



DEVELOPMENT APPLICATION

PDPLANPMTD-2023/039889

PROPOSAL: Additions & Alterations (Single Dwelling)

LOCATION: 1 Kelson Place, Acton Park

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 11 April 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 11 April 2024. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 11 April 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



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APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our Privacy Policy, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

Extension to existing dwelling

Location:

Address 1 Kelson Place

Suburb/Town Acton Park Postcode 7170

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$1,099,000 -

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

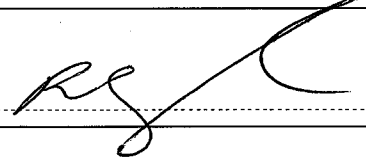
Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's Signature:

Signature  Date 11/11/2023

PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



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Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

(please refer to <http://www.ccc.tas.gov.au/fees> or phone (03) 6217 9550 to determine applicable fees).

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis plan and site plan**, including where relevant:

- Existing and proposed use(s) on site.
- Boundaries and dimensions of the site.
- Topography, including contours showing AHD levels and major site features.
- Natural drainage lines, watercourses and wetlands on or adjacent to the site.
- Soil type.
- Vegetation types and distribution, and trees and vegetation to be removed.
- Location and capacity of any existing services or easements on/to the site.
- Existing pedestrian and vehicle access to the site.
- Location of existing and proposed buildings on the site.
- Location of existing adjoining properties, adjacent buildings and their uses.
- Any natural hazards that may affect use or development on the site.
- Proposed roads, driveways, car parking areas and footpaths within the site.
- Any proposed open space, communal space, or facilities on the site.
- Main utility service connection points and easements.
- Proposed subdivision lot boundaries.

Clarence City Council

DEVELOPMENT/USE OR SUBDIVISION CHECKLIST



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- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.

SEARCH OF TORRENS TITLE

VOLUME 155632	FOLIO 1
EDITION 2	DATE OF ISSUE 28-May-2020

SEARCH DATE : 01-Nov-2023

SEARCH TIME : 11.47 AM

DESCRIPTION OF LAND

City of CLARENCE
 Lot 1 on Sealed Plan 155632
 Derivation : Part of 1000 Acres Located to William Rumney
 Prior CT 101641/35

SCHEDULE 1

M821653 TRANSFER to A K M MOHSIN HABIB TALUKDER Registered
 28-May-2020 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP155632 EASEMENTS in Schedule of Easements
 SP155632 COVENANTS in Schedule of Easements
 SP155632 FENCING COVENANT in Schedule of Easements
 SP155632 SEWERAGE AND/OR DRAINAGE RESTRICTION
 SP101641 COUNCIL NOTIFICATION under Section 468(12) of the
 Local Government Act 1962
 E212858 MORTGAGE to AMP Bank Limited Registered 28-May-2020
 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

<p align="center">SCHEDULE OF EASEMENTS</p> <p>NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.</p>	<p align="center">Registered Number</p> <p align="center" style="font-size: 2em;">SP 15 56 32</p>
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PAGE 1 OF 5 PAGE/S
5

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

EASEMENTS

& Service Easement

Lot 2 is together with a Right of Carriageway over the Right of Way (Private) ^{3.60m} Wide shown on Plan.
Right of Way (private) &

Lot 2 is together with a Service Easement over the ^{3.60m} Service Easement Wide shown on Plan.

& Service Easement 3.60 wide

Lot 1 is subject to a Right of Carriageway (appurtenant to Lot 2) over the Right of Way (Private) ^{3.60m} Wide shown passing through that Lot on the Plan.


Right of Way (private) &

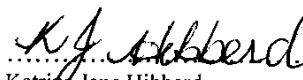
Lot 1 is subject to a Service Easement (appurtenant to Lot 2) over the ^{3.60m} Service Easement Wide showing passing through that Lot on the Plan.

Lot 2 is subject to a Pipeline Easement over the strip of land marked Pipeline Easement 5.00 Wide on the Plan. for the Corporation.

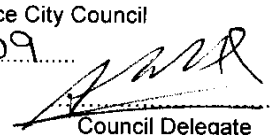
INTERPRETATION:

“the Corporation” means the Mayor Alderman and Citizens of the City of Clarence.

Signed 
Craig Anthony Hibberd


Katrina Jane Hibberd

(USE ANNEXURE PAGES FOR CONTINUATION)

<p>SUBDIVIDER: Craig Anthony Hibberd and Katrina Jane Hibberd</p> <p>FOLIO REF: 101641/35</p> <p>SOLICITOR & REFERENCE: Peter Worrall Lawyers (Louisa Nuccitelli)</p>	<p>PLAN SEALED BY: Clarence City Council</p> <p>DATE: <u>12-6-2009</u></p> <p><u>SD-2007/92</u></p> <p>REF NO.  Council Delegate</p>
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 4 PAGES 5</p>	<p>Registered Number</p> <p>SP 155632</p>
<p>SUBDIVIDER: Craig Anthony Hibberd and Katrina Jane Hibberd FOLIO REFERENCE: 101641/35</p>	


COVENANTS

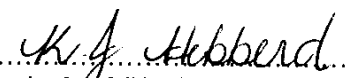
COVENANTS CONTINUED ON PAGE 5

~~The owner of each of Lots 1, 34 and 35 covenants with George Casimaty and the owners for the time being of Lot 100 shown on the plan and with the owners for the time being of every other lot shown on the plan to the intent that the burden of this covenant may run with and bind the covenantor's lot and any part thereof and that the benefit thereof shall be annexed to and devolve with each and every part of every other lot shown on the plan and will Lot 100 and each and every part thereof not without the consent in writing of the Corporation to obtain direct vehicular access from such lot to Acton Road.~~

The owner of each lot on the plan covenants with Craig Anthony Hibberd and Katrina Jane Hibberd (collectively referred to as "the Vendor") and the owner or owners for the time being of every other lot shown on the Plan to the intent that the burden of these covenants may run with and bind the covenantor's lot and every part of that lot and that the benefit of these covenants shall be annexed to and devolve with each and every party of every other lot shown on the Plan to observe the following stipulations:

1. Not to erect any building or structure on any portion of the strip of land marked Pipeline Easement 5.00m Wide on the Plan passing through the Lot 2, nor to do or permit to be done on or over that strip of land any manner of things which cause damage or are likely to cause damage to any water or sewerage pipes, valves and fittings laid or constructed and must not in any manner prevent or interfere with the proper exercise and benefit of the drainage easement by the Vendor or its workmen, servants, contractors and agents and all other persons duly authorised by it; and the covenantor must repair all damage caused by it or its servants or workmen to any water or sewerage pipes, valves and fittings laid or constructed.
2. Not to erect on any lot shown on the Plan any building other than a single private residence ("the residence") and outbuildings usually related to the residence.
3. Not to erect any residence on any lot shown on the Plan that is to be used for any purpose other than a dwelling for private use. This covenant does not restrict the use of a residence for leasing on the private rental market for the use of one family.
4. Not to erect any advertisement, hoarding, bill, poster or similar item or permit to be attached or affixed to any residence, outbuilding or construction on any lot shown on the Plan any advertisement, hoarding, bill, poster or any similar item.
5. Not to keep any animals, other than domestic pets, on any lot shown on the Plan, provided that no more than two adult canines shall be kept on any lot shown on the Plan.

Signed 
Craig Anthony Hibberd


Katrina Jane Hibberd

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 5 PAGES 5</p>	<p>Registered Number</p> <p>SP 155632</p>
<p>SUBDIVIDER: Craig Anthony Hibberd and Katrina Jane Hibberd FOLIO REFERENCE: 101641/35</p>	

6. The Vendor, or the survivor of them, or the survivor's legal personal representative may, in their absolute discretion and on behalf of the Vendor, waive the burden of any covenant contained in this Schedule of Easements in favour of any lot by notice in writing to the registered proprietor of that lot, without seeking the consent of the registered proprietor of any other lot and without notifying the registered proprietor of any other lot.

FENCING COVENANT

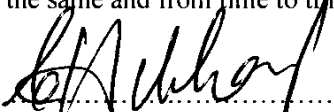
The owners of each lot shown on the Plan covenant with the Vendor, Craig Anthony Hibberd and Katrina Jane Hibberd, that the Vendor shall not be required to fence.

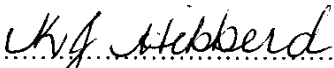
DEFINITIONS

"Right of Carriageway" has the meaning ascribed to it in Schedule 8 of the *Conveyancing and Law of Property Act 1884*.

"Service Easement" means the full and free right and liberty for the dominant tenement(s) for the time have the benefit of the easement of the lot(s) shown on the Plan to enter upon the strip of land shown on the Plan marked "Service Easement" and lay, use, repair, replace, cleanse and maintain pipes, drains, sewers, wires, cables and other conducting media of such size and number as shall from time to time be required therein. The said benefiting owner(s) shall make good any damage to the surface occasioned thereby. Notwithstanding, the service tenement(s) of the strip of land marked "Service Easement" are not precluded, subject to written approval from the Local Authority and the dominant tenement(s) from constructing or erecting any structure on the land required to provide access to any part of the servient lot(s).

"Pipeline Easement" means the full and free right and liberty for the Corporation and its successors and assigns and its servants and all other persons authorised in that behalf by the Corporation to lay and forever maintain water mains of such size and number as the Corporation may from time to time require for the purpose of supplying water to parts of the City of Clarence under the strip of land subject to the Pipeline Easement and GEORGE CASIMATY for himself his successors assigns and personal representatives (hereinafter called "the vendor") hereby covenants with the Corporation that it shall be lawful for the Corporation from time to time and at all times with the surveyors workmen and others to enter into and upon the said strip of land to inspect the condition of the said water main and to repair alter amend and cleanse the same and from time to time for the purposes aforesaid or any of them to bring and place upon

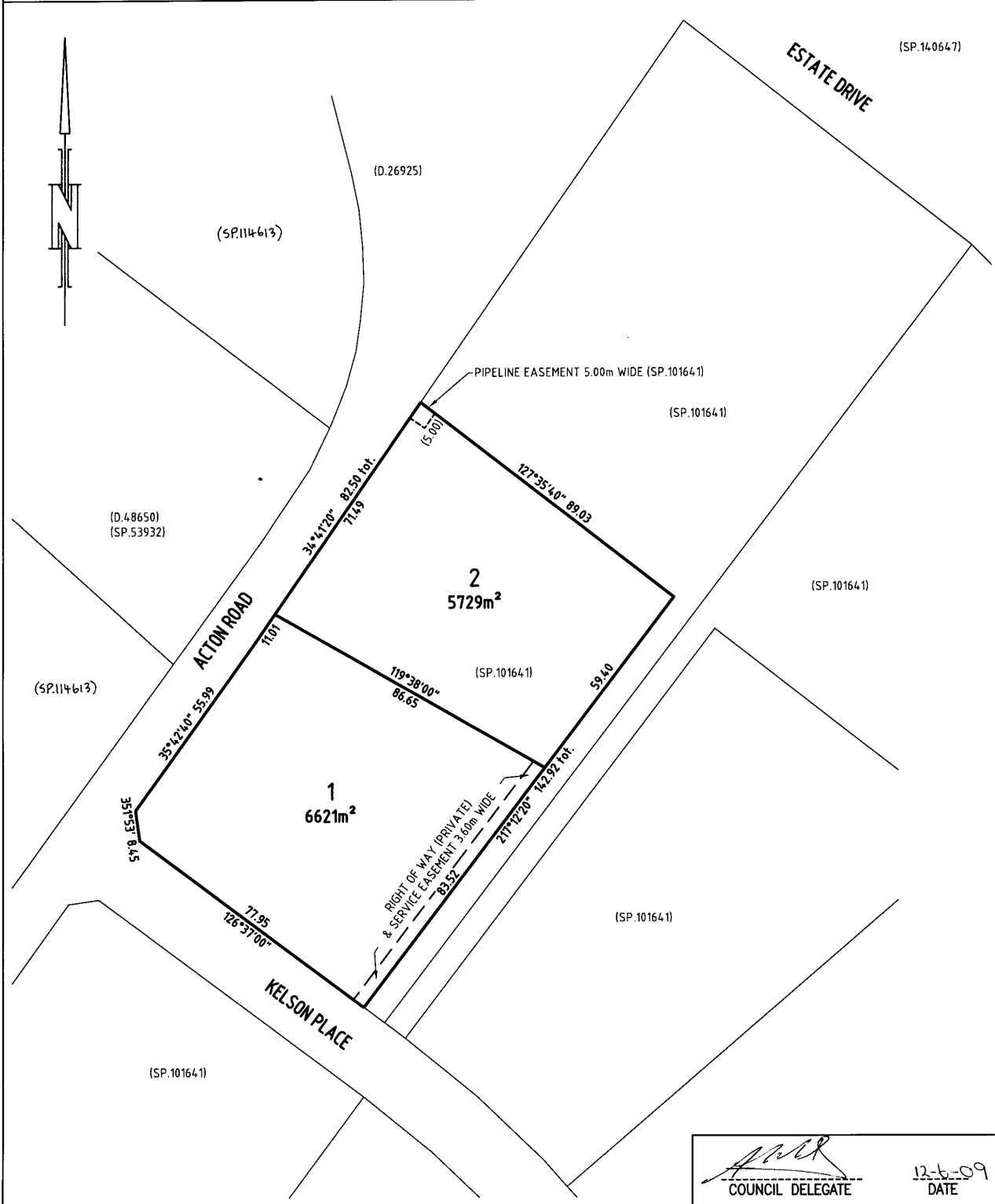
Signed 
Craig Anthony Hibberd


Katrina Jane Hibberd

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<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 5 OF 5 PAGES</p>	<p>Registered Number</p> <p>SP155632</p>
<p>SUBDIVIDER: - CRAIG ANTHONY HIBBERD AND KATRINA JANE HIBBERD</p> <p>FOLIO REFERENCE: - 101641/35</p>	
<p>COVENANTS CONTINUED</p> <p>Lots 1 and 2 on the plan which formerly comprised Lot 35 on SP101641 are each burdened by the restrictive covenant created by and more fully set forth in SP101641.</p>	
<p>NOTE: - Every annexed sheet must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.</p>	

OWNER Craig Anthony Hibberd & Katrina Jane Hibberd FOLIO REFERENCE C.T.101641/35 GRANTEE Part of 1000 Acres Located to William Rumney	PLAN OF SURVEY BY SURVEYOR ANDREW STEPHEN BIRCH ROGERSON & BIRCH SURVEYORS UNIT 1B 120 CAMBRIDGE ROAD ROSNY PARK PH 6244-6256 FAX 6244-6221 MOB. 0418-120-796 LOCATION CITY OF CLARENCE SCALE 1:1000 LENGTHS IN METRES		REGISTERED NUMBER SP155632
	APPROVED EFFECTIVE FROM 1 - JUL 2009 <i>Alice Law</i> Recorder of Titles		MAPSHEET MUNICIPAL CODE No. 107 (5225-35) LAST UPI No. HRA93 LAST PLAN No. SP.101641 ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



[Signature]
 COUNCIL DELEGATE
 12-6-09
 DATE



Proposed Extension to Existing Dwelling for A K M MOHSIN HABIB TALUKDER 1 KELSON PLACE, ACTON PARK

CREATIVE HOMES HOBART

CREATIVE HOMES HOBART, CORNOR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

Land Title Reference: CT 155632/1
Wind Classification: N2
Soil Classification: H-1
Climate Zone: 7
Bushfire Attack Level: TBC
Alpine Area: N/A Less than 900m AHD



AREA SCHEDULE	
EXISTING FLOOR AREA	: 143 m ²
EXISTING DECK AREA	: 67 m ²
EXISTING SHED	: 35.9 m ²
EXTENSION AREA:	
FLOOR AREA (GROUND)	: 162.3 m ²
FLOOR AREA (FIRST)	: 117.1 m ²
TOTAL AREA	: 279.4 m ²
PORCH	: 10.5 m ²
Outdoor Living(Including steps)	: 18.6 m ²
TILED DECK (FRONT)	: 10.4 m ²
TILED DECK (REAR)	: 17.9 m ²
CARPORT	: 36 m ²
SUNROOM/ALFRESCO	: 25.0 m ²
TOTAL AREA (EXTENSION)	: 397.8 m²
TOTAL BUILT-UP AREA:	
EXISTING+EXTENSION = 143+35.9+277.9 =	456.8 m²
TOTAL SITE COVERAGE:	
EXISTING+EXTENSION = 143+35.9+162.3 =	341.2 m²
DRIVEWAY AREA	: 220 m ²

DRAWINGS:

- 01 SITE PLAN
- 02A GROUND FLOOR PLAN-EXISTING
- 02B GROUND FLOOR PLAN-EXTENSION
- 02C FIRST FLOOR PLAN
- 03 ROOF PLAN
- 04A ELEVATIONS 01
- 04B ELEVATIONS 02
- 05 SECTION

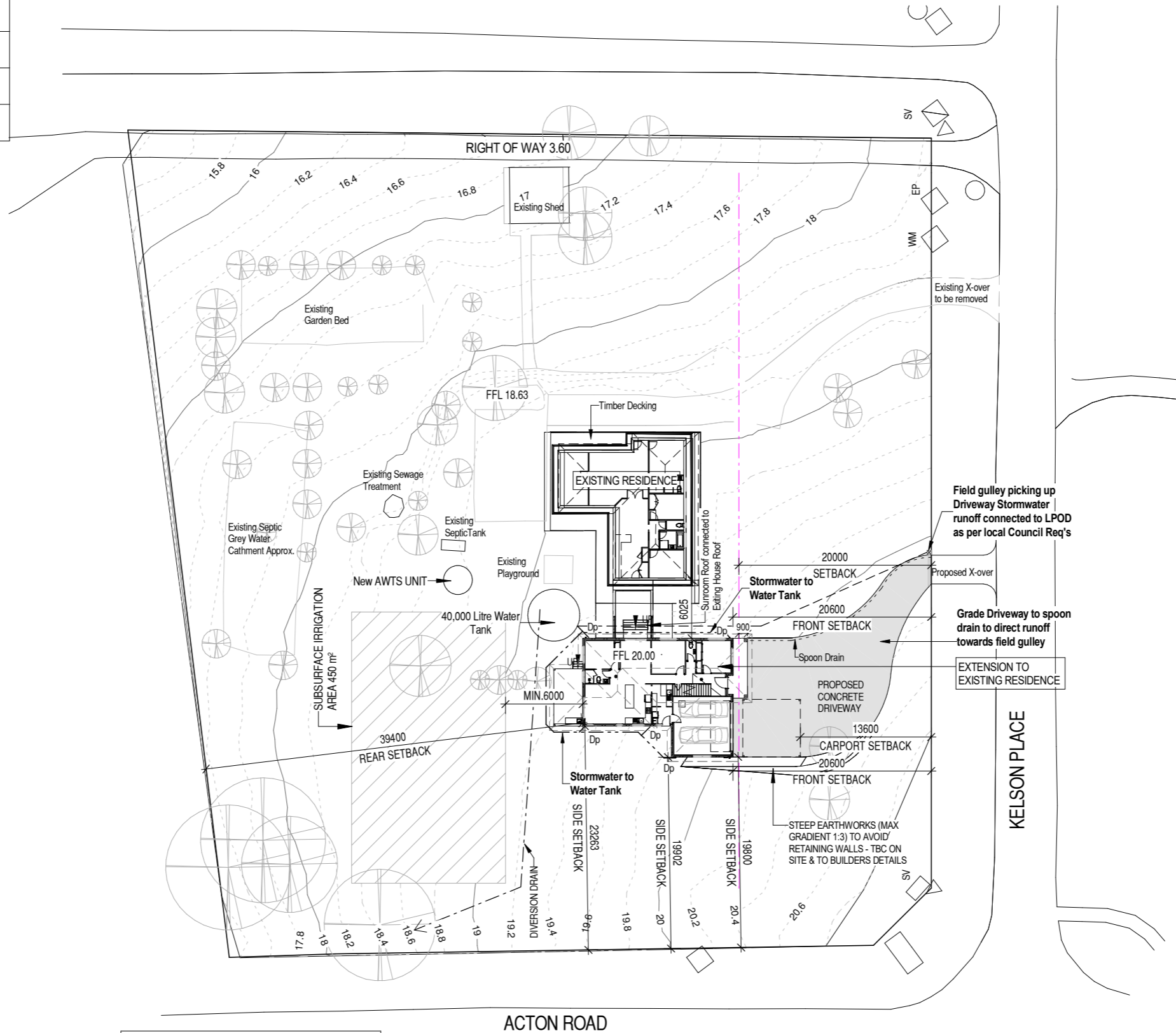
DRAWINGS:

- 06A 3D VIEWS
- 06B 3D VIEWS
- 07A ELECTRICAL LAYOUT_GROUND FL
- 07B ELECTRICAL LAYOUT_FIRST FL
- 08 WET AREA NOTES
- 09 BAL NOTES
- 10 STAIR NOTES

GLAZING NOTE:
- ALL EXTERNAL TO BE DOUBLE GLAZED.

No.	Date	Description	Drawn
H	29.02.2024	Modified as RFI PDPLANPMTD 2023/039889	RK
G	14.02.2024	Modified as CH feedback	RK
F	11.12.2023	Modified as feedback	RK
E	08.12.2023	Existing ground floor added	RK
D	31.10.2023	External wall changed to brick	RK
C	24.10.2023	Modified Sunroom as feedback	RK
B	20.10.2023	Modified as feedback	RK
A	19.10.2023	WORKING DRAWINGS	RK
1	03.10.2023	Modified Concept as feedback	RK
	22.09.2022	CONCEPT PLAN	RK

CL	25.500
FIRST FLOOR	23.100
G.FL CL	22.700
GROUND FL	20.000
EXISTING GROUND FL	19.050



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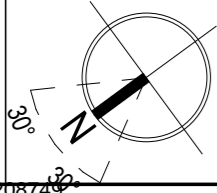
GLAZING NOTE:
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AGG DRAIN REQUIRED
(TBC ON SITE & TO BUILDERS DETAILS)

SITE PLAN

© COPYRIGHT IN WHOLE OR IN-PART

01



CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

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CREATIVE HOMES HOBART, CORNER OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000



JOB ADDRESS :
1 KELSON PLACE, ACTON PARK

APPROVED BY: Stuart Chugg

DRAWN: Ranjot Kaur

CHECKED: SC DATE: 29.02.2023

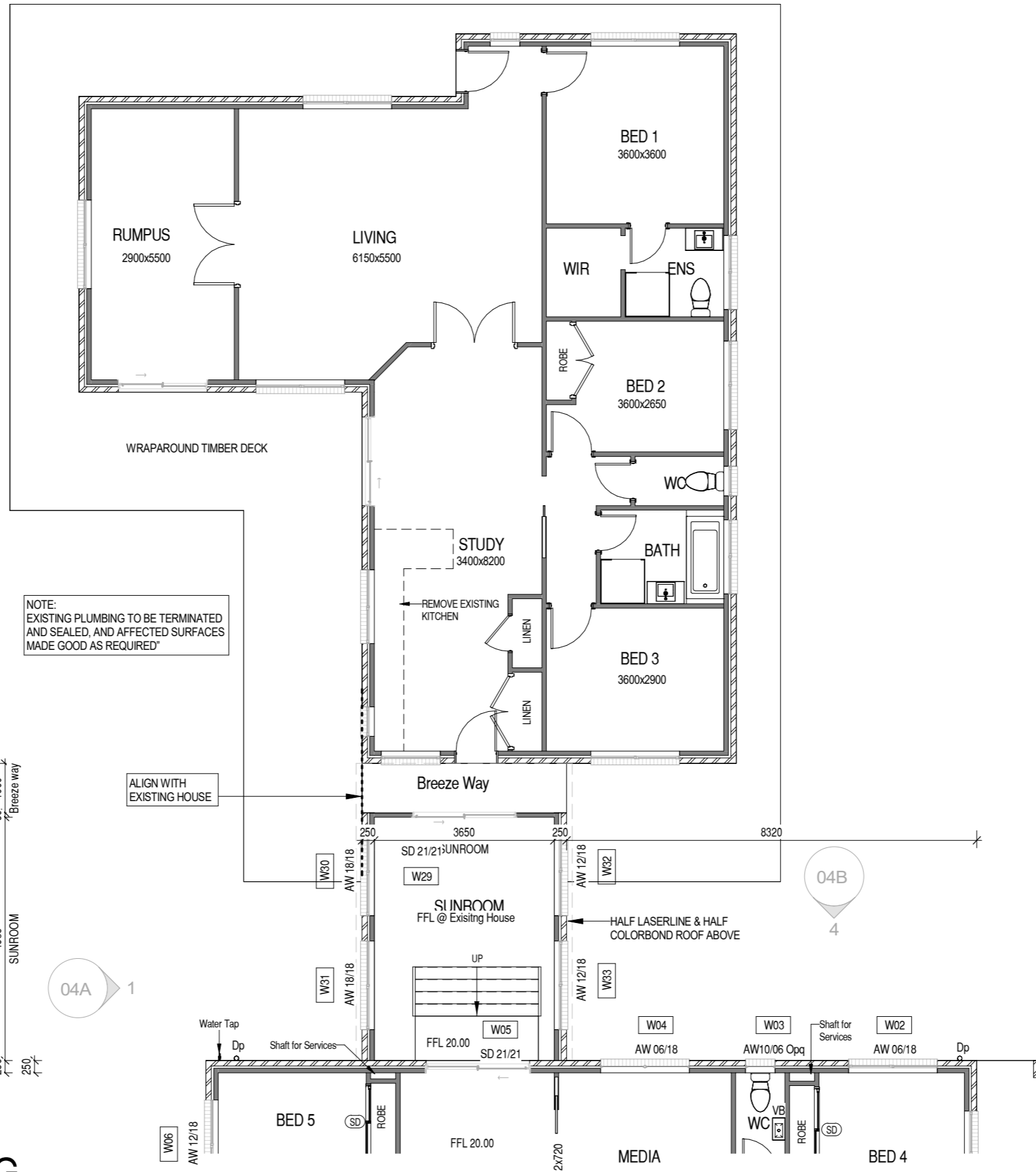
SCALE: 1 : 500 REVISION: H

CLIENT :
A K M MOHSIN HABIB TALUKDER

SHEET: 01 OF 11

PROJECT NO: CH_86

CL	25.500
FIRST FLOOR	23.100
G.FL CL	22.700
GROUND FL	20.000
EXISTING GROUND FL	19.050



NOTE:
EXISTING PLUMBING TO BE TERMINATED
AND SEALED, AND AFFECTED SURFACES
MADE GOOD AS REQUIRED*

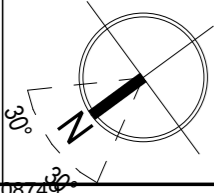
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GROUND FLOOR PLAN-EXISTING

© COPYRIGHT IN WHOLE OR IN-PART

02A



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CREATIVE HOMES HOBART, CORNER OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS :	1 KELSON PLACE, ACTON PARK
APPROVED BY:	Stuart Chugg
DRAWN :	Ranjot kaur
CHECKED:	SC DATE: 29.02.2023
SCALE:	1 : 100 REVISION: H

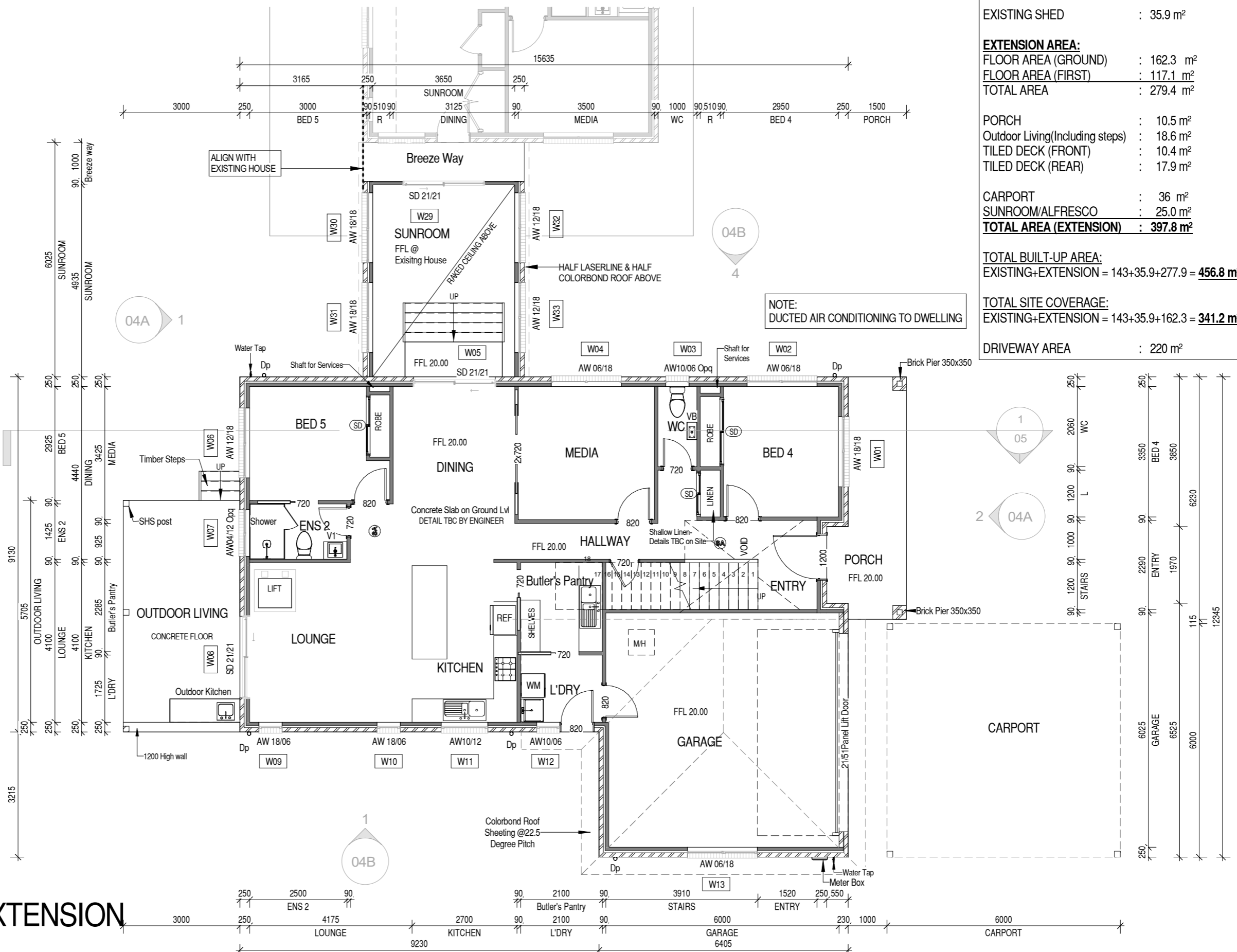
CLIENT :	A K M MOHSIN HABIB TALUKDER
SHEET:	02A OF 11
PROJECT NO:	CH_86

CL	25.500
FIRST FLOOR	23.100
G.FL CL	22.700
GROUND FL	20.000
EXISTING GROUND FL	19.050

Window Schedule				
Number	Level	Type	Height	Width
01	GROUND FL	AW 18/18	1800	1800
02	GROUND FL	AW 06/18	600	1800
03	GROUND FL	AW10/06 Opq	1000	600
04	GROUND FL	AW 06/18	600	1800
05	GROUND FL	SD 21/21	2100	2100
06	GROUND FL	AW 12/18	1200	1800
07	GROUND FL	AW04/12 Opq	400	1200
08	GROUND FL	SD 21/21	2100	2100
09	GROUND FL	AW 18/06	1800	600
10	GROUND FL	AW 18/06	1800	600
11	GROUND FL	AW10/12	1000	1200
12	GROUND FL	AW10/06	1000	600
13	GROUND FL	AW 06/18	600	1800
14	FIRST FLOOR	AW10/18	1000	1800
15	FIRST FLOOR	AW 18/15	1800	1500
16	FIRST FLOOR	SD 21/21	2100	2100
17	FIRST FLOOR	AW 06/18	600	1800
18	FIRST FLOOR	AW10/06 Opq	1000	600
19	FIRST FLOOR	AW 12/18	1200	1800
20	FIRST FLOOR	AW10/06 Opq	1000	600
21	FIRST FLOOR	AW 12/18	1200	1800
22	FIRST FLOOR	SD 21/21	2100	2100
23	FIRST FLOOR	AW 12/18	1200	1800
25	FIRST FLOOR	AW 06/18	600	1800
26	FIRST FLOOR	FW 09/12	900	1200
27	FIRST FLOOR	FW 09/12	900	1200
28	FIRST FLOOR	FW 09/12	900	1200
29	GROUND FL	SD 21/21	2100	2100
30	GROUND FL	AW 18/18	1800	1800
31	GROUND FL	AW 18/18	1800	1800
32	GROUND FL	AW 12/18	1200	1800
33	GROUND FL	AW 12/18	1200	1800
Grand total: 32				

Vanity Legend	
V1	600 mm
V2	750 mm
V3	900 mm
V4	1200 mm
V5	1500 mm

GLAZING NOTE:
- ALL EXTERNAL TO BE DOUBLE GLAZED.

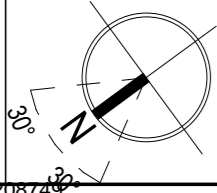


AREA SCHEDULE	
EXISTING FLOOR AREA	: 143 m ²
EXISTING DECK AREA	: 67 m ²
EXISTING SHED : 35.9 m ²	
EXTENSION AREA:	
FLOOR AREA (GROUND)	: 162.3 m ²
FLOOR AREA (FIRST)	: 117.1 m ²
TOTAL AREA	: 279.4 m ²
PORCH : 10.5 m ²	
Outdoor Living(Including steps)	: 18.6 m ²
TILED DECK (FRONT)	: 10.4 m ²
TILED DECK (REAR)	: 17.9 m ²
CARPORT	: 36 m ²
SUNROOM/ALFRESCO	: 25.0 m ²
TOTAL AREA (EXTENSION)	: 397.8 m²
TOTAL BUILT-UP AREA:	
EXISTING+EXTENSION = 143+35.9+277.9 =	456.8 m²
TOTAL SITE COVERAGE:	
EXISTING+EXTENSION = 143+35.9+162.3 =	341.2 m²
DRIVEWAY AREA	: 220 m ²

GROUND FLOOR PLAN-EXTENSION

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02B



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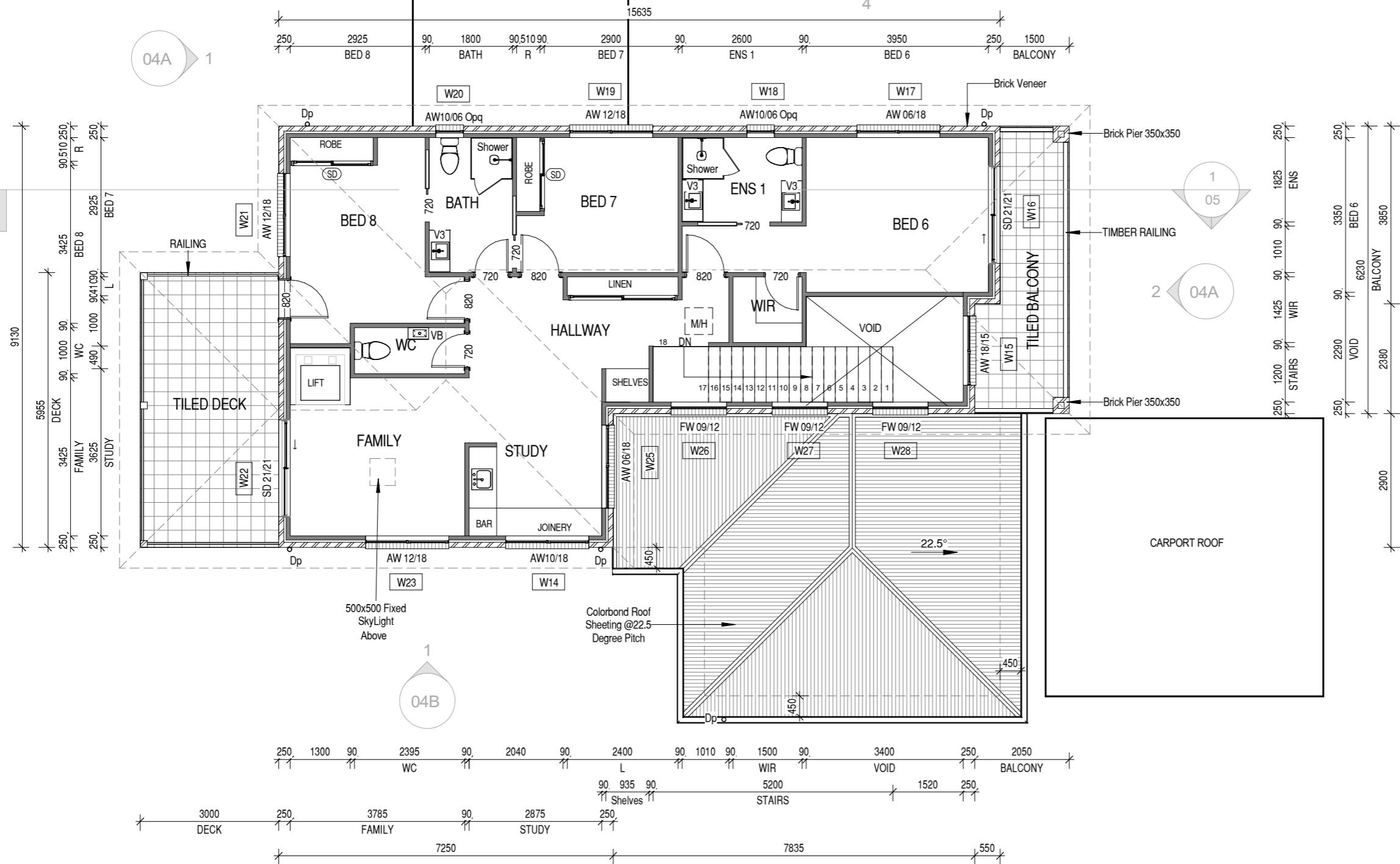
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JOB ADDRESS :	1 KELSON PLACE, ACTON PARK
APPROVED BY:	Stuart Chugg
DRAWN :	Ranjot kaur
CHECKED:	SC DATE: 29.02.2023
SCALE:	1 : 100 REVISION: H

CLIENT :	A K M MOHSIN HABIB TALUKDER
SHEET:	02B OF 11
PROJECT NO:	CH_86

CL	25.500
FIRST FLOOR	23.100
G.FL CL	22.700
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Window Schedule				
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TOTAL SITE COVERAGE:	
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DRIVEWAY AREA	: 220 m ²

FIRST FLOOR PLAN

GLAZING NOTE:
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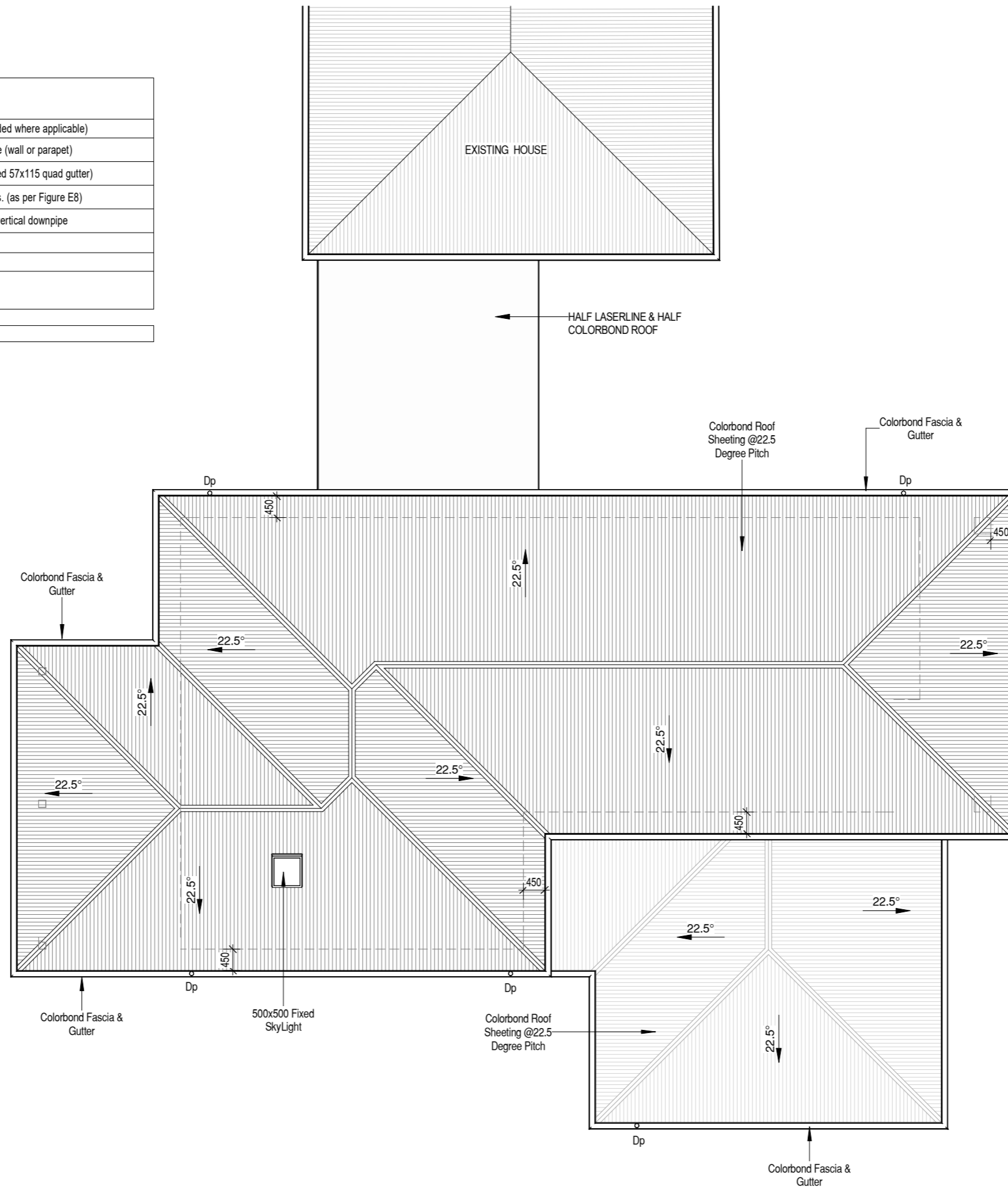
Vanity Legend	
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02C		<p>CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.</p> <p>DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.</p>	<table border="1"> <tr><td>H</td><td>29.02.2024</td><td>Modified as RFI PDPLANPMTD 2023/039889</td><td>RK</td></tr> <tr><td>G</td><td>14.02.2024</td><td>Modified as CH feedback</td><td>RK</td></tr> <tr><td>F</td><td>11.12.2023</td><td>Modified as feedback</td><td>RK</td></tr> <tr><td>E</td><td>08.12.2023</td><td>Existing ground floor added</td><td>RK</td></tr> <tr><td>D</td><td>31.10.2023</td><td>External wall changed to brick</td><td>RK</td></tr> <tr><td>No.</td><td>Date</td><td>Description</td><td>Drawn</td></tr> </table>	H	29.02.2024	Modified as RFI PDPLANPMTD 2023/039889	RK	G	14.02.2024	Modified as CH feedback	RK	F	11.12.2023	Modified as feedback	RK	E	08.12.2023	Existing ground floor added	RK	D	31.10.2023	External wall changed to brick	RK	No.	Date	Description	Drawn	<p>CREATIVE HOMES HOBART, CORNER OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000</p>	<p>JOB ADDRESS : 1 KELSON PLACE, ACTON PARK</p> <p>APPROVED BY: Stuart Chugg</p> <p>DRAWN : Ranjot Kaur</p> <p>CHECKED: SC DATE: 29.02.2023</p> <p>SCALE: 1 : 100 REVISION: H</p>	<p>CLIENT : A K M MOHSIN HABIB TALUKDER</p> <p>SHEET: 02C OF 11</p> <p>PROJECT NO: CH_86</p>
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ROOF CATCHMENT AREA CALCULATION- EXTENSION

Ah	236.6 m ²	Plan area of roof including gutter (parapet included where applicable)
Ac	286.3 m ²	catchment area of a roof and vertical surface (wall or parapet)
Ae	6555	effective cross-sectional area of a gutter (assumed 57x115 quad gutter)
DRI	86	Rainfall intensity (mm/h) - 5 Min - ARI 20 years. (as per Figure E8)
Ac/dp	70	The maximum catchment area of roof per vertical downpipe
Downpipes required	4	Ac / Ac/dp
Downpipes provided	5	

NOTE: Roof catchment areas to comply with AS3500.3



ROOF NOTES:

1. VAPOUR PERMEABLE SARKING UNDER BATTENS (OR EQUIV.) (WITH 25MM AIR GAP TO ROOFING) AND MINIMUM 10MM ROOF VENTILATION (SUPPLY) GAP IN ACCORDANCE WITH NCC.
2. RIDGE TO HAVE CONTINUOUS GAP IN VAPOUR PERMEABLE SARKING (5mm) OR EQUIV. VENTILATION SYSTEM (EXHAUST) IN ACCORDANCE WITH NCC.
3. SELECT COLORBOND CAPPING AND FLASHINGS INSTALLED TO MANUFACTURER'S SPECIFICATION.
4. FC LINING TO EAVE WITH EAVE VENTS FOR VENTILATION (OR EQUIV.) IN ACCORDANCE WITH NCC.

ROOF PLAN

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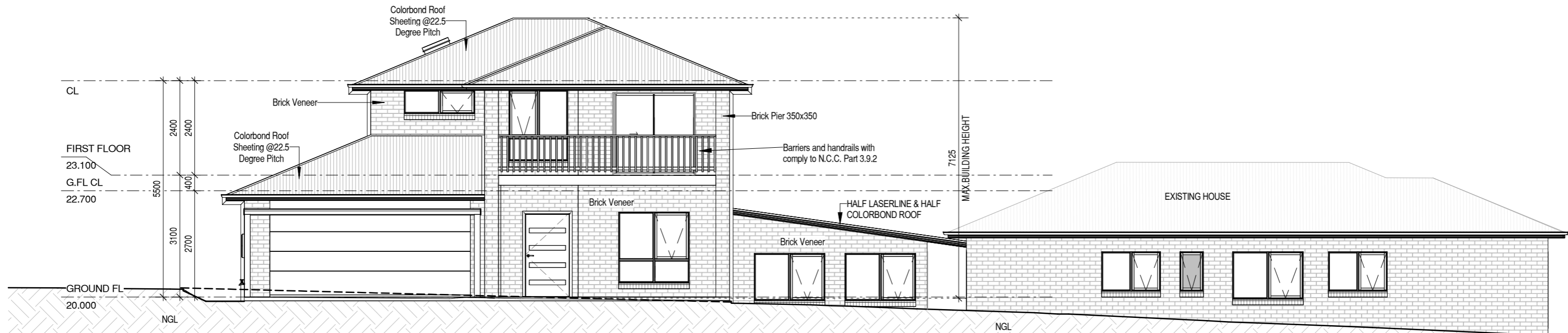
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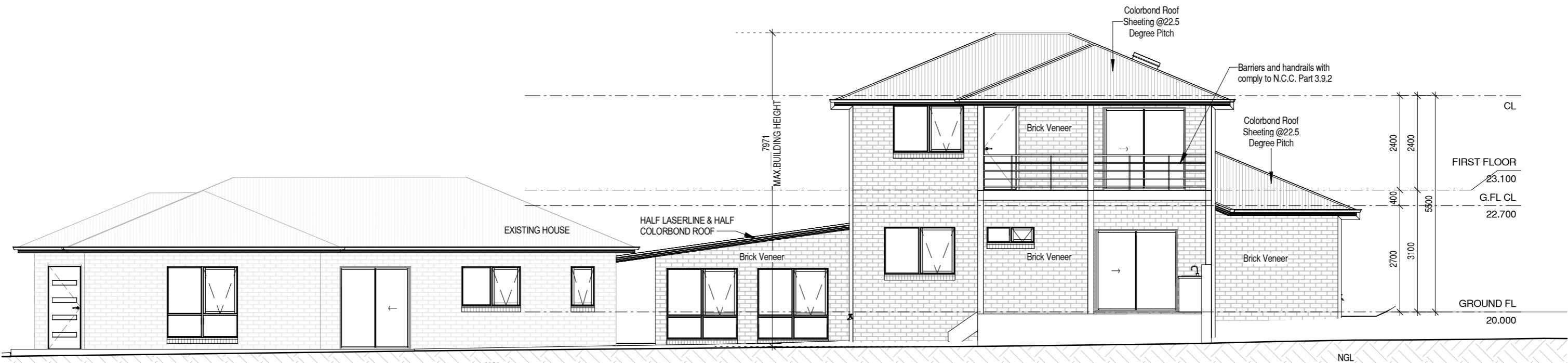
CREATIVE HOMES HOBART, CORNER OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

JOB ADDRESS: 1 KELSON PLACE, ACTON PARK	
APPROVED BY:	Stuart Chugg
DRAWN:	Ranjot Kaur
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REVISION:	H

CLIENT: A K M MOHSIN HABIB TALUKDER
SHEET: 03 OF 11
PROJECT NO: CH_86



South West Elevation



North East Elevation

GLAZING NOTE:
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ROOF NOTES:

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ELEVATIONS 01

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NorthWest Elevation



SouthEast Elevation

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ELEVATIONS 02

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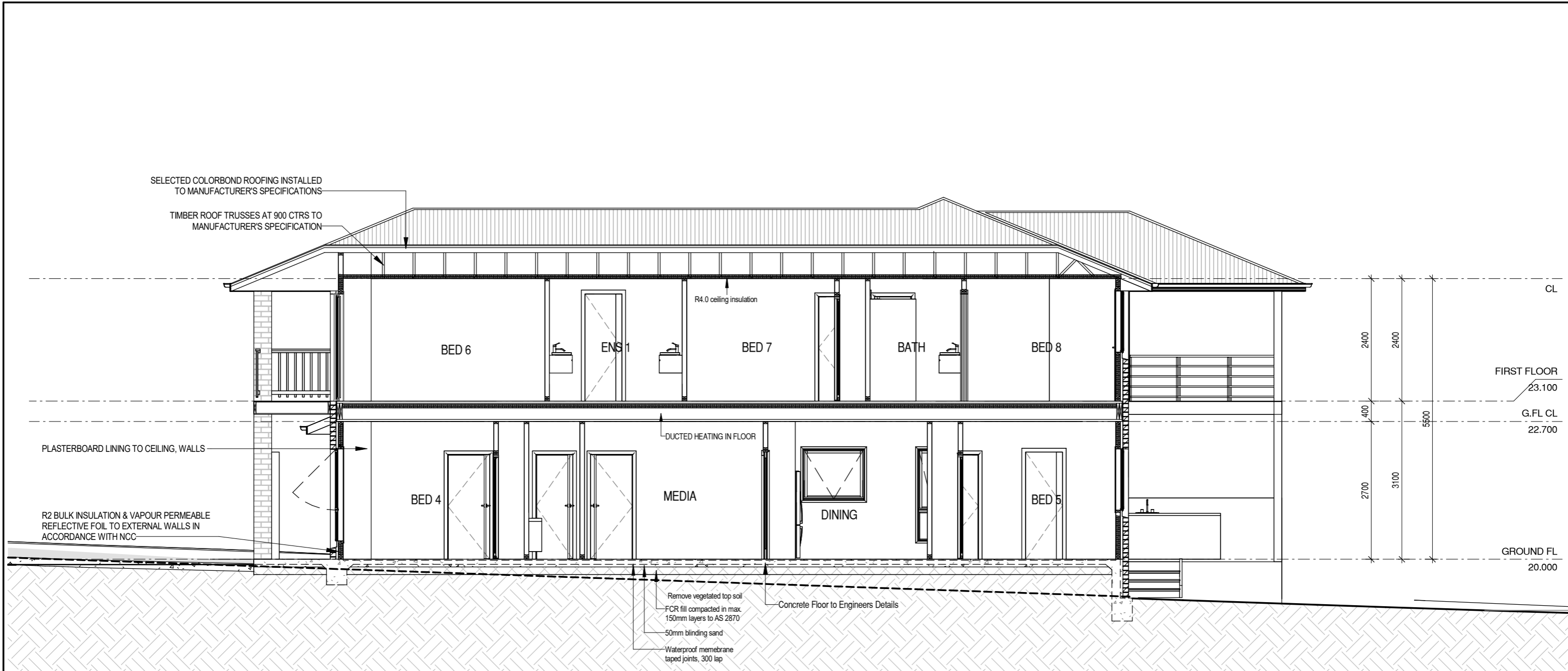
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SHEET:	05 OF 11
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NOTE:
MATERIALS COLOR TO BE CONFIRMED.

GLAZING NOTE:
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3D VIEWS

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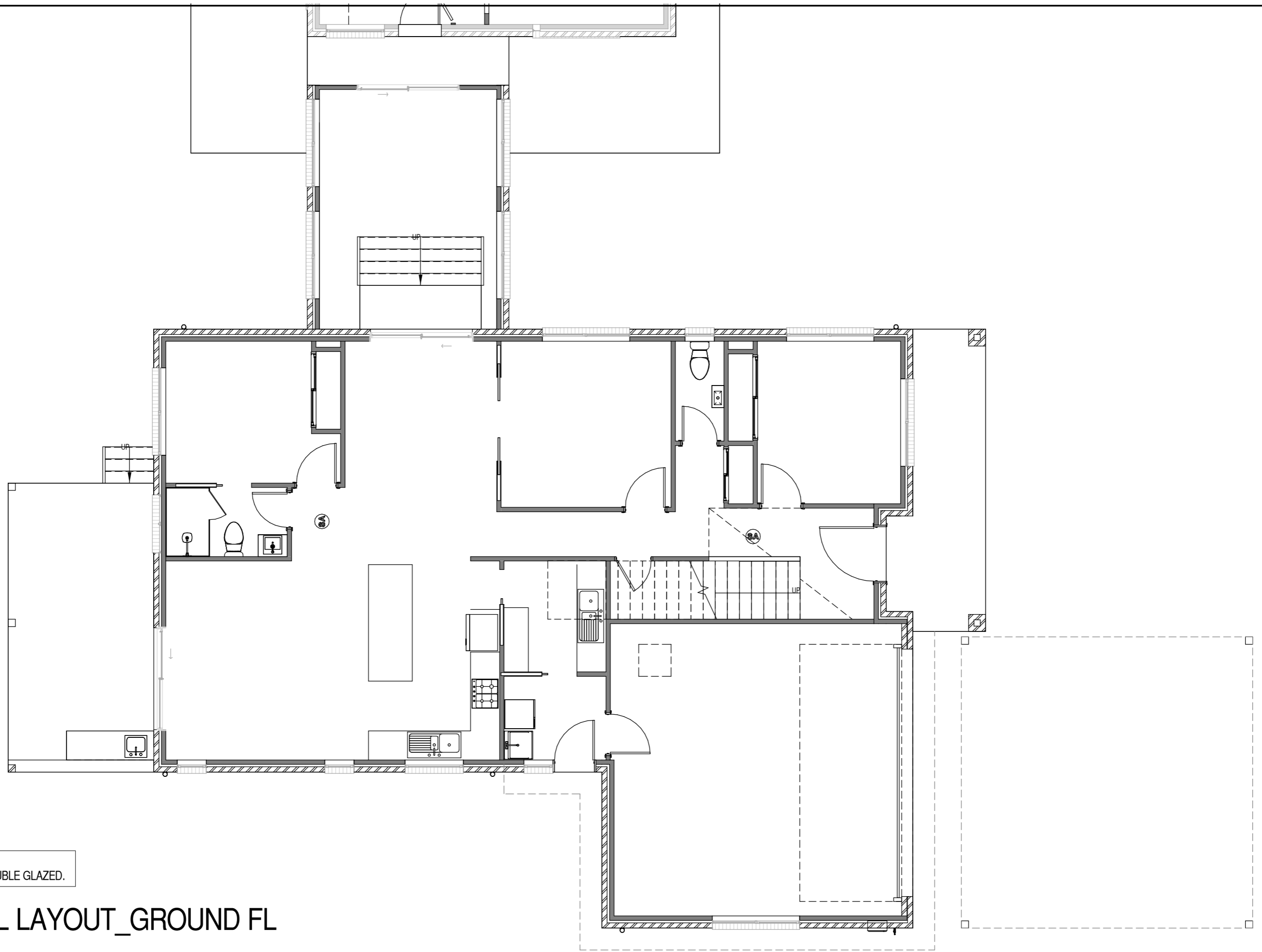
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ELECTRICAL LAYOUT_GROUND FL

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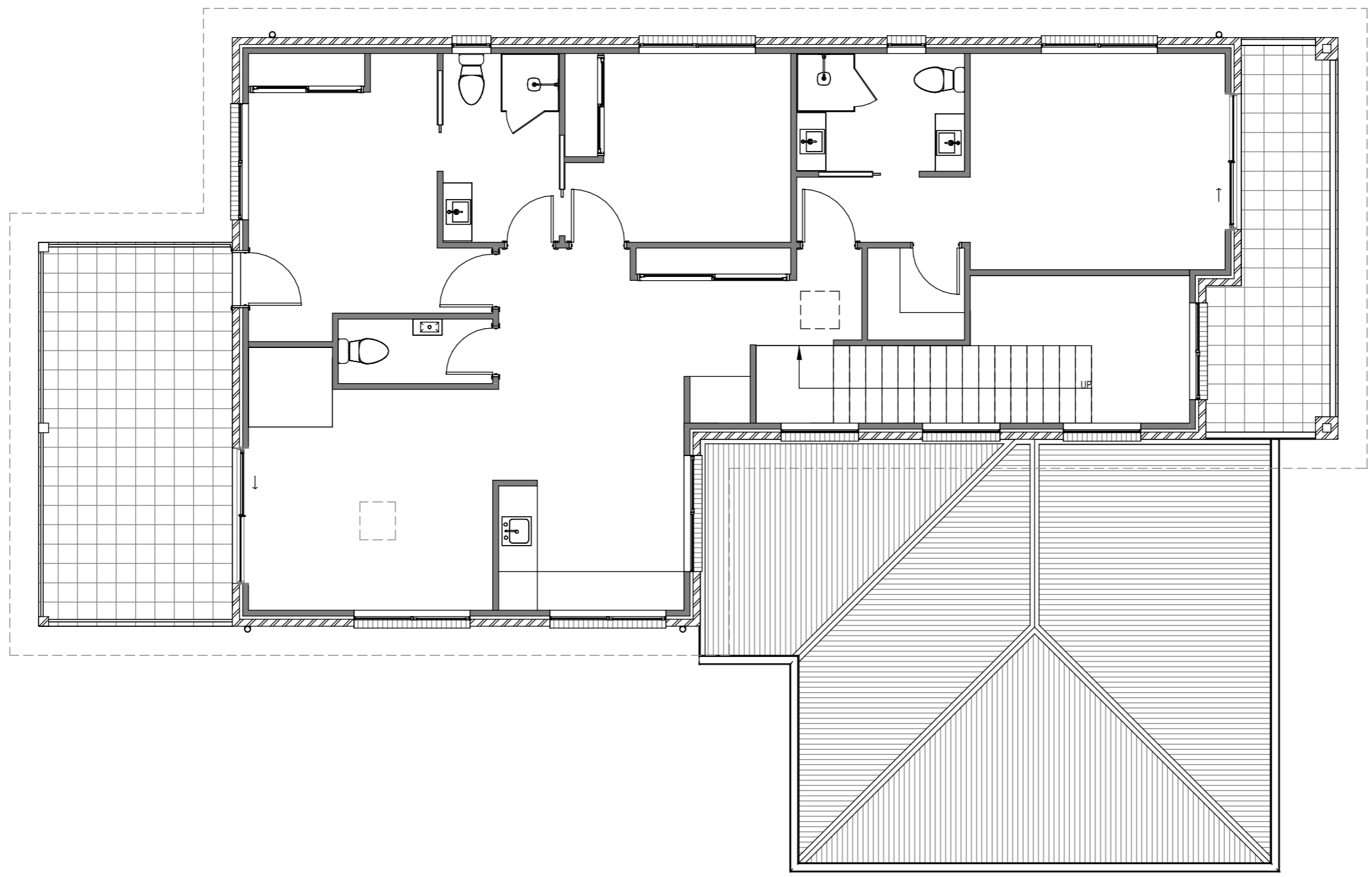
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GLAZING NOTE:
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ELECTRICAL LAYOUT_FIRST FL

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PROJECT NO:	CH_86

WATER PROOFING

WET AREAS

Waterproofing: To AS3740 and NCC H4D2

MEMBRANES

Standard: To AS/NZS4858

MEMBRANE SYSTEMS

Requirement: Provide a proprietary membrane system certified as suitable for the intended external waterproofing.

SEALANTS

Requirement: Waterproof, flexible, mould- resistant and compatible with host materials.

SUBSTRATES

General: Provide substrates as follows:
 Clean and free of any deposit or finish which may impair adhesion of membranes. If walls are plastered, remove loose sand. If walls or floors are framed or discontinuous, support members in full lengths without splicing. If floors are solid or continuous: Remove excessive projections.
 Fill voids and hollows greater than 10mm with abrupt edges with a cement: sand mix not stronger than the substrate nor weaker than the bedding.
 Fill depressions less than 10mm with a latex modified cementitious product with feathering eliminated by scabbling the edges.
 Fill cracks in substrates wider than 1.5mm with a filler compatible with the membrane system.
 External corners: Round or arris edges.

FALLS

Substrate: If the membrane is directly under the floor finish, make sure the fall in the substrate conforms to the fall documented for the finish.

WATER STOP ANGLES

Requirement: Provide water stop angles at door thresholds and shower enclosures to support the waterproof membrane at junctions between waterproofed and non-waterproofed areas. Sealant fillet bond breakers:
 Application: Form a triangular fillet or cove of sealant to internal corners within the period recommended by the membrane manufacturer after the application of the primer.
 Widths : 8mm minimum to vertical corners. 10-12mm to horizontal corners.
 Backing rod bond breakers: Retain in position with continuous length of tape pressed firmly in place against the surfaces on each side of the rod.

BOND BREAKERS

Requirement: After the priming of surfaces, provide bond breakers at all wall/floor, hob/wall junctions and at control joints where the membrane is bonded to the substrate.
 Sealant fillet bond breakers:
 Application: Form a triangular fillet or cove of sealant to internal corners within the period recommended by the membrane manufacturer after the application of the primer.
 Widths: 8mm minimum to vertical corners. 10-12 mm to horizontal corners.

PROTECTION

General: Protect membrane from damage during installation and for the period after installation until the membrane achieves its service characteristics that resist damage

EXTENT OF WATERPROOFING

Waterproof or water resistant surfaces: To requirements of NCC H4D2

VERTICAL MEMBRANE TERMINATIONS

Upstands: At least 150mm above the finished tile level of the floor or 25mm above the maximum retained water level, whichever is the greater.
 Anchoring: Secure sheet membranes along the top edge. Edge protection: Protect edges of the membrane.
 Waterproofing above terminations: Waterproof the structure above the termination to prevent moisture entry behind the membrane using tiler's angle and finish over laps.

DOOR JAMBS AND ARCHITRAVES

Requirement: If the bottom of doorjamb and architraves do not finish above the floor tiling, waterproof their surfaces below tile level to provide a continuous seal between the perimeter flashing at the wall/floor junction and the water stop angle.

DRAINAGE CONNECTIONS

Floor wastes: Turn membrane down 50mm minimum into the floor waste drainage flanges and adhere to form a waterproof connection.

ENCLOSED SHOWERS WITH HOBBS

Internal membranes: Extend membrane over the hob and into the room at least 50mm.

UNENCLOSED SHOWERS

Requirement: Extend membrane at least 1500mm into the room from the shower rose outlet on the wall.

MEMBRANE VERTICAL PENETRATIONS

Pipes, ducts, and vents: Provide separate sleeves for all pipes, ducts, and vents and have fixed to the substrate.

MEMBRANE HORIZONTAL PENETRATIONS

Sleeves: Provide a flexible flange for all penetrations, bonded to the penetration and to the membrane.

CURING OF LIQUID APPLIED SYSTEMS

General: To the manufacturer's instructions.
 Curing: Allow membrane to fully cure before tiling.

OVERLAYING FINISHES ON MEMBRANES

Requirement: Protect waterproof membranes with compatible water-resistant surface materials that do not cause damage to the membrane.
 Bonded or partially bonded systems: If the topping or bedding mortar is required to be bonded to the membrane, provide sufficient control joints in the topping or bedding mortar to reduce the movement over the membrane.

Wet Areas (to comply with BCA H4D2 and AS 3740)

H4D2 Part 10.2.1 Wet Areas

Building elements in wet areas within a building must:
 (a) be waterproof or water resistant in accordance with Table 10.2.2; and
 (b) comply with AS 3740.

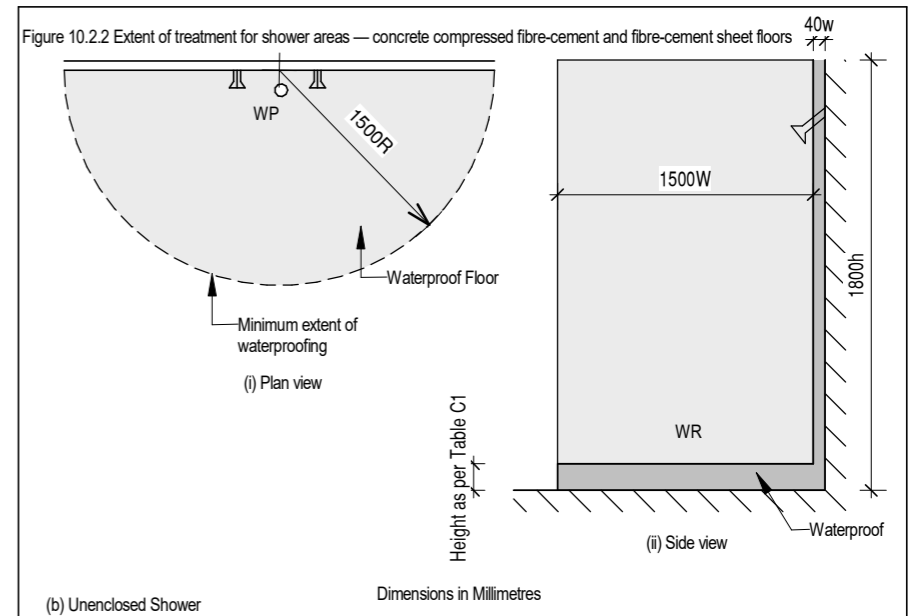
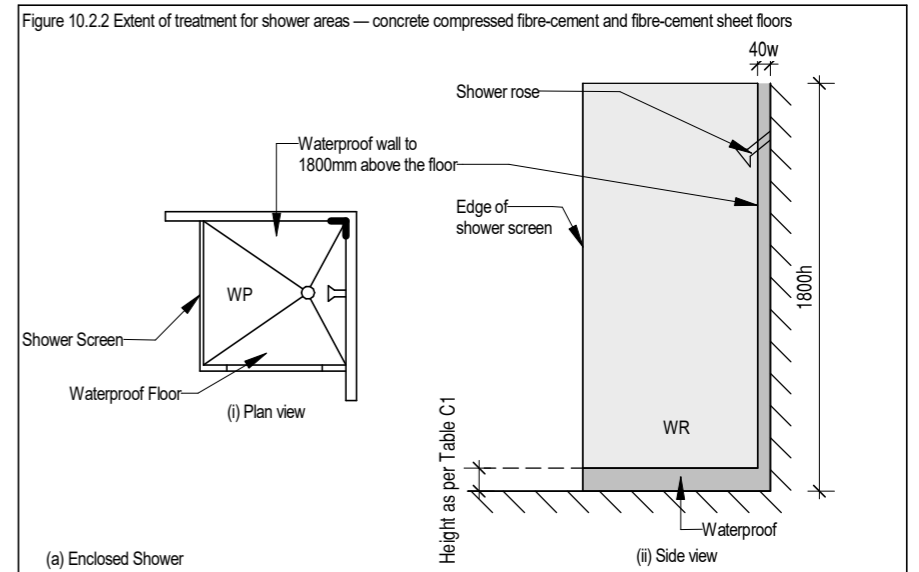
Table 10.2.2 Waterproofing and water resistance requirements for building elements in wet areas

Vessels or area where the fixture is installed	Floors and horizontal surfaces	Walls	Wall junctions and joints	Wall / floor junctions	Penetrations
Shower area (enclosed and unenclosed)					
With hob	Waterproof floor in shower area (including any hob or step-down)	The walls of the shower area must be waterproof not less than 1800 mm above the floor substrate	Wall junctions and joints within the shower area must be waterproof not less than 40 mm either side of the junction	Wall/floor junctions within the shower area must be waterproof	Waterproof penetrations in shower area.
With step-down					
Without hob or step-down					
Vessels or area where the fixture is installed					
Area outside shower area					
For concrete and compressed fibre-cement sheet flooring	Water resistant floor of the room.	N/A	N/A	a) Waterproof wall / floor junctions b) where a flashing is used, the horizontal leg must be not less than 40 mm	N/A
For timber floors including particleboard, plywood and other timber based flooring materials	Waterproof floor of the room				
Areas adjacent to baths and spas					
For concrete and compressed fibre-cement sheet flooring	Water resistant floor of the room.	(a) Water resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall. (b) Water resistant all exposed surfaces below vessel lip.	Water resistant junctions within 150 mm above a vessel for the extent of the vessel.	Water proof wall / floor junctions for the extent of the vessel.	Waterproof tap and spout penetrations where they occur in horizontal surfaces.
For timber floors including particleboard, plywood and other timber based flooring materials	Waterproof floor of the room.	(a) Water resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall. (b) Water resistant all exposed surfaces below vessel lip.	Water resistant junctions within 150 mm above a vessel for the extent of the vessel.	Water proof wall / floor junctions for the extent of the vessel.	Waterproof tap and spout penetrations where they occur in horizontal surfaces.
Inserted baths and spas	(a) Waterproof shelf area, incorporating waterstop under the vessel lip. (b) No requirement under bath.	(a) Waterproof to not less than 150 mm above the lip of the bath or spa; and (b) No requirement under bath.	(a) Waterproof junctions within 150 mm above bath or spa; and (b) No requirement under bath.	N/A	Waterproof tap and spout penetrations where they occur in horizontal surfaces.

NOTE: User of this Standard should refer to the current edition of the NCC for any changes to the tables.

Vessels or area where the fixture is installed	Floors and horizontal surfaces	Walls	Wall junctions and joints	Wall / floor junctions	Penetrations
Other areas					
Laundries and WCs	Water resistant floor of the room	N/A	N/A	Water resistant wall / floor junctions, and where a flashing is used, the horizontal leg must not be less than 40 mm.	N/A
Walls adjoining other vessels (e.g. sink, basin or laundry tub)	N/A	Water resistant to a height of not less than 150 mm above the vessel, for the extent of the vessel, where the vessel is within 75 mm of a wall.	Waterproof wall junctions where a vessel is fixed to a wall.	N/A	Waterproof tap and spout penetrations where they occur in surfaces required to be waterproof or water resistant.
N/A means not applicable. Where a shower is above a bath or spa, use requirements for shower.					

Extent of Waterproofing
 Where the shower shown in the Figures is not enclosed, the wet area is to be taken as 1500 mm from the shower connection.



For further wet area notes not shown on this document, refer to AS3740

AS3740 to take precedence of this document

WET AREA NOTES

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CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

No.	Date	Description	Drawn
E	08.12.2023	Existing ground floor added	RK
A	19.10.2023	WORKING DRAWINGS	RK

CREATIVE HOMES HOBART, CORNER OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000



JOB ADDRESS : 1 KELSON PLACE, ACTON PARK	
APPROVED BY:	Stuart Chugg
DRAWN :	Ranjot Kaur
CHECKED: SC	DATE: 29.02.2023
SCALE:	REVISION: E

CLIENT : A K M MOHSIN HABIB TALUKDER	
SHEET:	08 OF 11
PROJECT NO:	CH_86

BAL LOW:

GENERAL

This Standard does not provide construction requirements for buildings assessed in bushfire-prone areas in accordance with Section 2 as being BAL-LOW. The Bushfire Attack Level BAL-LOW is based on insufficient risk to warrant specific bushfire construction requirements. It is predicated on low threat vegetation and non vegetated areas (see AS3959 Clause 2.2.3.2).

SUB-FLOOR

This standard does not provide construction requirements for subfloor supports, poles, piers, stumps and columns.

CONCRETE SLABS ON GROUND

This standard does not provide construction requirements for concrete slabs on the ground.

ELEVATED FLOORS

This standard does not provide construction requirements for elevated floors, including bearers, joists and flooring.

WALL

This standard does not provide construction requirements for the exposed components of an external wall.

JOINT

This standard does not provide construction requirements for joints.

VENTS AND WEEPHOLES

This standard does not provide construction requirements for vents and weepholes.

BUSHFIRE SHUTTERS

This standard does not provide construction requirements for bushfire shutters.

SCREENS FOR WIDOWS AND DOORS

This Standard does not provide construction requirements for window and door screens.

WINDOWS

This standard does not provide construction requirements for windows.

SIDE-HUNG EXTERNAL DOORS (INCLUDING FRENCH DOORS, PANEL FOLD AND BIFOLD)

This standard does not provide construction requirements for side-hung external doors (including french doors, panel fold and bifold).

SLIDING DOORS

This standard does not provide construction requirements for sliding doors.

VEHICLE ACCESS DOORS

This standard does not provide construction requirements for vehicle access doors.

ROOFS

This standard does not provide construction requirements for roofs.

VERANDA, CARPORT AND AWNING

This standard does not provide construction requirements for veranda, carport and awning.

ROOF PENETRATIONS

This standard does not provide construction requirements for roof penetrations.

EAVES LININGS, FASCIAS AND GABLES

This standard does not provide construction requirements for eaves linings, fascias and gables.

GUTTERS AND DOWNPIPES

This standard does not provide construction requirements for gutters and downpipes.

VERANDAS, DECKS, STEPS AND LANDINGS - GENERAL

Decking may be spaced.
There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

ENCLOSED SUBFLOOR SPACES OF VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

This standard does not provide construction requirements for enclosed subfloor spaces of verandas, decks, steps, ramps and landings.

UNENCLOSED SUBFLOOR SPACES OF VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

This standard does not provide construction requirements for unenclosed subfloor spaces of verandas, decks, steps, ramps and landings.

BALUSTRADES, HANDRAILS OR OTHER

This standard does not provide material requirements for unenclosed subfloor spaces of verandas, decks, steps, ramps and landings

WATER AND GAS SUPPLY

This standard does not provide construction requirements for water and gas supply pipes.

AS3500.1(2003)

(Amend 2 2010)

5.23 BUSHFIRE ZONES

Pipes of other materials shall be buried with a minimum depth of cover 300mm, measured from the proposed finished surface level and should be identified generally in accordance with AS1345-1995

BAL 12.5:

Construction shall be in accordance with Bushfire Attack Level 12.5 BAL-125) specified in AS 7955-2018 Construction of Buildings in Bushfire Prone Areas, Sections 3 and 5.

SUBFLOOR shall be either stab-on-ground or timber on isolated piers with brick perimeter. The standard does not provide construction requirements for either of these subfloor construction methods. Refer Section 5.3.1 for detail.

EXTERNAL WALLS shall be timber framing, externally lined with sarking and clad with brick veneer or Weathertex cladding respectively Weathertex is stated as having a density of 990kg/m³ Any exposed timber shall bushfire resistant timber (AS 3999-2018 Appendix E1 or Appendix F compliant). Compliant timbers include Tas Oak (as Messmate, Peppermint & Manna Gum) or Southern Blue Gum as long as the density is 750 kg/m³ or greater. Refer section 5.4.1 for detail.

JOINTS IN EXTERNAL WALLS are to be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3mm. Refer section 5.4.2 for detail.

VENTS, WEEPHOLES AND GAPS IN EXTERNAL WALLS greater than 3mm are to be fitted with 2mm minimum aperture, corrosion resistant steel, bronze, or aluminium mesh. Refer section 5.4.3 for detail.

BUSHFIRE SHUTTERS when used, shall protect the whole window/door assembly and shall be fixed to the building and be non-removable with gaps no greater than 3mm between the shutter and the wall, sill, or head. They must be manually openable from either inside or outside. They shall be made of non-combustible material or bushfire resistant timber AS 3959-2018 Appendix F compliant). Perforations must have an area no greater than 20% of the shutter and be uniformly distributed with gaps no greater than 3mm (or no greater than 2mm when the openable portion of the window is not screened).

SCREENS shall be fitted internally or externally to openable portions of windows. Screens shall be aluminium framed with 2mm minimum aperture, corrosion resistant steel, bronze, or aluminium mesh. No gaps between the perimeter of the screen assembly and the building are to be greater than 3mm. Refer section 5.5.2 for detail. Alternatively, compliant bushfire shutters may be installed.

WINDOWS AND GLAZED SLIDING DOORS and their frames, joinery and architraves can be aluminium framed but can also be PVC which is shown to be bushfire resistant or bushfire resistant timber (AS 3959-2018 Appendix E2 or Appendix F compliant). Compliant timbers include Celery Top, Blackwood, Myrtle, Southern Blue Gum, some Tas Oak (as Messmate, Alpine Ash, Mountain Ash, Silvertop Ash, Peppermint & Manna Gum) or Plantation Ash (as Shining Gum) as long as the density is 650 kg/m³ or greater.

Windows less than 400mm from the ground or less than 400mm above decks, carport roofs, veranda roofs and awnings which have an angle less than 18 degrees shall be a minimum of 4mm Grade A safety glass. When using double glazing this requirement applies to the external face only. Windows above 400mm (when specific glazing is not required by other relevant standards) may use annealed glass. Sliding doors shall be glazed with a minimum of Grade A safety glass. Refer section 5.5.3 for detail. Alternatively, compliant bushfire shutters may be installed. Care should be taken to ensure that the energy assessor for this project is aware of the minimum glazing requirements for this BAL classification so as to avoid conflict with glazing specifications.

SIDE HUNG EXTERNAL DOORS can be either non-combustible or solid timber with a minimum thickness of 35mm or hollow core with a non-combustible kick plate on the outside for the first 400mm above the threshold Glazed doors including French doors and bi-fold must have glazing that complies with the glazing requirements for windows and the frame can be aluminium framed or PVC which is shown to be bushfire resistant or bushfire resistant timber (AS 3959-2018 Appendix E2 or Appendix F compliant). Compliant timbers include Celery Top, Blackwood, Myrtle, Southern Blue Gum, some Tas Oak (as Messmate, Alpine Ash, Mountain Ash, Silvertop Ash, Peppermint & Manna Gum) or Plantation Ash (as Shining Gum) as long as the density is 650 kg/m³ or greater Refer section 5.5.3 for detail.

DOOR JAMBS AND ARCHITRAVES can be aluminium framed or PVC which is shown to be bushfire resistant or bushfire resistant timbe (AS 3959-2018 Appendix E2 or Appendix F compliant). Compliant timbers include Celery Top, Blackwood, Myrtle, Southern Blue Gum, some Tas Oak (as Messmate, Alpine Ash, Mountain Ash, Silvertop Ash, Peppermint & Manna Gum) or Plantation Ash (as Shining Gum) as long as the density is 650kg/m³ or greater. Doors must be tight-fitting to the door jamb (and to the abutting door where applicable). Weather strips or draught excluders shall be installed to all side-hung external doors.

GARAGE DOORS must be fully non-combustible or have the lower portion of the door which is within 400mm of the ground be non-combustible. Panel lift, tilt or side hung doors shall be fitted with weather strips, draught excluders or guide tracks as appropriate to the door type with gaps no greater than 3mm. Roller doors shall have guide tracks with gaps no greater than 3mm or fitted with a nylon brush that is in contact with the door. Refer section 5.5.6 for detail.

ROOF shall be timber framing, lined with sarking on the outside of the frame and clad with corrugated Colourbond cladding. Any gaps under ribs or roof components such as roof eave, fascia and wall junctions are to be sealed with 2mm aperture corrosion resistant, steel, bronze or aluminium mesh, or filled with mineral wool to prevent openings greater than 3mm. Refer section 5.6.1, 5.6.2 & 5.6.3 for detail.

VERANDAH, CARPORT OR AWNING ROOFS forming part of the main roof shall meet the requirements of the main roof. Refer section 5.6.4 for detail.

ROOF PENETRATIONS such as skylights, vent pipes and aerials that penetrate the roof shall be sealed to prevent openings greater than 3mm Openable and vented skylights or vent pipes shall be fitted with 2mm aperture corrosion resistant, steel, bronze, or aluminium mesh ember guards. All overhead glazing shall be Grade A safety glass. PVC vent pipes are permitted. Refer section 5.6.5 for detail.

EAVES LINING, FASCIA AND GABLES shall be cement sheet or equivalent non-combustible material and sealed to prevent openings greater than 3mm. Refer section 5.6.6 for detail.

GUTTERS AND DOWNPIPE materials and requirements are not specified in the standard for BAL-12.5 with the exception of box gutters which shall be non-combustible. Gutter and valley leaf guards are not a requirement of the standard but they are strongly recommended. If installed, they must be non-combustible. Refer section 5.6.7 for detail.

VERANDAH AND DECK SUPPORTS AND FRAMING can be timber construction as there are no construction requirements in the standard for BAL-12.5. Decking may be spaced or un-spaced and the sub-floor either enclosed or unenclosed. If the decking is spaced, it is assumed that the spacing shall be 3mm nominal spacing with an allowance of between 0-5mm due to seasonal changes. If the deck sub-floor is enclosed, then all materials less than 400mm from the ground shall be non-combustible. Refer section 5.7.1, 5.7.2 & 5.7.3 for detail.

VERANDAHS, DECKS, STEPS, LANDINGS AND RAMPS and their elements can be timber construction as there are no construction requirements for BAL-12.5 except for elements less than 300mm horizontally and 400mm vertically from glazed elements which must be bushfire resistant timber (AS 3959-2018 Appendix E1 or Appendix F compliant) or equivalent non-combustible material. Compliant timbers include Tas Oak (as Messmate, Peppermint & Manna Gum) or Southern Blue Gum as long as the density of 750kg/m³ or greater. An acceptable solution would be to line the area with cement sheet with ceramic tiles over. Refer section 5.7.2.4 for detail.

BALUSTRADES AND HANDRAILS can be timber construction as there are no construction requirements in the standard for BAL 12.5. Refer section 5.7.4 for detail.

WATER AND GAS SUPPLY PIPING where it is above ground and exposed shall be metal. Refer section 5.8 for detail

BAL 19:

Construction shall be in accordance with Bushfire Attack Level 19 (BAL-19) as specified in AS 3959-2009 Construction of Buildings in Bushfire Prone Areas, Sections 3 and 6.

SUBFLOOR shall be either slab-on-ground or timber on isolated piers with brick perimeter. The standard does not provide construction requirements for either of these subfloor construction methods. Refer section 6.3.1 for detail.

EXTERNAL WALLS shall be timber framing, externally lined with sarking and clad with brick veneer or Weathertex cladding respectively. (Weathertex is stated as having a density of 990kg/m³. Any exposed timber shall bushfire resistant timber (AS 3959-2018 Appendix E1 or Appendix F compliant). Compliant timbers include Tas Oak (as Messmate, Peppermint & Manna Gum) or Southern Blue Gum as long as the density is 750 kg/m³ or greater. Refer section 6.4.1 for detail.

JOINTS IN EXTERNAL WALLS are to be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3mm. Refer section 6.4.2 for detail.

VENTS WEEPHOLES AND GAPS IN EXTERNAL WALLS greater than 3mm are to be fitted with 2mm minimum aperture, corrosion resistant steel or bronze mesh. Aluminium mesh or perforated sheet cannot be used for the ember guards. Refer section 6.4.3 for detail.

BUSHFIRE SHUTTERS when used, shall protect the whole window/door assembly and shall be fixed to the building and be non-removable with gaps no greater than 3mm between the shutter and the wall, sill, or head. They must be manually openable from either inside or outside. They shall be made of non-combustible material or bushfire resistant timber (AS 3959-2018 Appendix F compliant). Perforations must have an area no greater than 20% of the shutter and be uniformly distributed with gaps no greater than 3mm (or no greater than 2mm when the openable portion of the window is not screened).

SCREENS shall be fitted internally or externally to openable portions of windows. Screens shall be aluminium framed with 2mm minimum aperture, corrosion resistant steel or bronze mesh. No gaps between the perimeter of the screen assembly and the building are to be greater than 3mm. Refer section 6.5.2 for detail. Alternatively, compliant bushfire shutters may be installed.

WINDOWS AND GLAZED SLIDING DOORS and their frames, joinery and architraves can be aluminium framed but can also be PVC which is shown to be bushfire resistant or bushfire resistant timber (AS 3959-2018 Appendix E2 or Appendix F compliant). Compliant timbers include Celery Top, Blackwood, Myrtle, Southern Blue Gum, some Tas Oak (as Messmate, Alpine Ash, Mountain Ash, Silvertop Ash, Peppermint & Manna Gum) or Plantation Ash (as Shining Gum) as long as the density is 650 kg/m³ or greater.

All windows to be minimum 5mm toughened glass. When using double glazing this requirement applies to the external face only. Openable parts of windows to be fitted with compliant screened either internally or externally. Sliding doors shall be glazed with a minimum of Grade A safety glass. Refer to section 6.5.3 for detail. Alternatively, compliant bushfire shutters may be installed. Care should be taken to ensure that the energy assessor for this project is aware of the minimum glazing requirements for this BAL classification so as to avoid conflict with glazing specifications.

SIDE HUNG EXTERNAL DOORS can be either non-combustible or solid timber with a minimum thickness of 35mm, or hollow core with combustible kick plate on the outside for the first 400mm above the threshold. Glazed doors including French doors and Bi-fold must have 5mm toughened glazing that complies with the glazing requirements for windows and the frame can be aluminium framed or PVC which is shown to be bushfire resistant or bushfire resistant timber (AS 3959-2018 Appendix E2 or Appendix F compliant). Compliant timbers include Celery Top, Blackwood, Myrtle, Southern Blue Gum, some Tas Oak (as Messmate, Alpine Ash, Mountain Ash, Silvertop Ash, Peppermint & Manna Gum) or Plantation Ash (as Shining Gum) as long as the density is 650 kg/m³ or greater. Refer section 6.5.4 for detail.

DOOR JAMBS AND ARCHITRAVES can be aluminium framed or PVC which is shown to be bushfire resistant or bushfire resistant timber (AS 3959-2018 Appendix E2 or Appendix F compliant). Compliant timbers include Celery Top, Blackwood, Myrtle, Southern Blue Gum, some Tas Oak (as Messmate, Alpine Ash, Mountain Ash, Silvertop Ash, Peppermint & Manna Gum) or Plantation Ash (as Shining Gum) as long as the density is 650 kg/m³ or greater. Doors must be tight-fitting to the door jamb (and to the abutting door where applicable). Weather strips or draught excluders shall be installed to all side-hung external doors.

GARAGE DOORS must be fully non-combustible or have the lower portion of the door which is within 400mm of the ground be non-combustible. Panel lift, tilt or side hung doors shall be fitted with weather strips, draught excluders or guide tracks as appropriate to the door type with gaps no greater than 3mm. Roller doors shall have guide tracks with gaps no greater than 3mm or fitted with a nylon brush that is in contact with the door. Refer section 6.5.6 for detail.

ROOF shall be timber framing, lined with sarking on the outside of the frame and clad with corrugated Colourbond cladding. Any gaps under ribs or roof components such as roof eave, fascia and wall junctions are to be sealed with 2mm aperture corrosion resistant steel or bronze mesh, or filled with mineral wool to prevent openings greater than 3mm. Refer Section 6.6.1, 6.6.2 & 6.6.3 for detail.

VERANDAH, CARPORT AND AWNING ROOFS forming part of the main roof shall meet the requirements of the main roof. Refer section 6.6.4 for detail.

ROOF PENETRATIONS such as skylights, vent pipes and aerials that penetrate the roof shall be sealed to prevent openings greater than 3mm. Openable and vented skylights or vent pipes shall be fitted with 2mm aperture corrosion resistant, steel, or bronze mesh ember guards. All overhead glazing shall be Grade A safety glass. PVC vent pipes are permitted. Refer section 6.6.5 for detail.

EAVES LINING, FASCIA AND GABLES shall be 4.5mm cement sheet or equivalent non-combustible material and sealed to prevent openings greater than 3mm. Refer section 6.6.6 for detail.

GUTTERS AND DOWNPIPE materials and requirements are not specified in the standard for BAL-19 with the exception of box gutters which shall be non-combustible. Gutter and valley leaf guards are not a requirement of the standard but they are strongly recommended. If installed, they must be non-combustible. Refer section 6.6.7 for detail.

VERANDAH AND DECK SUPPORTS AND FRAMING can be timber construction as there are no construction requirements in the standard for BAL-19. Decking may be spaced or un-spaced and the sub-floor either enclosed or unenclosed. If the decking is spaced, it is assumed that the spacing shall be 3mm nominal spacing with an allowance of between 0-5mm due to seasonal changes. If the deck sub-floor is enclosed then all materials less than 400mm from the ground shall be non-combustible. Refer section 6.7.1, 6.7.2 & 6.7.3 for detail.

VERANDAHS, DECKS, STEPS, LANDINGS AND RAMPS and their elements can be timber construction as there are no construction requirements for BAL-19 except for elements less than 300mm horizontally and 400mm vertically from glazed elements which must be bushfire resistant timber (AS 3959-2018 Appendix E1 or Appendix F compliant) or equivalent non-combustible material. Compliant timbers include Tas Oak (as Messmate, Peppermint & Manna Gum) or Southern Blue Gum as long as the density of 750 kg/m³ or greater. An acceptable solution would be to line the area with cement sheet with ceramic tiles over. Refer section 6.7.2.4 for detail. Where spaced timber deck flooring is used, bushfire resisting timber must be used for the decking material.

BALUSTRADES AND HANDRAILS may be timber construction as there are no construction requirements in the standard for BAL-19. Refer section 6.7.4 for detail.

WATER AND GAS SUPPLY PIPING where it is above ground and exposed shall be metal. Refer section 6.8 for detail.

BAL NOTES

AS3959:2018 to take precedence over this document

All information on this sheet has been extracted from AS3959:2018

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CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

No.	Date	Description	Drawn
E	08.12.2023	Existing ground floor added	RK
A	19.10.2023	WORKING DRAWINGS	RK

CREATIVE HOMES HOBART, CORNOR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000



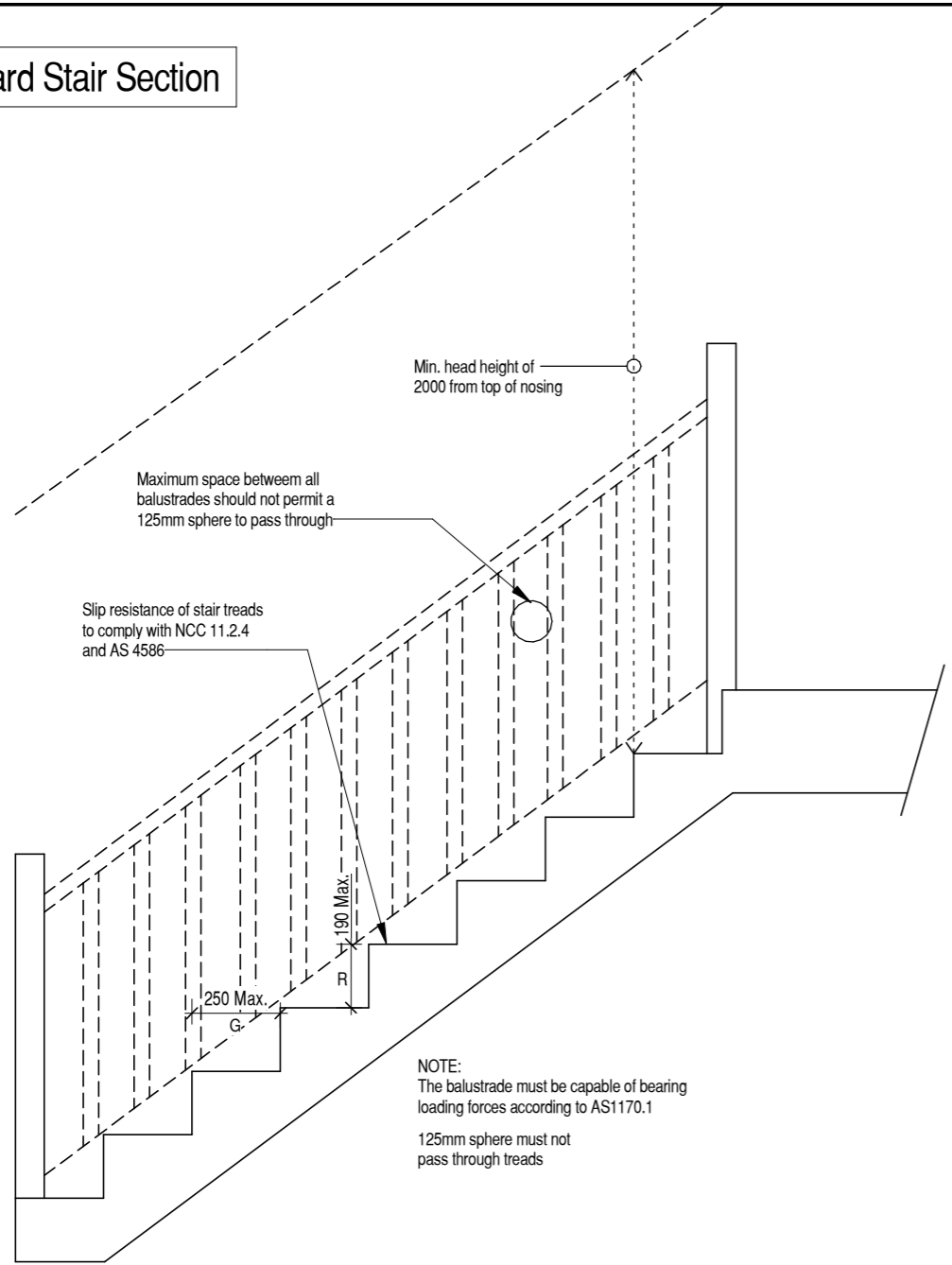
JOB ADDRESS :	1 KELSON PLACE, ACTON PARK
APPROVED BY:	Stuart Chugg
DRAWN :	Ranjot Kaur
CHECKED:	SC
DATE:	29.02.2023
SCALE:	REVISION:
	E

CLIENT :	A K M MOHSIN HABIB TALUKDER
SHEET:	09 OF 11
PROJECT NO:	CH_86

Document Set ID: 5208749

Version: 1, Version Date: 29/02/2024

Standard Stair Section



NOTE:
The balustrade must be capable of bearing loading forces according to AS1170.1
125mm sphere must not pass through treads

For stairways serving non-habitable rooms used infrequently refer to table 11.2.3 NCC 2022

11.2.3 Ramps

An external ramp serving an external doorway or a ramp within a building must:
(a) be designed to take loading forces in accordance with AS/NZS 1170.1; and
(b) have a gradient not steeper than 1:8; and
(c) be provided with *landings* complying with 11.2.5 NCC 2022 - Volume two at the top and bottom of the ramp and at intervals not greater than 15 m.

Explanatory information:

In relation to external ramps, 11.2.3 applies to a ramp serving an external door. For the purpose of 11.2.3 a driveway is not considered to be a ramp.

11.2.4 Slip-resistance

The requirements for slip-resistance treatment to stair treads, ramps and *landings* are as follows:

- (a) Treads must have-
 - (i) a surface with a slip-resistance classification not less than that listed in Table 11.2.4 NCC 2022 - Volume two when tested in accordance with AS 4586; or
 - (ii) a nosing strip with a slip-resistance classification not less than that listed in Table 11.2.4 NCC 2022 - Volume two when tested in accordance with AS 4586.
- (b) The floor surface of a ramp must have a slip-resistance classification not less than that listed in Table 11.2.4 NCC 2022 - Volume two when tested in accordance with AS 4586.
- (c) *Landings*, where the edge leads to the *flight* below, must have-
 - (i) a surface with a slip-resistance classification not less than that listed in Table 11.2.4 NCC 2022 - Volume two when tested in accordance with AS 4586, for not less than 190 mm from the stair nosing; or
 - (ii) a nosing strip with a slip-resistance classification not less than that listed in 11.2.4 NCC 2022 when tested in accordance with AS 4586.

Table 11.2.4 Slip-resistance classification

Application	Dry surface conditions	Wet surface conditions
Ramp not steeper than 1:8	P4 or R10	P5 or R12
Tread surface	P3 or R10	R4 or R11
Nosing or landing edge strip	P3	P4

11.2.5 Landings

- (1) *Landings* must-
- (a) be not less than 750 mm long and where this involves a change in direction, the length is measured 500 mm from the inside edge of the *landing* (see Figure 11.2.5a NCC 2022 - Volume two); and
 - (b) have a gradient not steeper than 1:50; and
 - (c) be provided where the sill of a threshold of a doorway opens onto a stairway or ramp that provides a change in floor level or floor to ground level greater than 3 risers or 570 mm (see Figure 11.2.5a NCC 2022 - Volume two); and extend across the full width of a doorway; and
 - (d) in the case of a stairway serving only non-habitable rooms, such as attics, storerooms and the like that are not used on a regular or daily basis, the requirements of (1)(a) may be substituted with a minimum length of *landing* being not less than 600 mm long.

11.2.6 Thresholds

Where the threshold of a doorway is more than 230 mm above the adjoining surface it must incorporate steps having *riser* (R) and *going* (G) dimensions in accordance with 11.2.2.

11.3.3 Barriers to prevent falls

- (1) A continuous barrier must be provided along the side of a trafficable surface, such as-
 - (a) a stairway, ramp or the like; and
 - (b) a floor, corridor, hallway, balcony, deck, verandah, mezzanine, access bridge or the like; and
 - (c) a roof top space or the like to which general access is provided; and
 - (d) any delineated path of access to a building, where it is possible to fall 1 m or more measured from the level of the trafficable surface to the surface beneath (see Figure 11.3.3a NCC 2022 - Volume two).
- (2) The requirements of (1) do not apply to-
 - (a) a retaining wall unless the retaining wall forms part of, or is directly associated with a delineated path of access to a building from the road, or a delineated path of access between buildings (see Figure 11.3.3b NCC 2022 - Volume two); or
 - (b) a barrier provided to an openable window covered by 11.3.7 and 11.3.8 NCC2022 - Volume two.

11.3.4 Construction of barriers to prevent falls

- (1) A barrier required by 11.3.3 must comply with (2) to (11):
- (2) **Barrier height:** The height of a barrier must be in accordance with the following:
 - (a) The height must not be less than 865 mm above the nosings of the stair treads, the floor of a ramp or the like (see Figure 11.3.4a NCC 2022 - Volume two).
 - (b) The height must not be less than-
 - (i) 1 m above the floor of any *landing*, corridor, hallway, balcony, deck, verandah, access path, mezzanine, access bridge, roof top space or the like to which general access is provided (see Figure 11.3.3b and Figure 11.3.4a NCC 2022 - Volume two); or
 - (ii) 865 mm above the floor of a *landing* to a stairway or ramp where the barrier is provided along the inside edge of the *landing* and does not exceed a length of 500 mm.
- (3) **Transition zone:** A transition zone may be incorporated where the barrier height changes from 865 mm on the stairway *flight* or ramp to 1 m at the *landing* (see Figure 11.3.4b NCC 2022 - Volume two).
- (4) **Openings in barriers:** Openings in barriers (including decorative balustrades) must be constructed so that they do not permit a 125 mm sphere to pass through it and for stairways, the opening is measured above the nosing line of the stair treads (see Figure 11.3.4a NCC 2022 - Volume two).
- (5) Where a required barrier is fixed to the vertical face forming an edge of a landing, balcony, deck, stairway or the like, the opening formed between the barrier and the face must not exceed 40 mm.
- (6) For the purposes of (5), the opening is measured horizontally from the edge of the trafficable surface to the nearest internal face of the barrier
- (7) **Barriers to certain non-habitable rooms:** A barrier to a stairway serving a non-habitable room, such as an attic, storeroom or the like that is not used on a regular or daily basis, need not comply with (4) if-
 - (a) openings are constructed so that they do not permit a 300 mm sphere to pass through; or
 - (b) where rails are used, the barrier consists of a top rail and an intermediate rail, with the openings between rails not more than 460 mm.
- (8) **Restriction on horizontal elements:**
 - (a) Where it is possible to fall more than 4 m, any horizontal elements within the barrier between 150 mm and 760 mm above the floor must not facilitate climbing.
 - (b) For the purpose of (a), the 4 m is measured from the floor level of the trafficable surface to the surface beneath.
- (9) **Wire barriers:** A barrier constructed of wire is deemed to meet the requirements of (4) if it is constructed in accordance with 11.3.6.
- (10) A glass barrier or *window* serving as a barrier must comply with H1D8 and the relevant provisions of this Part.
- (11) **Barrier loading forces:** A barrier, except a *window* serving as a barrier, must be designed to take loading forces in accordance with AS/NZS 1170.1.

11.3.5 Handrails

- (1) Handrails to a stairway or ramp must!
 - (a) be located along at least one side of the stairway *flight* or ramp; and
 - (b) be located along the full length of the stairway *flight* or ramp, except in the case where a handrail is associated with a barrier the handrail may terminate where the barrier terminates; and
 - (c) have the top surface of the handrail not less than 865 mm vertically above the nosings of the stair treads or the floor surface of the ramp (see Figure 11.3.4b NCC 2022 - Volume two); and
 - (d) be continuous and have no obstruction on or above them that will tend to break a handhold, except for newel posts, ball type stanchions, or the like.
- (2) The requirements of (1) do not apply to-
 - (i) a stairway or ramp providing a change in elevation of less than 1 m; or
 - (ii) a *landing*; or
 - (iii) a *winder* where a newel post is installed to provide a handhold.

(extracted from NCC 2022 ABCB Housing Provisions)

Stairway construction to comply with NCC H5D2

- (1) A stairway must be designed to take loading forces in accordance with AS/NZS 1170.1 and must have-
 - (a) not more than 18 and not less than 2 *risers* in each *flight*; and
 - (b) *Goings* (G), *risers* (R) and a slope relationship quantity (2R + G) in accordance with Table 11.2.2 NCC 2022 Building code of Australia - Volume two except as permitted by (2) and (3); and

Table 11.2.2a Riser and going dimensions (mm)

Stair type	Riser (R) (see Figure 11.2.2f)		Riser (R) (see Figure 11.2.2f below)		Slope relationship (2R+G)	
	Max	Min	Max	Min	Max	Min
Stairs (other than spiral)	190	115	355	240	700	550
Spiral	220	140	370	210	680	590

Note to Table 11.2.2a: Riser and going dimensions must be measured in accordance with Figure 11.2.2f

- (2) In the case of a stairway serving only non-habitable rooms, such as attics, storerooms and the like that are not used on a regular or daily basis the *going* (G), *riser* (R) and slope relationship quantity (2R + G) in accordance with Table 11.2.2a NCC 2022 may be substituted with those in Table 11.2.2b NCC 2022; and need not comply with 1(d).
- (3) In the case of a stairway with *winders*-
 - (a) a maximum of 3 consecutive *winders* in lieu of a quarter landing in a flight and a maximum of 6 consecutive *winders* in lieu of a half landing in a flight; and
 - (b) the *going* (G) of all *winders* in lieu of a quarter or half landing may vary from the *going* of the straight treads within the same flight provided that the *going* (G) of such *winders* is constant
- (4) constant *goings* and *risers* throughout each *flight*, except as permitted by (3) and (4), and the dimensions of *goings* (G) and *risers* (R) in accordance with (1), (2) and (3) are considered constant if the variation between-
 - (i) adjacent *risers*, or between adjacent *goings*, is no greater than 5 mm; and
 - (ii) the largest and smallest *riser* within a *flight*, or the largest and smallest *going* within a *flight*, does not exceed 10 mm; and
- (5) *risers* which do not have any openings that would allow a 125 mm sphere to pass through between the treads; and
- (6) treads of solid construction (not mesh or other perforated material) if the stairway is more than 10 m high or connects more than 3 storeys.

STAIR NOTES

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CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.

DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

No.	Date	Description	Drawn
E	08.12.2023	Existing ground floor added	RK
A	19.10.2023	WORKING DRAWINGS	RK



CREATIVE HOMES HOBART, CORNOR OF ELWICK ROAD & BROOKER HIGHWAY, GLENORCHY 7010 PH: 03 6272 3000

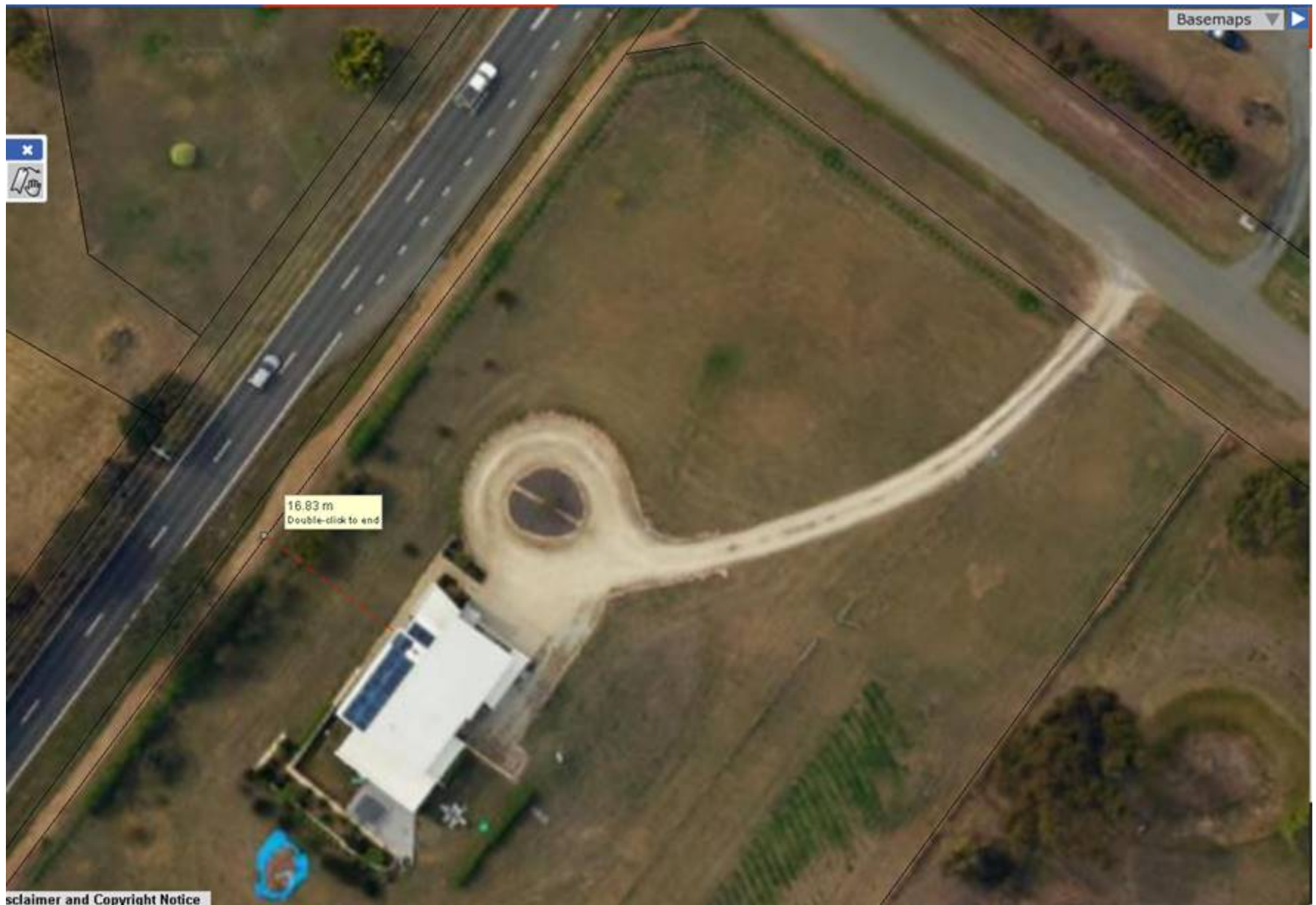
JOB ADDRESS: 1 KELSON PLACE, ACTON PARK		CLIENT: A K M MOHSIN HABIB TALUKDER
APPROVED BY:	Stuart Chugg	SHEET: 10 OF 11
DRAWN:	Ranjot Kaur	PROJECT NO: CH_86
CHECKED:	SC DATE: 29.02.2023	
SCALE:	REVISION:	E

Good Afternoon,

Please find attached updated plans and the below comment and images in response to your most recent RFI.

Submission for - C3.6.1

The proposed setback to Acton Road is 19.809m and is more than the neighbouring dwelling at 2 Kelson Place (approx. 16.82m) and 5 Kelson Place which also fronts Acton Road has a front setback of 14.84m to the Garage/outbuilding (wall length 12m). This indicates that the proposed setback for 1 Kelson place is not out of character for the area and will not result in significant bulk or scale when viewed from the street. The part of the proposed building that is less than 20m from the secondary frontage to Acton Road is single storey and Garage only, and therefore not considered a habitable space. Other habitable parts of the proposed building exceed the 20m minimum setback.



Basemaps



16.83 m
Double-click to end

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Regards

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