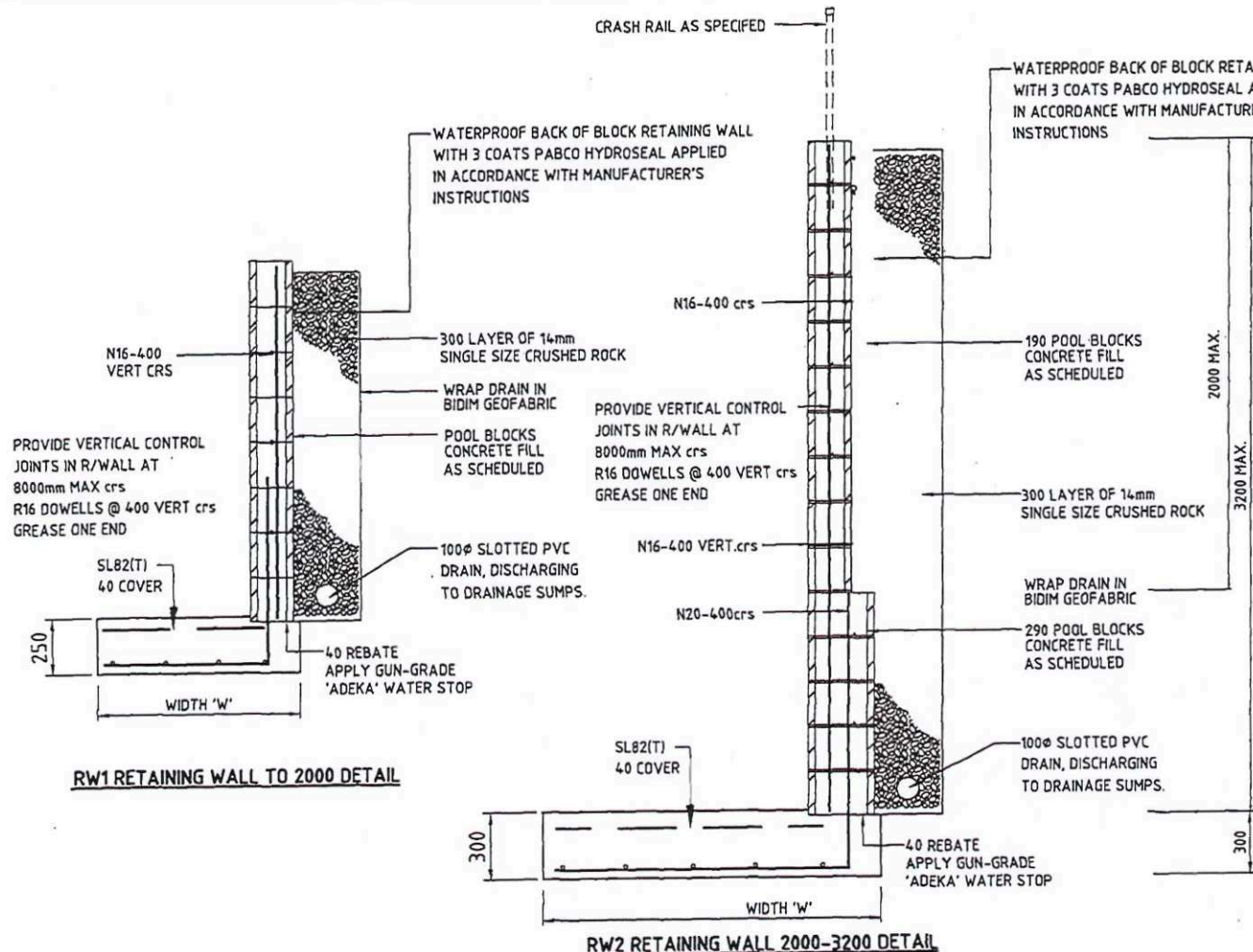
SCANNED

 CONSULTING ENGINEERS Emmanuel Dellas Pty Ltd phone: 6228 2225 fax: 6228 2235 mobile: 0418 232 811 email: edellas@bigpond.com.au RDA No. 18AC No. 447 7811	Project Title:	Scale:	
	<b>PROPOSED RESIDENCE          FOR Mr &amp; Mrs H.G. SOUVLERIS          85 SPITFARM RD, OPOSSUM BAY          PLAN - B SECTION B - B</b>	1:100, 1:50	A3
	Designed by: E.D.	Date: JUL '08	Job No. 2659
		Drawing No.	A3

SCANNED

0	Rev.	A4
Drawing No. 2659		
Job No. 1:100		
Scale: A3		
Project Title: <b>PROPOSED RESIDENCE</b> <b>FOR Mr. &amp; Mrs. H.G. SOUVERAIS</b> <b>85 SPITFARM RD, OPOSSUM BAY</b> <b>PLAN - B ELEVATIONS</b>		
Designed by: E.D. Date: JUL 08 enki.dela@opossum.com.au mobile: 07-438 2325 phone: 6228 2225 fax: 6228 2235 COMMERCIAL DESIGN Pty Ltd CONSULTING ENGINEERS 16 FEB 2010		





**RW1 RETAINING WALL TO 2000 DETAIL**

**RW2 RETAINING WALL 2000-3200 DETAIL**

**RW1 & RW2 RETAINING WALL DETAILS**

WALL HEIGHT "H"	BLOCKWORK	FOOTING WIDTH "W"	"REINFORCEMENT"
0-1200mm	† 190mm	750mm	N12-400
1200-2000mm	† 190mm	1000mm	N16-400
2000-3200mm	† 290mm	1500mm	N20-400
3200-4200mm	† 290mm	2000mm	N24-400

**BUILDING PERMIT DOCUMENT**  
 This document is one of the documents relevant to the permit issued for building work a identifying permit No BPA-2010/60  
 Date permit issued 3 MARCH 10  
 Permit Authority R. Brennan


**CERTIFIED LIKELY COMPLIANCE**

David Murfet  
 Building Surveyor  
 Acc No 455U Date

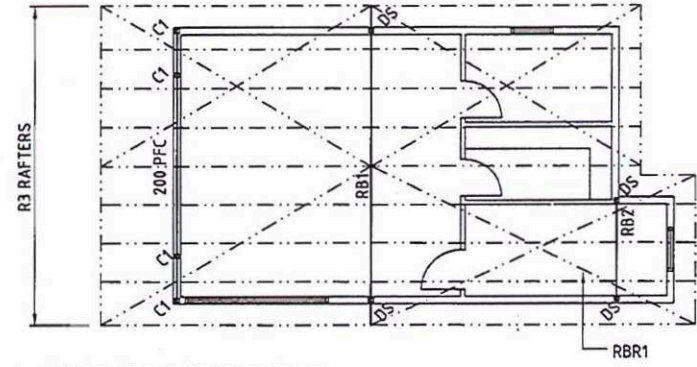
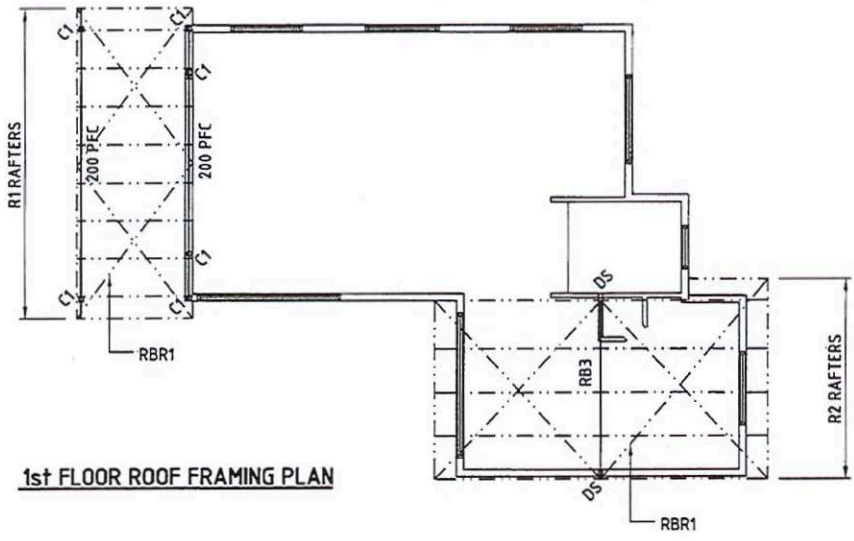
29 JAN 2010

CERT No 2659  
 SIGNED [Signature]

SCANNED

 CONSULTING ENGINEERS Emmanuel Dellas Pty Ltd phone: 6228 2225 fax: 6228 2235 mobile: 0418 232 871	Project Title: <b>PROPOSED RESIDENCE          FOR Mr &amp; Mrs H.G. SOUVLERIS          85 SPITFARM RD, OPOSSUM BAY          RETAINING WALL DETAILS</b>	Scale: 1:100 A3
	Job No. 2659	Drawing No. Rev.



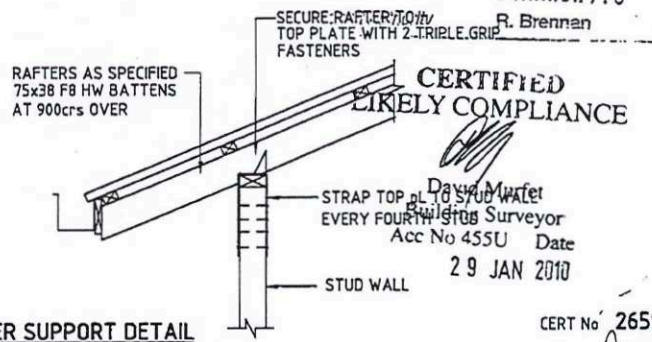


CONNECTION FIXINGS FOR W41		
JOINT LOCATION	FIXING	DETAIL
FLOOR JOISTS TO BEARERS	2 X 75 mm SKEW NAILS	
BOTTOM PL TO JOISTS	1 X 90mm No 14 SCREW MIN 33mm INTO JOIST	
STUDS AT SIDES OF OPENINGS UP TO 3.0M	30 x 0.8 GALV STRAP OVER TOP & BOT pL MIN 250 mm HIGH 4 X 2.8φ NAILS EACH END	
ROOF BATTENS TO RAFTERS	1 X 90mm No 14 SCREW - MIN 50mm INTO RAFTER	
TRUSSES TO TOP pL	2 x TRIP-L GRIP CONNECTORS 4 X 2.8φ NAILS EACH END	

**MEMBER SCHEDULE**  
 C1: 89x3.5 SHS  
 DS: DOUBLE F17 HW STUD  
 RB1: 290x90 HYBRID GL17  
 RB2: 140x90 F17 HW  
 RB3: 190x70 F17 HW  
 R1: 110x35 F17 @ 900crs  
 R2: 140x35 F17 @ 900crs  
 R3: 200x43 HYBRID GL17 @ 900crs  
 RBR1: SPEEDBRACE FIX TO TOP OF EACH RAFTER

LINTEL SCHEDULE		
0 - 1200 SPAN	90 x 45	F17 HW
1200 - 1800 SPAN	145 x 45	F17 HW
1800 - 2400 SPAN	195 x 45	F17 HW
2400 - 3000 SPAN	245 x 45	F17 HW

**BUILDING PERMIT DOCUMENT**  
 This document is one of the documents relevant to the permit issued for building work identified by permit No BPA-2010/60  
 Date permit issued 3 MARCH 10  
 R. Brennan



**CERTIFIED LIKELY COMPLIANCE**  
 David Mallet  
 Building Surveyor  
 Acc No 455U Date 29 JAN 2010

CERT No 2659  
 SIGNED

SCANNED

 CONSULTING ENGINEERS Emmanuel Dellas Pty Ltd phone: 6228 2225 fax: 6228 2235 mobile: 04 18 232 811 email: edellas@epend.com.au	Project Title:	Scale:	
	PROPOSED RESIDENCE FOR Mr & Mrs H.G. SOUVLERIS 85 SPITFARM RD, OPOSSUM BAY ROOF FRAMING PLANS	1:100	A3
	Designed by:	Job No. 2659	Rev.
	Date:	Drawing No. SC	Rev. A

**GROUND FLOOR  
ENERGY EFFICIENCY PLAN**

**FIRST FLOOR  
ENERGY EFFICIENCY PLAN**

1. BUILDING FABRIC (R VALUE)		RATING	PROJECT	REQUIRED	PROVISION EACH ITEM BELOW IS TO BE ADOPOTED TO COMPLY WITH THE NEW PROVISION CLIMATE ZONE 7 (OPOSSUM BAY)
ROOF CEILING	METAL ROOF & CEILING	0.35	4.85	4.30	
	R1.0 SISALATION	1.00			
	R 3.5 BATTS	3.50			
WALL	GREENBOARD 40mm R1.5	1.50	2.50	2.40	
	R 1.0 SARKING ON STUD WALL	1.00			
WALL	CONCRETE BLOCKWORK 240mm	0.51	2.41	2.40	
	GREENBOARD 60mm R1.9	2.41			

2. GLAZING		TO COMPLY WITH AS 1288 ALL WINDOWS ARE DOUBLE GLAZING	
MAX WINDOW AREA 25% OF HAB. FLOOR AREA			
GF	HAB. AREA	61.84 m <sup>2</sup>	25% HAB. AREA 15.46 m <sup>2</sup>
	1/2 NORTH FACING		0 m <sup>2</sup>
	ALL OTHER		0 m <sup>2</sup>
	TOTAL		0 m <sup>2</sup>
FF	HAB. AREA	76.11 m <sup>2</sup>	25% HAB. AREA 19.02 m <sup>2</sup>
	1/2 NORTH FACING		0 m <sup>2</sup>
	ALL OTHER		0 m <sup>2</sup>
	TOTAL		0 m <sup>2</sup>
SF	HAB. AREA	54.11 m <sup>2</sup>	25% HAB. AREA 13.52 m <sup>2</sup>
	1/2 NORTH FACING		0 m <sup>2</sup>
	ALL OTHER		0 m <sup>2</sup>
	TOTAL		0 m <sup>2</sup>

3. BUILDING SEALING	
SEALS TO ALL DOORS OF HAB. ROOMS. CALCKING TO SKIRTING / ARCHITRAVES.	

4. SERVICES	
HOT WATER PIPE TO BE INSULATED.	

**BUILDING PERMIT DOCUMENT**


This document is one of the documents relevant to the permit issued for building work a identification number 8242010/60

ISSUED MARCH, 10  
R. Brennan

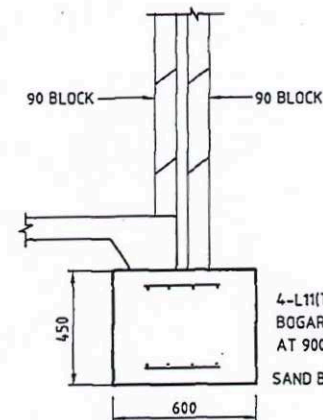
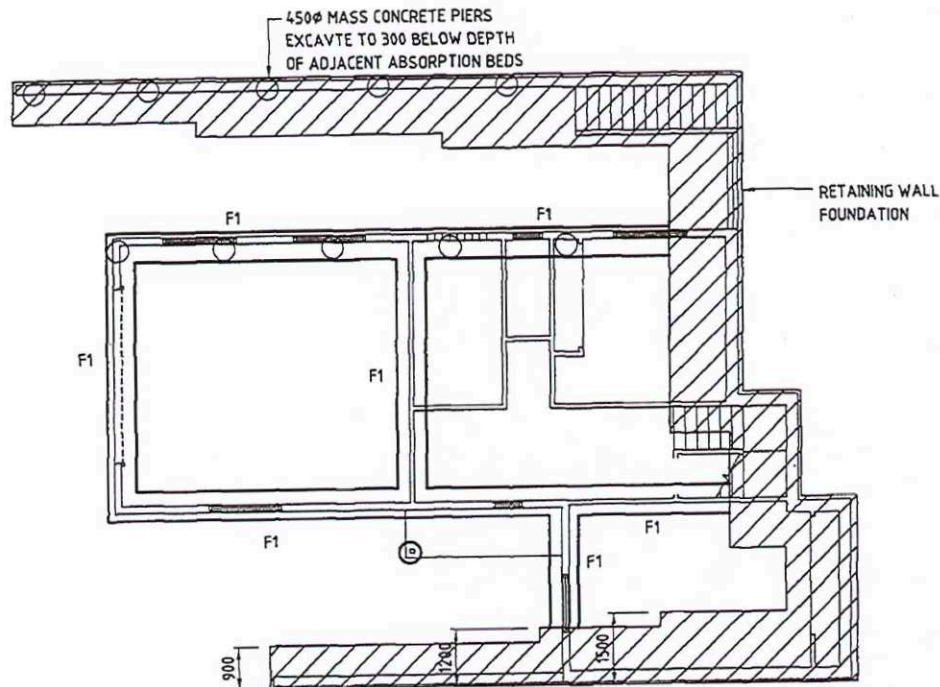
**CERTIFIED  
LIKELY COMPLIANCE**

David Muffet  
Building Surveyor  
Acc No 45511 Date  
29 JAN 2010

**SECOND FLOOR  
ENERGY EFFICIENCY PLAN**

 CONSULTING ENGINEERS Emmanuel Dellas Pty Ltd phone: 6228 2225 fax: 6228 2235 mobile: 0418 232 811 email: edellas@bigpond.com.au POA Bldg 4047 (10/000) TRAIL	Project Title:	Scale:		
	<b>PROPOSED RESIDENCE FOR Mr &amp; Mrs H.G. SOUVLERIS 85 SPITFARM RD, OPOSSUM BAY ENERGY EFFICIENCY PLAN</b>		1:100 A3	
	Designed by: F D	Date: 1 JAN '10	Job No. 2659	
			Drawing No. F1	Rev. 0





Building Permit No. BPA\_2010/60  
 4-L11(T) & (B) permit issued 3 MARCH 10  
 BOGAR SPACERS AT 900cns  
 SAND BASE  
 permit Authority R. Brennan

**FOUNDATION PLAN**

NOTES:-

1. ALL FOUNDATIONS MUST BE EXCAVATED TO APPROVED SAND SUB-GRADE
2. DESIGN BP 250 KPa
3. 20 MPa CONCRETE IN ALL FOOTINGS
4. 75 COVER TO BOT STEEL 50 COVER TO TOP & SIDES
5. FOR TENDER PURPOSES ASSUME APPROVED BASE AT 600 BELOW PROPOSED GROUND FLOOR SALB LEVEL

**FOOTING F1**


**CERTIFIED  
LIKELY COMPLIANCE**

David Murfet  
 Building Surveyor  
 Acc No 455U Date  
 29 JAN 2010

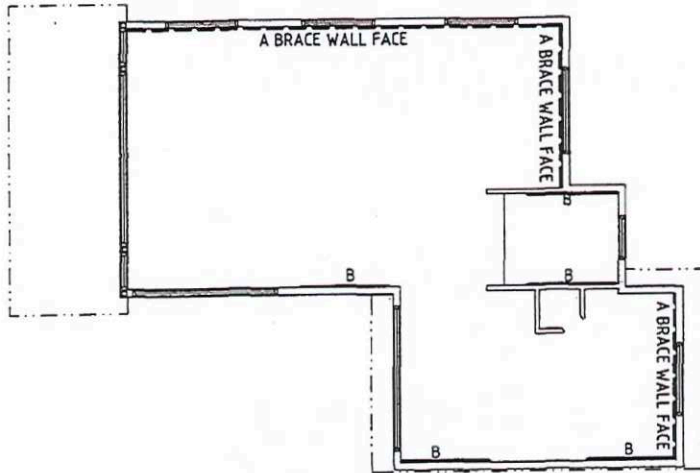
CERT No 2659

SIGNED

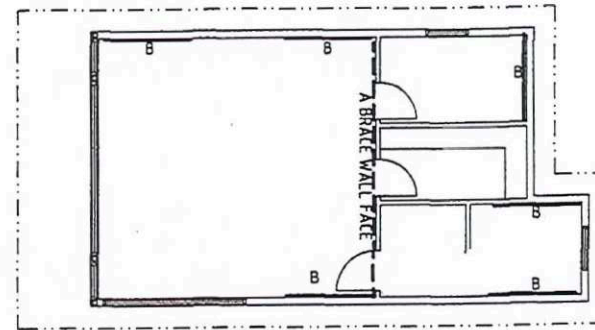
SCANNED

 CONSULTING ENGINEERS Emmanuel Deltas Pty Ltd phone: 6228 2225 fax: 6228 2235 mobile: 0418 232 811 email: edeltas@ispnet.com.au	Project Title:	Scale:	
	PROPOSED RESIDENCE FOR Mr & Mrs H.G. SOUVLERIS 85 SPITFARM RD, OPOSSUM BAY	1:100	A3
	FOUNDATION PLAN	Job No. 2659	
Designed by: E.D.	Date: JAN '10	Drawing No. S1	Rev. A

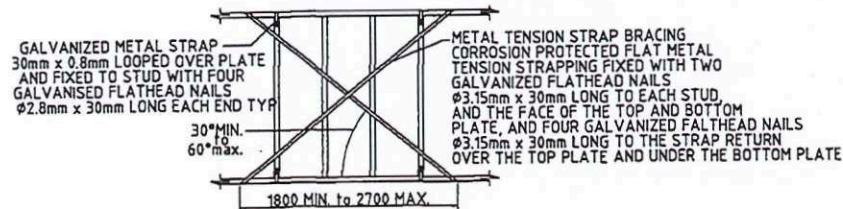




**1st FLOOR WALL BRACING PLAN**

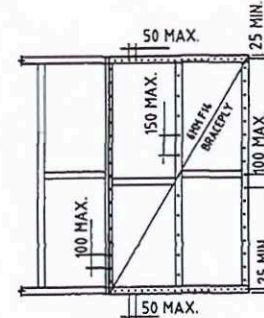


**2nd FLOOR WALL BRACING PLAN**



**TYPE B BRACING UNIT**

N.T.S. NOGGINS OMITTED FOR CLARITY



**TYPE A BRACING UNIT**


THIS DOCUMENT IS ONE OF THE DOCUMENTS REFERRED TO IN THE PERMIT ISSUED FOR BUILDING WORK IDENTIFIED BY PERMIT NO. BPA-2010/60  
 Date permit issued 3, MARCH, 10  
 Permit Authority R. Brennan

**CERTIFIED  
 LIKELY COMPLIANCE**

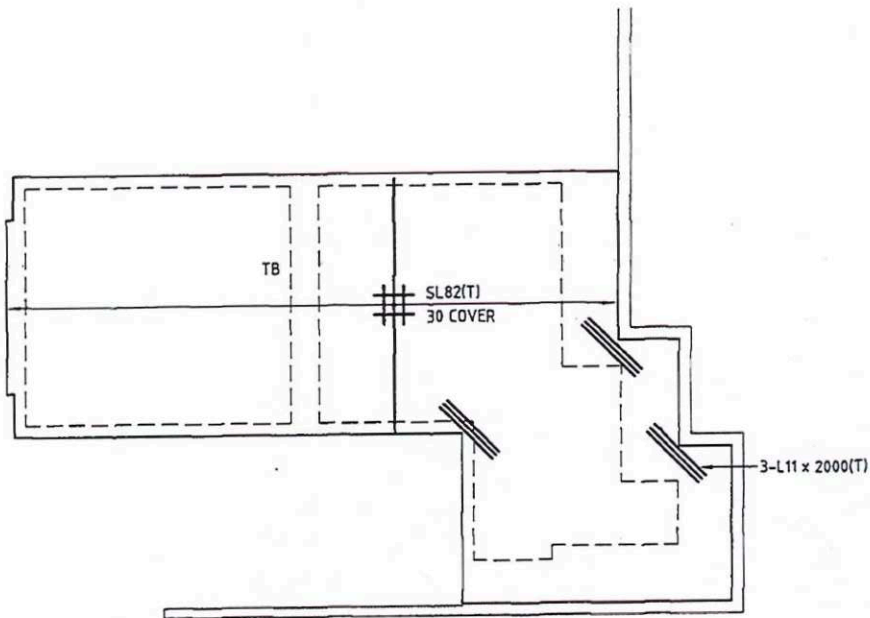
David Murfet  
 Building Surveyor  
 Acc No 455U Date  
 29 JAN 2010

CERT No 2659

SIGNED *[Signature]*

 CONSULTING ENGINEERS Emmanuel Dellias Pty Ltd phone: 6228 2225 fax 6228 2235 mobile 0418 232 811 email: ecd@emdelias.com.au	Project Title: <b>PROPOSED RESIDENCE          FOR Mr &amp; Mrs H.G. SOUVLERIS          85 SPITFARM RD, OPOSSUM BAY          WALL BRACING PLANS</b>		Scale:	A3	
			1:100		
			Job No. 2659		
	Designed by: [Signature] Date: JAN '10		Drawing No.	Rev.	
		S5	A		

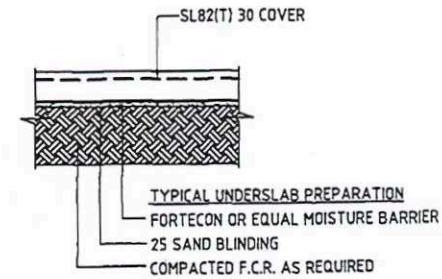
**SCANNED**



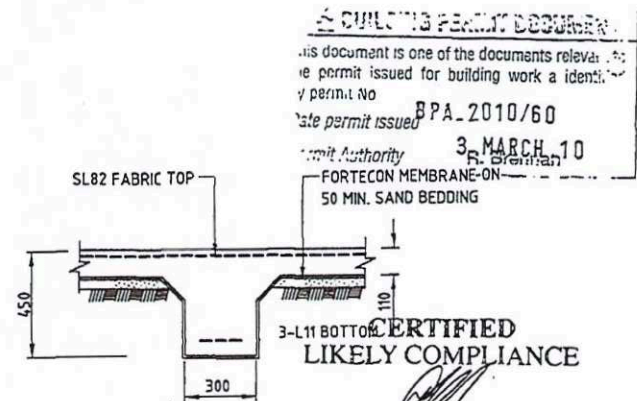
**GROUND FLOOR SLAB PLAN**

**NOTES**

- 1. N25 CONCRETE IN SLAB
- 2. PROVIDE BAR CHAIRS AT 1000 MAX. CRS



**U/SLAB PREPARATION**



**TB DETAILS**

**BUILDING PERMIT DOCUMENT**  
 This document is one of the documents relevant to the permit issued for building work a identifying permit No  
 Date permit issued **BPA - 2010/60**  
 Permit Authority **3 MARCH 10**  
 No. **2659**

**CERTIFIED LIKELY COMPLIANCE**

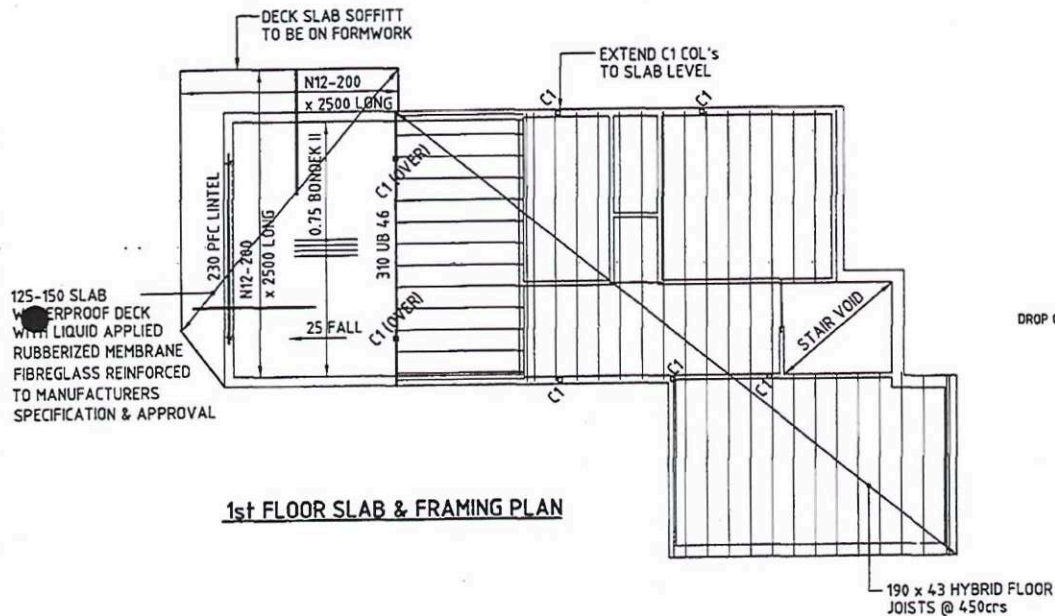
David Murfet  
 Building Surveyor  
 Acc No 455U Date  
 29 JAN 2010

CERT No **2659**  
 SIGNED *[Signature]*

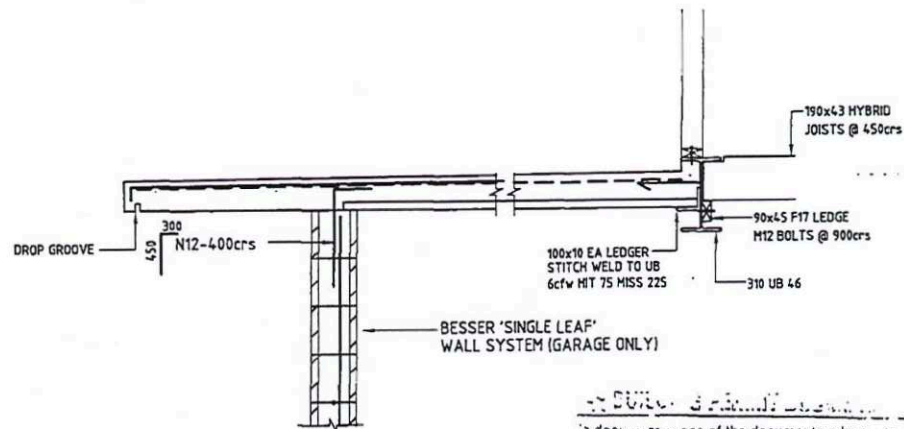
**SCANNED**

 CONSULTING ENGINEERS Emmanuel Dellas Pty Ltd phone: 6228 2225 fax 6228 2235 mobile: 0418 232 811 email: edellax@bigpond.com.au	Project Title:	Scale:		
	PROPOSED RESIDENCE FOR Mr & Mrs H.G. SOUVLERIS 85 SPITFARM RD, OPOSSUM BAY GROUND FLOOR SLAB PLAN	1:100	A3	
	Designed by: FN	Date: JAN '10	Job No. 2659	
			Drawing No. <b>S3</b>	Rev. A

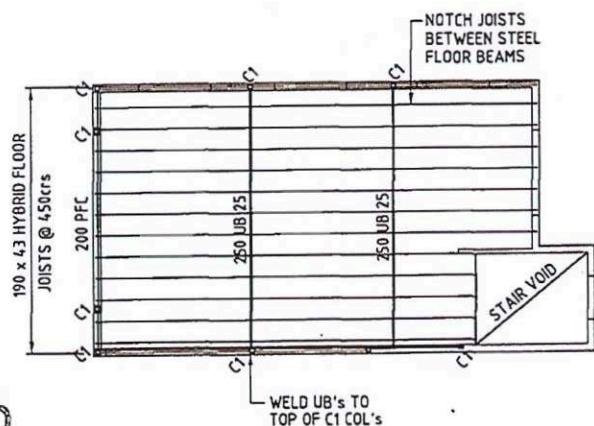




**1st FLOOR SLAB & FRAMING PLAN**



This document is one of the documents relevant to the permit issued for building work a identification number permit No  
 Date permit issued BPA-2010/60  
 Permit Authority S. MARSH, 10




**SCANNED**  
**2nd FLOOR FRAMING PLAN**

**CERTIFIED  
LIKELY COMPLIANCE**

David Murfet  
 Building Surveyor  
 Acc No 455U Date  
 29 JAN 2010

CERT No 2659

SIGNED *[Signature]*

 CONSULTING ENGINEERS Emmanuel Dellas Pty Ltd phone: 6228 2225 fax: 6228 2235 mobile: 0418 232 811 email: edellas@bigpond.com.au GPO Box 1805 Haber 7001	Project Title:		Scale:		
	<b>PROPOSED RESIDENCE FOR Mr &amp; Mrs H.G. SOUVLERIS 85 SPITFARM RD, OPOSSUM BAY FLOOR SLAB &amp; FRAMING PLANS</b>		1:100	A3	
	Designed by: E.D.		Date: JAN '10	Job No. 2659	Drawing No. S4
				Rev. A	

**From:** [redacted]  
**Sent:** Thu, 29 Feb 2024 16:27:05 +1100  
**To:** "City Planning" <cityplanning@ccc.tas.gov.au>  
**Subject:** Re: Att [redacted]  
**Categories:** [redacted]

**This Message Is From an External Sender**

This message came from outside your organization.

Hi Rachael

As discussed on phone- The proposal is simply a change of USE - Short term accommodation

There are no plans or intentions of any building/ site alterations

Please remove the below that is something historical which never happened

Kind regards

Gina

Sent from my iPhone

On 29 Feb 2024, at 3:16 pm, City Planning <cityplanning@ccc.tas.gov.au> wrote:

Good afternoon Mrs Souvleris

When doing a final review prior to sending this application to advertising, a final question was raised regarding works on the site. Please see attached RFI. Please don't hesitate to give me a call if you have any questions.

Kind regards  
<image001.png>



*Clarence City Council pays respect to all First Peoples, and recognises the Tasmanian Aboriginal peoples as the original and ongoing Custodians of this island lutruwita (lu tru wee tah) / Trouwana (tru wah nah) / Tasmania. We acknowledge the survival and deep spiritual connection of the Tasmanian Aboriginal peoples to their culture and Country, which spans more than 40,000 years, and we pay respect to Elders past and present;*

---

**From:** [redacted]  
**Sent:** Tuesday, February 27, 2024 6:36 AM  
**To:** City Planning <cityplanning@ccc.tas.gov.au>; [redacted]  
[redacted]  
**Subject:** Att [redacted]



**This Message Is From an External Sender**

This message came from outside your organization.

-The intended use for 85 Spitfarm road is for Short term accommodation the whole property to be used with a maximum of 4 guests!

Opossum Bay is 45minutes from Hobart CBD and widely used a a beach side holiday destination!

4 of my immediate neighbours have no issues with short term accommodation users and poses no traffic issues as my property has capacity for 3-4 cars off street !!

It is my intention to have the property managed by an agent for AirBnb and only booked at my discretion giving me the ability to stay there at various times within the year (Long term rental would not allow for this ) hence I have decided with the short term holiday renting to allow my family the opportunity to enjoy when able

Kind regards

Gina Souvleris

CONFIDENTIALITY NOTICE AND DISCLAIMER The information in this transmission may be confidential and/or protected by legal professional privilege and is intended only for the person or persons to whom it is addressed. If you are not such a person, you are warned that any disclosure, copying or dissemination of the information is unauthorised. If you have received this transmission in error, please immediately delete it and contact Council by telephone or email to inform us of the error. No liability is accepted for any unauthorised use of the information contained in this transmission.

<Request for Further Information - PDPLANPMTD-2024-041476 - 29-Feb-2024.pdf>

**From:** [REDACTED]  
**Sent:** Thu, 15 Feb 2024 20:31:37 +1100  
**To:** "City Planning" <cityplanning@ccc.tas.gov.au>  
**Subject:** Att [REDACTED]  
**Categories:** [REDACTED]

**This Message Is From an Untrusted Sender**

You have not previously corresponded with this sender.

PDPLANPMTD-2024/041476 - 85 Spitfarm Road

Hi , please see copy of site plan as requested

- I intend to rent out entire property through a Airbnb property management team Hometime

- There is more than adequate parking off street 3-4 cars

- There are loads of other properties in the area currently available for short term rentals/AirBnB with or without Permits???

- I have had the property for 20 years and my family has enjoyed lots of pleasant experiences there

The community and my fellow long term neighbours are agreeable to my planned intentions and welcome the flow of short term holiday guests

As I still intend to use my property throughout the year at various times I only intend to open the rental calendar for around 6 months

Please advise if you require any information

Kind regards

Gina Souvleris