



DEVELOPMENT APPLICATION

PDPLANPMTD-2023/038472

PROPOSAL: Dwelling

LOCATION: 14 Saltwater Rise, Seven Mile Beach

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 27 March 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 27 March 2024. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 27 March 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

New Build

Location:

Address 14 Saltwater Rise

Suburb/Town Seven Mile Beach Postcode 7170

Current Owners/s:

Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

\$ 650,000

Is the property on the Tasmanian Heritage Register?

Yes No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Vacant block

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No


Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's Signature:

Signature  Date 04/09/2023

PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

SEARCH OF TORRENS TITLE

VOLUME 182879	FOLIO 53
EDITION 3	DATE OF ISSUE 31-Aug-2023

SEARCH DATE : 07-Mar-2024

SEARCH TIME : 11.31 AM

DESCRIPTION OF LAND

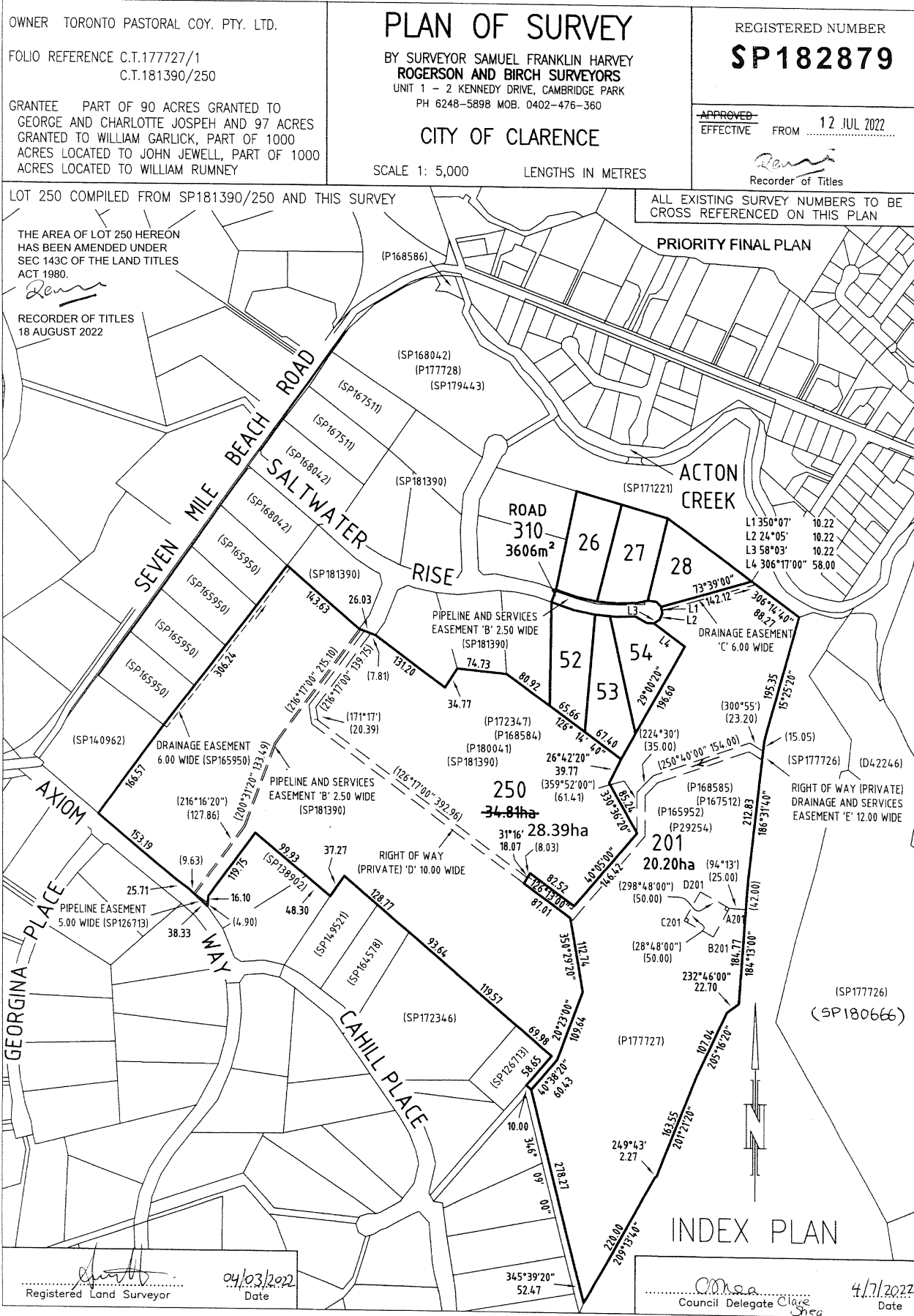
City of CLARENCE
 Lot 53 on Sealed Plan 182879
 Derivation : Part of 90 Acres Gtd. to George & Charlotte Joseph
 Prior CT 181390/250

SCHEDULE 1

M982081 TRANSFER to JASON BERNARD RICE and NERISSA ANNE RICE
 Registered 13-Oct-2022 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP182879 COVENANTS in Schedule of Easements
 SP182879 FENCING PROVISION in Schedule of Easements
 SP182879 SEWERAGE AND/OR DRAINAGE RESTRICTION
 SP182879 COUNCIL NOTIFICATION under Section 83(5) of the Local
 Government (Building and Miscellaneous Provisions)
 Act 1993.
 SP181390 FENCING PROVISION in Schedule of Easements
 SP181390 SEWERAGE AND/OR DRAINAGE RESTRICTION
 SP181390 SEPTIC TANK NOTIFICATION
 C403611 AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 03-Sep-2002 at noon
 E38838 AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 21-Apr-2016 at noon
 E61128 AGREEMENT pursuant to Section 71 of the Land Use
 Planning and Approvals Act 1993 Registered
 29-Sep-2016 at noon
 E236437 AGREEMENT pursuant to Section 78 of the Land Use
 Planning and Approvals Act 1993 Registered
 12-Nov-2020 at noon
 E356983 MORTGAGE to Australia and New Zealand Banking Group
 Limited Registered 31-Aug-2023 at 12.01 PM



Samuel Franklin Harvey
Registered Land Surveyor

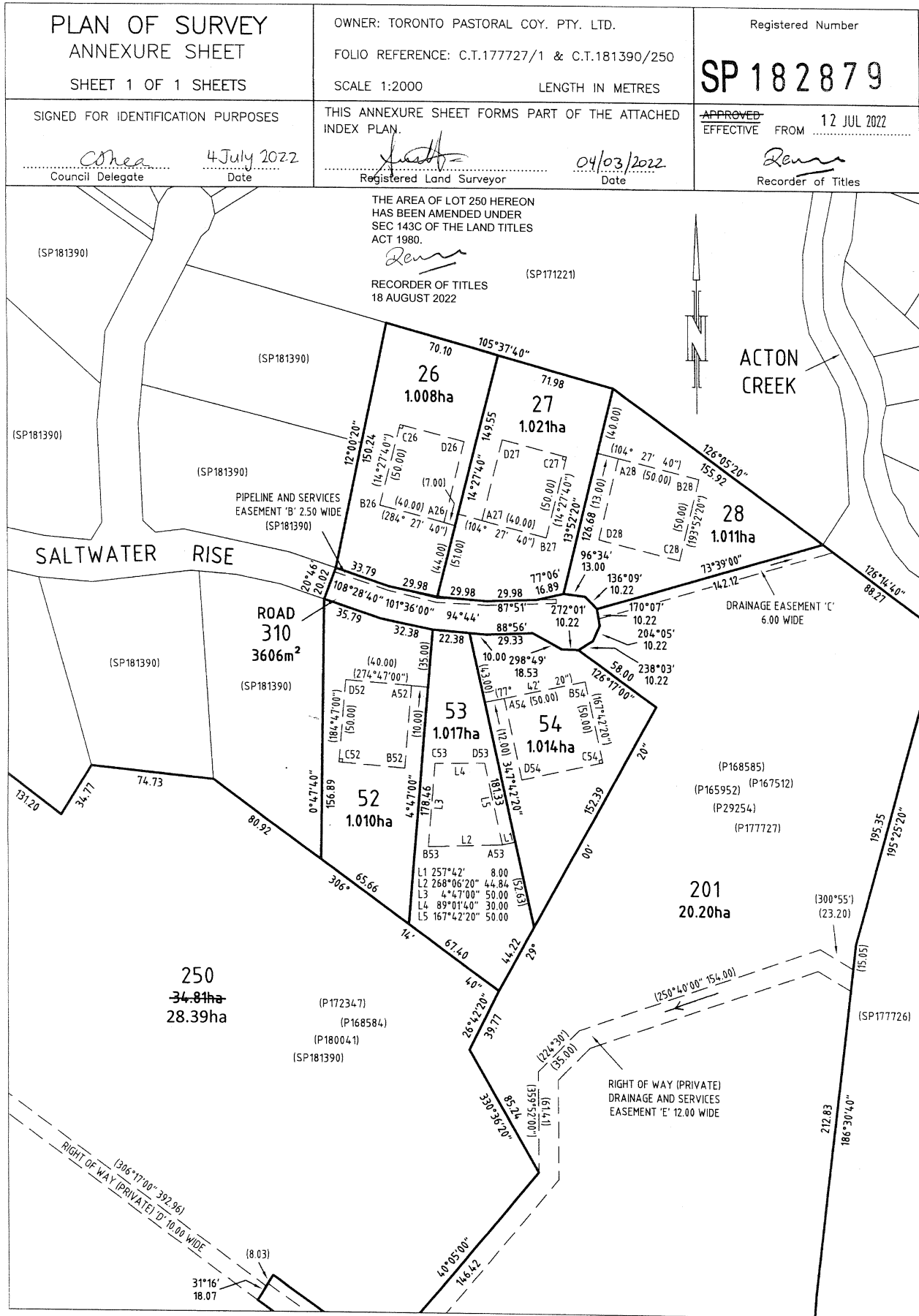
04/03/2022
Date

250
34.81ha

201
20.20ha

Clare Shea
Council Delegate

4/7/2022
Date



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 182879

PAGE 1 OF 4 PAGE/S

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Drainage easement

Lot 250 on the plan is SUBJECT TO a right of drainage over that part of Lot 250 shown on the plan as "DRAINAGE EASEMENT 6.00 WIDE" appurtenant to Lot 100 on Sealed Plan 165950 (subject to conditions more fully set forth in Sealed Plan 165950 (if any)) —

²⁰¹ Lot ~~250~~ on the plan is SUBJECT TO a right of drainage over that part of Lot ²⁰¹~~250~~ shown on the plan as "RIGHT OF WAY (PRIVATE) DRAINAGE AND SERVICES EASEMENT 'E' 12.00 WIDE" appurtenant to folio of the Register Volume 180666 Folio 300

Drainage easement in gross

Lot 201 on the plan is SUBJECT TO a right of drainage in gross over that part of Lot 201 shown on the plan as "DRAINAGE EASEMENT 'C' 6.00 WIDE" in favour of the Council —

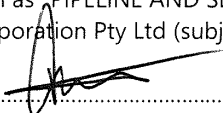
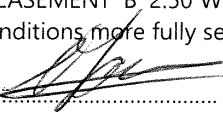
Pipeline easement

Lot 250 on the plan is SUBJECT TO a PIPELINE EASEMENT over that part of Lot 250 shown on the plan as "PIPELINE EASEMENT 5.00 WIDE", being pipeline rights (as defined therein and subject to conditions therein) (appurtenant to Lot 1 on Sealed Plan 126713) (subject to conditions more fully set forth in Sealed Plan 126713 if any) —


Pipeline and services easements in gross

Lot 250 on the plan is SUBJECT TO a PIPELINE AND SERVICES EASEMENT over that part of Lot 250 shown on the plan as "PIPELINE AND SERVICES EASEMENT 'B' 2.50 WIDE" in favour of Tasmanian Water & Sewerage Corporation Pty Ltd (subject to conditions more fully set forth in Sealed Plan 181390) —

Lot 310 on the plan is SUBJECT TO a PIPELINE AND SERVICES EASEMENT over that part of Lot 310 shown on the plan as "PIPELINE AND SERVICES EASEMENT 'B' 2.50 WIDE" in favour of Tasmanian Water & Sewerage Corporation Pty Ltd (subject to conditions more fully set forth in Sealed Plan 181390) —

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T-T2196746-1 (USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Toronto Pastoral Coy Pty Ltd FOLIO REF: CT 177727/1 and 181390/250 SOLICITOR & REFERENCE: Dobson Mitchell Allport James Ramsay	PLAN SEALED BY: Clarence City Council DATE: 4 July 2022 SD: 2012/1 REF NO. Stage 9
.....  Council Delegate Clare Shea	
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP 182879</p>
<p>SUBDIVIDER: Toronto Pastoral Coy Pty Ltd FOLIO REFERENCE: CT 177727/1 and 181390/250</p>	

Right of way easement

Lot 250 on the plan is SUBJECT TO a right of carriageway over that part of Lot 250 shown on the plan as "RIGHT OF WAY (PRIVATE) 'D' 10.00 WIDE" appurtenant to Lot 201 on the Plan —

Lot 201 on the plan is TOGETHER WITH a right of carriageway over that part of Lot 250 shown on the plan as "RIGHT OF WAY (PRIVATE) 'D' 10.00 WIDE" —

²⁰¹ Lot ~~250~~ on the plan is SUBJECT TO a right of carriageway over that part of Lot ²⁰¹~~250~~ shown on the plan as "RIGHT OF WAY (PRIVATE) DRAINAGE AND SERVICES EASEMENT 'E' 12.00 WIDE" appurtenant to folio of the Register Volume 180666 Folio 300


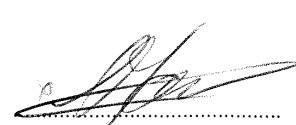
Service easement

Lot 201 on the plan is SUBJECT TO a Service Easement ^(as defined herein) over that part of Lot 201 shown on the plan as "RIGHT OF WAY (PRIVATE) DRAINAGE AND SERVICES EASEMENT 'E' 12.00 WIDE" appurtenant to folio of the Register Volume 180666 Folio 300 —

Restrictive covenants

The owners of Lot 26, 27, 28, 52, 53, 54 and 201 each covenant with the Vendor and the owners for the time being of every other lot shown on the plan to the intent that the burden of this covenant may run with and bind the covenantor's lot, and every part of it, and that the benefit of it may be annexed to and devolve with each and every part of every other lot shown on the plan, to observe the following stipulations:

1. NOT TO, without the consent of Council, erect or permit to be erected or permit to remain on a Lot any advertising signs of any type whatsoever PROVIDED THAT a sign indicating that a Lot is for sale will be permitted for a limited period;
2. NOT TO use reflective materials in the construction of any dwelling on a Lot nor to erect any shed or outbuilding of anything but non-reflective materials;
3. NOT TO construct a residential building on a Lot using materials other than general brick, weatherboard, finished rendered surface or masonry construction but the use of other timber or non-masonry materials used as in-fill panels will be permitted PROVIDED THAT these latter materials do not exceed 30 percent of the total external wall area;
4. NOT TO use galvanised iron or other reflective material in the construction of the roof of any dwelling or other structure on a Lot;
5. NOT TO construct a dwelling on a Lot that has a minimum floor area of less than 160 square metres which area does not include patios, garages or carports;
6. NOT TO permit vehicles with a Gross Vehicle Mass greater than 10 tonne to be parked, stored or allowed to remain on the Lot for in excess of six hours;

T-T2196746-1 **NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing. ∞

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP. 18 28 79</p>
<p>SUBDIVIDER: Toronto Pastoral Coy Pty Ltd FOLIO REFERENCE: CT 177727/1 and 181390/250</p>	

- 7. NOT TO store or allow to remain on a Lot any construction plant and equipment, transport equipment or salvage or building materials except where immediately required for use in the construction of a dwelling and associated infrastructure on a Lot;
- 8. NOT TO bring on a Lot any transportable house or a house relocated from another place;
- 9. NOT TO place or permit to remain on a Lot any water tank which has any external metal finish;
- 10. NOT TO place or permit to remain on a Lot any caravan, shed or other structure (excluding dwellings) to be used as a permanent residence provided that a caravan, shed or other structure may be utilised for a period not exceeding one year during the construction of a permanent dwelling or residence;
- 11. NOT TO, without the consent of Council, conduct any trade or business on a Lot PROVIDED THAT the letting for residential purposes of the whole of any dwelling erected on a Lot will not be in contravention of this stipulation;
- 12. NOT TO use colourbond and/or cedar boards as the main materials in the construction of a residential dwelling; and

In respect of Lot 26:

- 13. NOT TO construct any building or part of a building on the Lot outside the building envelope area marked A26, B26, C26, D26 on the plan unless otherwise approved by Council;

In respect of Lot 27:

- 14. NOT TO construct any building or part of a building on the Lot outside the building envelope area marked A27, B27, C27, D27 on the plan unless otherwise approved by Council;

In respect of Lot 28:

- 15. NOT TO construct any building or part of a building on the Lot outside the building envelope area marked A28, B28, C28, D28 on the plan unless otherwise approved by Council;

In respect of Lot 52:

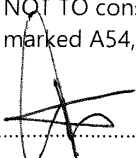
- 16. NOT TO construct any building or part of a building on the Lot outside the building envelope area marked A52, B52, C52, D52 on the plan unless otherwise approved by Council;

In respect of Lot 53:

- 17. NOT TO construct any building or part of a building on the Lot outside the building envelope area marked A53, B53, C53, D53 on the plan unless otherwise approved by Council;

In respect of Lot 54:

- 18. NOT TO construct any building or part of a building on the Lot outside the building envelope area marked A54, B54, C54, D54 on the plan unless otherwise approved by Council; and

..... 

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CS

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 4 OF 4 PAGES</p>	<p>Registered Number</p> <p>SP,182879</p>
<p>SUBDIVIDER: Toronto Pastoral Coy Pty Ltd FOLIO REFERENCE: CT 177727/1 and 181390/250</p>	

In respect of Lot 201:

19. NOT TO construct any building or part of a building on the Lot outside the building envelope area marked A201, B201, C201, D201 on the plan unless otherwise approved by Council.

Fencing provision

Toronto Pastoral Coy Pty Ltd

In respect of each lot shown on the plan the Vendor will not be required to fence

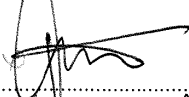
Definitions

Council means the Clarence City Council or its legal successors from time to time

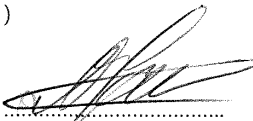
Service Easement means the full and free right of every person who is entitled to an estate or interest in possession in the land indicated as the dominant tenement or any part of that land, and those persons' employees, agents and contractors, with which such right being capable of enjoyment in common with the owner of the servient tenement and the relevant Council, the relevant Water Authority, Aurora Energy Pty Ltd or any other relevant electrical supply entity and Telstra Corporation Ltd or any other telecommunication supply entity (and their successors from time to time), to lay services and to have the right of free and uninterrupted passage and running of water, electricity, telephone or other services or supplies (including electronic or other information transfer services) through, under, over and along the easement by pipes, wires, cables, poles, and all other conducting media which are now or at any time laid under or over the easement provided that pipes, wires, cables and all other conducting media under the natural surface of the land are safe and protected in accordance with all relevant Acts, Regulations or By-laws, together with a right for them and their surveyors and workmen to enter on the easement with or without machinery, materials and specialist service providers for the purposes of inspecting, laying, installing, cleaning, repairing, maintaining, renewing, re-laying or removing any such pipes, wires, cables, poles or other conducting media, with every person exercising such right causing as little damage and inconvenience as reasonably practicable in so doing and making good any damage caused to the servient tenement.

Vendor means Toronto Pastoral Coy Pty Ltd ACN 009 480 086 or its legal successors from time to time

Executed by Toronto Pastoral Coy Pty Ltd in)
 accordance with section 127(1) of the Corporations)
 Act 2001)



Full name: *CRAIG BRADLEY ROGERSON*
 Position held: *DIRECTOR*



Full name: *ANDREW JOHN FARRELL*
 Position held: *Director*

T-T2196746-1 **NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

PROPOSED DWELLING 14 SALTWATER RISE, SEVEN MILE BEACH, 7170 TASMANIA

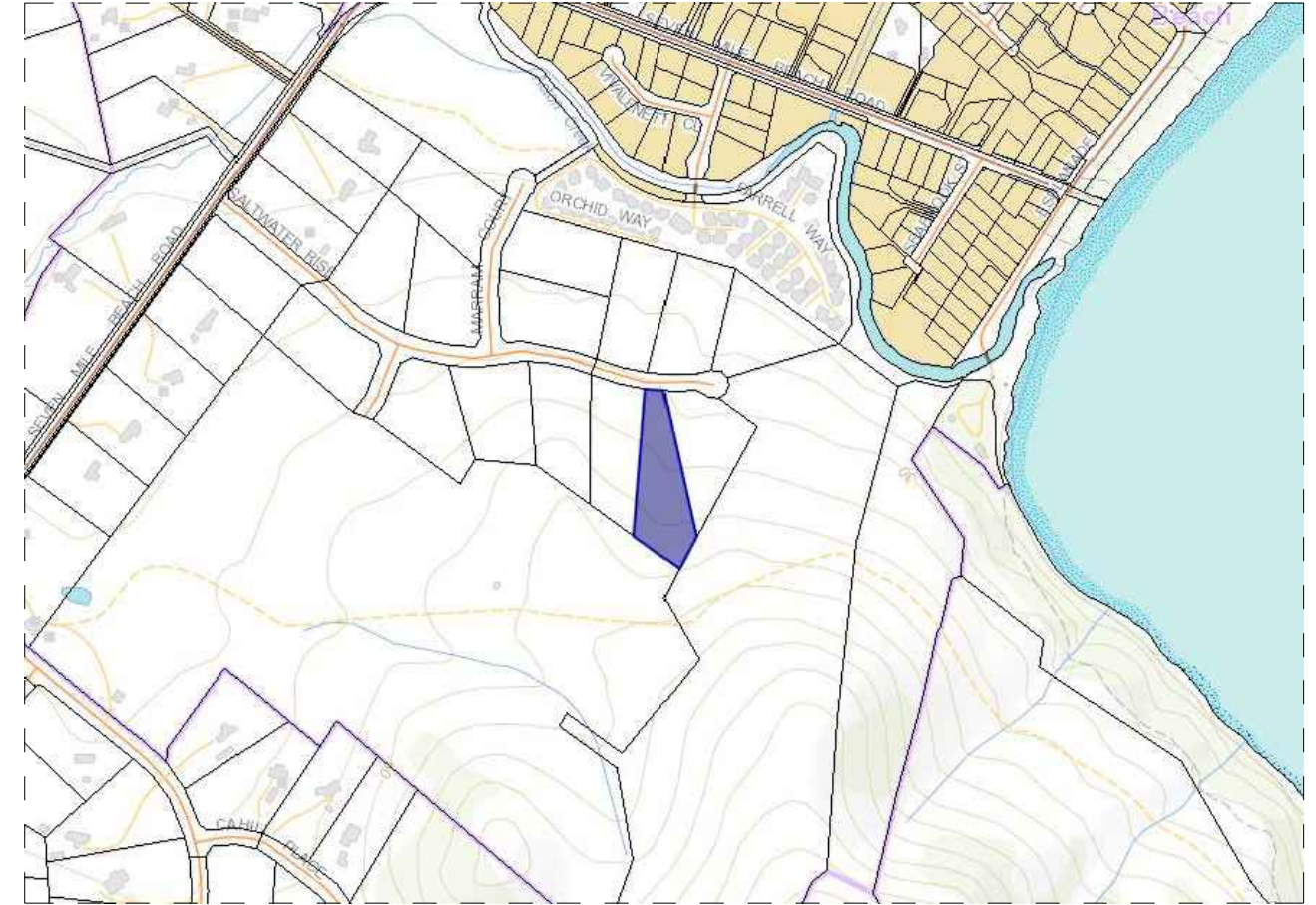
**IMPORTANT
DRAWING MUST BE
PRINTED & READ IN COLOUR**

**CIVIL CONTRACTOR SHALL
ENGAGE A LAND SURVEYOR TO
SETOUT DRIVEWAY LEVELS**

**NOT FOR
CONSTRUCTION**

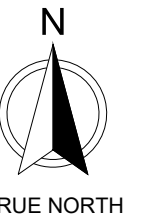
INDEX

C00	INDEX & COVER SHEET
N01	CIVIL & HYDRAULIC NOTES
N02	SYMBOLS & LINE LEGENDS
N03	PIPE TRENCH DETAILS
N04	DISPERSIVE SOILS NOTES
C01	EXISTING SITE PLAN
C02	PROPOSED SITE PLAN
C03	DRAINAGE PLAN - SHEET 1
C04	DRAINAGE PLAN - SHEET 2
C05	CIVIL DETAILS
C05A	2 COAT SEAL DRIVEWAY SECTION
C06	DRIVEWAY LONG SECTION
H01	DETENTION TANK DETAIL



LOCALITY PLAN

SCALE: NTS



REV	DESCRIPTION	BY	CHK	DATE
C	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	27/02/2024
B	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	01/02/2024
A	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	14/12/2023



CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3
CIVIL ENGINEER/DESIGNER M. BEKKER	HYDRAULIC ENGINEER R. HORNER	
STATUS PLANNING APPROVAL		

PROJECT PROPOSED DWELLING 14 SALTWATER RISE, SEVEN MILE BEACH, 7170

DRAWING TITLE INDEX & COVER SHEET		
PROJECT NO 23E105-13	DWG NO C00	REV C

CIVIL AND HYDRAULIC NOTES

NOT FOR
CONSTRUCTION

GENERAL NOTES

- THE MAIN CONTRACTOR AND ALL SUB CONTRACTORS SHALL COMPLY WITH THE STATE WORK HEALTH AND SAFETY ACT AND ALL RELEVANT CODES OF PRACTICE.
- ALL HYDRAULICS WORKS TO BE CARRIED OUT IN ACCORDANCE WITH IPWEA STANDARD DRAWINGS AND SPECIFICATIONS, (WSAA SEWERAGE CODE OF AUSTRALIA & WATER SUPPLY CODE OF AUSTRALIA) AND TO THE SATISFACTION OF COUNCIL'S DEVELOPMENT ENGINEER.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING TASNETWORKS TO APPLY FOR NEW CONNECTIONS AND/OR ADDITIONAL SUPPLY. SUFFICIENT TIME FOR TASNETWORKS DESIGN AND REVIEW PROCESSES SHOULD BE ALLOWED FOR.
- NO TOP SOIL SHALL BE REMOVED FROM THE SITE WITHOUT THE CONSENT OF COUNCIL. TOP SOIL DISTURBED OR REMOVED AS A RESULT OF WORKS SHALL BE STOCK-PILED ON SITE AND LATER USED FOR REDRESSING ANY DISTURBED SURFACES.
- ALL DISTURBED SURFACES ON SITE, EXCEPT THOSE SET ASIDE FOR ROADWAYS AND FOOTPATHS SHALL BE DRESSED WITH IMPORTED FILL AND REVEGETATED TO THE SATISFACTION OF THE COUNCIL'S DEVELOPMENT ENGINEER.
- ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
- ALL LEVELS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF WORKS.
- ALL CONNECTIONS TO EXISTING STORMWATER MAINS TO BE CARRIED OUT BY COUNCIL AT DEVELOPERS COST UNLESS APPROVED OTHERWISE, ALL CONNECTIONS TO SEWER/WATER MAINS TO BE CARRIED OUT BY TASWATER AT DEVELOPERS COST UNLESS APPROVED OTHERWISE.
- GENERAL MATERIALS, INSTALLATION AND TESTING SHALL COMPLY WITH TASMANIAN MUNICIPAL STANDARDS PART 4.
- EXCAVATED AND IMPORTED MATERIAL USED AS FILL TO BE APPROVED BY ENGINEER PRIOR TO INSTALLATION.
- ANY DEPARTURES FROM THE DESIGN DRAWINGS ARE TO BE AT THE WRITTEN APPROVAL OF THE ENGINEER AND APPROVAL FROM THE AUTHORITY. CHANGES INCLUDES CONFLICTS WITH EXISTING SERVICES.
- UNLESS NOTED OTHERWISE, THESE NOTES SHALL APPLY TO ALL DRAWINGS IN THE SET
- BATTERS:**

MAX EMBANKMENT SLOPE	1:3.0
MAX CUTTING SLOPE	1:2.0 (LOOSE ROCK)
	1:3.0 (SOIL)
- FOR EMBANKMENTS HEIGHTS IN EXCESS OF 2.0m, THE DESIGN MUST BE APPROVED BY JSA DURING CONSTRUCTION.

APPROVALS:

- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT A VALID BUILDING AND PLUMBING PERMIT IS IN PLACE FOR THE WORK AND THAT THE BUILDING SURVEYOR IS NOTIFIED OF ALL SITE INSPECTION REQUESTS.
- THE APPLICANT SHALL NOT COMMENCE CIVIL CONSTRUCTION WORKS WITHIN A ROAD RESERVE UNTIL THE FOLLOWING REQUIREMENTS ARE MET:
- A 'PERMIT TO CARRY OUT WORKS WITHIN A COUNCIL ROAD RESERVATION' HAS BEEN ISSUED BY THE COUNCIL AND THE ASSOCIATED FEE PAYMENT MADE
- TRAFFIC MANAGEMENT AND PEDESTRIAN PLAN HAS BEEN PRODUCED AND FOLLOWED IN ACCORDANCE WITH DEPARTMENT OF INFRASTRUCTURE, ENERGY AND RESOURCES 'TRAFFIC CONTROL AT WORK SITES' CODE OF PRACTICE.

GENERAL HYDRAULICS NOTES:

- DURING CONSTRUCTION ANY OPEN PIPES TO BE SEALED TEMPORARILY DURING WORKS TO PREVENT ENTRY OF FOREIGN MATTER
- CONCEAL ALL PIPEWORK IN DUCTS, CEILING SPACES, WALL CAVITIES UNLESS OTHERWISE NOTED
- CONFIRM ALL INVERT LEVELS PRIOR TO EXCAVATION.
- THE LOCATION OF EXISTING SERVICES SHOULD BE CONFIRMED ONSITE INCLUDING: MAINS WATER, GAS, TELECOMMUNICATIONS, POWER, SEWER STORMWATER.
- ALL PIPEWORK UNDER TRAFFICABLE AREAS TO BE BACKFILLED TO FULL DEPTH WITH DIER CLASS A 19MM FCR COMPACTED TO AS3798.
- FOR CLASS H AND E SITES, JOINTS IN PLUMBING SHALL BE ARTICULATED WITHIN 3M OF THE BUILDING UNDER CONSTRUCTION TO ACCOMMODATE GROUND MOVEMENT WITHOUT LEAKAGE.
- ALL PIPEWORK SHALL BE ADEQUATELY SUPPORTED. SUPPORT SHALL ALLOW FOR EXPANSION AND BE FITTED AT THE TIME OF PIPE INSTALLATION
- WHERE PIPEWORK PENETRATES FIRE RATED WALL OR FLOORS A FIRE STOP COLLAR SHALL BE INSTALLED

SEWER NOTES:

- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH WSAA SEWERAGE CODE OF AUSTRALIA WSA 02-2014-3.1 MRWA EDITION V2.0, TASWATERS SUPPLEMENT TO THIS CODE, CURRENT VERSION OF AS/NZS3500 AND TO THE SATISFACTION OF TASWATER'S DEVELOPMENT ENGINEER.
- ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.
- ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY TASWATER'S APPROVED CONTRACTOR AT DEVELOPERS COST UNLESS APPROVED OTHERWISE.
- GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH WSAA SEWERAGE CODE OF AUSTRALIA WSA 02-2014-3.1 MRWA EDITION V2.0, TASWATERS SUPPLEMENT TO THIS CODE, CURRENT VERSION OF AS/NZS3500.2 AND TO THE SATISFACTION OF TASWATER'S DEVELOPMENT ENGINEER.
- ALL DROPS MUST BE INTERNAL AND IN ACCORDANCE WITH MRWA S-311.
- ALL PIPE WORK UNDER TRAFFICABLE AREAS, INCLUDING DRIVEWAYS, IS TO BE BACKFILLED WITH FCR.
- LOT CONNECTIONS SHALL BE DN100 UPVC U.N.O. AS PER MRWA S-302 AND BRING INSPECTION OPENING TO SURFACE INSIDE LOT BOUNDARY.
- ALL SEWER MAINS TO BE PIPE CLASS SN8 FOR PUBLIC WORKS, AND SN6 FOR PRIVATE WORKS UNO. MATERIAL TYPE PER PLAN.
- PIPEWORK SHALL BE PRESSURE TESTED PROGRESSIVELY DURING INSTALLATION TO ENSURE ABSENCE OF LEAKS.
- ALL PIPEWORK SHALL BE INSTALLED AS CLOSE AS PRACTICABLE TO THE UNDERSIDE OF FLOORS.

STORMWATER NOTES:

- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL MUNICIPAL STANDARDS, CURRENT VERSION OF AS/NZS3500 AND IPWEA (TAS) MUNICIPAL STANDARD DRAWINGS AND SPECIFICATIONS WHERE APPLICABLE AND TO THE SATISFACTION OF COUNCIL'S MUNICIPAL ENGINEER
- ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS. ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY COUNCIL AT DEVELOPERS COST UNLESS APPROVED OTHERWISE.
- GENERAL MATERIALS, INSTALLATION & TESTING SHALL COMPLY WITH TASMANIAN MUNICIPAL STANDARDS PART 4.
- ALL PIPE WORK UNDER TRAFFICABLE AND NON TRAFFICABLE AREAS TO BE BACKFILLED IN ACCORDANCE WITH SPECIFICATION TABLE SHOWN ON N03.
- LOT CONNECTIONS SHALL BE DN150 UPVC UNO MINIMUM PIPE CLASS TO BE CLASS SN4. PIPE UNDER ROADS TO BE CLASS SN8.
- ALL MAINTENANCE HOLES DEEPER THAN 1m FROM FINISHED SURFACE LEVEL TO MAINTENANCE HOLE BASE TO BE FITTED WITH APPROVED STEP IRONS.
- IPWEA STANDARD DRAWINGS REFERENCED ARE THE MOST RECENT DRAWING SET UNO.

INSPECTION OPENINGS

- FOR OTHER THAN SINGLE DWELLINGS, INSPECTION OPENINGS FOR MAINTENANCE OF SITE STORMWATER DRAINS SHALL BE EXTENDED TO AND CAPPED AT THE FINISH SURFACE LEVEL AND INSTALLED AT:-
 - EACH POINT OF CONNECTION;
 - EVEN SPACING NOT MORE THAN 30m APART;
 - EACH END OF INCLINED JUMP-UP THAT EXCEED 6m IN LENGTH;
 - EACH CONNECTION TO AN EXISTING SITE STORMWATER DRAIN; AND
 - AT ANY CHANGE OF DIRECTION GREATER THAN 45°.

NOTE: INSPECTION OPENINGS MAY BE REPLACED BY AN INLET OR STORMWATER PIT.

- THE NOMINAL SIZE OF INSPECTION OPENINGS FOR SITE STORMWATER DRAINS SHALL BE -
 - FOR NOMINAL PIPE SIZE LESS THAN OR EQUAL TO DN150, THE SAME SIZE AS THE SITE STORMWATER DRAIN; AND
 - FOR NOMINAL PIPE SIZES GREATER THAN DN150, NOT LESS THAN DN150
- ACCESS A BELOW-GROUND INSPECTION OPENINGS SHALL BE EITHER BY:-
 - A STORMWATER PIT; OR
 - A SEALED RISER TERMINATED AT GROUND LEVEL OR FLOOR LEVEL IN AN ACCESSIBLE POSITION
- INSPECTION OPENINGS AND UNUSED SOCKETS SHALL BE SEALED WITH AIRTIGHT REMOVAL PLUGS OR CAPS FITTED WITH AN ELASTOMERIC SEAL AND SECURELY HELD IN POSITION BY A CLIP, STRAP OR THREADED CONNECTION. EACH PLUG OR CAP SHALL BE LEGIBLY MARKED 'SW'.

WATER NOTES:

- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH WSAA WATER SUPPLY CODE OF AUSTRALIA WSA 03-2011-3.1 MRWA EDITION V2.0, TASWATERS SUPPLEMENT TO THIS CODE AND TO THE SATISFACTION OF TASWATERS DEVELOPMENT ENGINEER.
- ALL EXISTING SERVICES TO BE LOCATED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.
- ALL CONNECTIONS TO EXISTING MAINS TO BE CARRIED OUT BY TASWATER AT DEVELOPERS COST UNLESS APPROVED OTHERWISE.
- GENERAL MATERIALS INSTALLATION AND TESTING SHALL COMPLY WITH WSA 03-2011-3.1 AND TASWATER APPROVED PRODUCTS CATALOGUE.
- WATER MAIN TO BE oPVC SERIES 2 CLASS 16 OR APPROVED EQUIVALENT, WITH RODS AND CONNECTIONS BEING POLY PN16 PE100.
- THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, BLANK ENDS, VALVES, FIRE HYDRANTS, REDUCERS AND BENDS GREATER THAN 5°.
- INDIVIDUAL LOT CONNECTIONS TO BE MIN DN25 ID20 PN16 POLY UNO.
- DEVELOPER TO SUPPLY 20mm WATER METER SUBMETERS AND BOX. SUBMETERS TO BE INSTALLED BY PLUMBING CONTRACTOR.
- ALL ISOLATION VALVES SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS. VALVES LOCATED IN WALLS OR DUCTS SHALL BE FITTED WITH APPROVED ACCESS COVERS.
- INTERNAL PLUMBING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT VERSION OF AS/NZS3500 PARTS 1, 2 & 3 AND THE TASMANIAN PLUMBING CODE
- THE PLUMBER SHALL ARRANGE FOR ALL INSPECTIONS AND PRESSURE TESTING REQUIRED BY TASWATER OR THE LOCAL AUTHORITY PRIOR TO CONCEALMENT.
- ALL STOP VALVES TO BE CLOCKWISE CLOSING.
- PROVIDE C.I. VALVE BOX COVERS TO ALL VALVES AND FIRE PLUG.
- STOP VALVES AND FIRE PLUGS SHALL BE MARKED IN ACCORDANCE WITH THE IPWEA FIRE HYDRANT GUIDELINES: TASMANIA DIVISION.
- FIRE PLUGS AND VALVE POSITIONS TO BE MARKED ON KERB BACKS WITH HIMARK CONCRETE PAINT.
- PROVIDE ELECTROMAGNETIC, METAL IMPREGNATED TAPE IN ALL NON METALLIC PIPE TRENCHES. ENSURE TAPE TERMINATIONS ARE ACCESSIBLE.
- ALL PROPERTY CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MRWA-W-110 AND MRWA-W-111 AND TASWATER STANDARD DRAWING TWS-W-0002 SERIES. ALL FITTINGS TO BE F.B.E.
- FIRE PLUGS TO HAVE 100mm RISERS WITH SPRING TYPE PLUGS.
- TASWATER TO WITNESS PRESSURE TEST TO 1200kPa PRIOR TO BACKFILL AT JOINTS.
- MAIN TO BE DISINFECTED PRIOR TO CONNECTION TO THE RETICULATION NETWORK. REFER TO WSA CODE FOR DETAILS.
- PLACEMENT OF WATER MAINS IN FILL REQUIRES THE CONTRACTOR TO PROVIDE DOCUMENTARY EVIDENCE INCLUDING; THE COMPOSITION OF FILL MATERIAL, VERIFYING THAT IT CONTAINS NO ORGANIC OR OTHER MATERIALS THAT DECOMPOSE OR OTHERWISE LEAD TO LONG TERM SETTLEMENT.

ROAD NOTES:

- MINIMUM SUB BASE THICKNESS TO BE 200mm.
- PRIOR TO PLACEMENT OF SUB BASE COURSE, PAVEMENT CUT IS TO BE ROLLED AND TESTED FOR CBR VALUES BY METHOD APPROVED BY THE SUPERINTENDENT. WHERE THE CBR VALUES ARE LESS THAN 5 WITHIN THE FIRST 200mm THEN ADDITIONAL TESTS WILL BE REQUIRED TO ALLOW SUFFICIENT DESIGN ALTERATIONS TO THE SUB BASE.
- PAVEMENT DESIGN BASED ON A CBR VALUE OF 3-4%.
- ROAD MARKINGS AND SIGNS AS PER AS1742
- IF THE CBR VALUE IS LESS THAN 2 AT ANY DEPTH GREATER THAN 200mm THEN THE SUB BASE IS TO BE INCREASED GENERALLY ACCORDING TO THE FOLLOWING TABLE & CONSULT ENGINEER:

CBR VALUES: DESIGN:

3-4	AS PER PAVEMENT DETAIL
-2	ADVISE & CONSULT ENGINEER. TYPICALLY INCREASE SUB BASE TO 400mm THICK (SUBGRADE REPLACEMENT)
<1	ADVISE & CONSULT ENGINEER. SPECIAL PAVEMENT DESIGN TO BE SPECIFIED.

DRIVEWAY NOTES:

- EXCAVATED AND IMPORTED MATERIAL USED AS FILL IS TO BE APPROVED BY ENGINEER PRIOR TO INSTALLATION.
- FILL MATERIAL SHALL BE WELL GRADED AND FREE OF BOULDERS OR COBBLES EXCEEDING 150mm IN DIAMETER UNLESS APPROVED OTHERWISE.
- FILL REQUIRED TO SUPPORT DRIVEWAYS INCLUDING FILL IN EMBANKMENTS THAT SUPPORT DRIVEWAYS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
- TOP SOIL AND ORGANIC MATTER SHALL BE STRIPPED TO A MINIMUM OF 100mm.
- THE SUB GRADE SHALL BE CHECKED FOR A MINIMUM BEARING CAPACITY OF 50 kPa.
- FILL IN EMBANKMENTS SHALL BE KEYED 150mm INTO NATURAL GROUND.
- THE FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS OF NOT MORE THAN 200mm.
- EACH LAYER SHALL BE COMPACTED TO A MINIMUM DENSITY RATIO OF 95%. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS IS ACHIEVED.
- WHERE THE ABOVE REQUIREMENTS CANNOT BE ACHIEVED THE ENGINEER SHALL BE CONSULTED AND THE FORMATION SHALL BE PROOF ROLLED (UNDER SUPERVISION OF THE ENGINEER) TO DEMONSTRATE COMPACTION PRIOR TO THE PLACEMENT OF BASE OR SUB-BASE COURSES.
- UNREINFORCED CONCRETE KERBS AND CHANNELS SHALL HAVE TROWELLED JOINTS AT NOT MORE THAN 3.0m CRS

CONTROLLED FILL:

- CONTROLLED FILL SHALL BE LAID IN STRICT ACCORDANCE WITH AS2870 AND AS3798 REQUIREMENTS. THE FOLLOWING METHOD IS APPROVED:
- FILL MATERIAL SHALL BE WELL GRADED FCR OR SITE ROCK REVIEWED DURING EXCAVATION.
- THE SUB GRADE SHALL BE CHECKED FOR BEARING CAPACITY WHICH IS A MINIMUM OF 50kPa FOR SLABS AND A MINIMUM OF 100kPa FOR FOOTINGS.
- THE FILL SHALL BE COMPACTED IN HORIZONTAL LAYERS OF NOT MORE THAN 150mm
- THE FILL SHALL BE COMPACTED TO A MINIMUM DENSITY RATIO OF 95% FOR RESIDENTIAL APPLICATIONS. IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS LEVEL OF COMPACTION IS ACHIEVED. IMPORTED MATERIAL, CONTRARY TO THE ABOVE SPECIFICATION, INTENDED FOR USE AS STRUCTURAL FILL SHALL BE APPROVED IN WRITING BY THE ENGINEER PRIOR TO USE.

CONCRETE:

- CONCRETE SHALL BE NOT LESS THAN N25 GRADE, WITH 20mm NOMINAL MAXIMUM AGGREGATE SIZE, SLUMP SHALL BE SELECTED TO SUIT THE CONSTRUCTION CONDITIONS. UNLESS NOTED OTHERWISE THE MINIMUM APPROPRIATE SPECIFICATIONS FROM AS3600 AND AS2870 SHALL BE ADOPTED.
- SAWN CONTROL JOINTS SHALL BE CONSTRUCTED AS SOON AS POSSIBLE WITHOUT RAVELING THE JOINT, GENERALLY THIS SHALL BE WITHIN 24 HOURS.
- CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS USING CURRENT BEST PRACTICE METHODS. SPRAY APPLIED CURING COMPOUNDS ARE GENERALLY NOT DEEMED SATISFACTORY AS SOLE CURING METHOD.
- CONCRETE SHALL BE MECHANICALLY VIBRATED U.N.O.
- ADDITIONAL WATER SHALL NOT BE ADDED TO THE CONCRETE ON SITE UNLESS SIGNED BY THE DRIVER AND APPROVED BY THE SUPPLIER.

DISCLAIMER

ENGINEERING NOTES ARE INTENDED FOR USE AS A GUIDE TO RELEVANT CODES, REGULATIONS AND STANDARDS FOR THE BUILDER OR CONTRACTOR DURING THE CONSTRUCTION PROCESS. THEY SHALL NOT REPLACE THEM IN ANY WAY. THESE NOTES ARE NOT SITE SPECIFIC AND SHALL NOT BE USED TO CONTRAVENE APPROVED PLANS OR TO SPECIFY ANY UNAPPROVED WORKS.

REV	DESCRIPTION	BY	CHK	DATE
C	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	27/02/2024
B	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	01/02/2024
A	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	14/12/2023



CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3	PROJECT PROPOSED DWELLING 14 SALTWATER RISE, SEVEN MILE BEACH, 7170	DRAWING TITLE CIVIL & HYDRAULIC NOTES		
CIVIL ENGINEER/DESIGNER M. BEKKER	HYDRAULIC ENGINEER R. HORNER	STATUS PLANNING APPROVAL		PROJECT NO 23E105-13	DWG NO N01	REV C

**IMPORTANT
DRAWING MUST BE
PRINTED & READ IN COLOUR**

**NOT FOR
CONSTRUCTION**

PIPE LEGEND	
MARK	DESCRIPTION
	SLOTTED HDPE SN8 DRAINAGE PIPE
	PROPOSED STORMWATER PIPE
	PROPOSED SEWER PIPE
	PROPOSED RISING SEWER MAIN
	PROPOSED PE PN16 WATER SUPPLY
	PROPOSED PUBLIC STORMWATER MAIN
	PROPOSED PUBLIC SEWER MAIN
	PROPOSED PUBLIC WATER MAIN
	POWER CIRCUIT
	COMMUNICATIONS
	DN100 PVC-M PN16 PVC
	EXISTING SLOTTED AG DRAINAGE PIPE.
	EXISTING WATER SUPPLY
	EXISTING SEWER PIPE
	EXISTING RISING SEWER MAIN
	EXISTING STORMWATER
	EXISTING POWER
	EXISTING PUBLIC STORMWATER MAIN
	EXISTING PUBLIC SEWER MAIN
	EXISTING PUBLIC WATER MAIN
	DEMOLISHED MAIN WATER
	DEMOLISHED STORMWATER
	DEMOLISHED SEWER
	DEMOLISHED WATER
	SWALE DRAIN

SYMBOL LEGEND	
MARK	DESCRIPTION
	WATER METER. REFER TO PLAN FOR DETAILS.
	GRATED PIT - REFER TO PLAN FOR DETAILS.
	CHANNEL DRAIN & INCLINE PIT - REFER TO PLAN FOR DETAILS.
	STORMWATER MAINTENANCE HOLE. REFER TO PLAN FOR DETAILS.
	SEWER MAINTENANCE HOLE. REFER TO PLAN FOR DETAILS.
	SEWER LOT CONNECTION INSPECTION OPENING. REFER TO PLAN FOR DETAILS.
	FIRE PLUG. REFER TO PLAN FOR DETAILS.
	ISOLATING VALVE. REFER TO PLAN FOR DETAILS.
	POWER TURRET
	COMMUNICATIONS PIT

HATCH LEGEND	
	TYPE A - EXPOSED AGGREGATE CONCRETE DRIVEWAY WITH PROPOSED CONTOUR SHOWN
	TYPE B - 2 COAT SEAL DRIVEWAY WITH PROPOSED CONTOUR SHOWN
	RETAINING WALL (TO FUTURE ENGINEERING DETAILS)

SURFACE LEGEND	
MARK	DESCRIPTION
FSL XX.XX	PROPOSED FINISHED SURFACE LEVEL
Δ XX.XX	HEIGHT OF PROPOSED SURFACE RELATIVE TO NATURAL SURFACE (FILL REQUIRED)
Δ -XX.XX	HEIGHT OF PROPOSED SURFACE RELATIVE TO NATURAL SURFACE (CUT REQUIRED)

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CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3
CIVIL ENGINEER/DESIGNER M. BEKKER	HYDRAULIC ENGINEER R. HORNER	
STATUS PLANNING APPROVAL		

PROJECT PROPOSED DWELLING 14 SALTWATER RISE, SEVEN MILE BEACH, 7170

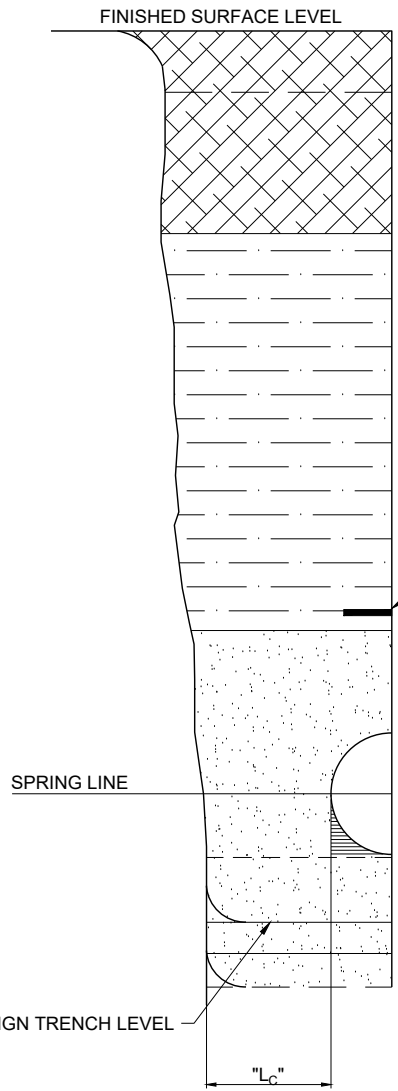
DRAWING TITLE SYMBOL & LINE LEGENDS		
PROJECT NO 23E105-13	DWG NO N02	REV C

NOTES:

- ALL DIMENSIONS IN MILLIMETRES.
- BEDDING - SPECIAL BEDDING SHALL BE SPECIFIED TO SUIT THE CONDITIONS IF THE TRENCH FLOOR HAS: - IRREGULAR OUTCROPS OF ROCK, OR UNCONTROLLED GROUND WATER HAS DISTURBED THE FLOOR OF THE TRENCH EMBEDMENT.
- SIDES OF EXCAVATION TO BE KEPT VERTICAL TO AT LEAST 150 ABOVE THE PIPE.

NOT FOR CONSTRUCTION

MATERIAL			ZONE
DRIVEWAY SURFACE	ROAD SURFACE	VERGE & TRACK	
DRIVEWAY SURFACE LAYER	ROAD SURFACE LAYER	TO MATCH EXISTING	SURFACE COURSE
DRIVEWAY BASE COURSE	TO MATCH EXISTING ROAD BASE OR TO ROAD OWNER'S REQUIREMENTS	TO ROAD OWNER'S REQUIREMENTS OR ORIGINAL MATERIAL OR INORGANIC FILL WITH MAXIMUM 75mm STONE SIZE	BASE COURSE
ORIGINAL MATERIAL OR INORGANIC FILL WITH MAXIMUM 75mm STONE SIZE	20mm FCR COMPACTED IN 150mm LAYERS		TRENCH FILL
7mm COMPACTED CLEAN METAL			OVERLAY
7mm COMPACTED CLEAN METAL			SIDE SUPPORT
7mm COMPACTED CLEAN METAL. BEDDING MAY BE OMITTED IF TRENCH BASE IS GRANULAR SAND			BEDDING
			OVER EXCAVATION



MINIMUM PIPE COVER (PVC)

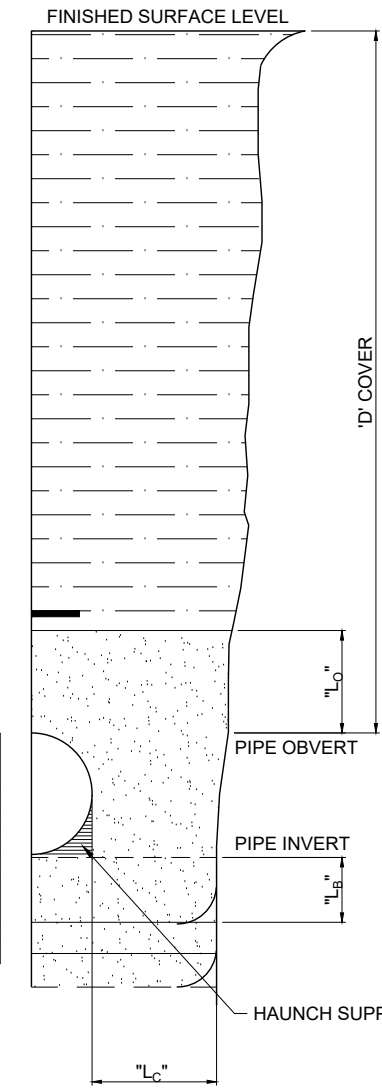
LOCATION	STORMWATER		SEWER	
	PRIVATE MINIMUM COVER 'D' TO AS/NZS 3500.3	PUBLIC MINIMUM COVER 'D' TO TSD-G02	PRIVATE MINIMUM COVER 'D' TO AS/NZS 3500.2	PUBLIC MINIMUM COVER 'D' TO MRWA-S-201
NO PAVEMENT (SINGLE DWELLINGS - PRIVATE)	100	450	300	600
NO PAVEMENT (OTHER - PRIVATE)	300	450	300	600
PAVEMENT (NO VEHICULAR LOADING - PRIVATE)	100*	450	50*	600
DRIVEWAYS (UNSEALED - PRIVATE)	450	600	500	750
DRIVEWAYS (LIGHT VEHICLE LOADING - PRIVATE)	100*	600	50*	750
DRIVEWAYS (HEAVY VEHICLE LOADING - PRIVATE)	100*	600	50*	750
SEALED ROADS (PUBLIC)	600	900	500	900
UNSEALED ROADS (PUBLIC)	750	900	500	900
MAJOR/ARTERIAL ROADWAYS (PUBLIC)	750	1200	500	1200

- * BELOW UNDERSIDE OF PAVEMENT
- FOR PUBLICLY OWNED PIPES - MINIMUM COVER MUST ALSO COMPLY WITH THE SERVICE PROVIDERS REQUIREMENTS.

EMBEDMENT GEOMETRY

NOMINAL DIAMETER (D _E)	MINIMUM CLEARANCE "L _C "			MINIMUM BEDDING "L _B "			MINIMUM OVERLAY "L _O "		
	SEW+SW PRIVATE	SEWER PUBLIC	SW PUBLIC	SEW+SW PRIVATE	SEWER PUBLIC	SW PUBLIC	SEW+SW PRIVATE	SEWER PUBLIC	SW PUBLIC
	AS2566.1	MRWA-S-201	TSD-G01	AS2566.1	MRWA-S-201	TSD-G01	AS2566.1	MRWA-S-201	TSD-G01
<151	100	100	N/A	75	75	100	100	100	150
>151 - <301	150	150	N/A	100	100	100	150	150	150
>301 - <451	200	200	N/A	100	100	100	150	150	150
>451 - <901	300	250	N/A	150	150	150	150	150	150
>901 - <1501	350	300	N/A	150	150	150	200	200	150

- TRENCH WIDTH TO BE SUFFICIENT TO SAFELY LAY THE PIPE AND COMPACT THE SIDE SUPPORT ZONE
- FOR PUBLICLY OWNED PIPES - MINIMUM EMBEDMENT GEOMETRY MUST ALSO COMPLY WITH THE SERVICE PROVIDERS REQUIREMENTS
- REFER BELOW FOR TRENCH WIDTHS FOR STORMWATER PIPES IN ACCORDANCE WITH TSD-G01 IN LIEU OF MINIMUM CLEARANCES L_C

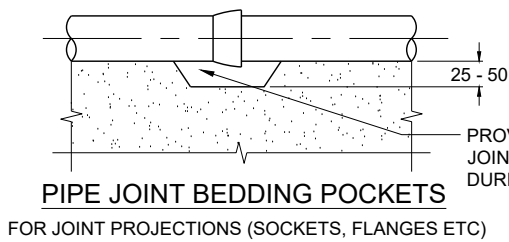


ZONE	MATERIAL
TRENCH FILL	ORIGINAL MATERIAL OR INORGANIC FILL WITH 75mm MAXIMUM STONE SIZE
OVERLAY	7mm COMPACTED CLEAN METAL
SIDE SUPPORT	7mm COMPACTED CLEAN METAL
BEDDING	7mm COMPACTED CLEAN METAL. BEDDING MAY BE OMITTED IF TRENCH BASE IS GRANULAR SAND
OVER EXCAVATION	

NO VEHICULAR LOADING
(INCLUDES LOCATIONS WHERE OCCASIONAL VEHICLES LOADINGS OCCUR EG. PARKLANDS, FOOTWAYS)

MINIMUM TRENCH WIDTH TO TSD-G01 (PUBLIC SW MAINS)

NOMINAL DIAMETER (D _E)	CONCRETE PIPES	OTHER PIPES
100	400	300
150	450	450
225	525	600
300	600	600
450	750	750
451- 1500	D _E + 300	D _E + 600



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JSA
SCIENCE IN DESIGN
121 Sandy Bay Road, Sandy Bay TAS 7005
Phone (03) 6240 9911 www.jsa.com.au

CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3
CIVIL ENGINEER/DESIGNER M. BEKKER	HYDRAULIC ENGINEER R. HORNER	
STATUS PLANNING APPROVAL		

PROJECT PROPOSED DWELLING 14 SALTWATER RISE, SEVEN MILE BEACH, 7170

DRAWING TITLE PIPE TRENCH DETAILS		
PROJECT NO 23E105-13	DWG NO N03	REV C

DISPERSIVE SOIL MANAGEMENT

NOTE TO LAND SURVEYOR

ALL EXCAVATION WORKS ON SITE SHOULD BE MONITORED FOR SIGNS OF SOIL DISPERSION AND REMEDIAL ACTION TAKEN AS REQUIRED - IN PARTICULAR ANY EXCAVATED FILL FROM THE CONSTRUCTION AREAS IS NOT RECOMMENDED FOR REUSE ON SITE IN LANDSCAPING UNLESS IT IS APPROPRIATELY TREATED WITH GYPSUM AND CAPPED WITH TOPSOIL.

ROADWORKS:

- PAVEMENT SUBGRADES SHOULD INVOLVE THE STRIPPING OF ALL VEGETATION INCLUDING ROOT MATERIAL (NOTE DISPERSION TESTING AND ASSESSMENT TO BE COMPLETED PRIOR).
- THE SUBGRADE SHOULD BE TREATED ACCORDING TO RECOMMENDATIONS FOR DISPERSIVE SOILS (I.E. GYPSUM APPLIED AND COMPACTED, THE USE OF GEOFABRIC SHOULD ALSO BE CONSIDERED)
- THIS SURFACE SHOULD BE ROLLED TO A DRY DENSITY RATIO AS STIPULATED IN AS1289.5.1.2 WITH ANY INCOMPACTABLE, LOOSE OR MOIST MATERIAL BEING REMOVED.
- BACKFILLING AND LEVELLING SHOULD BE CARRIED OUT WITH CLASS 3 20-40mm CRUSHED ROCK AND COMPACTED TO 98% MAXIMUM DRY DENSITY AS STIPULATED IN AS1289.5.1.2
- PAVEMENT CONSTRUCTION SHOULD BE COMMENCED IMMEDIATELY AFTER THE SUBGRADE HAS BEEN ROLLED.
- SUBGRADE DRAINAGE SO THAT THE WATERTABLE TO BE MAINTAINED AT LEAST 400mm BELOW THE UNDERSIDE OF PAVEMENTS. ALTERNATIVELY A LOWER CALIFORNIAN BEARING RATIO (CBR) SHOULD BE USED IN THE DESIGN.
- PAVEMENTS SHOULD BE DESIGNED WITH AN ESTIMATED CBR VALUE OF 3% (BASED UPON CONTROLLED COMPACTION OF EXISTING LAYERS OR NATURAL SOILS) ALTHOUGH THIS MAY BE INCREASED WITH FURTHER STABILISATION OF THE SUBGRADE USING LIME OR CEMENT - FURTHER BULK SAMPLING AND TESTING RECOMMENDED ON ROAD ALIGNMENTS PRIOR TO DETAILED DESIGN.
- CONFIRMATION THROUGH TESTING IS REQUIRED IN ORDER TO DEMONSTRATE ALL MATERIALS USED AS FILL IN THE ROAD RESERVE IS SUITABLE AND CONTAINS NO DISPERSIVE SOILS.**

LIME STABILISATION PROCESS

- WHERE NECESSARY TO TREAT SUBGRADE TO REDUCE PERMEABILITY AND INCREASE STRENGTH (CBR%) OR IMPROVE PROPERTIES OF SITE WON MATERIALS, IT IS RECOMMENDED TO USE QUICKLIME.
- INSITU STABILISATION PROCEDURES ARE TO BE CARRIED OUT USING PURPOSE BUILT EQUIPMENT ONLY.
- PRIOR TO STABILISATION COMMENCING, ROAD IS TO BE PEGGED OUT AND SHAPED TO SHED WATER WHERE POSSIBLE, SURFACE SHOULD BE RIPPED TO REQUIRED DEPTH TO IDENTIFY AND REMOVE UNSUITABLE MATERIALS.
- STABILISATION PROCESS SHOULD CONSIST OF:
 - SPREADING THE QUICKLIME - TYPICALLY CLAY TO BE MIXED WITH 3-5% BY WEIGHT LIME ADDED
 - MIXING - SUBGRADE TO BE MIXED TO A DEPTH OF 300mm
 - ROLLING AND SECONDARY MIXING
 - MOISTURE CONDITIONING - TO ACTIVE LIME AS BINDER AND AS NECESSARY TO RETAIN OPTIMUM MOISTURE COEFFICIENT
 - COMPACTION - INITIALLY USING PADFOOT ROLLER FOR DEEP COMPACTION FOLLOWED BY A SMOOTH DRUM TO COMPLETE COMPACTION OF THE FULL LAYER
- PAVEMENT CONSTRUCTION SHOULD BE COMMENCED IMMEDIATELY AFTER THE SUBGRADE HAS BEEN ROLLED

TRENCHING

- ANY CONNECTIONS FOR POWER SHOULD BE OVERHEAD IF POSSIBLE
- ANY NEW WATER, POWER, OR OTHER SERVICE TRENCHES MUST ENSURE RECOMMENDATIONS FOR DISPERSIVE SOILS ARE FOLLOWED:
 - WHERE POSSIBLE TRENCHES TO BE PLACED SHALLOW IN TOPSOIL AND MOUNDED OVER TO ACHIEVE THE REQUIRED COVER DEPTH
 - IF BURIED THE TRENCH MUST BE BACKFILLED IN LAYERS OF NO MORE THAT 200mm WITH CLAY WITH 5% BY WEIGHT GYPSUM ADDED (THE CLAY MUST BE SUFFICIENTLY MOIST TO ALLOW COMPACTION)
 - THE TRENCH MUST BE FINISHED WITH AT LEAST 150mm DEPTH OF NON-DISPERSIVE SUITABLE TOPSOIL AND FINISHED TO A LEVEL AT LEAST 75mm ABOVE NATURAL GROUND TO ALLOW FOR POSSIBLE SETTLEMENT.

NOT FOR
CONSTRUCTION

CUTS AND BATTERS


- CUT AND FILL CONSTRUCTION METHODS FOR ROADS, DRIVEWAYS, OR BUILDING AREAS IS NOT RECOMMENDED
- ANY POSSIBLE SITE CUT/FILL AND ROAD AREAS MUST BE MANAGED BY:
 - APPLYING A GEOFABRIC, JUTE MESH OR SIMILAR MATERIAL TO THE EXPOSED BATTERS OF THE CUT ON SITE AND REVEGETATING THE SLOPE
 - APPLYING A SURFACE LAYER OF AT LEAST 50mm OF SUITABLE CRUSHED ROCK/GRAVEL TO ANY EXPOSED ROADWAY SURFACE, WITH ADEQUATE COMPACTION TO ENSURE A RELATIVELY IMPERVIOUS SURFACE TO MAINTAIN SITE SURFACE STABILITY
 - VEGETATION ON ANY FILL BATTERS MUST BE MAINTAINED AND SUPPLEMENTED, IF ANY BARE AREAS OF SOIL ON THE BATTER DEVELOP THEN IT MUST BE TOP-DRESSED TOPSOIL AND ADDITIONAL VEGETATION PLANTED

TOP SOIL DISTURBANCE

- DISTURBANCE OF TOP SOIL TO BE AVOIDED OR MINIMISED.
- NO DISPERSIVE MATERIAL TO BE USED AS FILL OR LEFT ON LOTS AFTER CONSTRUCTION.

CONSTRUCTION ON SITE:

- CONVENTIONAL FOUNDATION DESIGNS ARE LIKELY TO BE SUITABLE FOR RESIDENTIAL CONSTRUCTION ON THIS SITE PROVIDED SUFFICIENT FOUNDING DEPTH
- IT IS RECOMMENDED THAT:
 - ALL CONSTRUCTION AREAS HAVE COMPLETE AS2870 TESTING INCLUDING DISPERSIVE SOILS ASSESSMENT PRIOR TO DESIGN AND CONSTRUCTION
 - FOR AREAS OF PROPOSED SHALLOW FOUNDATIONS **ALL FOUNDATIONS MUST BE PLACED ONTO ROCK**
 - CONVENTIONAL PAD FOOTINGS ARE LIKELY TO BE SUITABLE ONLY IF EXCAVATED TO SUFFICIENT DEPTH AND BEARING.
 - DEPENDENT UPON THE FINAL FOUNDATION DESIGN CHOSEN AND THE LOADS SUPPORTED, PILE FOUNDATIONS MAY BE REQUIRED, AND ALL PILES SHOULD BE DRIVEN OR BORED INTO UNDERLYING WELL CONSOLIDATED NATURAL SOIL OR GRAVELS/ROCK AT DEPTH - PILE FOUNDATION PARAMETERS SHOULD THEN BE CALCULATED ONCE LIKELY PILE DIMENSIONS HAVE BEEN DETERMINED.
 - LEVELLING AND COMPACTION OF FOOTPRINTS WITH EITHER NATURAL ROCK FILL OR IMPORTED CLASS 1 FILL SHOULD FOLLOW AS1289 5.1.1
 - ALL EARTHWORKS ONSITE BE COMPLIANT WITH AS3789-2007 "GUIDELINES FOR EARTHWORKS ON COMMERCIAL AND RESIDENTIAL SUBDIVISION"
 - STORMWATER BE CONNECTED AS SOON AS ANY ROOFING IS SEALED.
 - DRAINAGE OF THE GROUND SURFACE AND PAVEMENTS BE DESIGNED TO FLOW AWAY FROM FOOTING AREAS AND TOWARDS STORMWATER DISCHARGE POINTS.
 - ALL CONSTRUCTION WORKS MUST FOLLOW THE *DISPERSIVE SOILS AND THEIR MANAGEMENT: TECHNICAL REFERENCE MANUAL*

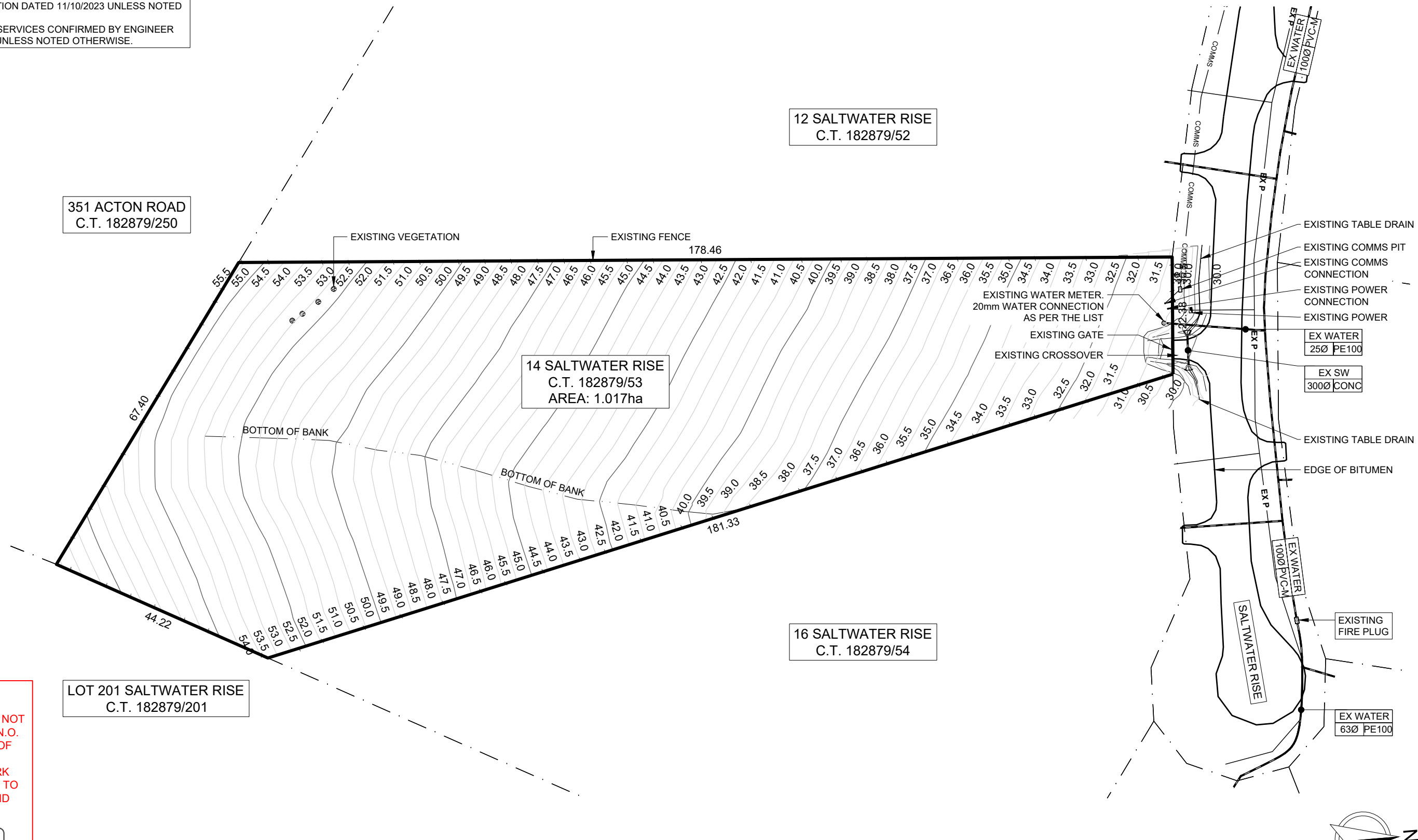
				 <p>121 Sandy Bay Road, Sandy Bay TAS 7005 Phone (03) 6240 9911 www.jsa.com.au</p>		CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3	PROJECT PROPOSED DWELLING 14 SALTWATER RISE, SEVEN MILE BEACH, 7170	DRAWING TITLE DISPERSIVE SOILS NOTES		
C	FOR PLANNING APPROVAL - RFI	M.B.	M.H.			27/02/2024	CIVIL ENGINEER/DESIGNER M. BEKKER	HYDRAULIC ENGINEER R. HORNER		PROJECT NO 23E105-13	DWG NO N04	REV C
B	FOR PLANNING APPROVAL - RFI	M.B.	M.H.			01/02/2024	STATUS PLANNING APPROVAL					
A	FOR PLANNING APPROVAL - RFI	M.B.	M.H.			14/12/2023						
REV	DESCRIPTION	BY	CHK	DATE								

NOTES

1. SURVEY DATA COMPLETED AND PROVIDED BY LEARYCOX&CRIPPS, DATED 29/03/2023, REFERENCE No. 13335.
2. HORIZONTAL DATUM GDA2020, VERTICAL DATUM AHD, CONTOUR INTERVALS AT 0.5m.
3. TITLE BOUNDARY AS PER SURVEYOR'S PLANS. SITE/LOTS AREA AS PER SURVEYOR'S PLANS.
4. LOCATION OF EXISTING SERVICES AS PER SURVEY DATA, LIST DATA & BYDA DOCUMENTATION DATED 11/10/2023 UNLESS NOTED OTHERWISE.
5. EXISTING ABOVE GROUND SERVICES CONFIRMED BY ENGINEER ON SITE DATED 06/12/2023 UNLESS NOTED OTHERWISE.

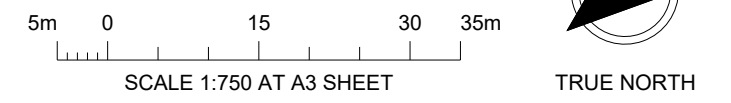
**IMPORTANT
DRAWING MUST BE
PRINTED & READ IN COLOUR**

**NOT FOR
CONSTRUCTION**



WARNING:
UNDERGROUND SERVICES NOT LOCATED BY ENGINEER U.N.O. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE BYDA AND WORK WITH SERVICE PROVIDERS TO LOCATE ALL UNDERGROUND SERVICES.

EXISTING SITE PLAN
SCALE: 1:750






 121 Sandy Bay Road, Sandy Bay TAS 7005 Phone (03) 6240 9911 www.jsa.com.au		CHECKED M. HORSHAM CC5865 I CIVIL ENGINEER/DESIGNER M. BEKKER STATUS PLANNING APPROVAL	SCALE AS SHOWN HYDRAULIC ENGINEER R. HORNER	SIZE A3	PROJECT PROPOSED DWELLING 14 SALTWATER RISE, SEVEN MILE BEACH, 7170	DRAWING TITLE EXISTING SITE PLAN
C FOR PLANNING APPROVAL - RFI B FOR PLANNING APPROVAL - RFI A FOR PLANNING APPROVAL - RFI	M.B. M.H. 27/02/2024 M.B. M.H. 01/02/2024 M.B. M.H. 14/12/2023	PROJECT NO 23E105-13		DWG NO C01	REV C	

NOTES

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6. PROPOSED CONTOURS AT 0.2m INTERVALS.

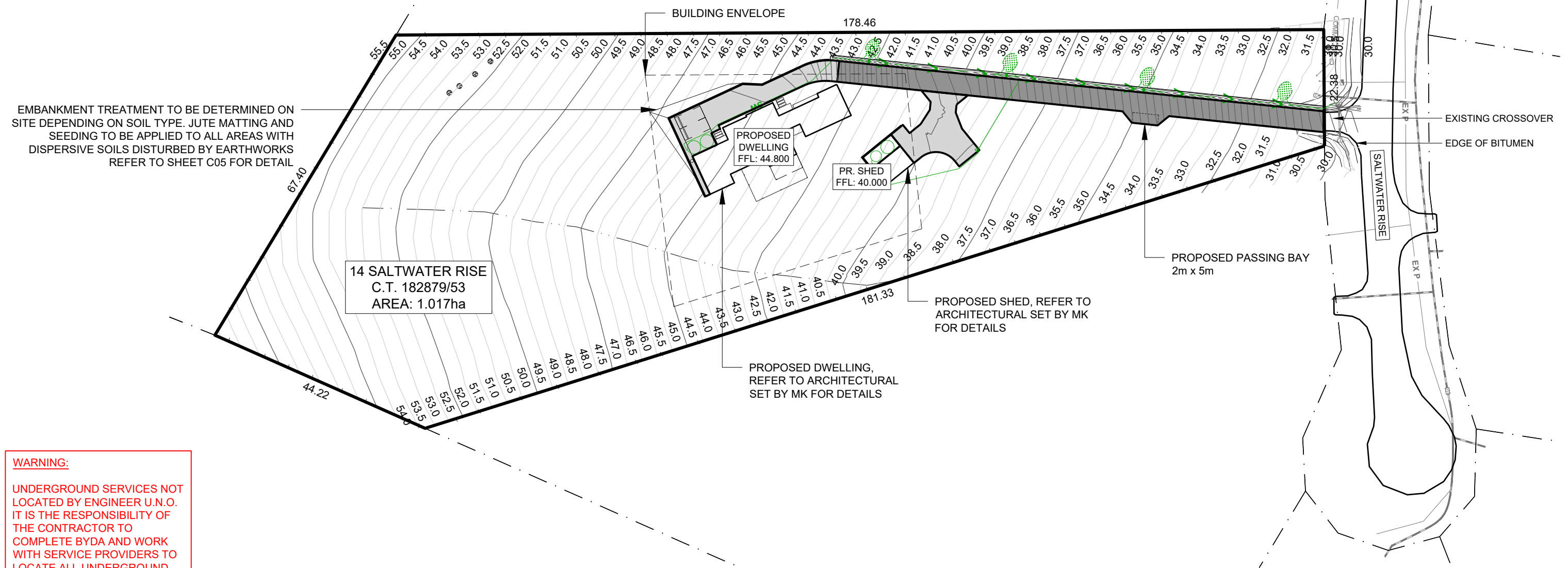
HATCH LEGEND

-  TYPE A - EXPOSED AGGREGATE CONCRETE DRIVEWAY WITH PROPOSED CONTOUR SHOWN
-  TYPE B - 2 COAT SEAL DRIVEWAY WITH PROPOSED CONTOUR SHOWN
-  RETAINING WALL (TO FUTURE ENGINEERING DETAILS)

**IMPORTANT
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**NOT FOR
CONSTRUCTION**

REFER TO SHEET N04 FOR
CONSTRUCTION MANAGEMENT NOTES



WARNING:


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www.byda.com.au

PROPOSED SITE PLAN
SCALE: 1:750




5m 0 15 30 35m
SCALE 1:750 AT A3 SHEET
TRUE NORTH

<table border="1"> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>BY</th> <th>CHK</th> <th>DATE</th> </tr> <tr> <td>C</td> <td>FOR PLANNING APPROVAL - RFI</td> <td>M.B.</td> <td>M.H.</td> <td>27/02/2024</td> </tr> <tr> <td>B</td> <td>FOR PLANNING APPROVAL - RFI</td> <td>M.B.</td> <td>M.H.</td> <td>01/02/2024</td> </tr> <tr> <td>A</td> <td>FOR PLANNING APPROVAL - RFI</td> <td>M.B.</td> <td>M.H.</td> <td>14/12/2023</td> </tr> </table>	REV	DESCRIPTION	BY	CHK	DATE	C	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	27/02/2024	B	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	01/02/2024	A	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	14/12/2023	 121 Sandy Bay Road, Sandy Bay TAS 7005 Phone (03) 6240 9911 www.jsa.com.au	CHECKED M. HORSHAM CC5865 I CIVIL ENGINEER/DESIGNER M. BEKKER	SCALE AS SHOWN HYDRAULIC ENGINEER R. HORNER	SIZE A3	PROJECT PROPOSED DWELLING 14 SALTWATER RISE, SEVEN MILE BEACH, 7170	DRAWING TITLE PROPOSED SITE PLAN		
	REV	DESCRIPTION	BY	CHK	DATE																							
C	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	27/02/2024																								
B	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	01/02/2024																								
A	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	14/12/2023																								
STATUS PLANNING APPROVAL		PROJECT NO 23E105-13		DWG NO C02	REV C																							

NOTES

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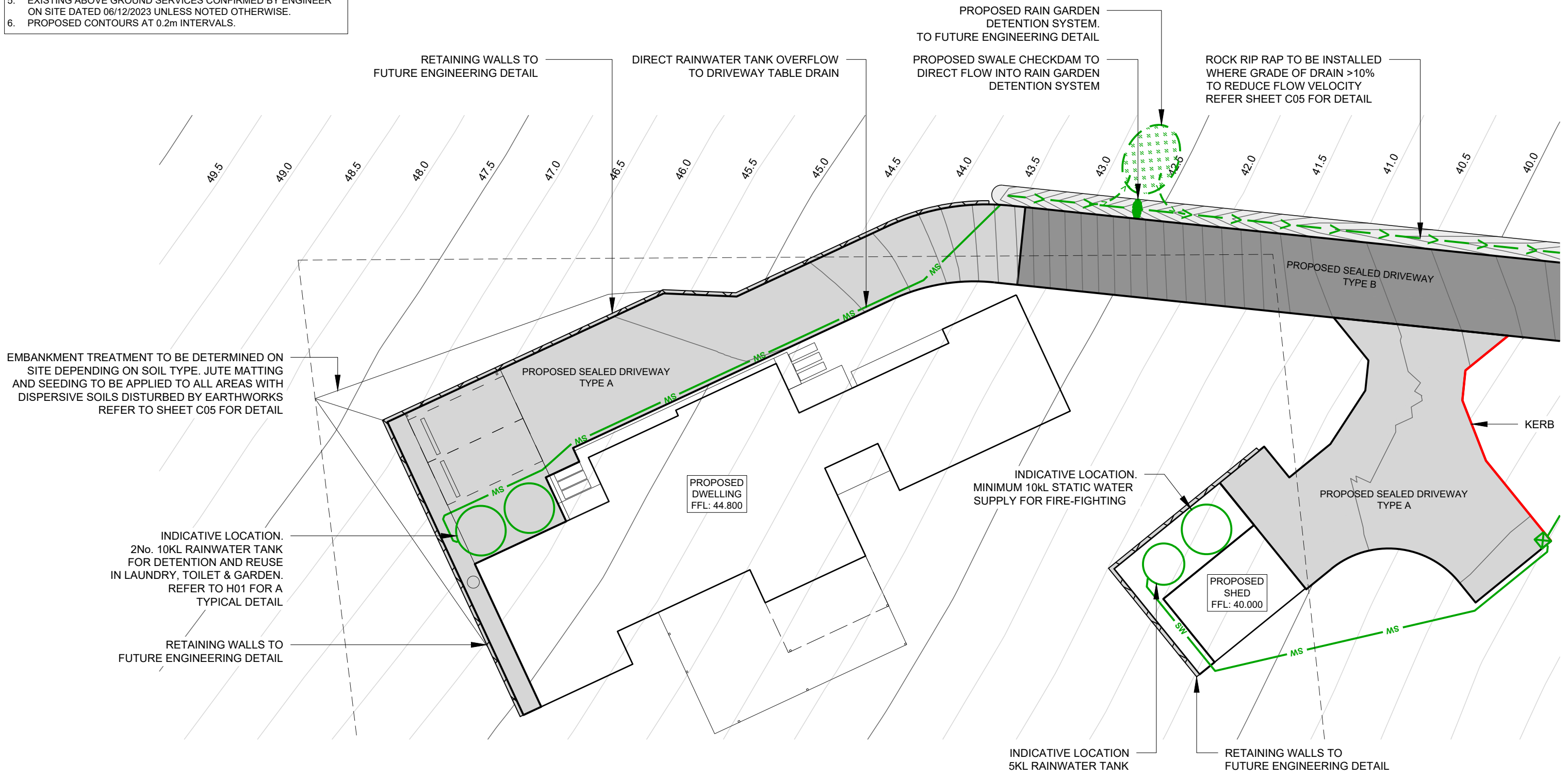
HATCH LEGEND

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-  RETAINING WALL (TO FUTURE ENGINEERING DETAILS)

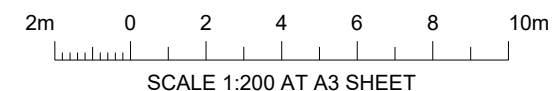
**IMPORTANT
DRAWING MUST BE
PRINTED & READ IN COLOUR**

**NOT FOR
CONSTRUCTION**

REFER TO SHEET N04 FOR
CONSTRUCTION MANAGEMENT NOTES



DRAINAGE PLAN - SHEET 1
SCALE: 1:200



REV	DESCRIPTION	BY	CHK	DATE
C	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	27/02/2024
B	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	01/02/2024
A	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	14/12/2023

JSA
SCIENCE IN DESIGN
121 Sandy Bay Road, Sandy Bay TAS 7005
Phone (03) 6240 9911 www.jsa.com.au

CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3
CIVIL ENGINEER/DESIGNER M. BEKKER	HYDRAULIC ENGINEER R. HORNER	
STATUS PLANNING APPROVAL		




PROJECT
PROPOSED DWELLING
14 SALTWATER RISE,
SEVEN MILE BEACH, 7170

DRAWING TITLE DRAINAGE PLAN - SHEET 1		
PROJECT NO 23E105-13	DWG NO C03	REV C

NOTES

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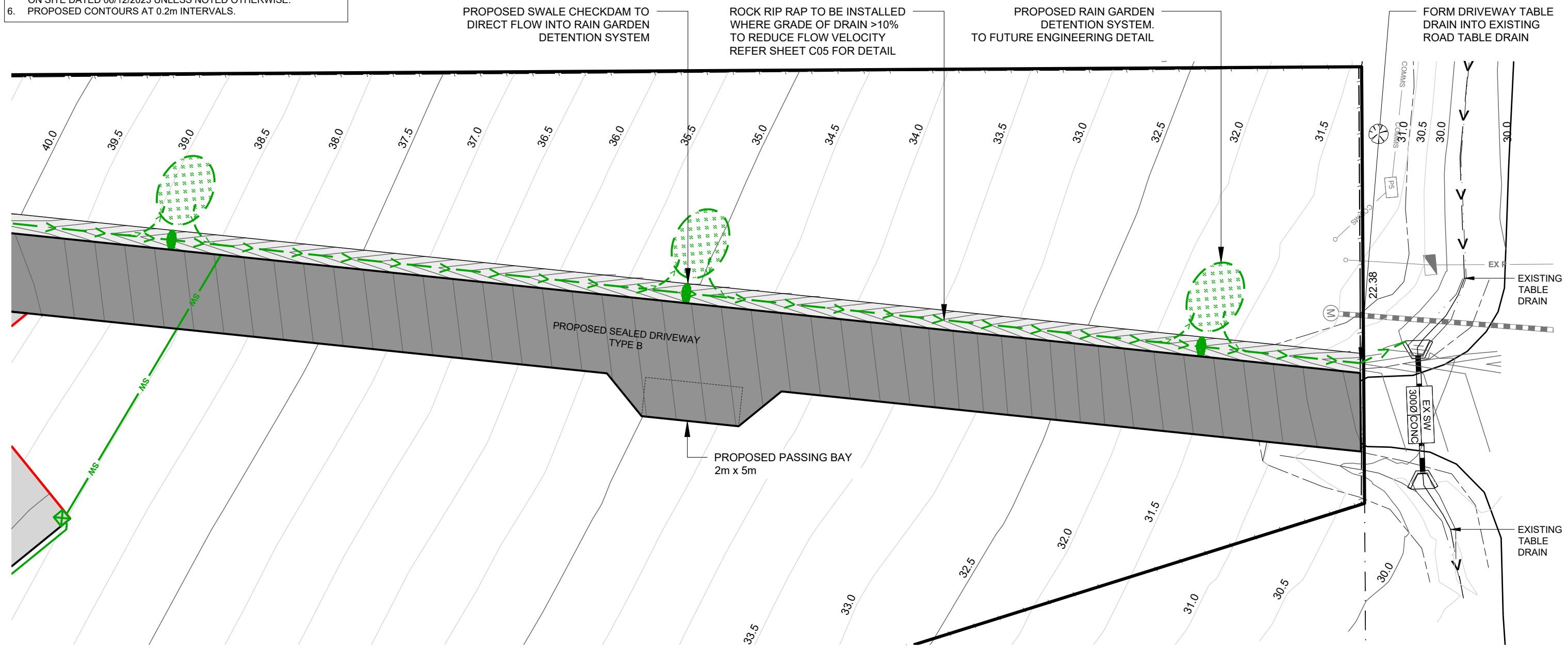
HATCH LEGEND

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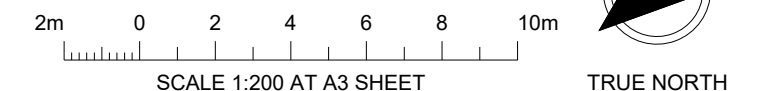
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CONSTRUCTION**

REFER TO SHEET N04 FOR
CONSTRUCTION MANAGEMENT NOTES



DRAINAGE PLAN - SHEET 2
SCALE: 1:200



REV	DESCRIPTION	BY	CHK	DATE
C	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	27/02/2024
B	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	01/02/2024
A	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	14/12/2023



CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3
CIVIL ENGINEER/DESIGNER M. BEKKER	HYDRAULIC ENGINEER R. HORNER	
STATUS PLANNING APPROVAL		

PROJECT
PROPOSED DWELLING
14 SALTWATER RISE,
SEVEN MILE BEACH, 7170

DRAWING TITLE DRAINAGE PLAN - SHEET 2		
PROJECT NO 23E105-13	DWG NO C04	REV C

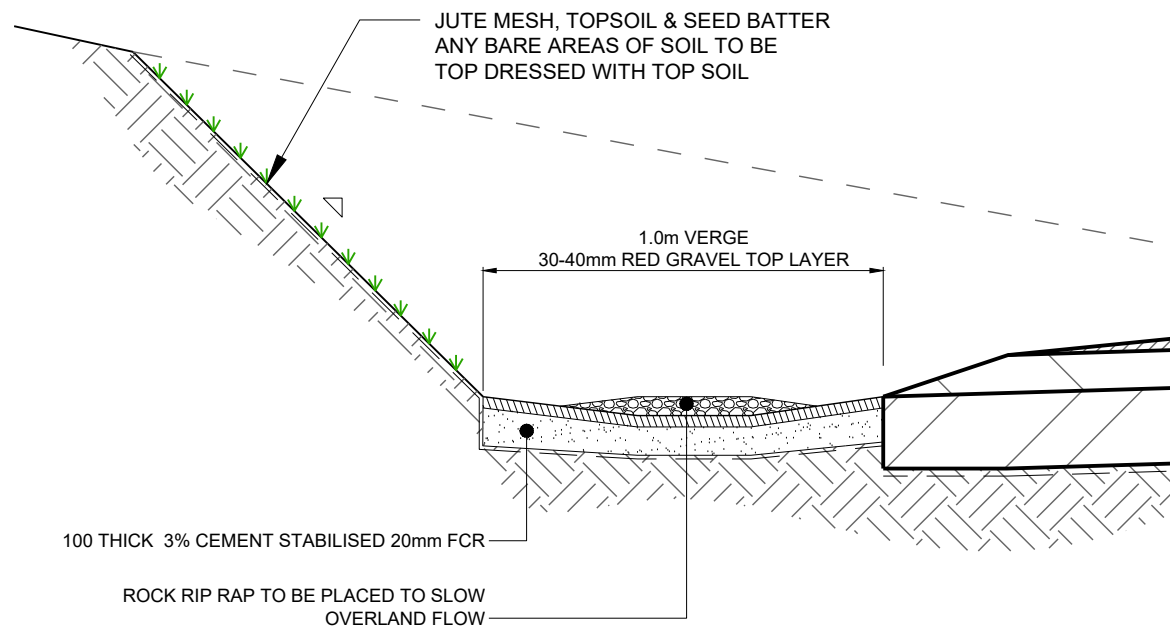
GENERAL

1. ALL EXCAVATION WORKS ON SITE SHOULD BE MONITORED FOR SIGNS OF SOIL DISPERSION AND REMEDIAL ACTION TAKEN AS REQUIRED - IN PARTICULAR ANY EXCAVATED FILL FROM THE CONSTRUCTION AREAS IS NOT RECOMMENDED FOR REUSE ON SITE IN LANDSCAPING UNLESS IT IS APPROPRIATELY TREATED WITH GYPSUM AND CAPPED WITH TOPSOIL.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE SERVICES AUTHORITY AND LOCATE EXISTING UNDER GROUND SERVICES PRIOR TO ANY EXCAVATION WORKS COMMENCING ON SITE.
3. AREAS DISTURBED BY EARTHWORKS ARE TO BE STRIPPED OF TOPSOIL TO A DEPTH OF 100mm (OR AS DIRECTED BY THE SUPERINTENDENT). TOPSOIL IS TO BE STOCKPILED ON SITE AND RE-SPREAD AFTER EARTHWORKS ARE COMPLETE.
4. EXCAVATED AND IMPORTED MATERIAL USED AS FILL IS TO BE APPROVED BY ENGINEER PRIOR TO INSTALLATION,
5. FILL MATERIAL SHALL BE WELL GRADED AND FREE OF BOULDERS OR COBBLES EXCEEDING 150mm IN DIAMETER UNLESS APPROVED OTHERWISE.
6. FILL REQUIRED TO SUPPORT DRIVEWAYS INCLUDING FILL IN EMBANKMENTS THAT SUPPORT DRIVEWAYS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
 - a. THE SUB GRADE SHALL BE KEYED 150mm INTO NATURAL GROUND.
 - b. THE FILL SHALL BE COMPACTED (REFER NOTE 8), IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT THIS IS ACHIEVED.
7. WHERE THE ABOVE REQUIREMENTS CANNOT BE ACHIEVED THE ENGINEER SHALL BE CONSULTED AND THE FORMATION SHALL BE PROOF ROLLED (UNDER SUPERVISION OF THE ENGINEER) TO DEMONSTRATE COMPACTION PRIOR TO THE PLACEMENT OF BASE OR SUB BASE COURSES.
8. COMPACTION IS TO BE CARRIED OUT BY STEEL TRACK EXCAVATOR, DRUM ROLLER OR SIMILAR. CONTRACTOR TO ENSURE EACH LAYER HAS BEEN COMPACTED TO AN ACCEPTABLE LEVEL OF MOVEMENT BY PERFORMING A PROOF ROLL USING A 10T TRUCK OR EQUIVALENT. IF EXCESSIVE RUTTING OR DEFORMATION OCCURS THE ENGINEER SHALL BE CONSULTED.
9. PAVEMENT CONSTRUCTION SHOULD BE COMMENCED IMMEDIATELY AFTER SUBGRADE HAS BEEN ROLLED.

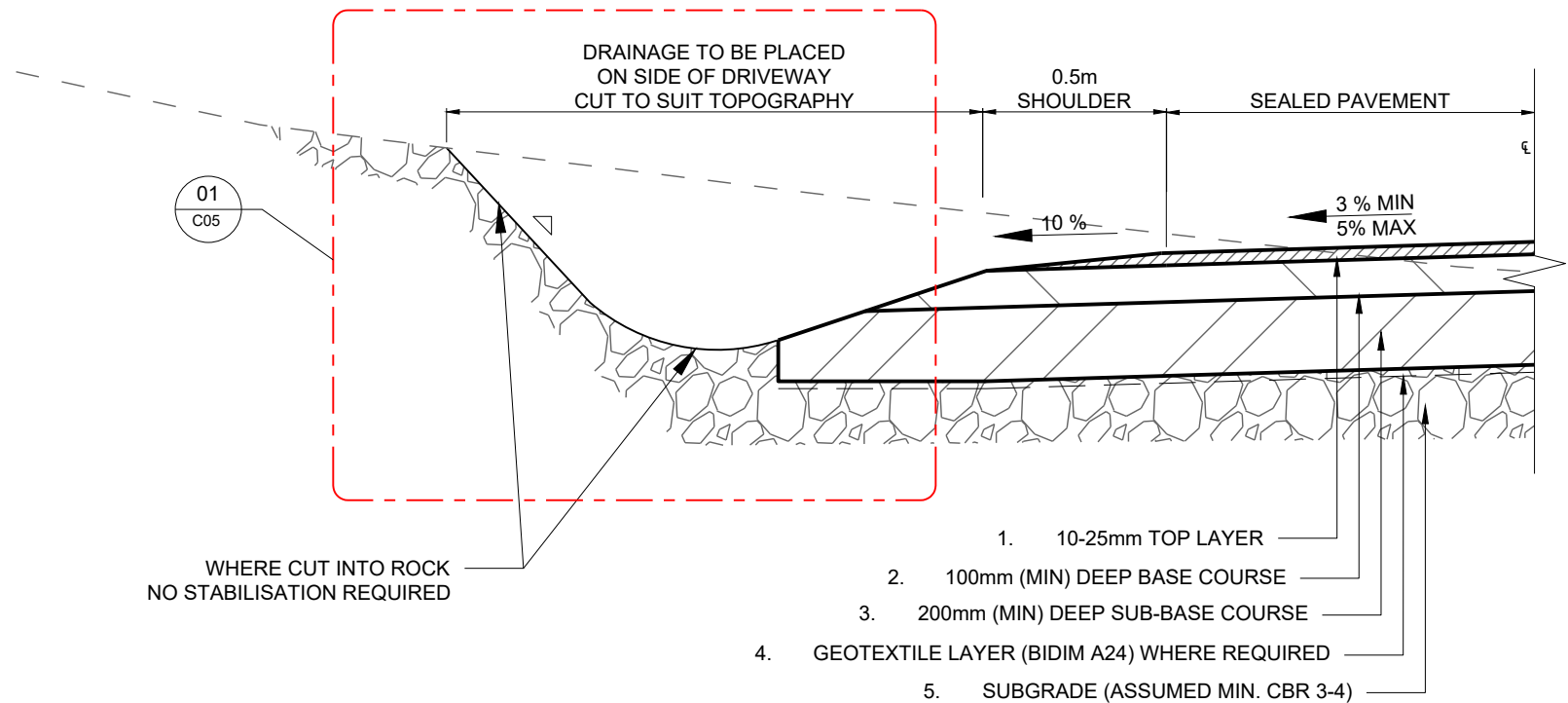
IMPORTANT
DRAWING MUST BE
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NOT FOR
CONSTRUCTION

- TYPICAL CROSS SECTION - 2 COAT SEAL
1. 10mm AGGREGATE SIZE INITIAL TREATMENT BITUMINOUS PRIMER SEAL AND 7mm AGGREGATE SIZE BITUMINOUS FINAL SEAL.
 2. SPECIFIED COMPACTED DEPTH OF CLASS 2 SIZE 20mm FINE CRUSHED ROCK OR SIMILAR, COMPACTED
 3. SPECIFIED COMPACTED DEPTH OF CLASS 3 SIZE 40-60mm FINE CRUSHED ROCK OR SIMILAR, COMPACTED
 4. WHERE SUBGRADE IS PREDOMINANTLY CLAY A GEOTEXTILE, BIDIM A24 OR SIMILAR SHALL BE LAID PRIOR TO THE PLACEMENT OF FILL OR PAVEMENT.
 5. ANY DISTURBED EXISTING SUBGRADE SHALL BE COMPACTED PRIOR TO THE PLACEMENT OF FILL OR PAVEMENT. IN CIRCUMSTANCES WHERE UNDERLYING SUBGRADE CONSISTS OF HEAVY CLAY WITH LOW BEARING CAPACITY AN ADDITIONAL SUBBASE REPLACEMENT USING 100mm+ SPALLS MAY BE REQUIRED.



01 C05 **DISPERSIVE SOIL SECTION**
SCALE: 1:20



TYPICAL DRIVEWAY SECTION
SCALE: 1:20

REV	DESCRIPTION	BY	CHK	DATE
C	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	27/02/2024
B	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	01/02/2024
A	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	14/12/2023



CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3	PROJECT PROPOSED DWELLING 14 SALTWATER RISE, SEVEN MILE BEACH, 7170
CIVIL ENGINEER/DESIGNER M. BEKKER	HYDRAULIC ENGINEER R. HORNER	STATUS PLANNING APPROVAL	

DRAWING TITLE CIVIL DETAILS		
PROJECT NO 23E105-13	DWG NO C05	REV C

GENERAL

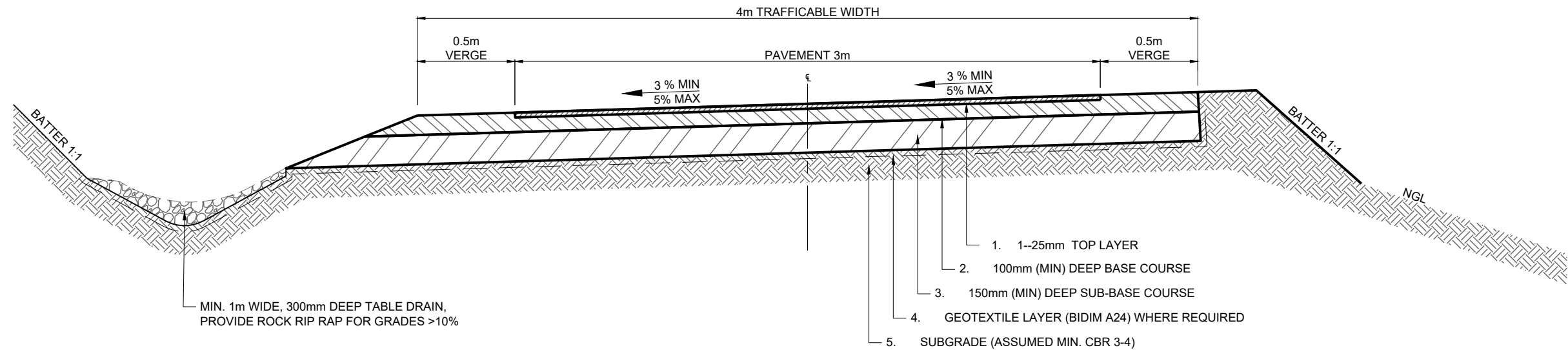
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9. PAVEMENT CONSTRUCTION SHOULD BE COMMENCED IMMEDIATELY AFTER SUBGRADE HAS BEEN ROLLED.

2 COAT SEAL DRIVEWAY:

1. 10MM AGGREGATE SIZE INITIAL TREATMENT BITUMINOUS PRIMER SEAL AND 7MM AGGREGATE SIZE BITUMINOUS FINAL SEAL
2. SPECIFIED COMPACTED DEPTH OF CLASS 2 20MM SIZE FINE CRUSHED ROCK.
3. SPECIFIED COMPACTED DEPTH OF SUB BASE CLASS 2 (40-60mm) CRUSHED ROCK (TO BE INCREASED IF PROOF ROLL IS NOT SATISFACTORY).
4. MATERIAL AS FOUND COMPACTED TO A CBR VALUE OF 3-4% BASED ON POOR DRAINING SOIL TESTED ON SITE. TESTING RESULTS OF SUBGRADE TO BE SUPPLIED TO ENGINEER PRIOR TO PLACEMENT OF CRUSHED ROCK (SUB-BASE) USING PENETROMETER IN ACCORDANCE WITH METHOD 6.1.3 OF AS1289 OR EQUIVALENT.

IMPORTANT
DRAWING MUST BE
PRINTED & READ IN COLOUR

NOT FOR
CONSTRUCTION



2 COAT SEAL DRIVEWAY SECTION
SCALE: 1:25

REV	DESCRIPTION	BY	CHK	DATE
C	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	27/02/2024
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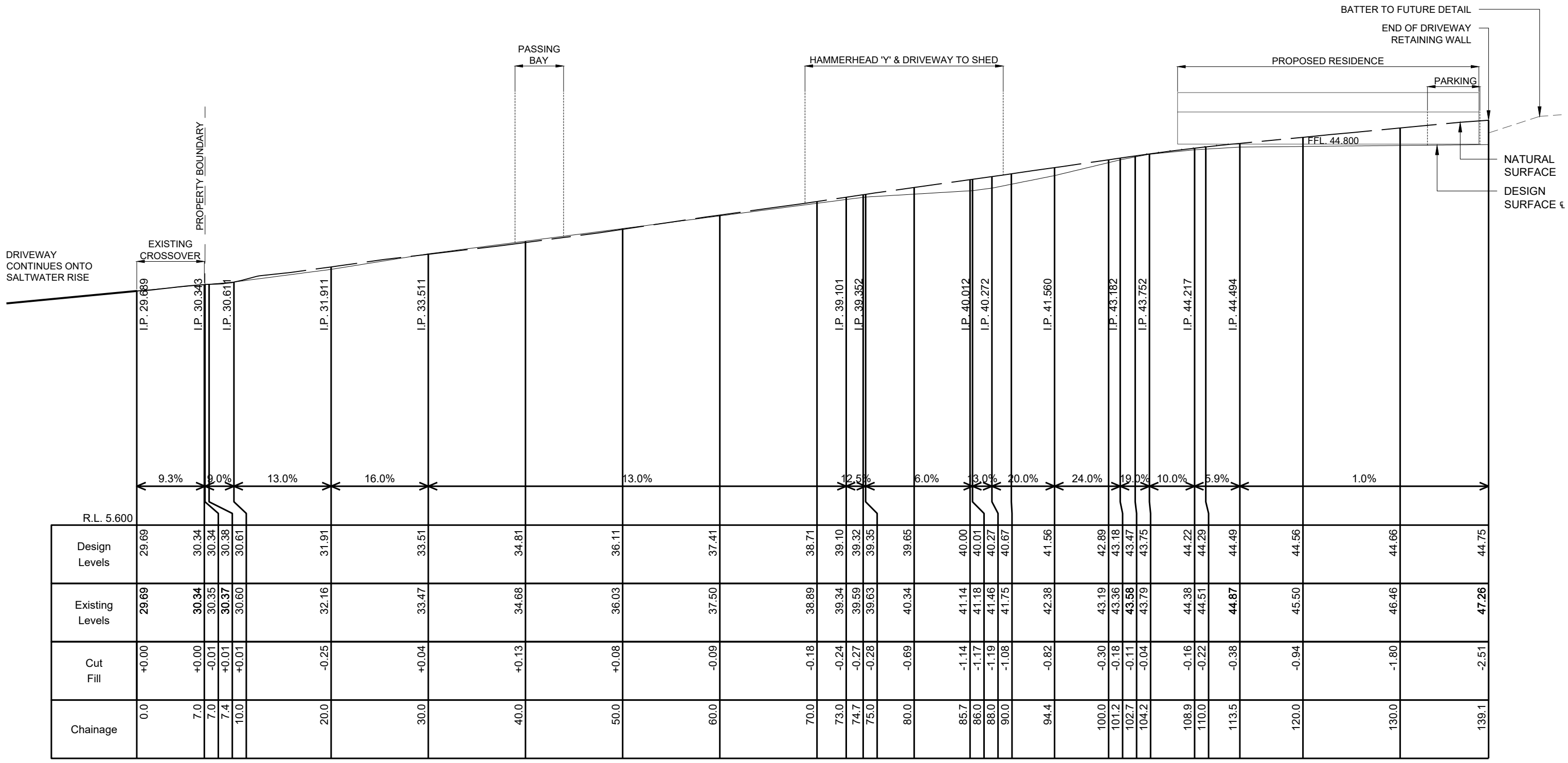


CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3	PROJECT PROPOSED DWELLING 14 SALTWATER RISE, SEVEN MILE BEACH, 7170
CIVIL ENGINEER/DESIGNER M. BEKKER	HYDRAULIC ENGINEER R. HORNER		
STATUS PLANNING APPROVAL			

DRAWING TITLE 2 COAT SEAL DRIVEWAY SECTION		
PROJECT NO 23E105-13	DWG NO C05A	REV C

**IMPORTANT
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CONSTRUCTION**



DRIVEWAY LONG SECTION
SCALE: H 1:400 V 1:400

REV	DESCRIPTION	BY	CHK	DATE
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CIVIL ENGINEER/DESIGNER M. BEKKER	HYDRAULIC ENGINEER R. HORNER	
STATUS PLANNING APPROVAL		

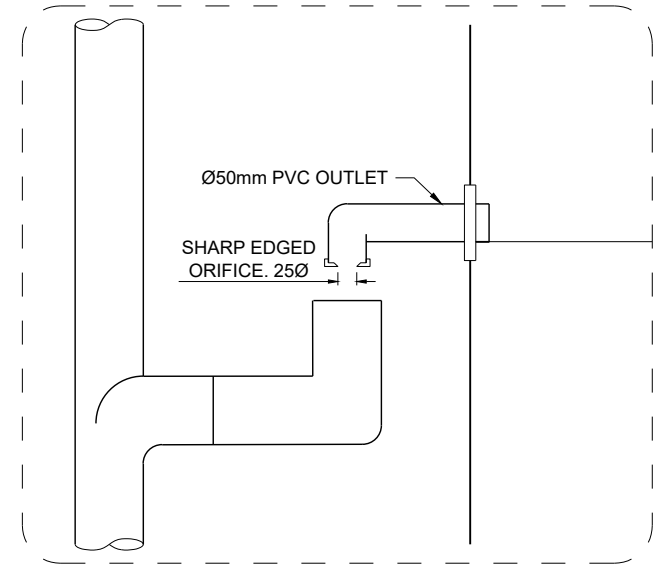
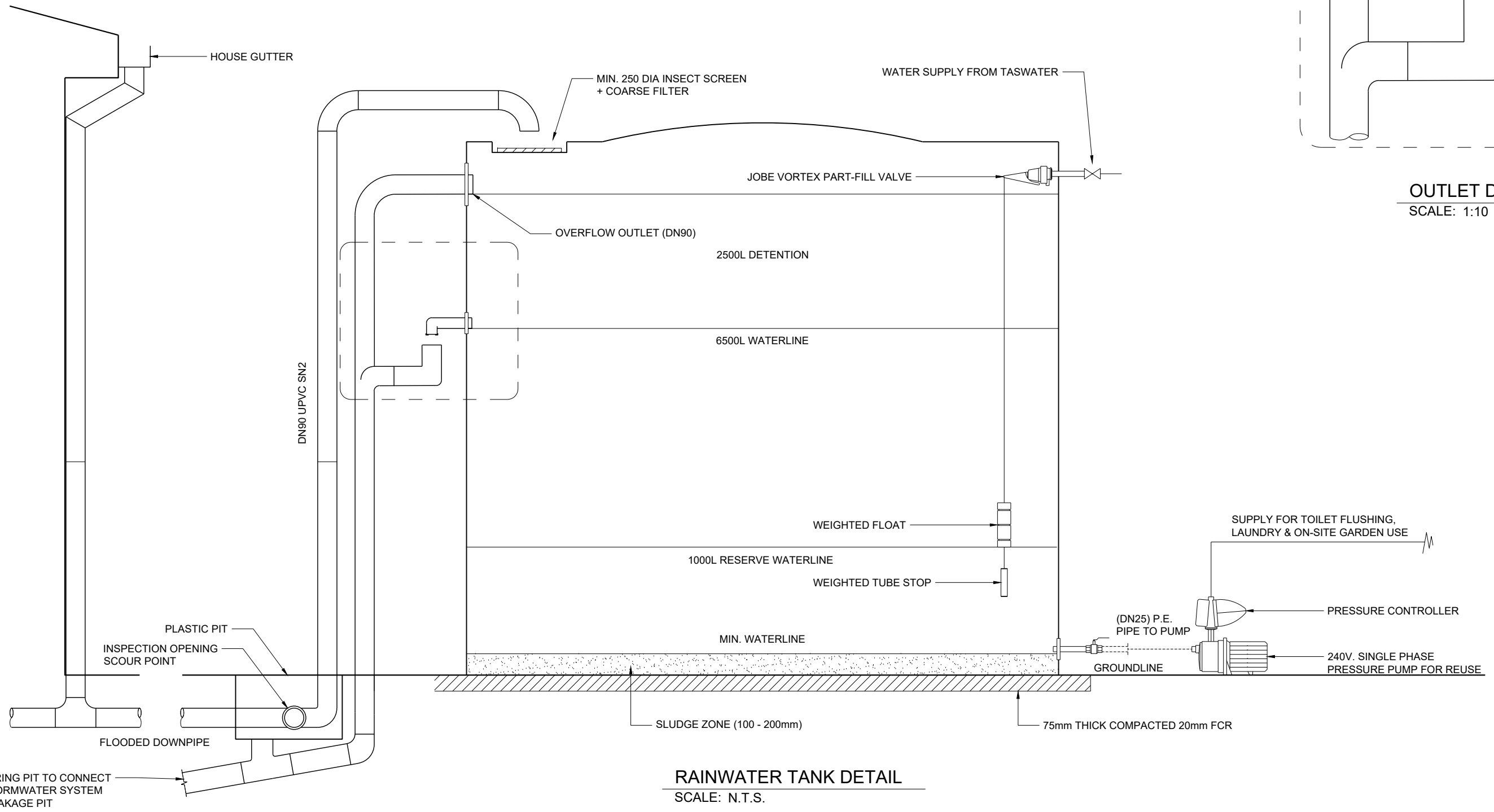
PROJECT PROPOSED DWELLING 14 SALTWATER RISE, SEVEN MILE BEACH, 7170

DRAWING TITLE DRIVEWAY LONG SECTION		
PROJECT NO 23E105-13	DWG NO C06	REV C

- NOTES:
- THE EXACT LOCATION OF THE WATER STORAGE TANK IS TO BE CONFIRMED ON SITE.
 - TANK NOT DRAWN TO SCALE AND RAINWATER CONNECTION & STORAGE SYSTEM MAY COMPRISE MULTIPLE TANKS PLUMBED IN SERIES OR ISOLATED.
 - RAINWATER TANK DETAIL IS PROVIDED AS A GUIDE ONLY AND THE SYSTEM MAY BE MODIFIED TO SUIT INDIVIDUAL REQUIREMENTS.

**IMPORTANT
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**NOT FOR
CONSTRUCTION**



OUTLET DETAIL
SCALE: 1:10

RAINWATER TANK DETAIL
SCALE: N.T.S.

REV	DESCRIPTION	BY	CHK	DATE
C	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	27/02/2024
B	FOR PLANNING APPROVAL - RFI	M.B.	M.H.	01/02/2024
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CHECKED M. HORSHAM CC5865 I	SCALE AS SHOWN	SIZE A3
CIVIL ENGINEER/DESIGNER M. BEKKER	HYDRAULIC ENGINEER R. HORNER	
STATUS PLANNING APPROVAL		

PROJECT PROPOSED DWELLING 14 SALTWATER RISE, SEVEN MILE BEACH, 7170

DRAWING TITLE DETENTION TANK DETAIL		
PROJECT NO 23E105-13	DWG NO H01	REV C

DRAWING SCHEDULE	
A.01	LOCATION PLAN
A.02	SITE PLAN 1:500
A.03	SITE PLAN 1:200
A.04	SITE ANALYSIS
A.05	GROUND FLOOR PLAN - PROPOSED
A.06	ROOF PLAN- PROPOSED
A.07	ELEVATIONS
A.08	ELEVATIONS
A.09	SHED PLAN & ELEVATION - PROPOSED
A.10	3D VISUALISATION
A.11	3D VISUALISATION
A.12	3D VISUALISATION
A.13	3D VISUALISATION
A.14	RFI RESPONSE
A.15	RFI RESPONSE
A.16	RFI RESPONSE
A.17	RFI RESPONSE



14 SALTWATER RISE
SEVEN MILE BEACH
TAS

NEW DWELLING
JOB NO: 2307

Artist Impression Only

SITE INFORMATION

Title Reference: 182879/53
 Property ID: 9789082
 Planning Zone: Rural Living
 General Overlays: Specific Area Plan - Single Hill
 Specific Area Plan

Code Overlays:
 -Bushfire-prone Areas
 -Airport obstacle limitation area
 -Landslip Hazard Code

Soil Classification: **Class M**
 Refer to GES Soil Assessment for more information.

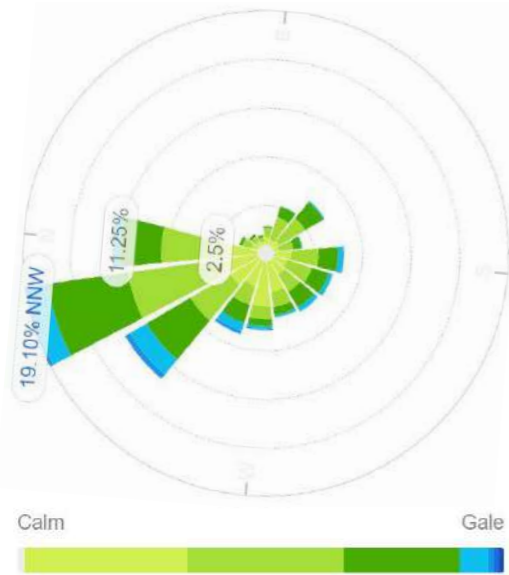
Bushfire Attack Level (BAL): **BAL 19**
 Refer to GES Bushfire Assessment for more information

NCC Building Class: 1

Land area: 1.017ha
 Shed: 25.08m²
 Building Area- Proposed: 231.34m²
 Deck: 63.95m²



WIND ROSE



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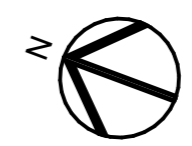
bdaa
 BUILDING DESIGNERS
 ASSOCIATION OF AUSTRALIA

CLIENT: **Jason & Nerissa Rice**
 ADDRESS: **14 SALTWATER RISE SEVEN MILE BEACH**

JOB NO: **2307**

PROPOSAL: **NEW DWELLING + SHED**
 PROJECT STAGE: **DA**

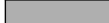






DATE: **29/02/2024**
 SCALE: **1:1000@A3**



REV	AMENDMENT	DATES

A.01
 LOCATION PLAN

LEGEND

-  PROPOSED BUILDING
-  CUT
-  CONTOUR
-  BUILDING ENVELOPE
-  BOUNDARY
-  PROPOSED SEALED DRIVEWAY
TYPE A - REFER TO **JSA CIVIL**
DRAWINGS FOR DETAILS.
-  PROPOSED SEALED DRIVEWAY
TYPE B - REFER TO **JSA CIVIL**
DRAWINGS FOR DETAILS.

SOIL & WASTE MANAGEMENT NOTES

General Notes

Workmanship, materials and design shall comply with the Australian Standards, The National Construction Code, local Council requirements, and relevant codes and standards.

Monitor sediment and erosion control measures at least once a week and after each rainfall event.
Construct service trenches away from where water is likely to concentrate.

Try not to have service trench open any longer than necessary.

Prevent clean rainwater running across the site by connecting downpipes to the stormwater system as soon as the roof is on the building frame.

Protection of drainage systems

Protect nearby stormwater system including any stormwater pits on and below the site from sediment blockage.
Excavation.

Schedule earthworks in phases throughout the project so that the ground is disturbed for the shortest time possible.

Avoid stripping and excavating until all necessary permits, licenses and approvals have been obtained.
Stabilise areas of exposed soil with vegetation or erosion control blankets and mats.

Diversion drains

Divert up-slope catchment runoff around the site by installing a diversion drain and level spreader.
Material stockpiles.

Designate a location where topsoil and other excavation material will be stockpiled during building and construction. Provide suitable controls to prevent erosion.

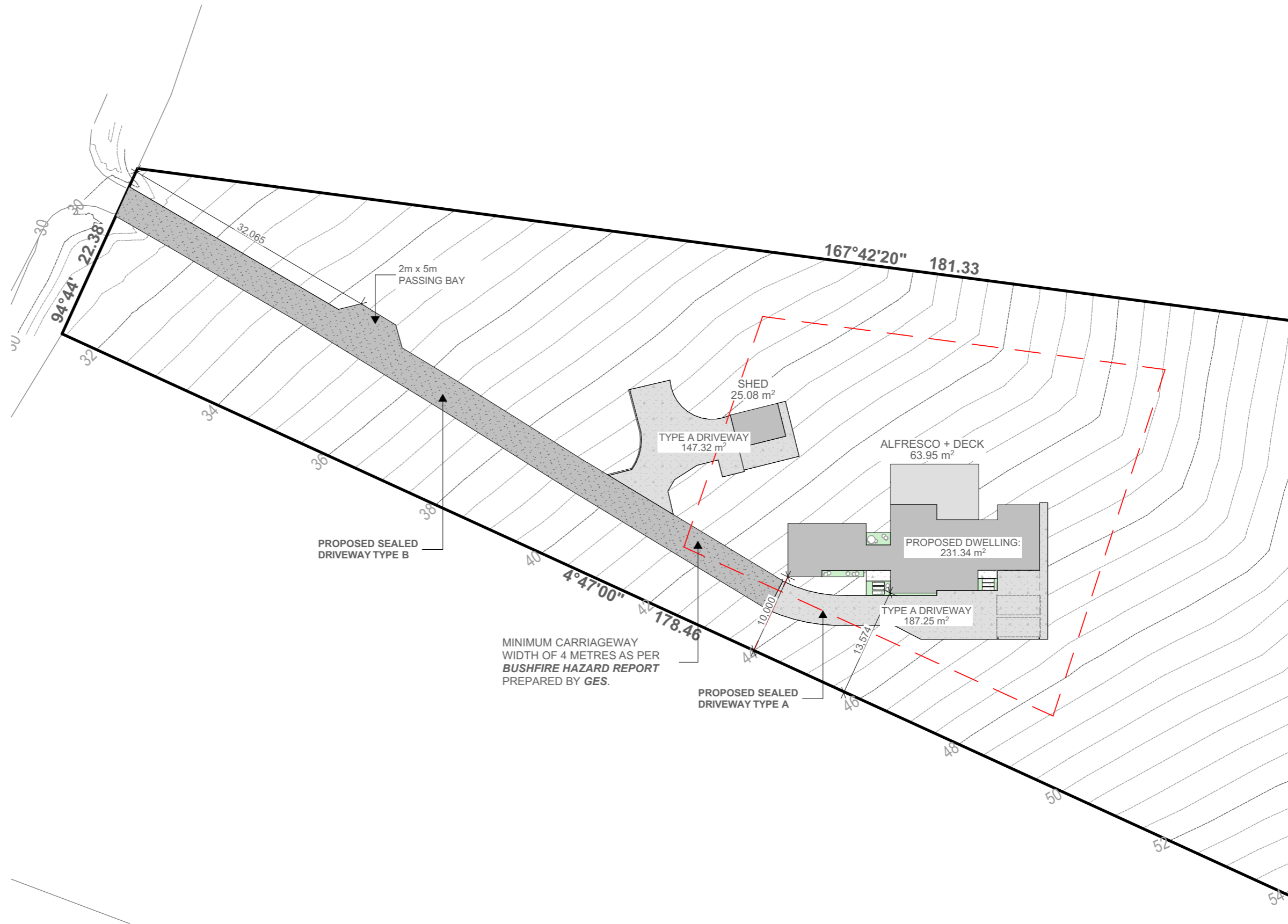
Vegetation

Keep as much vegetation as possible to minimise soil erosion and reduce rainwater running across the site.

Site access

Choose a single, stabilised access point.

Designate an appropriate location within the site where sediment-generating activities can be managed (e.g. wheel wash, brick cutting)



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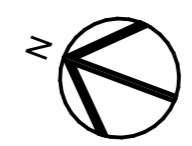


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ADDRESS:
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PROJECT STAGE
DA

DATE
29/02/2024
SCALE
1:500@A3



REV	AMENDMENT	DATES

A.02
SITE PLAN 1:500

SOIL & WASTE MANAGEMENT NOTES

General Notes

Workmanship, materials and design shall comply with the Australian Standards, The National Construction Code, local Council requirements, and relevant codes and standards.

Monitor sediment and erosion control measures at least once a week and after each rainfall event. Construct service trenches away from where water is likely to concentrate.

Try not to have service trench open any longer than necessary.

Prevent clean rainwater running across the site by connecting downpipes to the stormwater system as soon as the roof is on the building frame.

Protection of drainage systems

Protect nearby stormwater system including any stormwater pits on and below the site from sediment blockage. Excavation.

Schedule earthworks in phases throughout the project so that the ground is disturbed for the shortest time possible.

Avoid stripping and excavating until all necessary permits, licenses and approvals have been obtained. Stabilise areas of exposed soil with vegetation or erosion control blankets and mats.

Diversion drains

Divert up-slope catchment runoff around the site by installing a diversion drain and level spreader. Material stockpiles.

Designate a location where topsoil and other excavation material will be stockpiled during building and construction. Provide suitable controls to prevent erosion.

Vegetation

Keep as much vegetation as possible to minimise soil erosion and reduce rainwater running across the site.

Site access

Choose a single, stabilised access point.

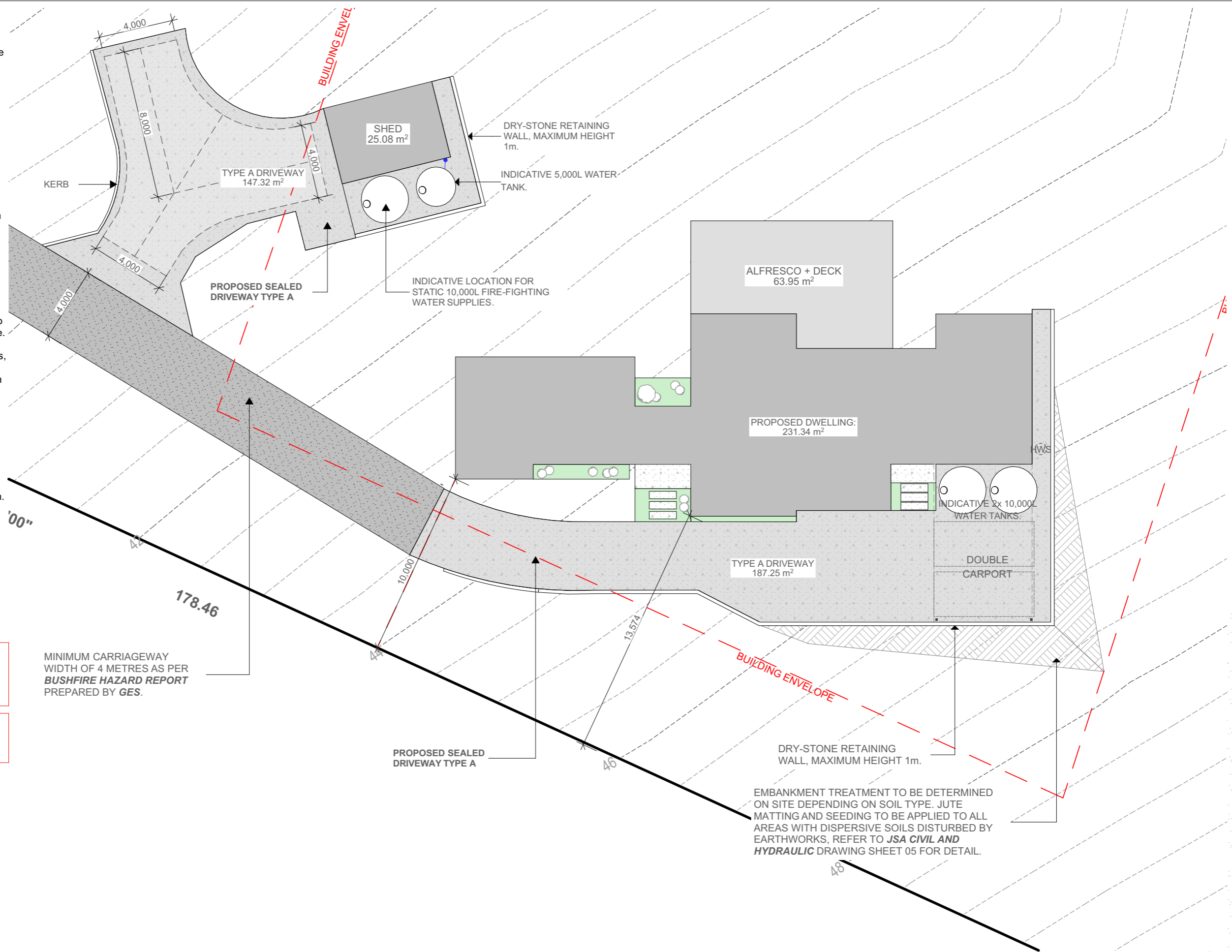
Designate an appropriate location within the site where sediment-generating activities can be managed (e.g. wheel wash, brick cutting)

Stormwater Management Note

Refer to Civil and Hydraulic Drawing and Stormwater Design Proposal prepared by **JSA engineer** for further details.

Civil and Hydraulic Note

Refer to Civil and Hydraulic Drawing prepared by **JSA engineer** for further details.



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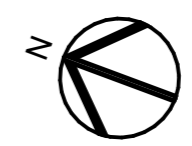


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1:200@A3



REV	AMENDMENT	DATES

A.03
SITE PLAN 1:200

LEGEND



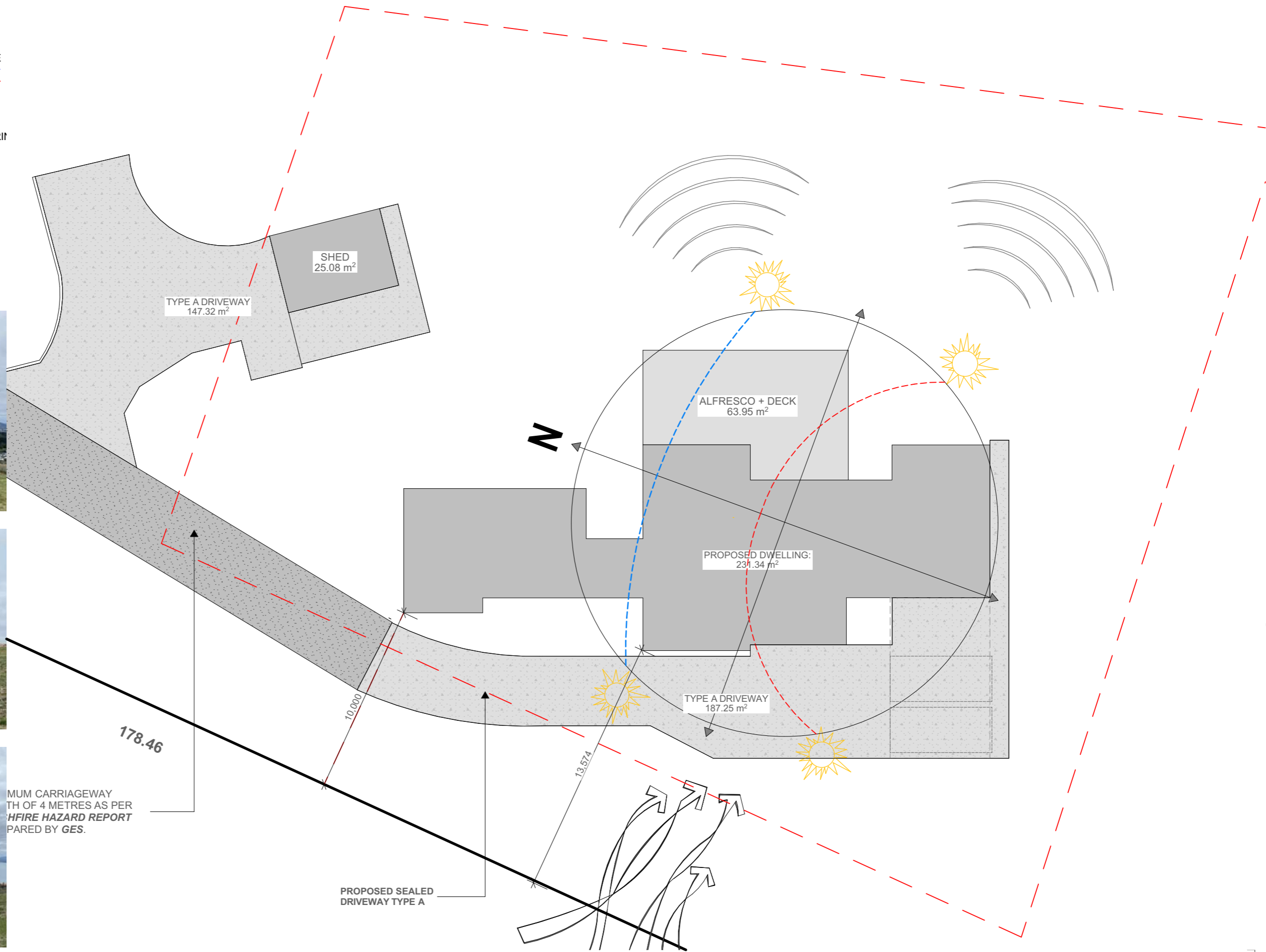
SUN
 SUMMER & WINTER SOLSTICE
 WINTER JUNE 22 - - - - -
 SUMMER DEC 22 - - - - -



VIEWS
 VIEWS TO ENCAPSULATE DURIN
 DESIGN PROCESS



WINDS
 PREDOMINANT BREEZES
 CROSS VENTILATION
 SCREENS TO AVOID



MUM CARRIAGEWAY
 TH OF 4 METRES AS PER
 FIRE HAZARD REPORT
 PARED BY GES.



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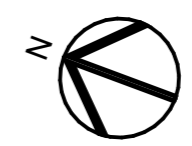


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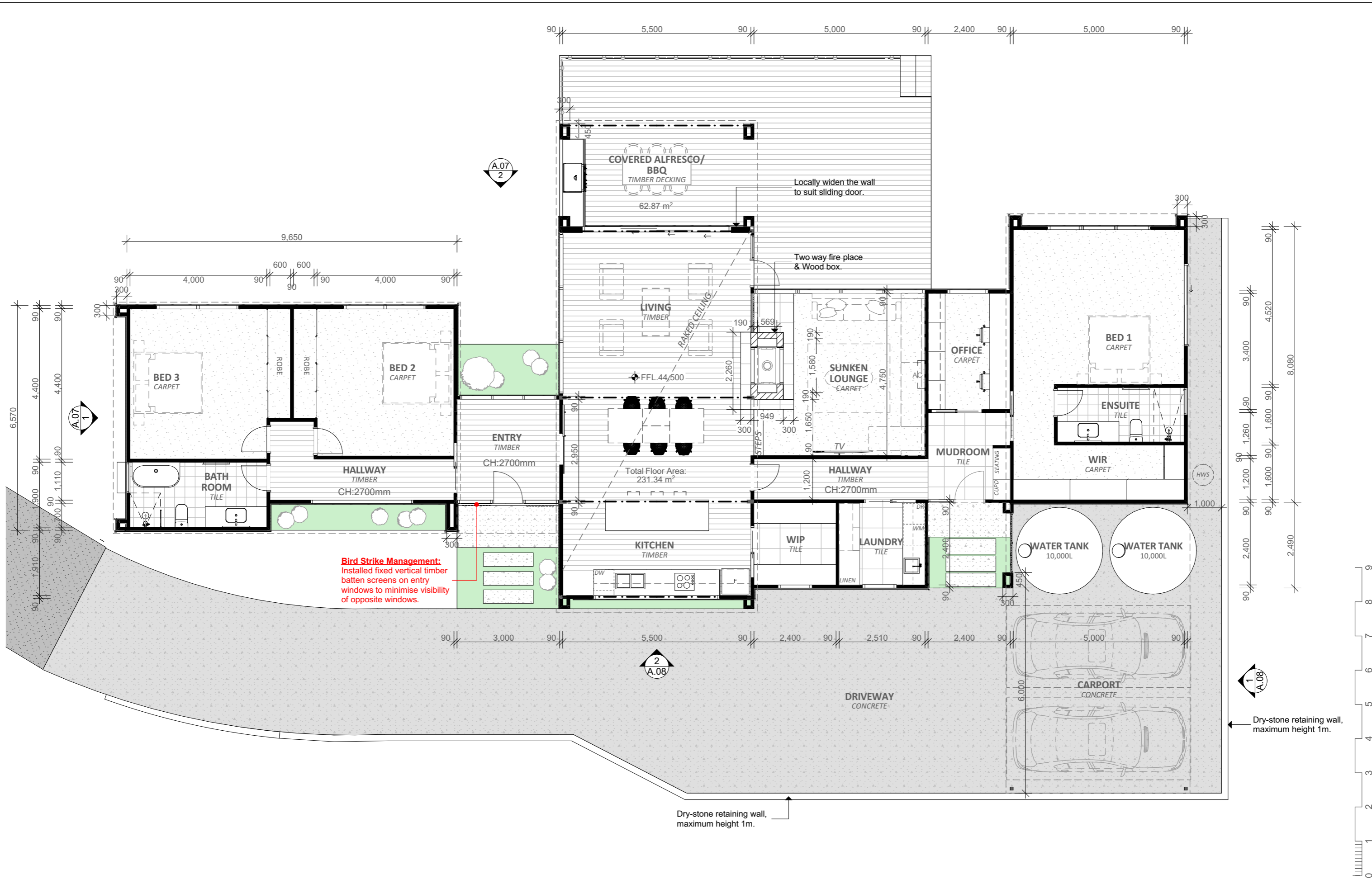
PROPOSAL
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1:200@A3



REV	AMENDMENT	DATES

A.04
 SITE ANALYSIS



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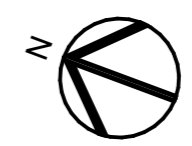


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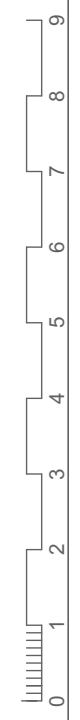
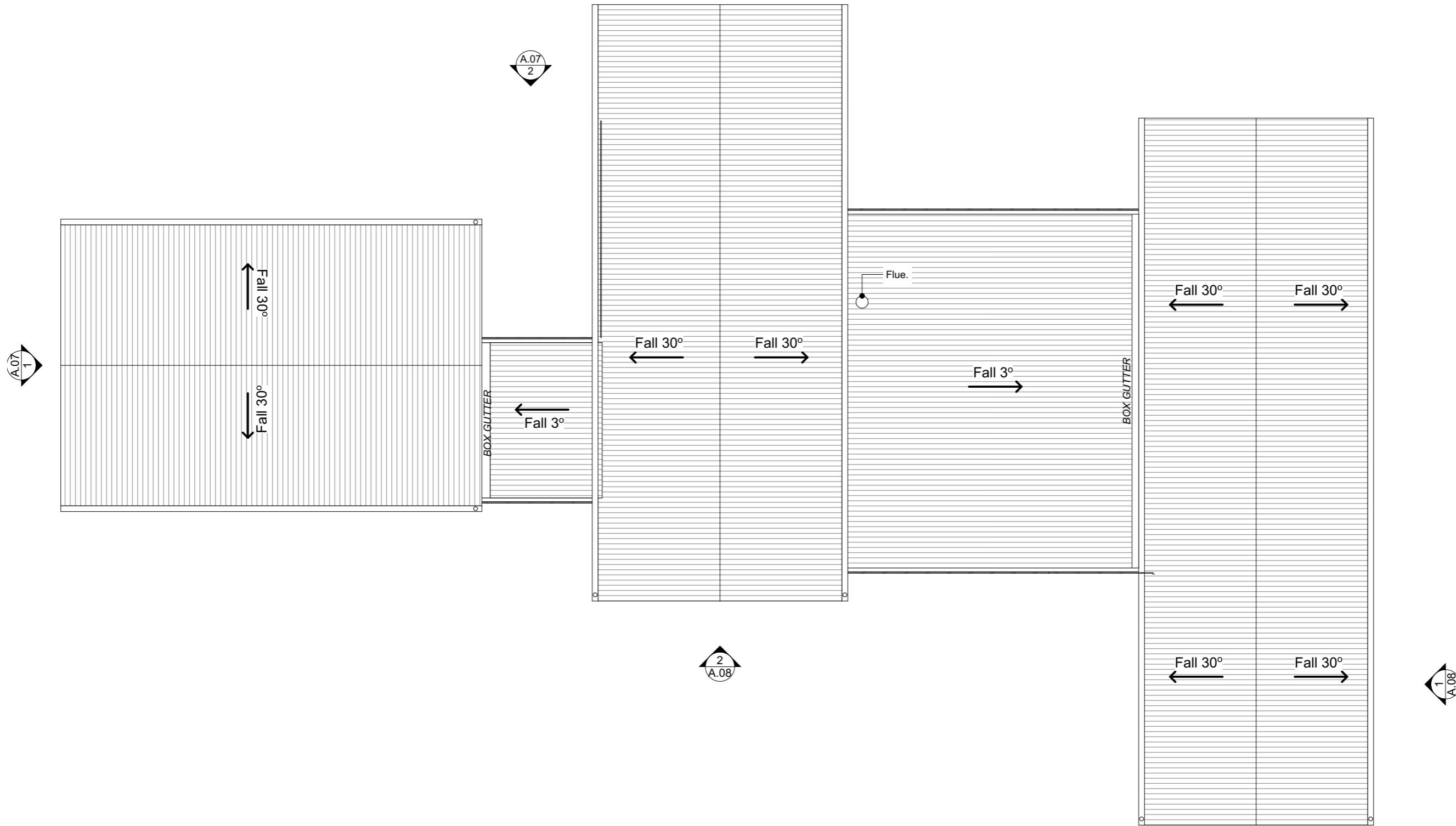
PROPOSAL
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REV	AMENDMENT	DATES

A.05
 GROUND FLOOR PLAN -
 PROPOSED



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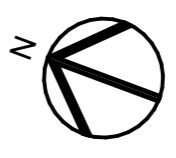


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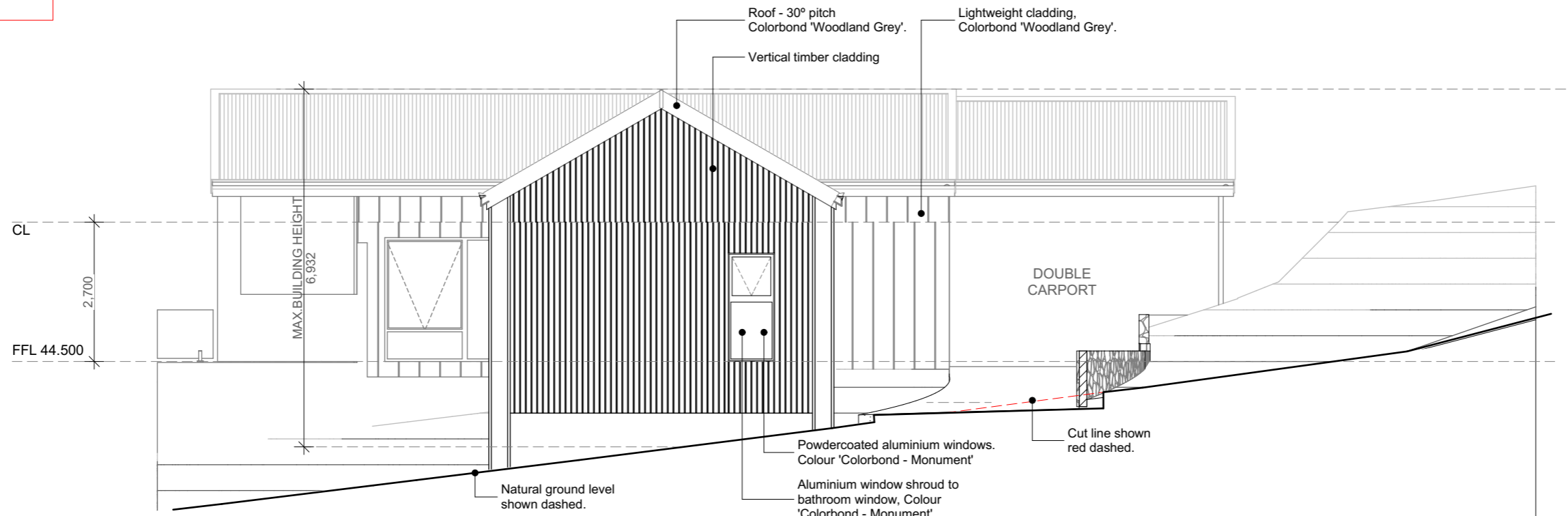


REV	AMENDMENT	DATES

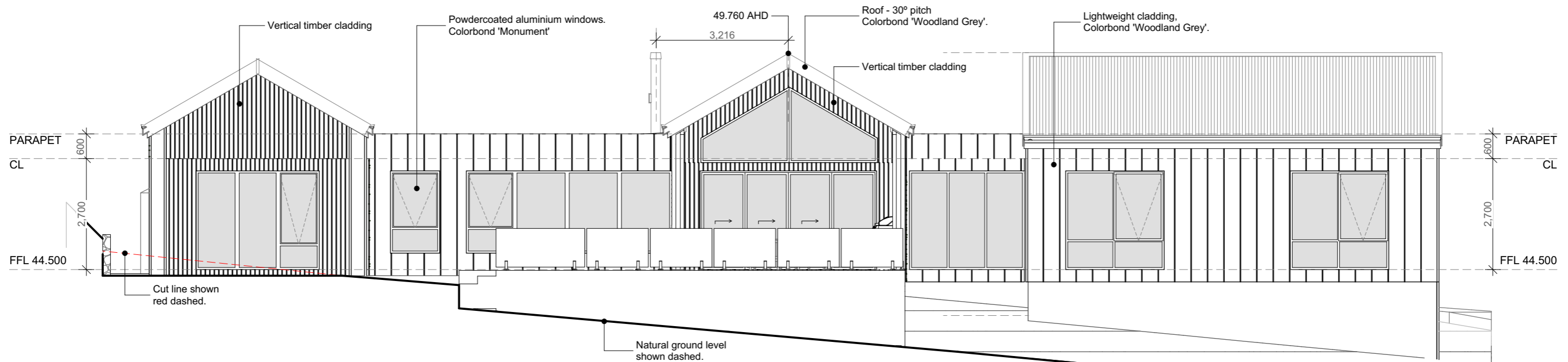
A.06
 ROOF PLAN-PROPOSED

BIRD STRIKE MANAGEMNET:

LOW REFLECTIVE GLASS TO ALL
EXTERNAL GLAZED WINDOWS AND
SLIDING DOORS.



1 North Elevation



2 East Elevation



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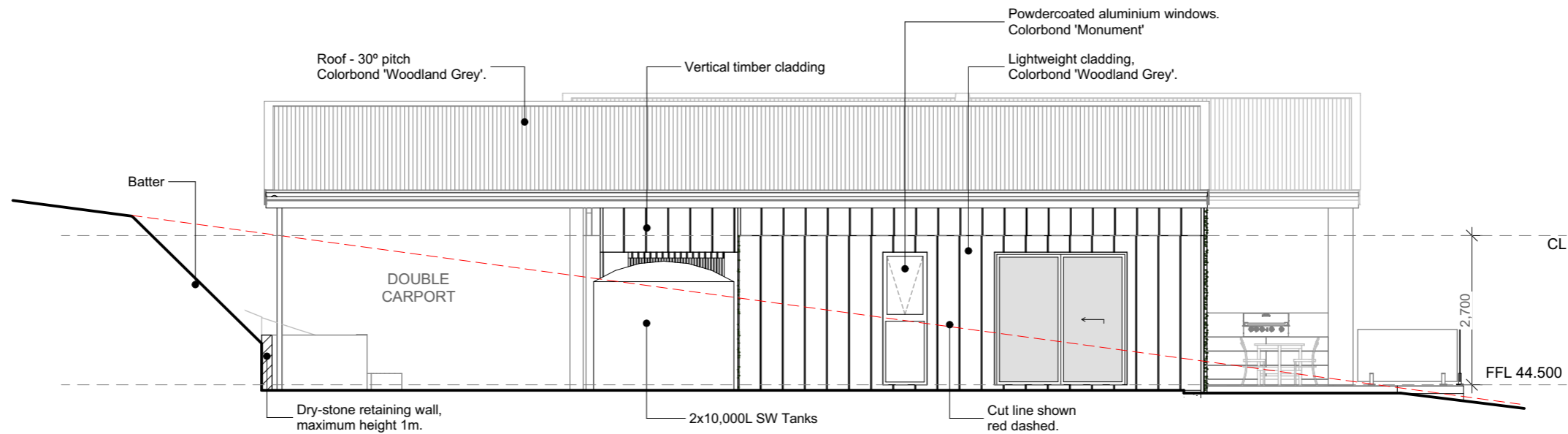
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REV | AMENDMENT | DATES

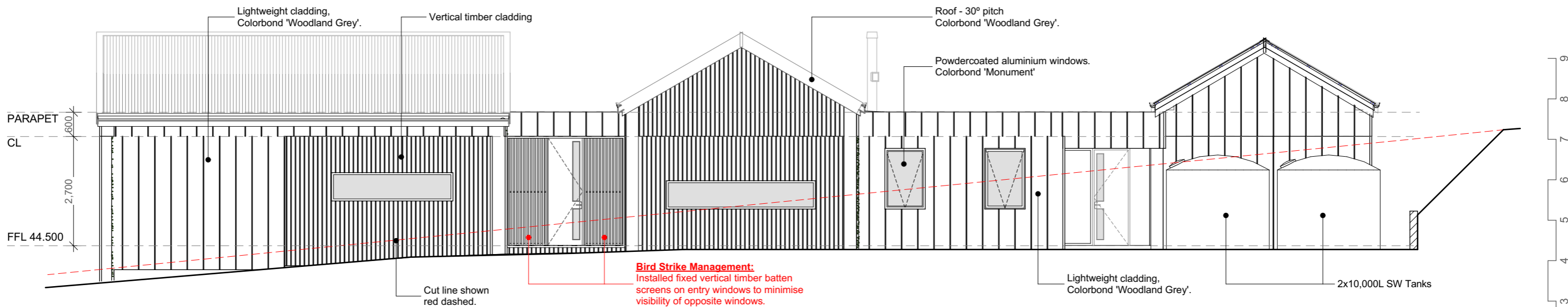
A.07
ELEVATIONS

BIRD STRIKE MANAGEMNET:

LOW REFLECTIVE GLASS TO ALL EXTERNAL GLAZED WINDOWS AND SLIDING DOORS.



1 South Elevation



2 West Elevation

Bird Strike Management:
Installed fixed vertical timber batten screens on entry windows to minimise visibility of opposite windows.



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REV	AMENDMENT	DATES

A.08
ELEVATIONS



Artist Impression Only



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 SCALE

REV	AMENDMENT	DATES

A.10
 3D VISUALISATION



Artist Impression Only



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PROPOSAL
NEW DWELLING + SHED
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DATE
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 SCALE

REV	AMENDMENT	DATES

A.11
 3D VISUALISATION



Artist Impression Only



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PROPOSAL
NEW DWELLING + SHED
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DATE
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 SCALE

REV	AMENDMENT	DATES

A.12
 3D VISUALISATION



Artist Impression Only



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REV	AMENDMENT	DATES

A.13
 3D VISUALISATION

COUNCIL Planning RFI:

The Acceptable Solution A1 at Clause CLA-S3.7.2 of the Single Hill Specific Area Plan requires that building height must not be more than 6m. The elevations provided in the submission show a proposed building height of 7.575m for some parts of the dwelling. The proposal therefore does not comply with the Acceptable Solution and must be assessed against Performance Criterion P1 of the same Clause, which states that building height of up to 9m may be considered if it can be demonstrated that:

- (a) any part of a building in excess of 6m in height represents less than 20% of that building's site cover;
- (b) site conditions, such as slope, soils or the presence of vegetation to be retained make it unreasonable to comply with the acceptable solution; and
- (c) the combination of building siting, design, external materials and colours and landscaping will effectively minimise visual impact.

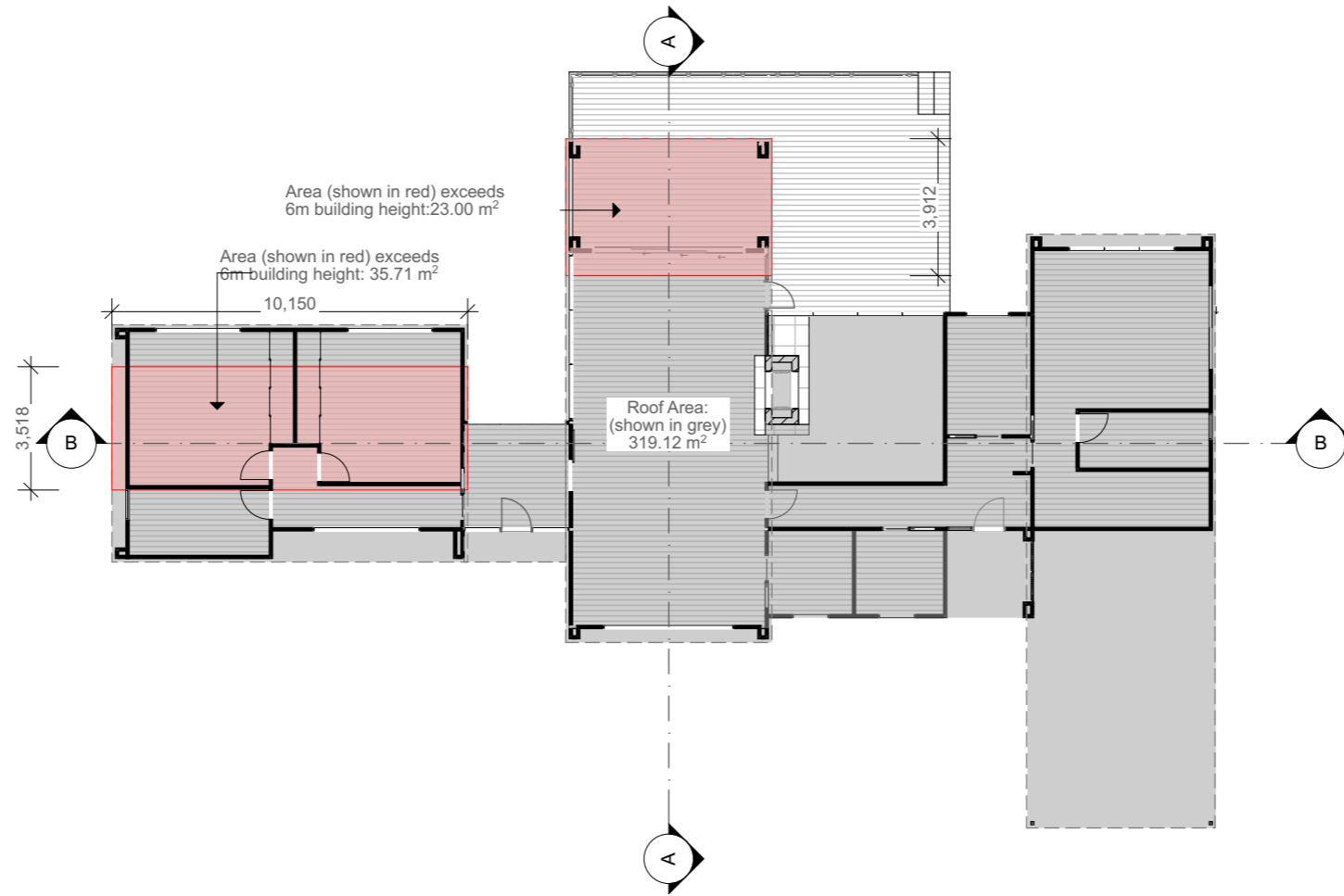
In order to assess your proposal against this criterion, we require:

- (a) an amended set of elevations annotated to indicate reduced levels (RLs) for the pad, the finished floor level, and the ridge levels; and
- (b) at minimum two sectional elevations cut (approximately) along the lines a-a and b-b indicated in the diagram below. In particular, this will assist us in determining the proposal against CLA-S3.7.2 P1(a).

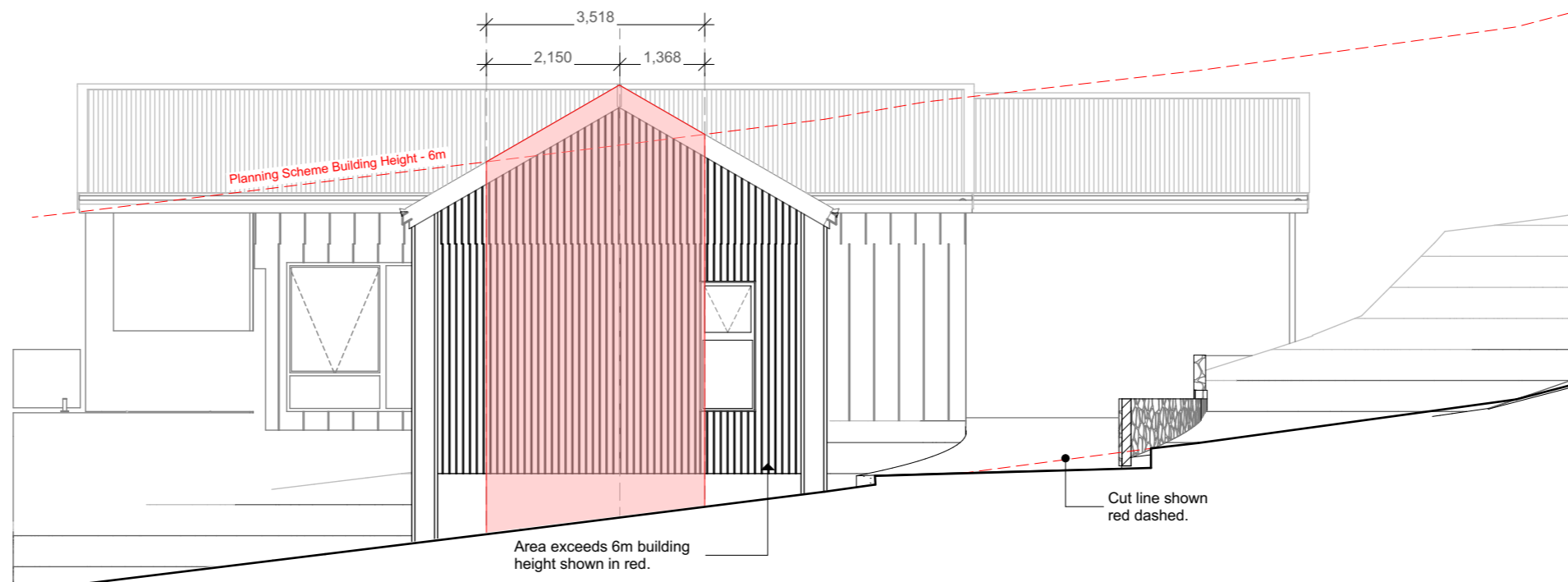
Response:

The Floor Plan and North Elevation on Sheet A.14 and Section A & B on Sheet A.15 demonstrated any part of the proposed dwelling exceeding 6m building height constitutes 18.40% of the total dwelling's site cover/roof area.

Proposed dwelling's site cover/ roof area: 319.12m²
 Areas exceed 6m building height: 58.71m²



1
RFI - Floor Plan
1:200 @ A3



2
North Elevation - RFI
1:100 @ A3



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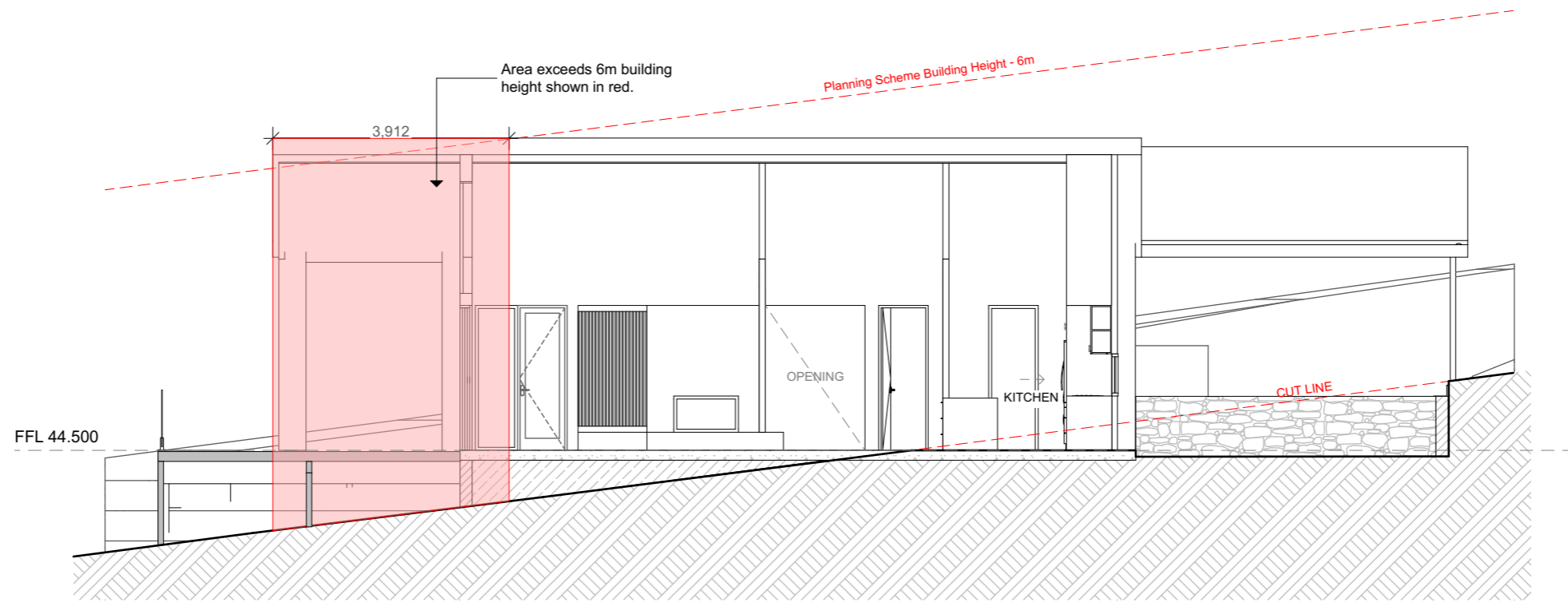
PROPOSAL
NEW DWELLING + SHED
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DA

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AS SHOWN

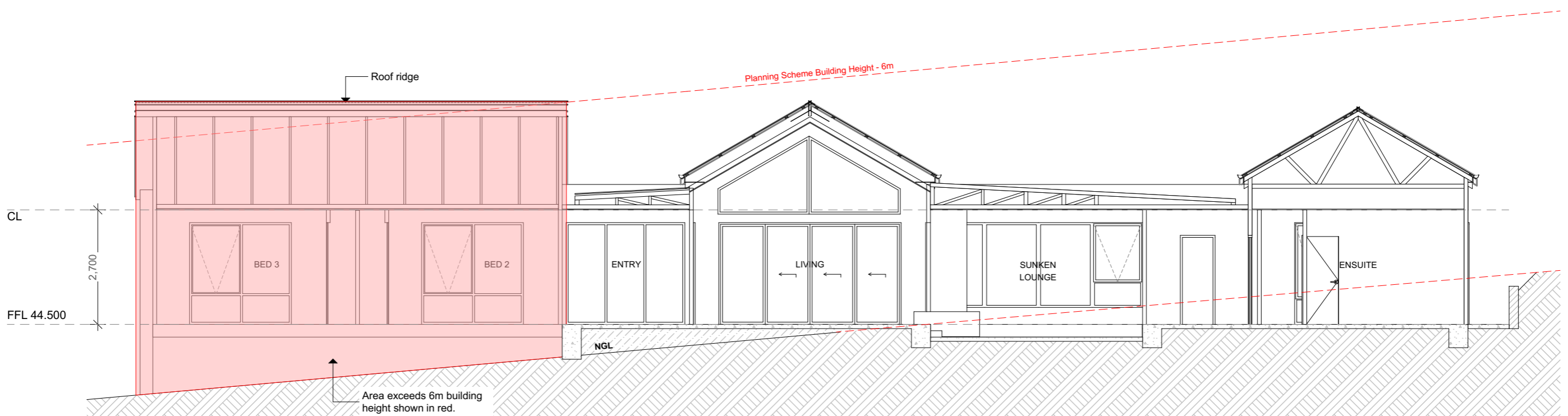


REV	AMENDMENT	DATES

A.14
 RFI RESPONSE



1
-
Section A - RFI



2
-
Section B - RFI



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REV	AMENDMENT	DATES

A.15
RFI RESPONSE



COUNCIL Planning RFI:

CLA-S3.0 Single Hill Specific Area Plan
 CLA-S3.7.1 Vegetation Protection and Visual Impact (A1)
 The Specific Area Plan for Single Hill, under Clause CLA-S3.7.1 A1, requires that any roofed building is located within a building envelope shown in Figure CLA-S3.2 – Building Envelopes.

Although we note that there is a discrepancy between Figure CLA-S3.2 and the acceptable area shown on the Title Plan for Lot 53, the Scheme requires that the proposal is assessed against Performance Criteria P1, which requires that: All roofed buildings and their associated access:
 (a) is confined to the lower slopes below the skyline;
 (b) is located in a visually unobtrusive area and supported by a visual impact analysis including appropriate photomontages as viewed from significant public view points; and
 (c) any associated bushfire management does not require the clearing of standing vegetation.

Visual Impact Analysis:

The proposed development at 14 Saltwater Rise, Seven Mile Beach, comprises a single storey 3-bedroom house and a 6m x 4.1m garden shed. The lot is 1.017ha in size and has gentle to moderate slopes with a northerly aspect. The proposed main dwelling and shed are situated within the building envelope as described on the land title with a maximum building height is 50.077m AHD which is below the Single Hill ridgeline of approx. 200m AHD.

80% of the proposed main dwelling has less than 6m building height as per Clause - S3.7.2 P1.

The existing landscape surrounding the lot is characterised by grassland vegetation, with some sparse native woodland remnants occurring some distance from the site to the east and south. No existing native vegetation to be removed from the building envelope area to support bushfire hazard management.

Both proposed buildings would use a combination of dark grey colour cladding and timber feature cladding boards. The selection of the neutral, mid-toned colour scheme aims to minimise contrast with the existing landscape colours, ensuring minimal visual disruption.

The proposed dwelling and shed has a similar size, scale and visual bulk to the existing single storey neighbouring buildings on Single Hill, when viewed from the intersection of Seven Mile Beach Road and Estate Road.

Please see photograph above shown the view from a significant public view point, the intersection of Seven Mile Beach Road and Estate Drive. The photomontage shown visual impact of the proposed dwelling and shed.



View point from Seven Mile Beach Rd and Estate Drive Intersection.



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REV | AMENDMENT | DATES

A.16
 RFI RESPONSE



Red dashed line denotes the obscured proposed dwelling & shed.

COUNCIL Planning RFI:

CLA-S3.0 Single Hill Specific Area Plan

CLA-S3.7.1 Vegetation Protection and Visual Impact (A1)

The Specific Area Plan for Single Hill, under Clause CLA-S3.7.1 A1, requires that any roofed building is located within a building envelope shown in Figure CLA-S3.2 – Building Envelopes.

Although we note that there is a discrepancy between Figure CLA-S3.2 and the acceptable area shown on the Title Plan for Lot 53, the Scheme requires that the proposal is assessed against Performance Criteria P1, which requires that: All roofed buildings and their associated access: (a) is confined to the lower slopes below the skyline; (b) is located in a visually unobtrusive area and supported by a visual impact analysis including appropriate photomontages as viewed from significant public view points; and (c) any associated bushfire management does not require the clearing of standing vegetation.

Visual Impact Analysis:

The proposed development at 14 Saltwater Rise, Seven Mile Beach, comprises a single storey 3-bedroom house and a 6m x 4.1m garden shed. The lot is 1.017ha in size and has gentle to moderate slopes with a northerly aspect. The proposed main dwelling and shed are situated within the building envelope as described on the land title with a maximum building height is 50.077m AHD which is below the Single Hill ridgeline of approx. 200m AHD.

80% of the proposed main dwelling has less than 6m building height as per Clause - S3.7.2 P1.

The existing landscape surrounding the lot is characterised by grassland vegetation, with some sparse native woodland remnants occurring some distance from the site to the east and south. No existing native vegetation to be removed from the building envelope area to support bushfire hazard management.

The proposed dwelling and shed are completely obscured by the existing planting (mature trees) in the landscape when viewed from the entrance to Seven Mile Beach through Lewis Park.

Please see photograph above shown the view from a significant public view point, Lewis Park access to Seven Mile Beach. The photomontage shown visual impact of the proposed dwelling and shed.



View point from Seven Mile Beach.



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REV	AMENDMENT	DATES

A.17
RFI RESPONSE