



## **DEVELOPMENT APPLICATION**

### **PDPLANPMTD-2023/040979**

**PROPOSAL:** Two Warehouses (Storage)

**LOCATION:** 16 Jannah Court, Mornington

**RELEVANT PLANNING SCHEME:** Tasmanian Planning Scheme - Clarence

**ADVERTISING EXPIRY DATE:** 08 April 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 08 April 2024. In addition to legislative requirements, plans and documents can also be viewed at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au). Representations must be received by Council on or before 08 April 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at the Council offices.

# Clarence City Council



## APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) or at Council offices.

Proposal:

Two New Warehouses

Location:

Address: 16 Tannah Court  
Suburb/Town: Mornington Postcode: 7018

Current  
Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for  
application fees to  
be in the name of:  
(if different from  
applicant)

Estimated cost of development

\$ 600,000.00

Is the property on the Tasmanian Heritage Register?

Yes

☐

No

☒

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

38 Bligh Street, Rosny Park, Tasmania • Address correspondence to: General Manager, PO Box 96, Rosny Park 7018 • Dx: 70402  
Telephone (03) 6217 9550 • Email [cityplanning@ccc.tas.gov.au](mailto:cityplanning@ccc.tas.gov.au) • Website [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Vacant

Does the proposal involve land administered or owned by the Crown or Council?

Yes

☐

No

☒


Declaration:

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement:

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Applicant's Signature:

	Date <u>11/12/2023</u>
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**PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.**

## SEARCH OF TORRENS TITLE

VOLUME 163650	FOLIO 3
EDITION 4	DATE OF ISSUE 25-Jan-2022

SEARCH DATE : 30-Mar-2023

SEARCH TIME : 04.06 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 3 on Sealed Plan 163650

Derivation : Part of 397 Acres Gtd. to William Murray

Prior CT 161418/1

SCHEDULE 1

M938225 TRANSFER to TLPNG TAS PTY LTD Registered  
25-Jan-2022 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP163650 COVENANTS in Schedule of Easements

SP163650 FENCING PROVISION in Schedule of Easements

SP113948, SP123766, SP127687 & SP161418 FENCING PROVISION in  
Schedule of EasementsSP127687 COUNCIL NOTIFICATION under Section 83(5) of the Local  
Government (Building and Miscellaneous Provisions)  
Act 1993.E291183 MORTGAGE to Australia and New Zealand Banking Group  
Limited Registered 25-Jan-2022 at 12.01 PMUNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



**COUNCIL APPROVAL**

{Insert any qualification to the permit under section 83(5), section 109 or section 111  
of the Local Government ( Building & Miscellaneous Provisions ) Act 1993 }

The subdivision shown in this plan is approved

Registered Number

**SP163650**

In witness whereof the common seal of *Clarence City Council*  
has been affixed, pursuant to a resolution of the Council of the said municipality  
passed the *3* day of *August* 20*10*, in the presence of us

~~Member~~ ..... *Alex Van Der Hek*

~~Member~~ ..... *Corporate Secretary*  
Clarence City Council

~~General Manager~~ ..... *38 High Street*  
Rosny Park 7018

Council Reference *SP2009/24*

**NOMINATIONS**

For the purpose of section 88 of the Local Government ( Building & Miscellaneous Provisions ) Act 1993  
the owner has nominated

MURDOCH CLARKE

Solicitor to act for the owner

ROGERSON & BIRCH SURVEYORS

Surveyor to act for the owner

OFFICE EXAMINATION:

Indexed .....

Computed ..... *13* .....

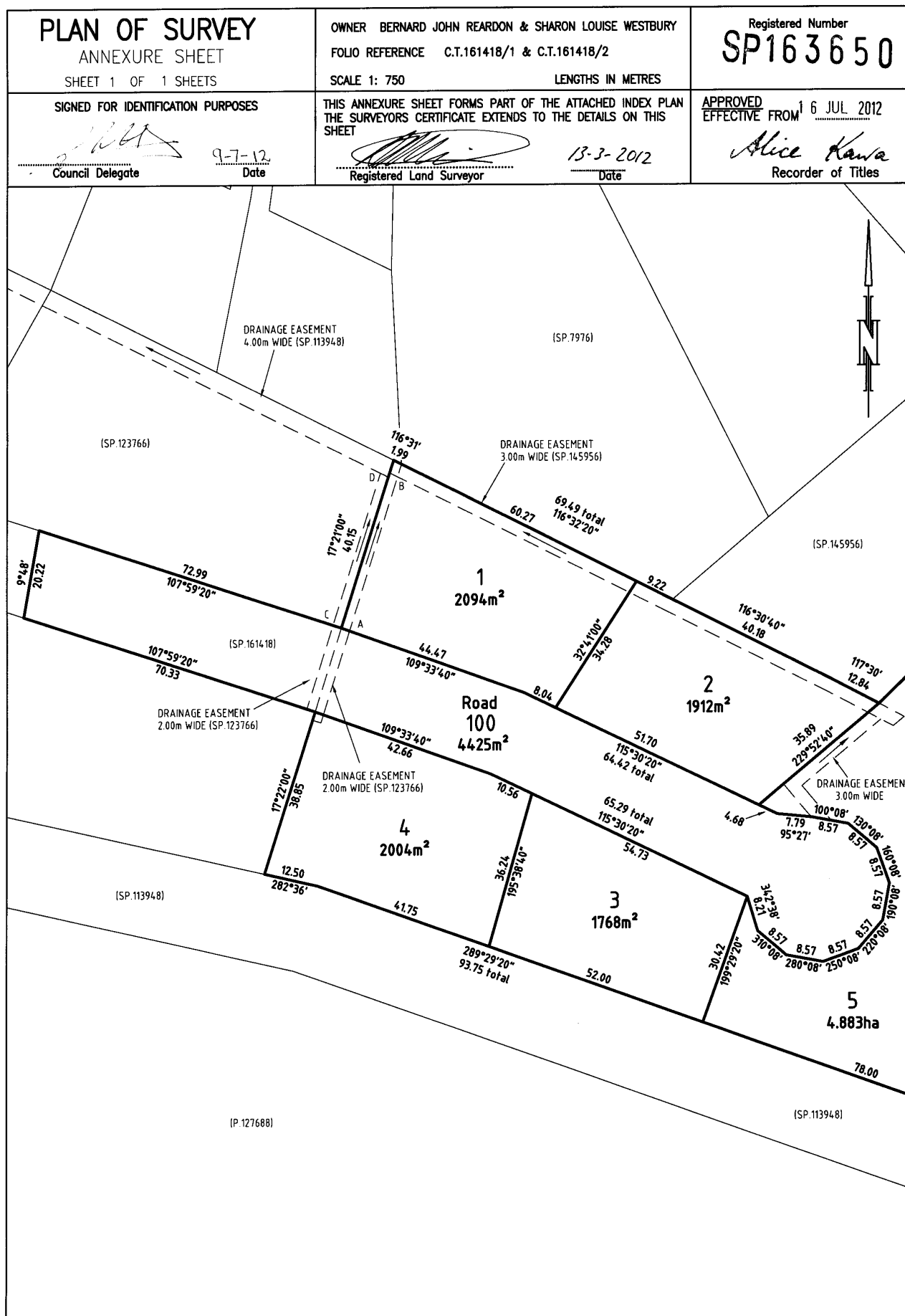
Examined ..... *12/7/12* \*

<p><b>OWNER</b> BERNARD JOHN REARDON &amp; SHARON LOUISE WESTBURY</p> <p><b>FOLIO REFERENCE</b> C.T.161418/1 &amp; C.T.161418/2</p> <p><b>GRANTEE</b> PART OF 397 ACRES GTD TO WILLIAM MURRAY &amp; PART OF LOT 36738 (43.03ha) GTD TO THE DIRECTOR OF HOUSING</p>	<p><b>PLAN OF SURVEY</b> BY SURVEYOR ANDREW STEPHEN BIRCH <b>ROGERSON &amp; BIRCH SURVEYORS</b> UNIT 1B 120 CAMBRIDGE ROAD ROSNY PARK PH 6244-6256 FAX 6244-6221 MOB. 0418-120-796</p> <p><b>LOCATION</b> <b>CITY OF CLARENCE</b></p> <p>SCALE 1: 2000      LENGTHS IN METRES</p>	<p><b>REGISTERED NUMBER</b> <b>SP163650</b></p> <p><b>APPROVED</b> 16 JUL 2012 <b>EFFECTIVE FROM</b> <i>Alice Kawa</i> Recorder of Titles</p>	
<p><b>MAPSHEET MUNICIPAL</b> CODE No. 107 (5225-34)</p>	<p><b>LAST UPI No.</b> FKL63</p>	<p><b>LAST PLAN</b> No. SP.161418</p>	<p><b>ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN</b></p>

LOT 5 IS COMPILED FROM C.T.161418/2 THIS SURVEY

**ENLARGEMENT**  
SCALE 1:1000

*[Signature]* 9-7-12  
COUNCIL DELEGATE      DATE



<b>SCHEDULE OF EASEMENTS</b>	Registered Number <b>SP 163650</b>
<b>NOTE:</b> THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

**EASEMENTS AND PROFITS**

PAGE 1 OF 6 PAGES

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

- (3) a Right of Drainage over the drainage easements shown on the plan in favour of the Clarence City Council and Tasmanian Water and Sewerage Corporation (Southern Region Pty Ltd)

**Lot 1 is**

TOGETHER WITH a Right of Drainage over the Drainage Easement 2.00 wide marked "CD" on the plan hereon.

TOGETHER WITH a Right of Drainage over the Drainage Easement 4.00 wide on the plan hereon.

SUBJECT TO a Right of Drainage (appurtenant to Lot 1 on Sealed Plan 145956 and Lot 2 on Sealed Plan 161418) over the Drainage Easement 3.00 wide on the plan hereon.

SUBJECT TO a Right of Drainage (appurtenant to Lot 2 on Sealed Plan 123766) over the Drainage Easement 2.00 wide shown passing through Lot 1 on the plan.

SUBJECT TO a Right of Drainage (appurtenant to Lot 1 on Sealed Plan 123766) over the Drainage Easement 2.00 wide marked "A B" passing through Lot 1 on the plan.

SUBJECT TO a "Pipeline Easement" (as herein defined) over the Drainage Easements 2.00 wide Drainage Easement 3.00 wide and Drainage Easement marked "AB" (hereinafter collectively called the "Easement Land") in favour of Tasmanian Water and Sewerage Corporation (Southern Region) Pty Ltd

*B. Reardon* *S. Westbury*

USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Bernard John Reardon and Sharon Louise Westbury FOLIO REF: Certificate of Title Volume 161418 Folio 1 SOLICITOR & REFERENCE: Murdoch Clarke (R J Badenach:1180973)	PLAN SEALED BY: Clarence Council DATE: 9-7-12 SD-2009/24 REF NO. <i>[Signature]</i> Council Delegate
<b>NOTE:</b> The Council Delegate must sign the Certificate for the purposes of identification.	

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 2 OF 6 PAGES	Registered Number <b>SP163650</b>
SUBDIVIDER: Bernard John Reardon and Sharon Louise Westbury FOLIO REFERENCE Certificate of Title Volume 161418 Folio 1	

**Lot 2 is**

TOGETHER WITH a Right of Drainage over the Drainage Easement 2.00 wide marked "CD" on the plan hereon.

TOGETHER WITH a Right of Drainage over the Drainage Easement 4.00 wide on the plan hereon.

SUBJECT TO a right of drainage (appurtenant to Lot 1 on Sealed Plan 145956 and Lot 2 on Sealed Plan 161418) over the Drainage Easement 3.00 wide on Sealed Plan 145956 and on the plan hereon.

SUBJECT TO a "Pipeline Easement" (as herein defined) over the Drainage Easement 3.00 wide in favour of Tasmanian Water & Sewerage Corporation (Southern Region) Pty Ltd.

**Lot 4 is:**

SUBJECT TO a "Pipeline Easement" (as herein defined) over the Drainage Easement 2.00 wide in favour of Tasmanian Water & Sewerage Corporation (Southern Region) Pty Ltd.

SUBJECT TO a Right of Drainage (appurtenant to Lot 2 on Sealed Plan 123766) over the Drainage Easement 2.00 wide shown passing through Lot 4 on the plan.

**Lot 5 is:**

TOGETHER WITH a Right of Drainage over the Drainage Easement 3.00 wide shown on the plan hereon passing through Lots 1 and 2 hereon.

THAT PART of Lot <sup>5</sup>~~2~~ on the plan which formerly comprised Lot 2 on Sealed Plan 145956 is TOGETHER WITH a Right of Carriageway over the Right of Way (Private) "C" 4.50 wide, Right of Way (Private) "A" and Right of Way (Private) "E" 4.50 metres wide shown on the plan hereon.

SUBJECT TO a right of carriageway (appurtenant to Lot 2 on Sealed Plan 106761 and Lots 1 and 2 on Sealed Plan 122816) over the right of Way (Private) "F" variable width shown on the plan hereon.

SUBJECT TO a right of carriageway (appurtenant to Lot 2 on Sealed Plan 32540) over the right of Way (Private) "B" shown on the plan hereon.

SUBJECT TO a Right of Drainage appurtenant to Lots 1 and 2 on Sealed Plan 145956 over that portion of the Drainage Easement 3.00 wide passing through such lot.

*B. Reardon* *S. Westbury* (SP145956)

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 3 OF 6 PAGES	Registered Number <b>SP163650</b>
SUBDIVIDER: Bernard John Reardon and Sharon Louise Westbury FOLIO REFERENCE Certificate of Title Volume 161418 Folio 1	

**Lot 100 is:**

SUBJECT TO a Right of Drainage (appurtenant to Lot 2 on Sealed Plan 123766) over the Drainage Easement 2.00 wide shown passing through Lot 100 on the plan;

SUBJECT TO a "Pipeline Easement" (as herein defined) over the Drainage Easement 2.00 wide in favour of Tasmanian Water and Sewerage Corporation (Southern Region) Pty Ltd

**Covenants:**

THAT PART of Lot 5 on the plan which formerly comprised Lot 2 on Sealed Plan 145956 is burdened by the Restrictive Covenant created by Sealed Plan 106761 namely:

Not to erect or cause to be erected any structure or dwelling without have supplied to the Clarence City Council structural certificates certified by a practising structural engineering company with any building application.

The owners of Lots 1, 2, 3 and 4 covenant with the Vendors (Bernard John Reardon and Sharon Louise Westbury) and the owners for the time being of every other lot shown on the plan to the intent the burden of these covenants may run with and bind the covenantors lot and every other part thereof and that the benefit thereof shall be annexed to and devolve with each and every lot shown on the plan to observe the following stipulation:

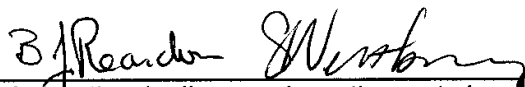
1. Not to construct on the lot any building of which the external walls apart from the roof are galvanised or colourbond.
2. Not to construct any building on the lot where the external walls are not concrete tilt-up or similar materials.
3. The Vendors shall have the right to vary, waive or extinguish the covenants (or any of them) as above set forth in relation to any lot shown in the said plan.

**Fencing Provision:**

In respect of each lot on the plan the Vendors (Bernard John Reardon and Sharon Louise Westbury) shall not be required to fence.

**Interpretation:**

The Pipeline Easement is defined as follows:-



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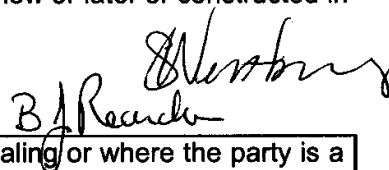
<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 4 OF 6 PAGES	Registered Number <b>SP163650</b>
SUBDIVIDER: Bernard John Reardon and Sharon Louise Westbury FOLIO REFERENCE Certificate of Title Volume 161418 Folio 1	

THE FULL RIGHT AND LIBERTY for Tasmanian Water and Sewerage Corporation (Southern Region Pty Ltd) ( the Transferee) at all times to:

- a) enter upon the Easement Land with employees, contractors, agents and all other persons duly authorised by it and with machinery, vehicles, plant and equipment; and
- b) open, break up and excavate the Easement Land to lay and maintain on or in the Easement Land, sewer pipes, water pipes, valves and fittings for any purposes the Transferee may deem necessary; and
- c) run and pass sewerage and water through and along the same and from time to time to inspect, cleanse, repair and maintain the same and when and where necessary to lay new pipes, valves and fittings in substitution for and in addition to any other pipes, valves and fittings; and
- d) do all necessary works in connection with such activities or as may be authorised by any legislation:-
  - i) without doing unnecessary damage to the Easement Land; and
  - ii) leaving the Easement Land in a clean and tidy condition.

PROVIDED ALWAYS THAT:

- e) The Transferor must not without the written consent of the Transferee first had and obtained and only in compliance with the conditions which form the consent (if any):-
  - i) alter or permit to be altered the ground level of the Easement Land;
  - ii) erect or permit to be erected any building, structure, pipeline, paving, tree, shrub or other object on or in the Easement Land;
  - iii) remove any soil, rock or other matter that supports, protects or covers any works of the Transferee on or in the Easement Land;
  - iv) do or permit to be done any manner of thing which shall damage or contribute to damage or be likely to cause or contribute to damage to the sewer pipes, water pipes, valves and fittings laid now or later or constructed in or on the Easement Land; or

  
B.J. Reardon

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 5 OF 6 PAGES	Registered Number <b>SP 163650</b>
SUBDIVIDER: Bernard John Reardon and Sharon Louise Westbury FOLIO REFERENCE Certificate of Title Volume 161418 Folio 1	

- v) in any way prevent or interfere with the proper exercise and benefit of this easement by the Transferee or its employees, contractors, agents and all other persons duly authorised by it.
- f) The Transferee is not required to fence any part of the Easement Land.
- g) The Transferor shall be at liberty to erect any fence across the Easement Land wherever it may reasonably require the same provided that:
  - i) the Transferee shall be at liberty to provide in such a fence a gate suitable to its purposes; and
  - ii) the Transferor shall provide the Transferee with a key to any lock which would prevent the opening of any gate so provided.
- h) In the event that the Transferor causes damage to any sewerage or water pipes, valves or fittings laid, maintained or substituted by the Transferee such that the Transferee is required to repair such damage, the Transferor shall be liable for the actual costs of the repair of the water pipes, valves and fittings so damaged.
- i) The Transferee shall be at liberty without forfeiting any right of action, damages or otherwise against the Transferor to reinstate any alteration to the ground level and to remove from the Easement Land any building, structure, pipeline, paving, tree, shrub or other object or replace ant soil, rock or other matter that supported, protected or covered by works of the Transferee on or in the Easement Land which contravenes the provisions of this easement and shall not be required to replace or remove the same.
- j) The Transferee with employees, contractors, agents and all other persons duly authorised by it and with machinery, vehicles, plant and equipment shall be at liberty to access and enter upon the Easement Land for the purposes of this Easement, such access to be from the road frontage or from any gate.
- k) The Transferee shall be permitted to access the Easement land from the adjoining land of the Transferor provided that in doing so no damage or inconvenience is caused.
- l) The Transferor shall not place any obstruction which would prevent access to the Easement Land.

*B. J. Reardon* *S. L. Westbury*

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<p><b>ANNEXURE TO SCHEDULE OF EASEMENTS</b></p> <p>PAGE 6 OF 6 PAGES</p>	<p>Registered Number</p> <p><b>SP163650</b></p>
<p>SUBDIVIDER: Bernard John Reardon and Sharon Louise Westbury FOLIO REFERENCE Certificate of Title Volume 161418 Folio 1</p>	

**SIGNED by BERNARD JOHN REARDON** )  
**and SHARON LOUISE WESTBURY** )  
the registered proprietors of the land )  
comprised in Certificates of Title )  
Volume 145956 Folio 2 and )  
Certificate of Title Volume 127687 )  
Folio 1 in the presence of: )

B. J. Randa  
Wesbury

witness.....  
full name..... Robert John Badenach  
address..... Solicitor..  
occupation..... 10 Victoria St  
HOBART TAS 7000

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CIVIL DRAWINGS  
PROPOSED WAREHOUSE  
16 JANNAH COURT, MORNINGTON, TAS

C001	COVER	B	28/02/24
C002	DRAWING NOTES	A	31/01/24
C101	LOCALITY PLAN	A	31/01/24
C102	SITE PLAN	A	31/01/24
C103	STORMWATER AND GRADING PLAN - SHEET 1	B	28/02/24
C104	STORMWATER AND GRADING PLAN - SHEET 2	A	28/02/24
C105	SEWER AND WATER PLAN - SHEET 1	A	31/01/24
C106	SEWER AND WATER PLAN - SHEET 2	A	31/01/24
C107	TURNPATH PLAN	A	31/01/24
C301	LONG SECTIONS	A	31/01/24
C401	CONSTRUCTION DETAILS	A	31/01/24

PLANNING APPROVAL



DRAWING: COVER		
CLIENT:	SOUTHERN PLUMBING PTY LTD	DRAWN: TH
PROJECT ADDRESS:	16 JANNAH COURT, MORNINGTON, TAS	DATE: 28/02/24
DRAWING NUMBER: C001		

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CIVIL NOTES

GENERAL NOTES:

- 1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, HYDRAULIC AND STRUCTURAL DRAWINGS AND SPECIFICATIONS. STANDARDS REFERENCED ARE TO BE THE MOST CURRENT VERSION.
- 2. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS ENDORSED 'FOR CONSTRUCTION' AND AUTHORISED FOR ISSUE ACCORDINGLY.
- 3. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH IPWEA/LGAT STANDARD DRAWINGS AND SPECIFICATIONS, AUSTRALIAN STANDARDS, (WSAA SEWERAGE CODE OF AUSTRALIA & WATER SUPPLY CODE OF AUSTRALIA) AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
- 4. IPWEA/LGAT STANDARD DRAWINGS TO BE READ IN CONJUNCTION WITH COUNCIL EXCLUSION SHEETS TSD-E01-v1 & TSD-E02-v1.
- 5. ALL WORKS ARE TO BE MAINTAINED IN A SAFE CONDITION.
- 6. CONFIRM ALL LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF WORKS
- 7. CONTRACTOR TO OBTAIN APPROVALS, SERVICE CLEARANCES AND COORDINATE WORK WITH ALL RELEVANT AUTHORITIES PRIOR TO COMMENCEMENT.
- 8. A "START OF WORKS NOTICE" MUST BE OBTAINED FROM COUNCIL PRIOR TO ANY WORKS COMMENCING.

WORKPLACE HEALTH & SAFETY NOTES:

BEFORE THE CONTRACTOR COMMENCES WORK THE CONTRACTOR SHALL UNDERTAKE A SITE SPECIFIC PROJECT PRE-START HAZARD ANALYSIS / JOB SAFETY ANALYSIS (JSA) WHICH SHALL IDENTIFY IN DOCUMENTED FORM;

- THE TYPE OF WORK.
- HAZARDS AND RISKS TO HEALTH AND SAFETY.
- THE CONTROLS TO BE APPLIED IN ORDER ELIMINATE OR MINIMIZE THE RISK POSED BY THE IDENTIFIED HAZARDS.
- THE MANNER IN WHICH THE RISK CONTROL MEASURES ARE TO BE IMPLEMENTED.

THESE ARE TO BE SUBMITTED TO THE SUPERINTENDENT AND/OR OTHER RELEVANT WORKPLACE SAFETY OFFICERS.

FOR THIS PROJECT; POSSIBLE HAZARDS INCLUDE (BUT ARE NOT LIMITED TO):

- EXCAVATION OF ANY TYPE & DEPTHS
- CONTAMINATED SOILS
- CONSTRUCTION IN GROUND WITH HIGH WATER TABLE
- FELLING / LOPPING &/OR REMOVAL OF EXISTING TREES/VEGETATION
- UNDERGROUND STRUCTURES (MANHOLES / SUMPS / ETC)
- CONFINED SPACES
- OVERHEAD POWER LINES
- UNDERGROUND STORMWATER, WATER AND SEWER PIPES
- TELECOMMUNICATION CABLES - BOTH UNDERGROUND & OVERHEAD
- ELECTRICAL/POWER CABLES - BOTH UNDERGROUND & OVERHEAD
- WORKING AT HEIGHTS
- WORKING WITH ASBESTOS CONTAINING MATERIALS
- TRAFFIC MANAGEMENT

EARTHWORKS & DRIVEWAY NOTES:

- 1. ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH AS3798 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS".
- 2. ALL VEGETATION AND TOPSOIL SHALL BE STRIPPED AND GRUBBED IN THE AREA OF PROPOSED WORKS.
- 3. NEW OR MODIFIED DRIVEWAY CROSSINGS SHALL BE IN ACCORDANCE WITH IPWEA STANDARD DRAWING TSD-R09-v2 AND MUST BE INSPECTED AND APPROVED BY COUNCIL.
- 4. EXCAVATED AND IMPORTED MATERIAL USED AS FILL IS TO BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
- 5. FILL MATERIAL SHALL BE WELL GRADED AND FREE OF BOULDERS OR COBBLES EXCEEDING 150mm IN DIAMETER UNLESS APPROVED TO BE OTHERWISE.
- 6. FILL REQUIRED TO SUPPORT DRIVEWAYS INCLUDING FILL IN EMBANKMENTS THAT SUPPORT DRIVEWAYS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
  - TOP SOIL AND ORGANIC MATTER SHALL BE STRIPPED TO A MINIMUM OF 100mm.
  - THE SUB GRADE SHALL HAVE A MINIMUM BEARING CAPACITY OF 100 kPa.
  - FILL IN EMBANKMENTS SHALL BE KEYED 150mm INTO NATURAL GROUND.
  - THE FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS OF NOT MORE THAN 200mm.
  - EACH LAYER SHALL BE COMPACTED TO A MINIMUM DENSITY RATIO OF 95% STD. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS IS ACHIEVED.
- 7. WHERE THE ABOVE REQUIREMENTS CANNOT BE ACHIEVED THE ENGINEER SHALL BE CONSULTED AND THE FORMATION SHALL BE PROOF ROLLED (UNDER SUPERVISION OF THE ENGINEER) TO CONFIRM AN APPROVED BASE.
- 8. CONCRETE PAVEMENTS SHALL BE CURED FOR A MINIMUM OF 3 DAYS USING A CURRENT BEST PRACTICE METHOD.
- 9. SAWN CONTROL JOINTS SHALL BE CONSTRUCTED AS SOON AS POSSIBLE WITHOUT RAVELLING THE JOINT, GENERALLY THIS SHALL BE WITHIN 24 HOURS.
- 10. BATTERS SHALL BE SET TO A SAFE ANGLE OF REPOSE IN ACCORDANCE WITH THE BCA VOL 2 AS INDICATED BELOW:

SOIL TYPE (*REFER BCA 3.2.4.)		EMBANKMENT SLOPES H:L	
		COMPACTED FILL	CUT
STABLE ROCK (A*)		2:3	8:1
SAND (A*)		1:2	1:2
SILT (A*)		1:4	1:1
CLAY	FIRM CLAY	1:2	1:2
	SOFT CLAY	NOT SUITABLE	2:3
SOFT SOILS (P)		NOT SUITABLE	NOT SUITABLE

NOTE: WHERE SITE CONDITIONS ARE UNSUITABLE FOR A BATTERED BANK CONSULT THE ENGINEER FOR A SUITABLE RETAINING WALL DESIGN. EMBANKMENTS THAT ARE TO BE LEFT EXPOSED MUST BE STABILISED BY VEGETATION OR SIMILAR WORKS TO PREVENT SOIL EROSION.

DRAINAGE & SERVICES NOTES:

- 1. ALL WORKS ASSOCIATED WITH PUBLIC STORMWATER INFRASTRUCTURE IS TO BE CARRIED OUT IN ACCORDANCE WITH IPWEA (TAS) LGAT STANDARD DRAWINGS AND SPECIFICATION AND TO THE SATISFACTION OF COUNCIL.
- 2. ALL WORKS ASSOCIATED WITH PUBLIC SEWER AND WATER IS TO BE CARRIED OUT IN ACCORDANCE WITH THE WSA PARTS 02 & 03 (WATER AND SEWERAGE CODES OF AUSTRALIA), TASWATER SUPPLEMENTS TO THE SAME, AND TO THE SATISFACTION OF TASWATER.
- 3. ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY THE REGULATING AUTHORITY AT COST TO BUILDER UNLESS APPROVED OTHERWISE.
- 4. HYDRAULIC LAYOUT TO BE COORDINATED WITH OTHER SERVICES. HYDRAULIC LAYOUT AS SHOWN IS NOTIONAL, LAYOUT TO BE CONFIRMED ON SITE.
- 5. ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
- 6. GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH AS3500 AND THE NCC VOLUME 3 (PCA)
- 7. INSTALL ALL SUB-SOIL DRAINS TO THE REQUIREMENTS OF AS3500, PART 3.1.3 OF THE NCC 2019 - VOLUME 2 AND PART FP2 OF THE NCC 2019 - VOLUME 3.
- 8. PAVEMENT AND HARDSTAND AREAS SHALL FALL AT A MINIMUM OF 1% (1:100) TOWARD AN APPROVED DISCHARGE POINT.
- 9. ALL PIPE WORK UNDER TRAFFICABLE AREAS, INCLUDING DRIVEWAYS, IS TO BE BACKFILLED WITH COMPACTED FCR.
- 10. DRAINAGE PIPES TO BE MIN. uPVC CLASS SN4, PIPES UNDER TRAFFICABLE AREAS TO BE SN8 U.N.O.
- 11. MINIMUM GRADES FOR PRIVATE DRAINAGE PIPES SHALL BE 1% FOR STORMWATER AND 1.67% FOR SEWER U.N.O.
- 12. MINIMUM COVER FOR PRIVATE DRAINAGE PIPES SHALL BE 300mm FOR STORMWATER AND 500mm FOR SEWER U.N.O.
- 13. TASWATER SEWER MAINS TO BE MINIMUM DWV CLASS SN8 DN150 RRJ WITH MINIMUM CLASS SN10 DN100 PROPERTY CONNECTIONS.
- 14. STORMWATER MAINS TO BE MINIMUM DWV CLASS SN8 DN225 RRJ OR APPROVED EQUIVALENT UNLESS NOTED OTHERWISE.
- 15. WATER PIPES TO BE MIN. DN20 POLY PN16 AND FITTINGS TO BE MIN. CLASS 16 U.N.O.
- 16. WATER CONNECTIONS SHALL BE PROVIDED WITH METERAGE AND BACKFLOW PREVENTION AS PER TASWATER STANDARD DRAWING TWS-W-0002.
- 17. ALL PIPEWORK TO BE INSPECTED BY COUNCIL PRIOR TO BACKFILL.
- 18. PIT DIMENSIONS SHOWN HAVE BEEN DESIGNED BY PIT CAPACITY TABLES. THESE PITS MAY NEED TO BE INCREASED IN MINIMUM INTERNAL SIZE DUE TO THE DEPTH AS PER AS3500.3 AS PER TABLE BELOW WHICH IS THE CONTRACTORS RESPONSIBILITY TO ENSURE COMPLIANCE TO AS3500:

DEPTH TO INVERT OF OUTLET		MINIMUM INTERNAL DIMENSIONS mm	
		WIDTH	LENGTH
≤ 600		450	450
> 600	≤ 900	600	600
> 900	≤ 1200	600	900
> 1200		900	900

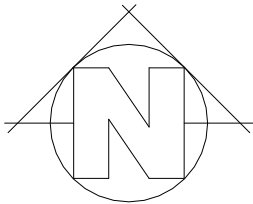
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DRAWING NOTES			
CLIENT:	SOUTHERN PLUMBING PTY LTD	DRAWN: TH	C002
PROJECT ADDRESS:	16 JANNAH COURT, MORNINGTON, TAS	DATE: 31/01/24	

PLANNING APPROVAL





LOCALITY PLAN

1 : 2000

PLANNING APPROVAL

NOTES

THESE DRAWINGS SHALL BE APPROVED BY THE RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION.

THIS DRAWING MUST ONLY BE DISTRIBUTED IN FULL COLOUR. TK EIGHTY DESIGN ACCEPTS NO LIABILITY ARISING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT

BEWARE OF UNDERGROUND SERVICES:  
THE LOCATION OF UNDERGROUND SERVICES ARE APROXIMATE ONLY AND THIER EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.

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DRAWING: LOCALITY PLAN		
CLIENT: SOUTHERN PLUMBING PTY LTD	DRAWN: TH	DRAWING NUMBER: C101
PROJECT ADDRESS: 16 JANNAH COURT, MORNINGTON, TAS	DATE: 31/01/24	







STORMWATER LEGEND	
SW	PVC STORMWATER DN150 SN8 U.N.O.
SD	SLOTTED PVC AG DRAIN
SD	TABLE DRAIN
Ex SW	EXISTING STORMWATER
IO	INSPECTION OPENING
IOG	INSPECTION OPENING TO SURFACE
ORG	OVERFLOW RELIEF GULLY (DN100) WITH TAP OVER
GRATED PIT	GRATED TRENCH WITH PIT
SEWER LEGEND	
S	PVC SEWER DN100 SN8 U.N.O.
Ex S	EXISTING SEWER
IO	SEWER FIXTURE
IOG	INSPECTION OPENING
IOG	INSPECTION OPENING TO SURFACE
ORG	OVERFLOW RELIEF GULLY (DN100) WITH TAP OVER
WATER SERVICES LEGEND	
W	HOPE WATER
Ex W	EXISTING WATER
WM	WATER METER
CV	CHECK VALVE
WV	WATER VALVE
HY	HYDRANT
SITE & EXISTING SERVICES LEGEND	
BOUNDARY	BOUNDARY
EASEMENT	EASEMENT
EXISTING FENCE	EXISTING FENCE
CH	EXISTING OVERHEAD POWER
E	EXISTING UNDERGROUND POWER
TEL	EXISTING TELSTRA
NBN	EXISTING NBN
GAS	EXISTING GAS
NOTES	
THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TSWATER) PRIOR TO CONSTRUCTION.	
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STORMWATER PLAN - SHEET 1

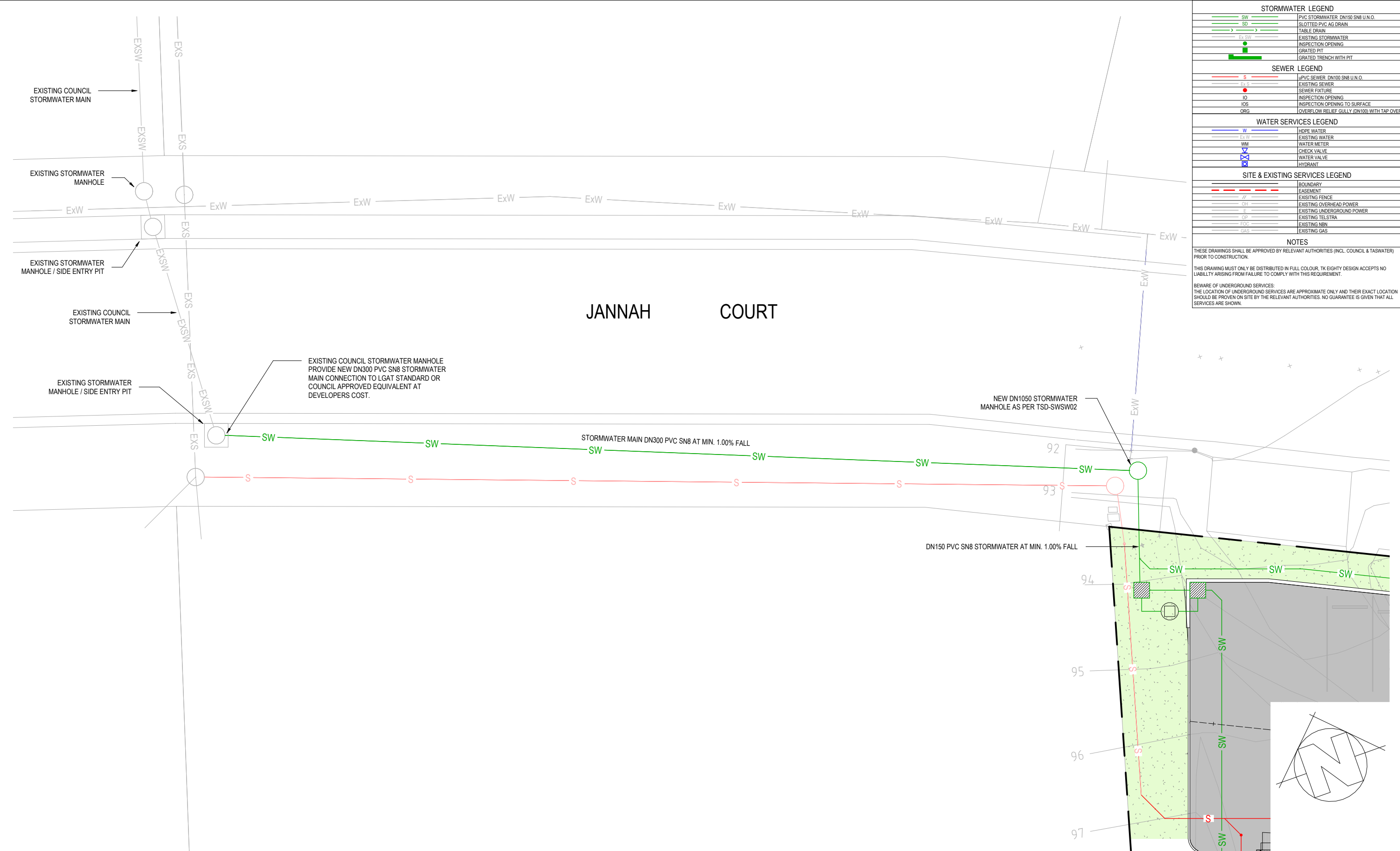
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PLANNING APPROVAL



DRAWING: STORMWATER AND GRADING PLAN - SHEET 1		
CLIENT: SOUTHERN PLUMBING PTY LTD	DRAWN: TH	C103
PROJECT ADDRESS: 16 JANNAH COURT, MORNINGTON, TAS	DATE: 28/02/24	

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STORMWATER LEGEND	
SW	PVC STORMWATER DN150 SN8 U.N.O.
SD	SLOTTED PVC AG DRAIN
→	TABLE DRAIN
Ex SW	EXISTING STORMWATER
●	INSPECTION OPENING
■	GRATED PIT
■	GRATED TRENCH WITH PIT
SEWER LEGEND	
S	PVC SEWER DN100 SN8 U.N.O.
Ex S	EXISTING SEWER
●	SEWER FIXTURE
IO	INSPECTION OPENING
IOS	INSPECTION OPENING TO SURFACE
ORG	OVERFLOW RELIEF GULLY (DN100) WITH TAP OVER
WATER SERVICES LEGEND	
W	HDPE WATER
Ex W	EXISTING WATER
WM	WATER METER
⋈	CHECK VALVE
⋈	WATER VALVE
⋈	HYDRANT
SITE & EXISTING SERVICES LEGEND	
---	BOUNDARY
---	EASEMENT
---	EXISTING FENCE
---	EXISTING OVERHEAD POWER
---	EXISTING UNDERGROUND POWER
---	EXISTING TELSTRA
---	EXISTING NBN
---	EXISTING GAS
NOTES	
THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION.	
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BEWARE OF UNDERGROUND SERVICES: THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.	

STORMWATER PLAN - SHEET 2

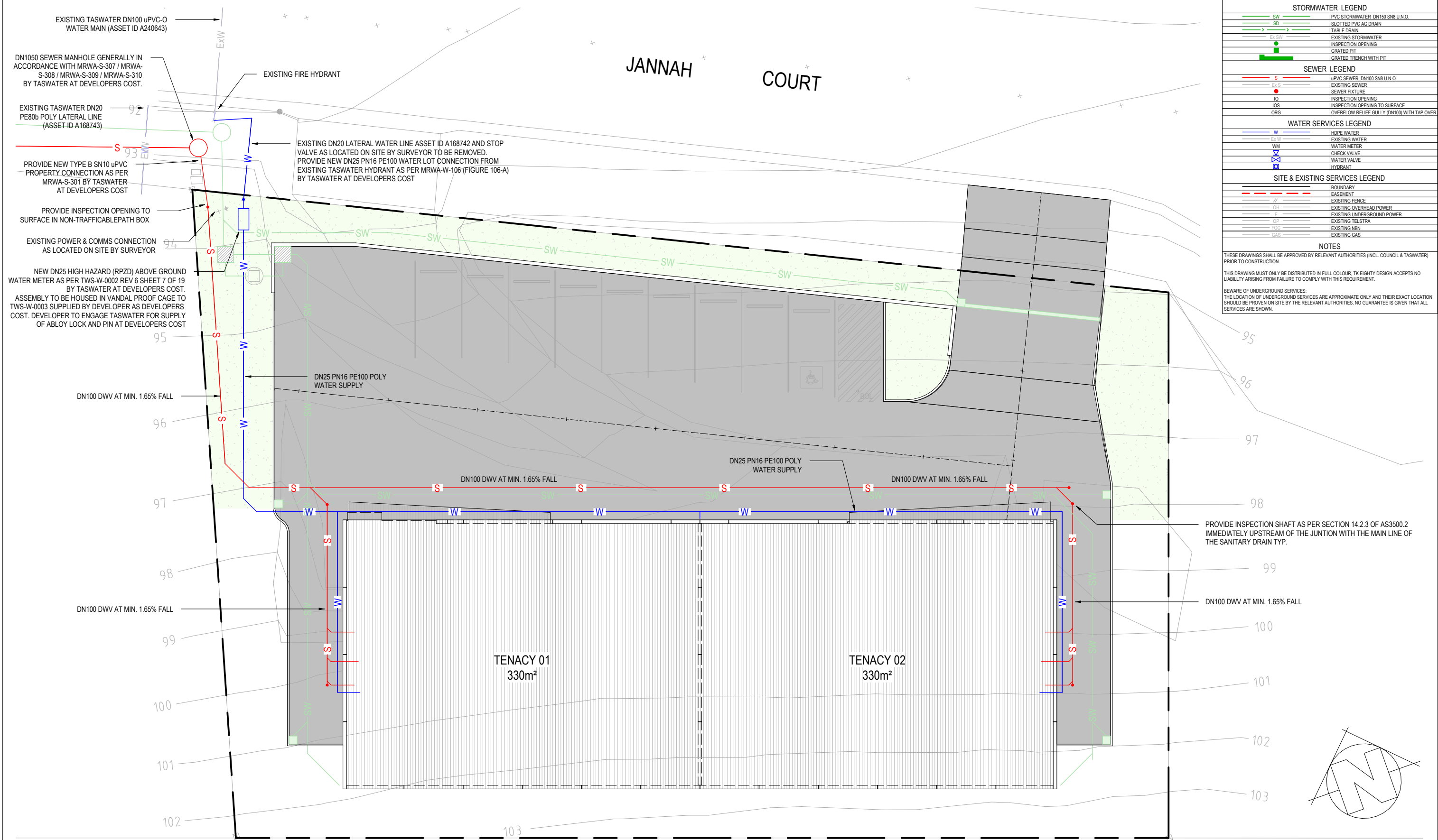
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PLANNING APPROVAL



DRAWING: STORMWATER AND GRADING PLAN - SHEET 2		
CLIENT: SOUTHERN PLUMBING PTY LTD	DRAWN: TH	C104
PROJECT ADDRESS: 16 JANNAH COURT, MORNINGTON, TAS	DATE: 28/02/24	

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STORMWATER LEGEND	
SW	PVC STORMWATER DN150 SN8 U.N.O.
SD	SLOTTED PVC AG DRAIN
SD	TABLE DRAIN
Ex SW	EXISTING STORMWATER
●	GRATED PIT
■	GRATED TRENCH WITH PIT
SEWER LEGEND	
S	uPVC SEWER DN100 SN8 U.N.O.
Ex S	EXISTING SEWER
●	SEWER FIXTURE
IO	INSPECTION OPENING
IOS	INSPECTION OPENING TO SURFACE
ORG	OVERFLOW RELIEF GULLY (DN100) WITH TAP OVER
WATER SERVICES LEGEND	
W	HOTPE WATER
Ex W	EXISTING WATER
WM	WATER METER
■	CHECK VALVE
■	WATER VALVE
■	HYDRANT
SITE & EXISTING SERVICES LEGEND	
---	BOUNDARY
- - -	EASEMENT
---	EXISTING FENCE
OH	EXISTING OVERHEAD POWER
E	EXISTING UNDERGROUND POWER
OP	EXISTING TELSTRA
POC	EXISTING NBN
GAS	EXISTING GAS
NOTES	
THESE DRAWINGS SHALL BE APPROVED BY RELEVANT AUTHORITIES (INCL. COUNCIL & TASWATER) PRIOR TO CONSTRUCTION.	
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BEWARE OF UNDERGROUND SERVICES: THE LOCATION OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT LOCATION SHOULD BE PROVEN ON SITE BY THE RELEVANT AUTHORITIES. NO GUARANTEE IS GIVEN THAT ALL SERVICES ARE SHOWN.	

SEWER AND WATER PLAN - SHEET 1

1:200

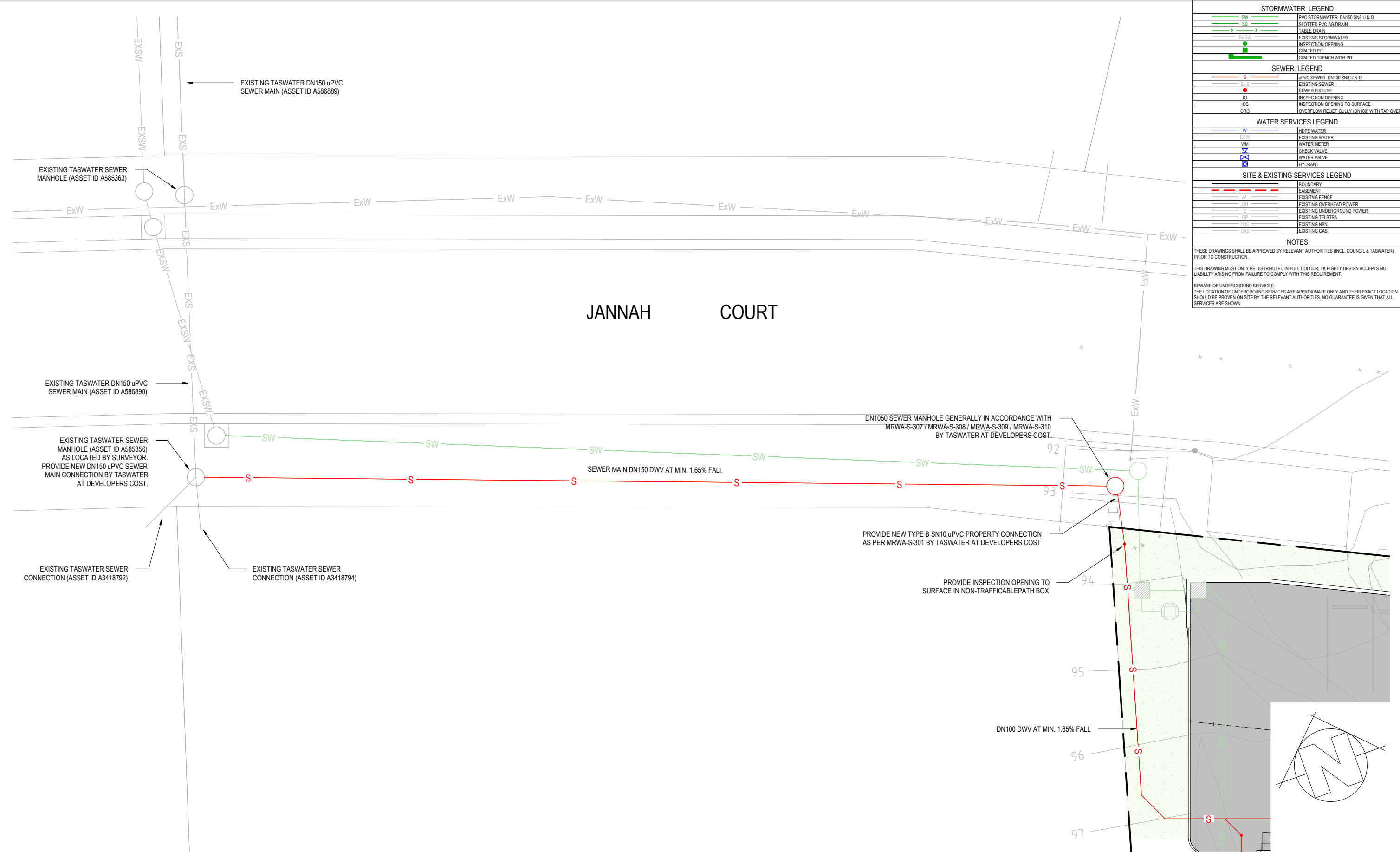
PLANNING APPROVAL



DRAWING: SEWER AND WATER PLAN - SHEET 1		
CLIENT: SOUTHERN PLUMBING PTY LTD	DRAWN: TH	C105
PROJECT ADDRESS: 16 JANNAH COURT, MORNINGTON, TAS	DATE: 31/01/24	

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STORMWATER LEGEND	
	PVC STORMWATER DN150 SN8 U.N.O.
	SLOTTED PVC AG DRAIN
	TABLE DRAIN
	EXISTING STORMWATER
	GRATED PT
	GRATED TRENCH WITH PIT
SEWER LEGEND	
	uPVC SEWER DN100 SN8 U.N.O.
	EXISTING SEWER
	SEWER FIXTURE
	INSPECTION OPENING
	INSPECTION OPENING TO SURFACE
	OVERFLOW RELIEF GULLY (DN100) WITH TAP OVER
WATER SERVICES LEGEND	
	HDPE WATER
	EXISTING WATER
	WATER METER
	CHECK VALVE
	WATER VALVE
	HYDRANT
SITE & EXISTING SERVICES LEGEND	
	BOUNDARY
	EASEMENT
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	EXISTING UNDERGROUND POWER
	EXISTING TELSTRA
	EXISTING NBN
	EXISTING GAS

**NOTES**

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SEWER AND WATER PLAN - SHEET 2

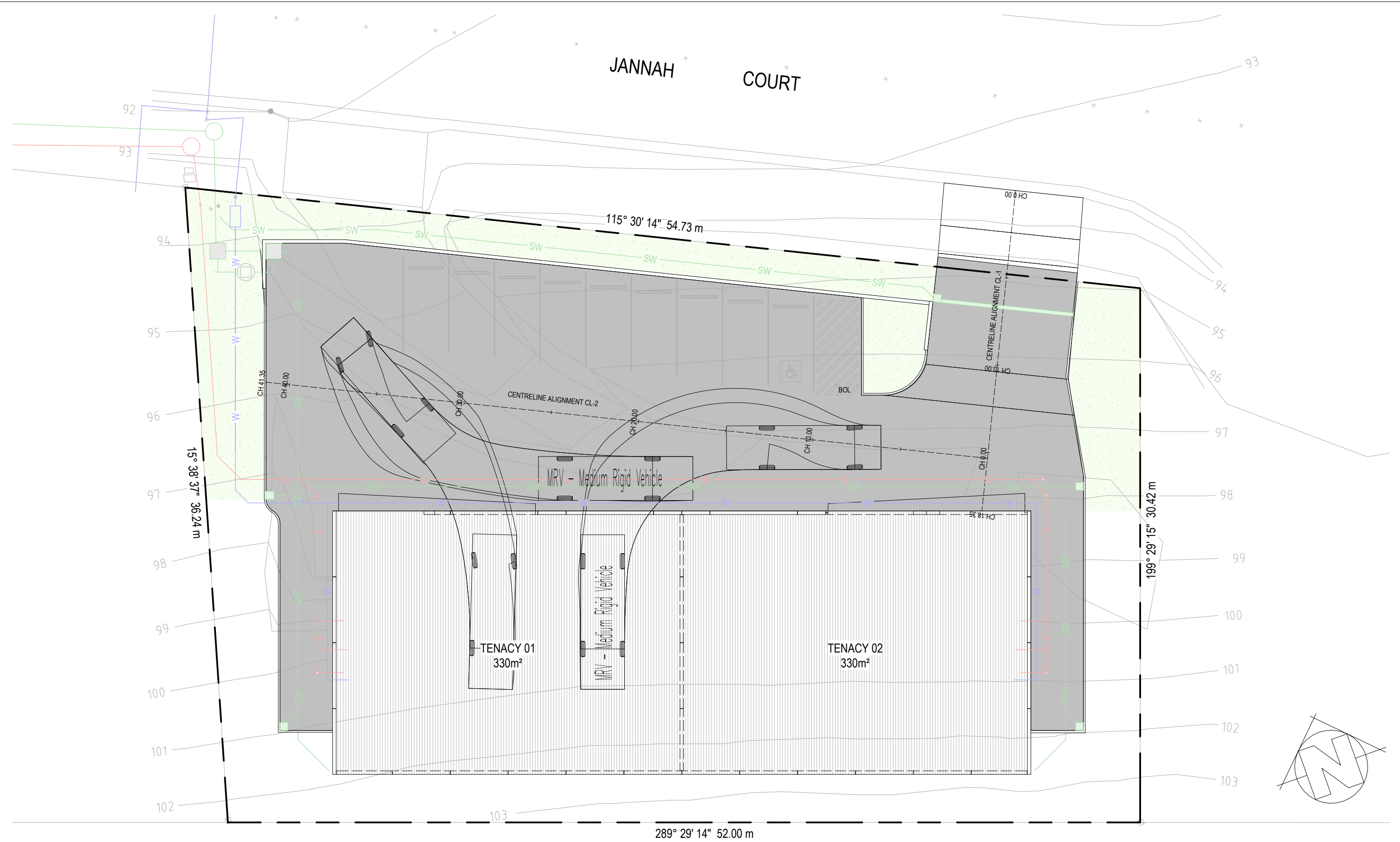
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PLANNING APPROVAL



DRAWING: SEWER AND WATER PLAN - SHEET 2		
CLIENT: SOUTHERN PLUMBING PTY LTD	DRAWN: TH	C106
PROJECT ADDRESS: 16 JANNAH COURT, MORNINGTON, TAS	DATE: 31/01/24	

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WAREHOUSE ENTRY/EXIT MANOUVERE - MEDIUM RIGID VEHICLE

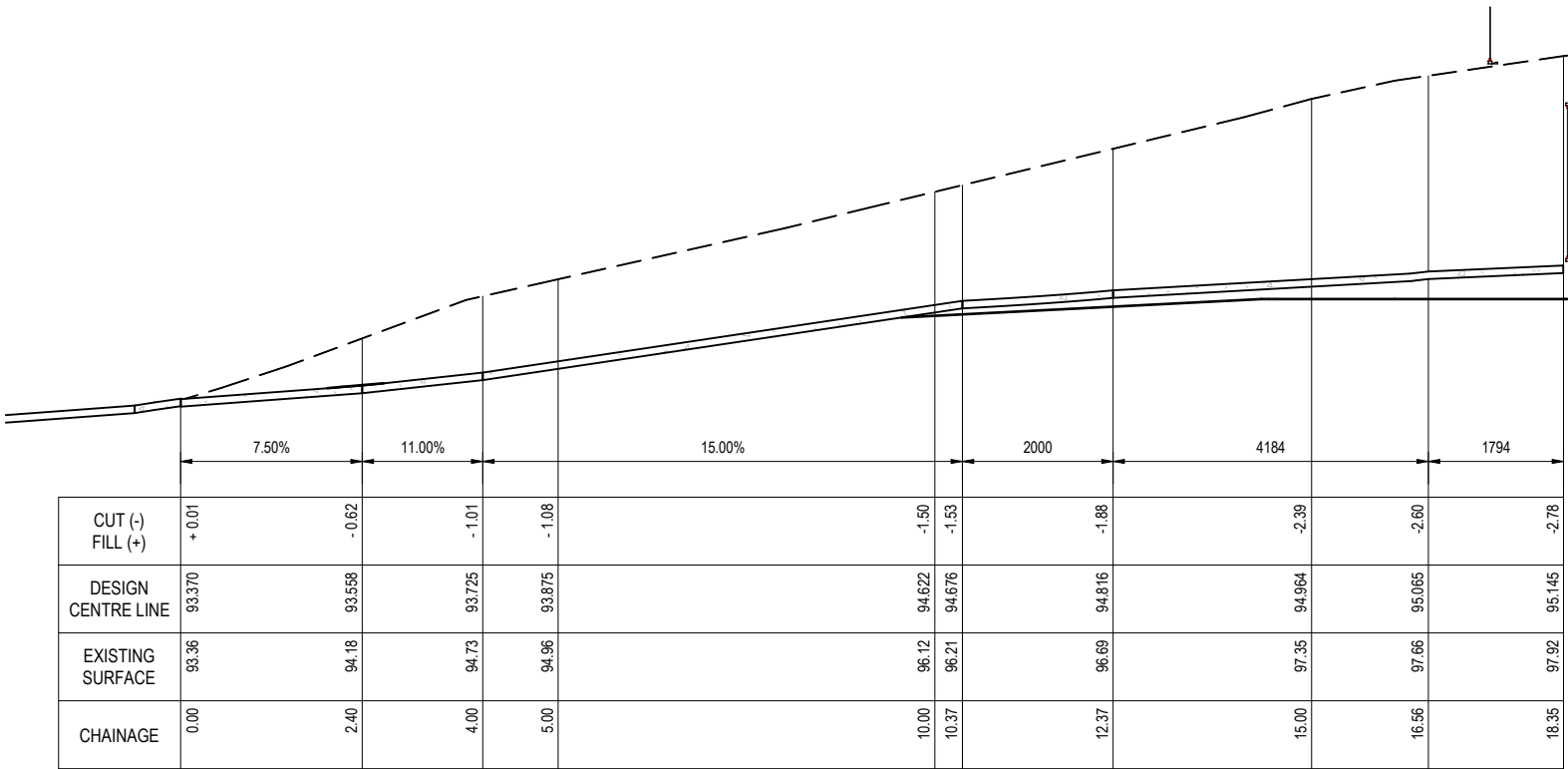
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PLANNING APPROVAL



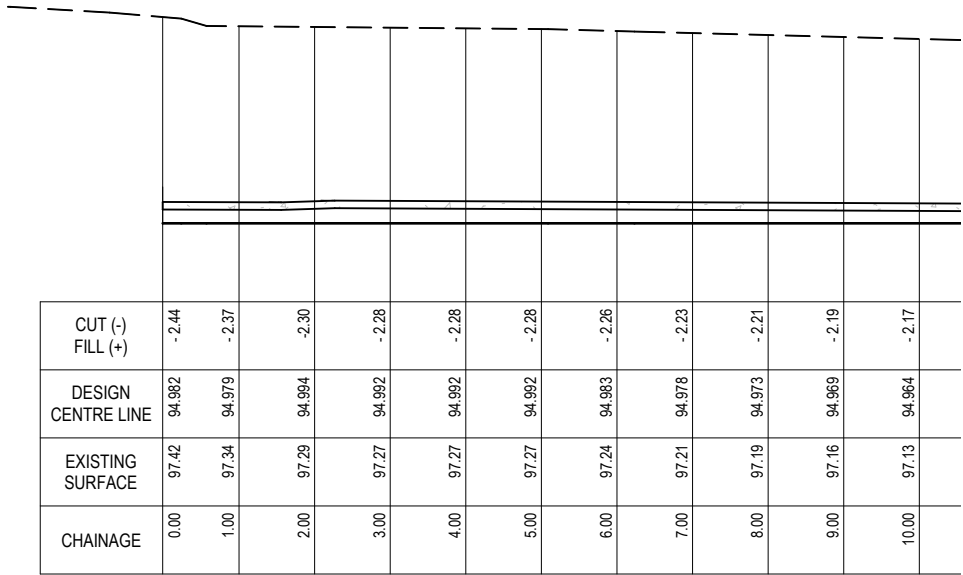
DRAWING: <b>TURNPATH PLAN</b>			
CLIENT:	SOUTHERN PLUMBING PTY LTD	DRAWN:	TH
PROJECT ADDRESS:	16 JANNAH COURT, MORNINGTON, TAS	DATE:	31/01/24
			DRAWING NUMBER: <b>C107</b>

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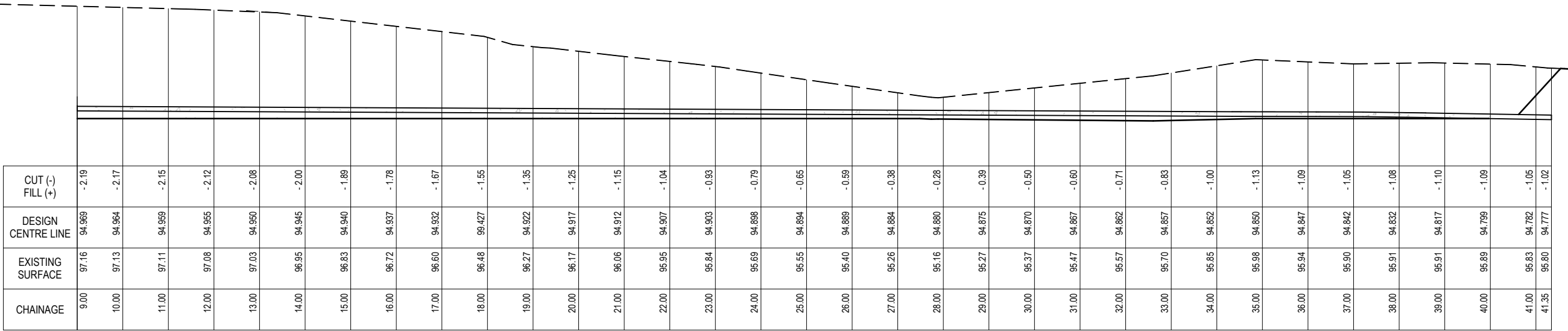
CL-1

1 : 100



CL-2a

1 : 100



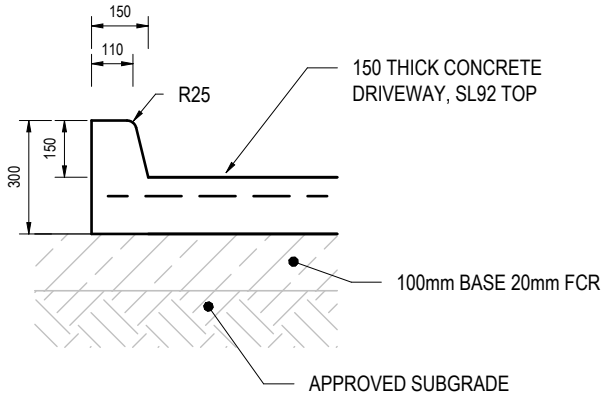
CL-2b

1 : 100

PLANNING APPROVAL

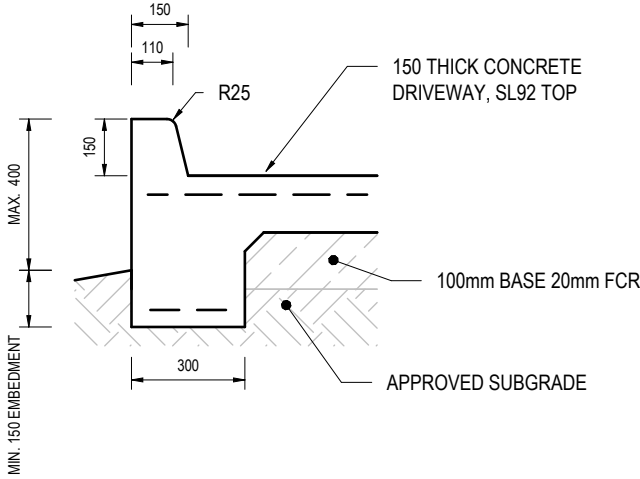


DRAWING: LONG SECTIONS		
CLIENT: SOUTHERN PLUMBING PTY LTD	DRAWN: TH	DRAWING NUMBER: C301
PROJECT ADDRESS: 16 JANNAH COURT, MORNINGTON, TAS	DATE: 31/01/24	



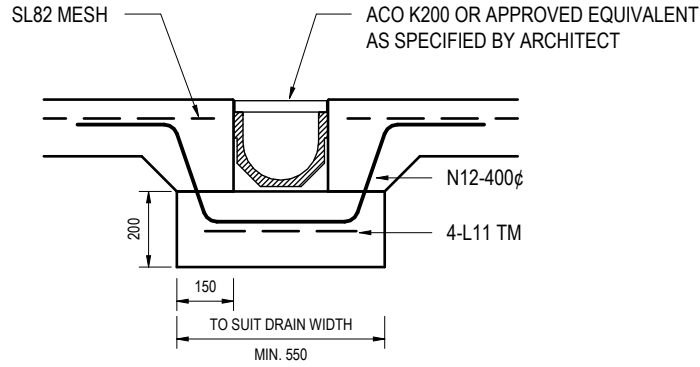
**150mm BARRIER KERB**

1 : 20



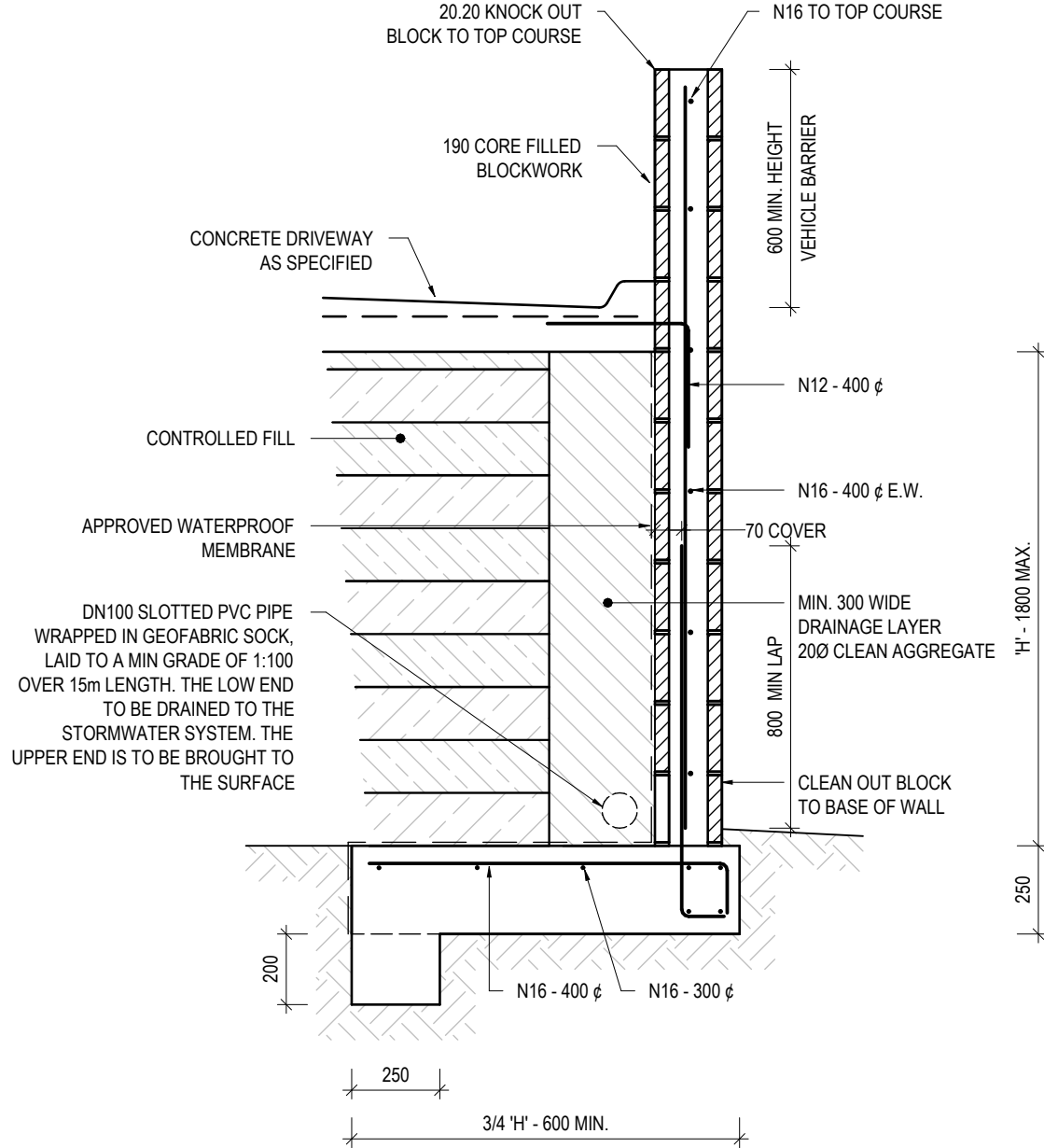
**DROP EDGE BEAM DETAIL**

1 : 20



**TRENCHDRAIN THICKENING DETAIL**

1 : 20



**RETAINING WALL - BLOCK, DRIVEWAY OVER, BLOCK BARRIER**

1 : 20


PLANNING APPROVAL



DRAWING: CONSTRUCTION DETAILS			
CLIENT:	SOUTHERN PLUMBING PTY LTD	DRAWN:	TH
PROJECT ADDRESS:	16 JANNAH COURT, MORNINGTON, TAS	DATE:	31/01/24
			DRAWING NUMBER: C401

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DRAWING:		
<h1>Site Plan</h1>		
CLIENT:	DRAWN:	
Southern Plumbing Pty Ltd	JW	DRAWING NUMBER:
PROJECT ADDRESS:	DATE:	<h1>A01</h1>
16 Jannah Court, Mornington Tasmania	Aug 2022	

**WAREHOUSE. 1 FLOOR AREAS:**  
Warehouse. 1 Ground Floor Area (measured from internal face of external walls) - 285.83 m<sup>2</sup>  
Warehouse. 1 Upper Floor Area (measured from internal face of external walls) - 47.92 m<sup>2</sup>

enviroseal proctorwrap CW vapour permeable membrane around exterior of building, drained @ base of walls & taped around windows / doors (install to manufacturers instructions)

**STAIRS NOTE:**  
Slip resistant stair nosing to N.C.C throughout.

**STRUCTUUR COLORBOND NAILSTRIP CLADDING NOTE:**  
Recent recommendations by CBOS note that it may be best practice to provide 42 x 19 t/pine vertical battens @ 450 max ctrs (in-line with studs) to act as counter battens for the nailstrip cladding horizontal battens. This will create a consistent 19 mm wide ventilation cavity compared to the use of 5 mm thick packers / spacers. The wall dimensions have NOT been updated to show this. This is the builders decision.

## WAREHOUSE. 1 GROUND FLOOR PLAN

scale 1:100

### FIXTURES & FITTINGS NOTE:

Joinery, ceramic tiling, floor finishes & sanitary fixtures shown are indicative ONLY.  
Client to select all fixtures & fittings before builder commences on site.

**John Weston**  
**Architectural Design**  
**P/L** Unit 1 / 18 Childs Drive, Old Beach  
p: 0427 040 343  
e: johnwestonarchitecturaldesign@gmail.com

DRAWING: Warehouse. 1 Ground Floor Plan		
CLIENT: Southern Plumbing Pty Ltd	DRAWN: JW	DRAWING NUMBER: A02
PROJECT ADDRESS: 16 Jannah Court, Mornington Tasmania	DATE: Aug 2022	

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WAREHOUSE. 1 FLOOR AREAS:

Warehouse. 1 Ground Floor Area (measured from internal face of external walls) - 285.83 m2  
Warehouse. 1 Upper Floor Area (measured from internal face of external walls) - 47.92 m2

STRUCTUUR COLORBOND NAILSTRIP CLADDING NOTE:  
Recent recommendations by CBOS note that it may be best practice to provide 42 x 19 t/pine vertical battens @ 450 max ctrs (in-line with studs) to act as counter battens for the nailstrip cladding horizontal battens. This will create a consistent 19 mm wide ventilation cavity compared to the use of 5 mm thick packers / spacers. The wall dimensions have NOT been updated to show this. This is the builders decision.

WAREHOUSE. 1 UPPER FLOOR PLAN

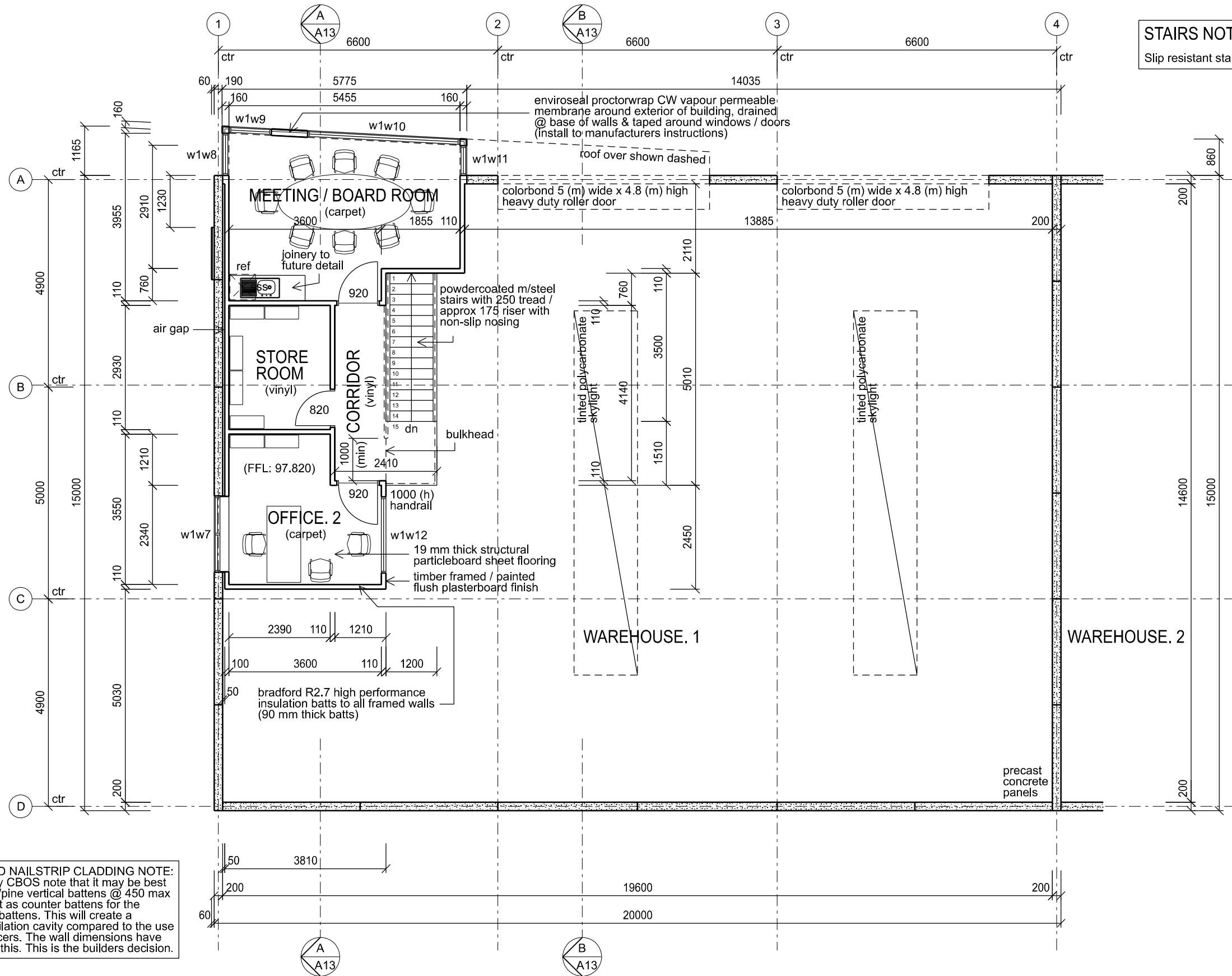
scale 1:100

FIXTURES & FITTINGS NOTE:

Joinery, ceramic tiling, floor finishes & sanitary fixtures shown are indicative ONLY.  
Client to select all fixtures & fittings before builder commences on site.

STAIRS NOTE:

Slip resistant stair nosing to N.C.C throughout.



**John Weston**  
**Architectural Design**  
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E: johnwestonarchitecturaldesign@gmail.com

DRAWING:

Warehouse. 1 Upper Floor Plan

CLIENT:

Southern Plumbing Pty Ltd

DRAWN:

JW

DRAWING NUMBER:

A03

PROJECT ADDRESS:

16 Jannah Court, Mornington Tasmania

DATE:

Aug 2022

WAREHOUSE. 2 FLOOR AREAS:

Warehouse. 1 Ground Floor Area (measured from internal face of external walls) - 285.83 m<sup>2</sup>  
Warehouse. 1 Upper Floor Area (measured from internal face of external walls) - 47.92 m<sup>2</sup>

STRUCTUUR COLORBOND NAILSTRIP CLADDING NOTE:  
Recent recommendations by CBOS note that it may be best practice to provide 42 x 19 t/pine vertical battens @ 450 max ctrs (in-line with studs) to act as counter battens for the nailstrip cladding horizontal battens. This will create a consistent 19 mm wide ventilation cavity compared to the use of 5 mm thick packers / spacers. The wall dimensions have NOT been updated to show this. This is the builders decision.

WAREHOUSE. 2 GROUND FLOOR PLAN

scale 1:100

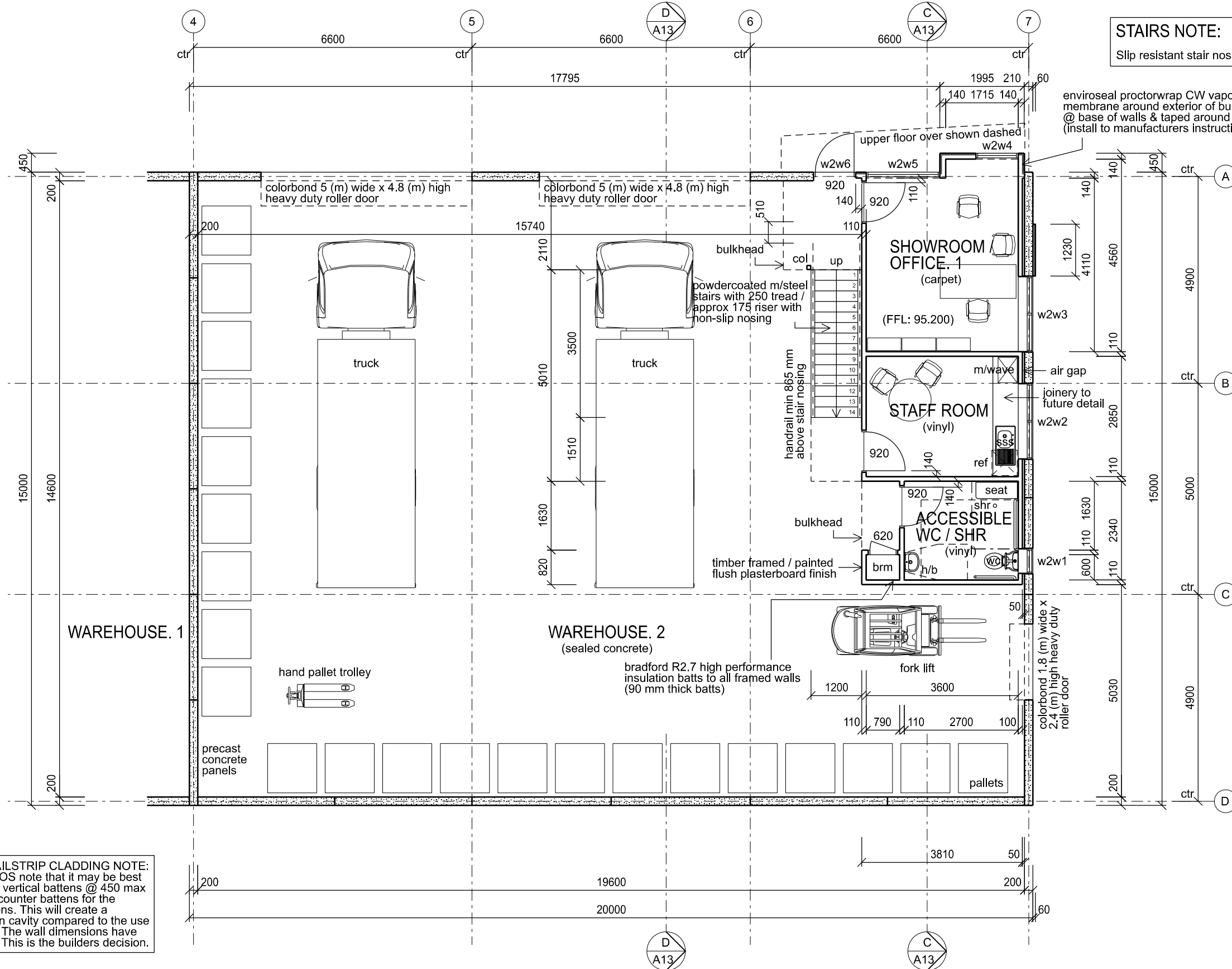
FIXTURES & FITTINGS NOTE:

Joinery, ceramic tiling, floor finishes & sanitary fixtures shown are indicative ONLY.  
Client to select all fixtures & fittings before builder commences on site.

STAIRS NOTE:

Slip resistant stair nosing to N.C.C throughout.

enviroseal proctorwrap CW vapour permeable membrane around exterior of building, drained @ base of walls & taped around windows / doors (install to manufacturers instructions)



**John Weston**  
Architectural Design  
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DRAWING:

Warehouse. 2 Ground Floor Plan

CLIENT:  
Southern Plumbing Pty Ltd

DRAWN:  
JW

DRAWING NUMBER:

A04

PROJECT ADDRESS:  
16 Jannah Court, Mornington Tasmania

DATE:  
Aug 2022

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WAREHOUSE. 2 FLOOR AREAS:

Warehouse. 1 Ground Floor Area (measured from internal face of external walls) - 285.83 m<sup>2</sup>  
Warehouse. 1 Upper Floor Area (measured from internal face of external walls) - 47.92 m<sup>2</sup>

STRUCTUUR COLORBOND NAILSTRIP CLADDING NOTE:  
Recent recommendations by CBOS note that it may be best practice to provide 42 x 19 t/pine vertical battens @ 450 max ctrs (in-line with studs) to act as counter battens for the nailstrip cladding horizontal battens. This will create a consistent 19 mm wide ventilation cavity compared to the use of 5 mm thick packers / spacers. The wall dimensions have NOT been updated to show this. This is the builders decision.

WAREHOUSE. 2 UPPER FLOOR PLAN

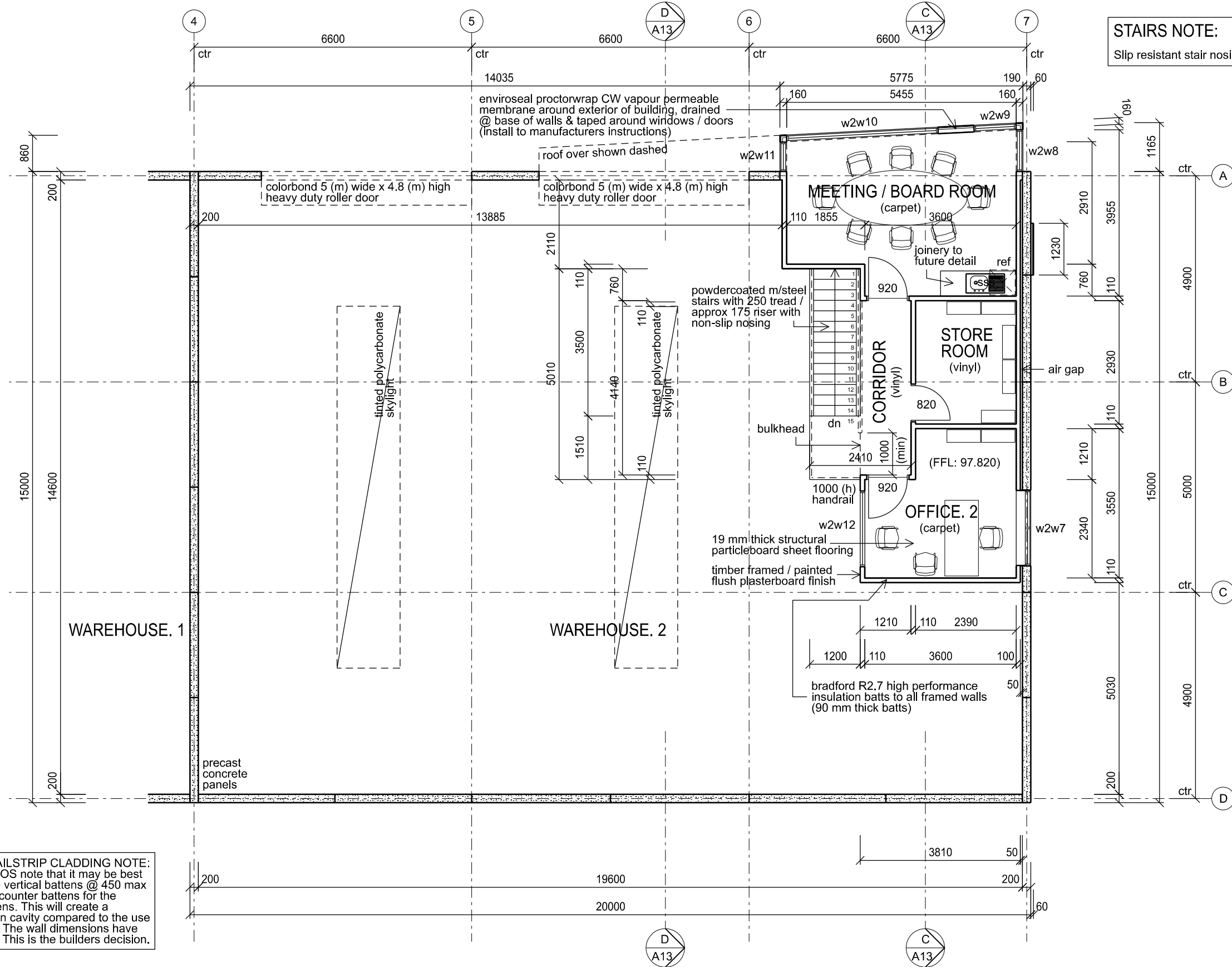
scale 1:100

FIXTURES & FITTINGS NOTE:

Joinery, ceramic tiling, floor finishes & sanitary fixtures shown are indicative ONLY.  
Client to select all fixtures & fittings before builder commences on site.

STAIRS NOTE:

Slip resistant stair nosing to N.C.C throughout.



**John Weston**  
**Architectural Design**  
P/L Unit. 1 / 18 Childs Drive, Old Beach  
p: 0427 040 343  
e: johnwestonarchitecturaldesign@gmail.com

DRAWING:

Warehouse. 2 Upper Floor Plan

CLIENT:  
Southern Plumbing Pty Ltd

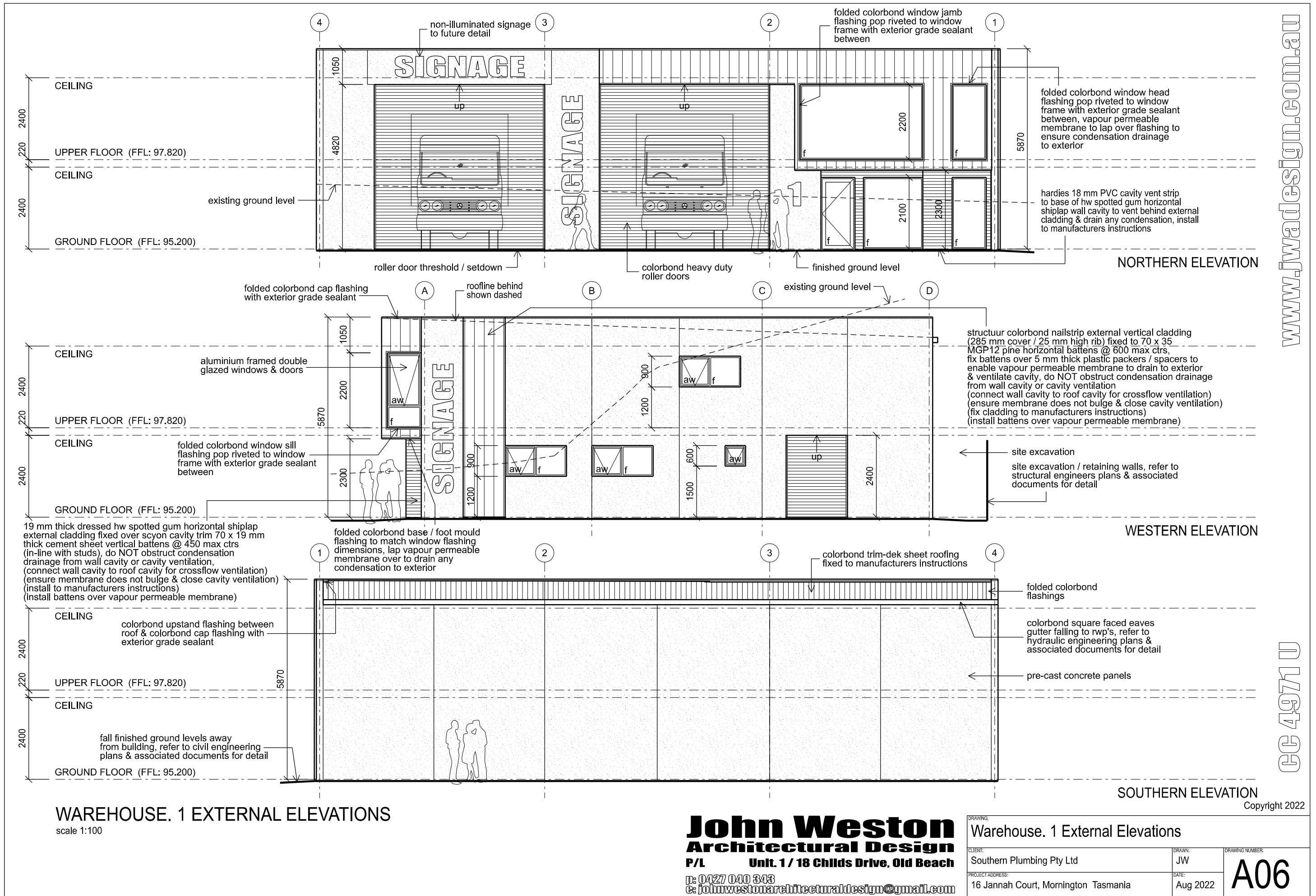
DRAWN:  
JW

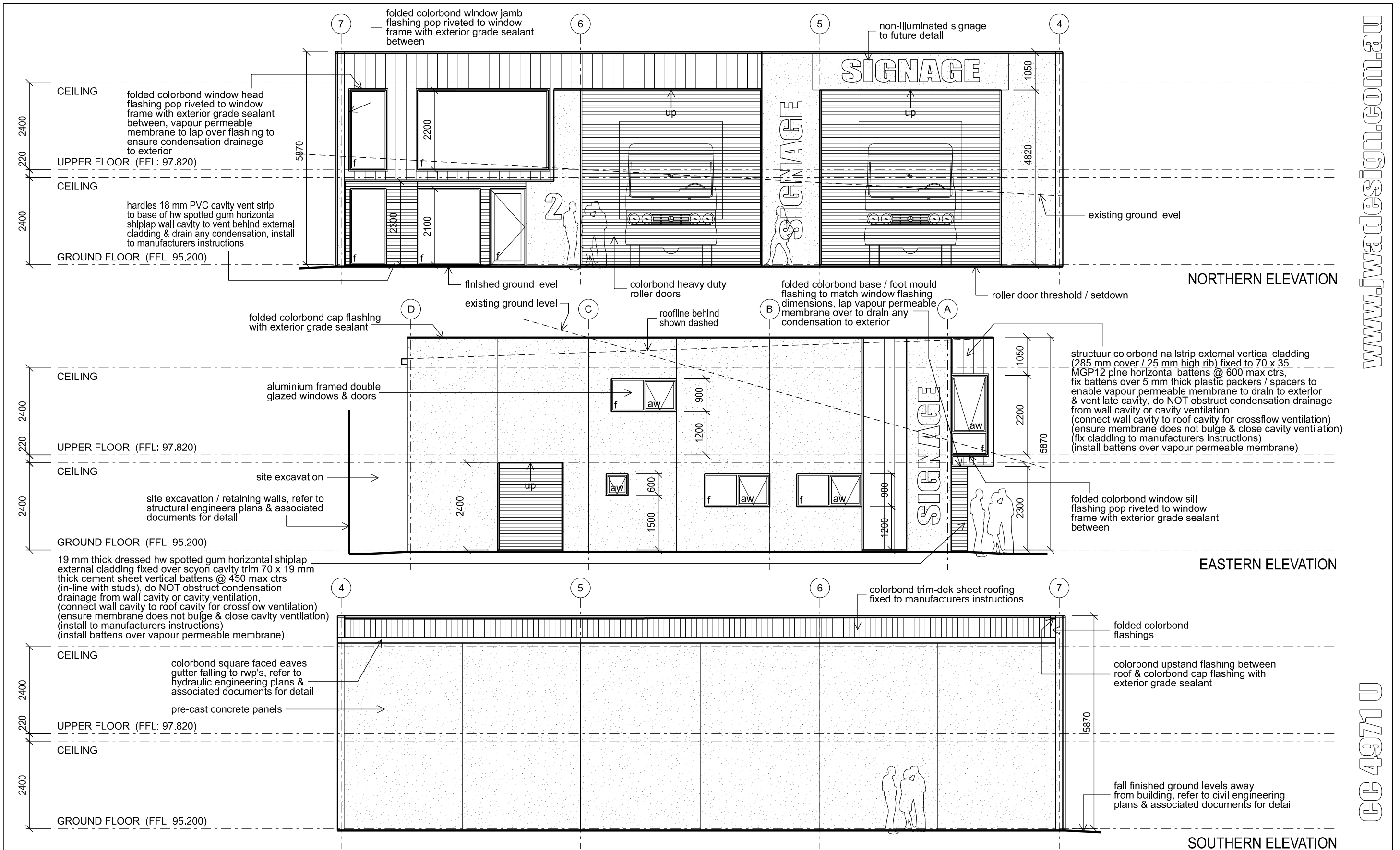
DRAWING NUMBER:

PROJECT ADDRESS:  
16 Jannah Court, Mornington Tasmania

DATE:  
Aug 2022

A05





WAREHOUSE. 2 EXTERNAL ELEVATIONS  
scale 1:100

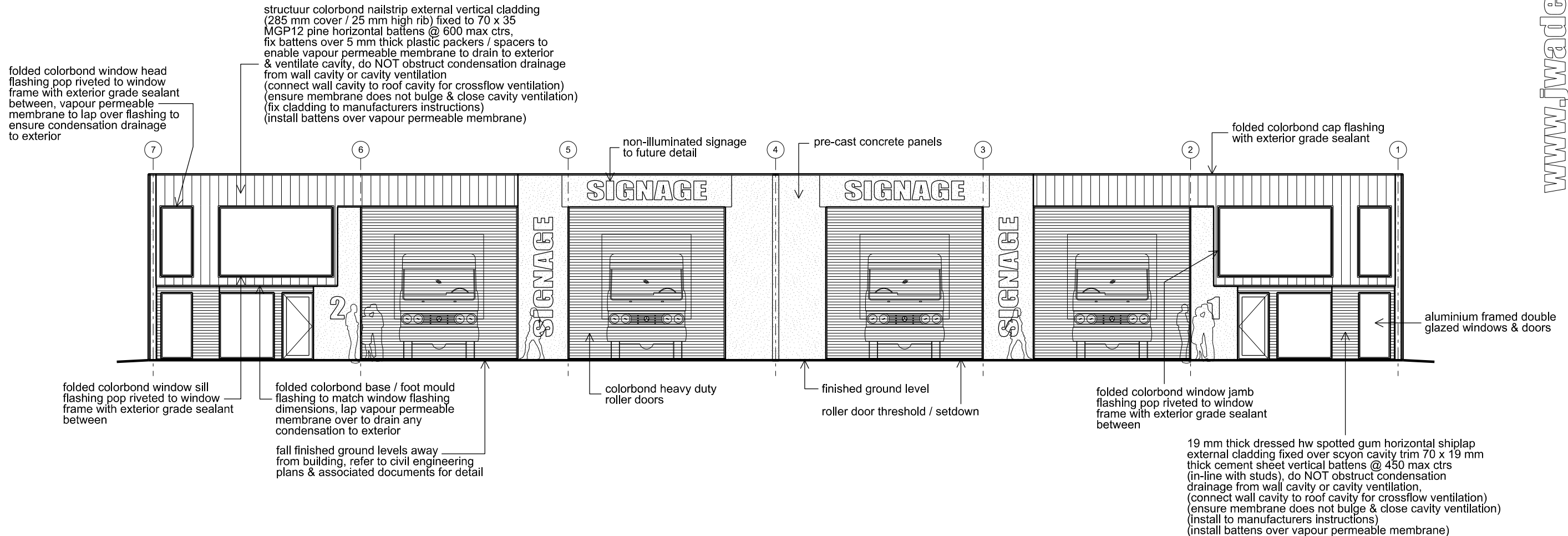
**John Weston**  
**Architectural Design**  
**P/L** Unit. 1 / 18 Childs Drive, Old Beach  
P: 0427 040 343  
E: johnwestonarchitecturaldesign@gmail.com

DRAWING: Warehouse. 2 External Elevations		
CLIENT:	DRAWN:	DRAWING NUMBER:
Southern Plumbing Pty Ltd	JW	A07
PROJECT ADDRESS:	DATE:	
16 Jannah Court, Mornington Tasmania	Aug 2022	

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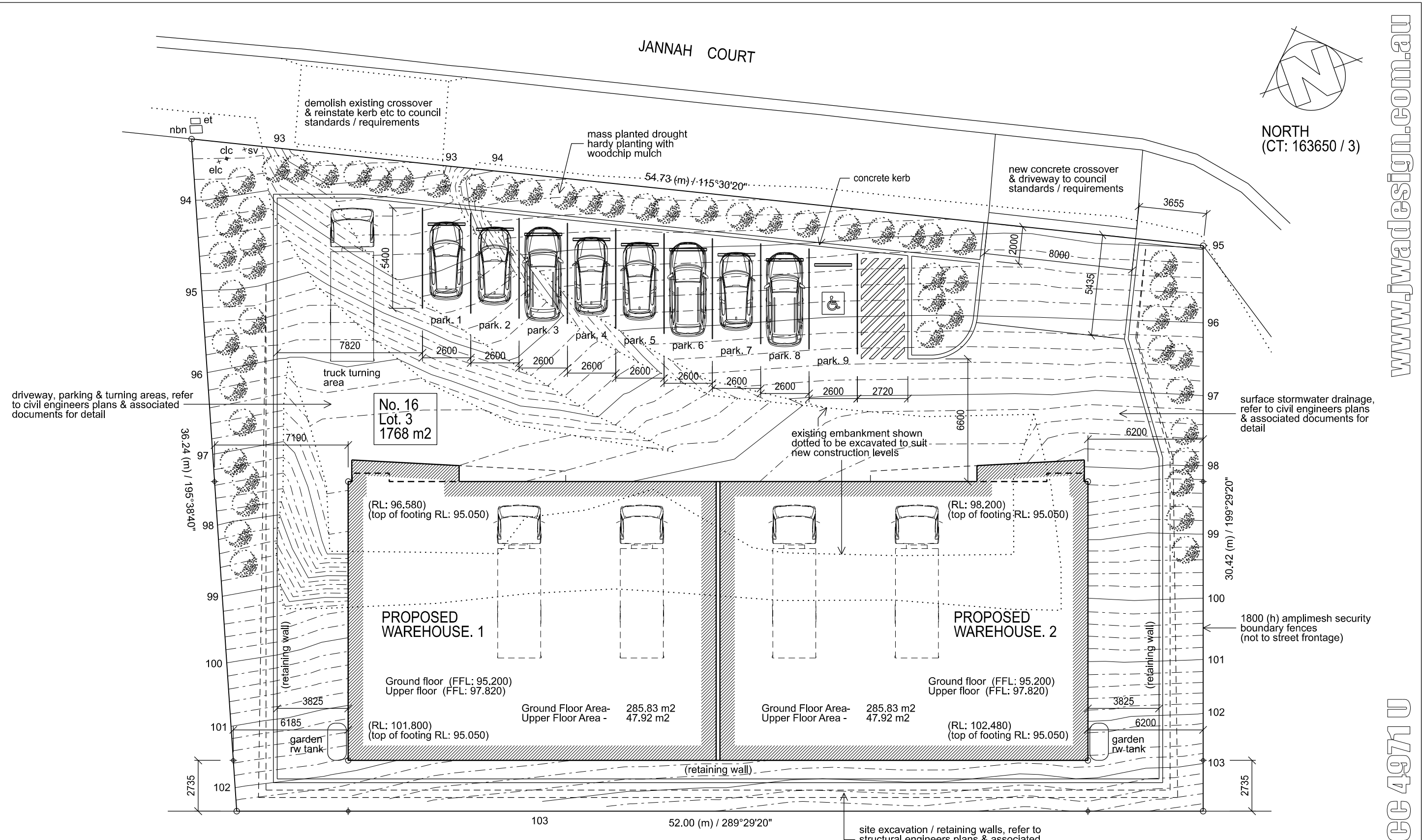
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WAREHOUSE. 1 & 2 STREET FRONTAGE EXTERNAL ELEVATION  
scale 1:150

**John Weston**  
**Architectural Design**  
P/L Unit. 1 / 18 Chllds Drive, Old Beach  
p: 0427 040 343  
e: johnwestonarchitecturaldesign@gmail.com

DRAWING: Warehouse. 1 & 2 Street Frontage External Elevation		
CLIENT: Southern Plumbing Pty Ltd	DRAWN: JW	DRAWING NUMBER: A08
PROJECT ADDRESS: 16 Jannah Court, Mornington Tasmania	DATE: Aug 2022	



**LANDSCAPING PLAN**  
scale 1:200

**LANDSCAPING NOTE:**

Proposed mass planting is designed to screen the carparking as much as possible and create a visually pleasing street frontage from the edge of the council roadside nature strip. Plants have been selected to be suitable for the area & soil type. All plants are drought tolerant and require low maintenance. Plant heights will not adversely interrupt vehicle visibility.

**MASS PLANTING SCHEDULE:**

- Matt-Rush / Sag. (Lomandra Longifolia)
- Pigface (Carpobrotus Glaucescens)
- Grevillea Gaudichaudii (Grevillea Acanthifolia Laurifolia)
- Kangaroo Paw (Anigozanthos)
- Leucadendron (Leucadendron Salignum)
- Cool Mint Prostanthera (Prostanthera Cuneata Benth)

All proposed plans range from low ground covers to medium sized shrubs to 2 metres in height & width.

**John Weston**  
**Architectural Design**  
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**Landscaping Plan**

CLIENT:  
Southern Plumbing Pty Ltd  
PROJECT ADDRESS:  
16 Jannah Court, Mornington Tasmania

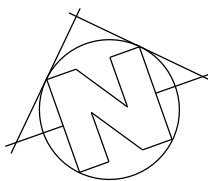
DRAWN:  
JW  
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Aug 2022

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STREET FRONTAGE VIEW. 1



STREET FRONTAGE VIEW. 2

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DRAWING: Street Frontage views 1 & 2		
CLIENT:	DRAWN:	DRAWING NUMBER:
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PROJECT ADDRESS:	DATE:	
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ELEVATED STREET FRONTAGE VIEW

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DRAWING: Elevated Street Frontage View		
CLIENT: Southern Plumbing Pty Ltd	DRAWN: JW	DRAWING NUMBER: <b>A11</b>
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DRAWING:		
Existing Site Photos		
CLIENT:	DRAWN:	DRAWING NUMBER:
Southern Plumbing Pty Ltd	JW	
PROJECT ADDRESS:	DATE:	A12
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DRAWING: Aerial Photo - Existing Street Frontage Landscaping		
CLIENT: Southern Plumbing Pty Ltd	DRAWN: JW	DRAWING NUMBER: <b>A13</b>
PROJECT ADDRESS: 16 Jannah Court, Mornington Tasmania	DATE: Aug 2022	