



DEVELOPMENT APPLICATION

PDPLANPMTD-2024/041602

PROPOSAL: Additions & Alterations (Single Dwelling)

LOCATION: 133 Bayview Road, Lauderdale

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 12 March 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 12 March 2024. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 12 March 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our **Privacy Policy**, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

Location:
Address.....

Suburb/Town Postcode

Current Owners/s:
Applicant:

Personal Information Removed

Tax Invoice for application fees to be in the name of: (if different from applicant)

Estimated cost of development

Is the property on the Tasmanian Heritage Register? Yes No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Current Use of Site:

Residential

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

Declaration:

- *I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.*
- *I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application*
- *I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.*
- *I declare that the information in this declaration is true and correct.*

Acknowledgement:

- *I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.*

Applicant's Signature:

Signature..... 	Date.....10.01.2024
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PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

Documentation required:

1. **MANDATORY DOCUMENTATION**

This information is required for the application to be valid. An application lodged without these items is unable to proceed.

- Details of the location of the proposed use or development.
- A copy of the current Certificate of Title, Sealed Plan, Plan or Diagram and Schedule of Easements and other restrictions for each parcel of land on which the use or development is proposed.
- Full description of the proposed use or development.
- Description of the proposed operation.
May include where appropriate: staff/student/customer numbers; operating hours; truck movements; and loading/unloading requirements; waste generation and disposal; equipment used; pollution, including noise, fumes, smoke or vibration and mitigation/management measures.
- Declaration the owner has been notified if the applicant is not the owner.
- Crown or Council consent (if publically-owned land).
- Any reports, plans or other information required by the relevant zone or code.
- Fees prescribed by the Council.

Application fees (please phone 03 6217 9550 to determine what fees apply). An invoice will be emailed upon lodgement.

2. **ADDITIONAL DOCUMENTATION**

In addition to the mandatory information required above, Council may, to enable it to consider an application, request further information it considers necessary to ensure that the proposed use or development will comply with any relevant standards and purpose statements in the zone, codes or specific area plan, applicable to the use or development.

- Site analysis plan and site plan**, including where relevant:
 - *Existing and proposed use(s) on site.*
 - *Boundaries and dimensions of the site.*
 - *Topography, including contours showing AHD levels and major site features.*
 - *Natural drainage lines, watercourses and wetlands on or adjacent to the site.*
 - *Soil type.*
 - *Vegetation types and distribution, and trees and vegetation to be removed.*
 - *Location and capacity of any existing services or easements on/to the site.*
 - *Existing pedestrian and vehicle access to the site.*
 - *Location of existing and proposed buildings on the site.*
 - *Location of existing adjoining properties, adjacent buildings and their uses.*
 - *Any natural hazards that may affect use or development on the site.*
 - *Proposed roads, driveways, car parking areas and footpaths within the site.*
 - *Any proposed open space, communal space, or facilities on the site.*
 - *Main utility service connection points and easements.*
 - *Proposed subdivision lot boundaries.*

- Where it is proposed to erect buildings, **detailed plans** with dimensions at a scale of 1:100 or 1:200 showing:
 - *Internal layout of each building on the site.*
 - *Private open space for each dwelling.*
 - *External storage spaces.*
 - *Car parking space location and layout.*
 - *Major elevations of every building to be erected.*
 - *Shadow diagrams of the proposed buildings and adjacent structures demonstrating the extent of shading of adjacent private open spaces and external windows of buildings on adjacent sites.*
 - *Relationship of the elevations to natural ground level, showing any proposed cut or fill.*
 - *Materials and colours to be used on rooves and external walls.*
- Where it is proposed to erect buildings, a plan of the proposed **landscaping** showing:
 - *Planting concepts.*
 - *Paving materials and drainage treatments and lighting for vehicle areas and footpaths.*
 - *Plantings proposed for screening from adjacent sites or public places.*
- Any additional reports, plans or other information required by the relevant zone or code.

This list is not comprehensive for all possible situations. If you require further information about what may be required as part of your application documentation, please contact Council's Planning Officers on (03) 6217 9550 who will be pleased to assist.



DEPARTMENT of PRIMARY INDUSTRIES,
WATER and ENVIRONMENT

Land Information Services



RESULT OF SEARCH
RECORDER OF TITLES, TASMANIA
 Issued pursuant to the Land Titles Act 1980

SEARCH OF TORRENS TITLE

VOLUME 17614	FOLIO 92
EDITION 3	DATE OF ISSUE 14-Feb-2001

SEARCH DATE : 20-May-2003
 SEARCH TIME : 02.02 pm

DESCRIPTION OF LAND

City of CLARENCE
 Lot 92 on Plan 17614
 Being the land described in Conveyance No. 67/1990
 Derivation : Part of 225 Acres Gtd. to D. Stanfield
 Prior CT 4778/40

SCHEDULE 1

PHILLIP SYDNEY MORLEY and RUTH ALISON MORLEY

SCHEDULE 2

Reservations and conditions in the Crown Grant, if any
 C277248 MORTGAGE to Australia and New Zealand Banking Group
 Limited - Registered 14-Feb-2001 at 12:01 pm (MF:2611/1225)

UNREGISTERED DEALINGS AND NOTATIONS

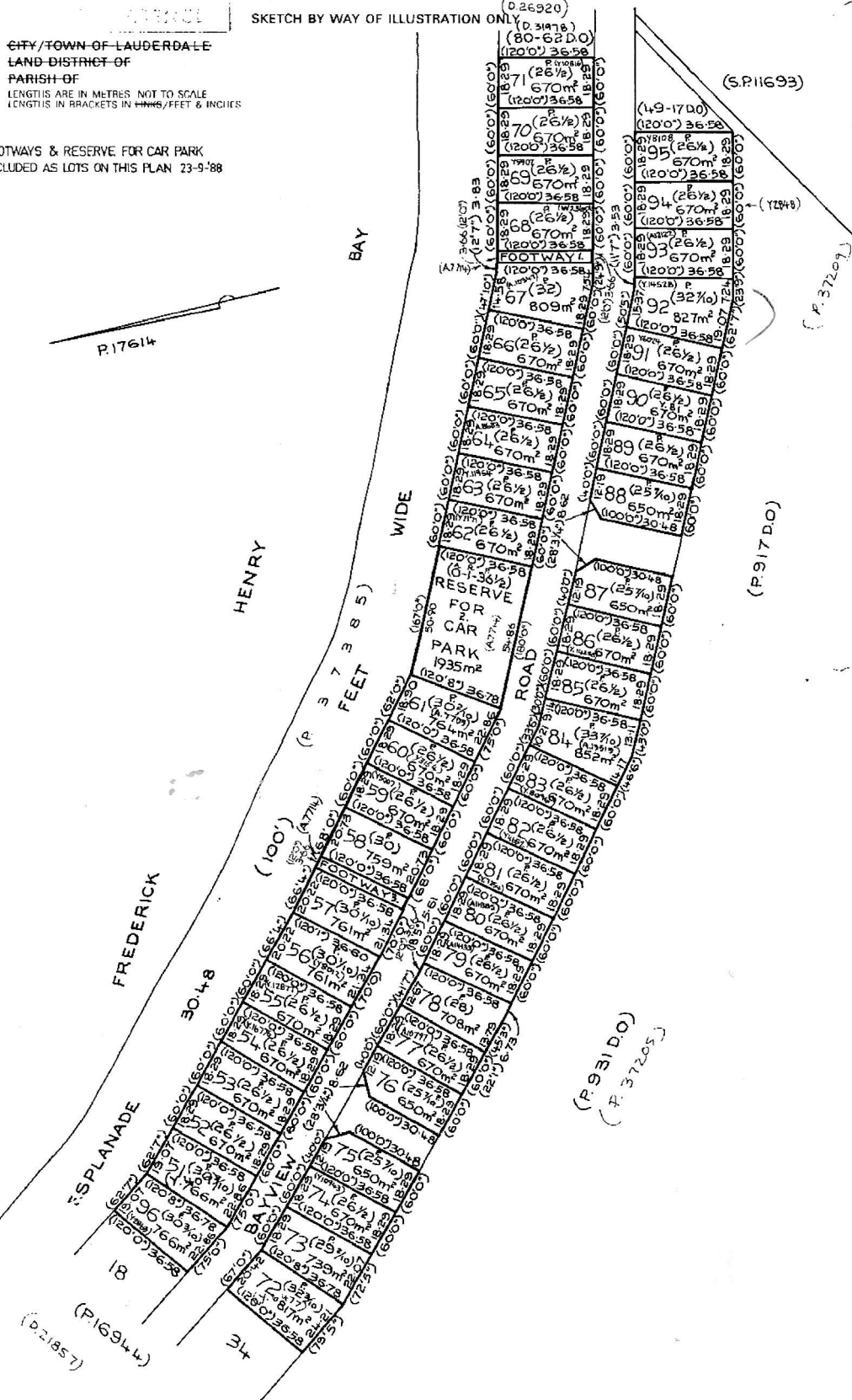
No unregistered dealings or other notations

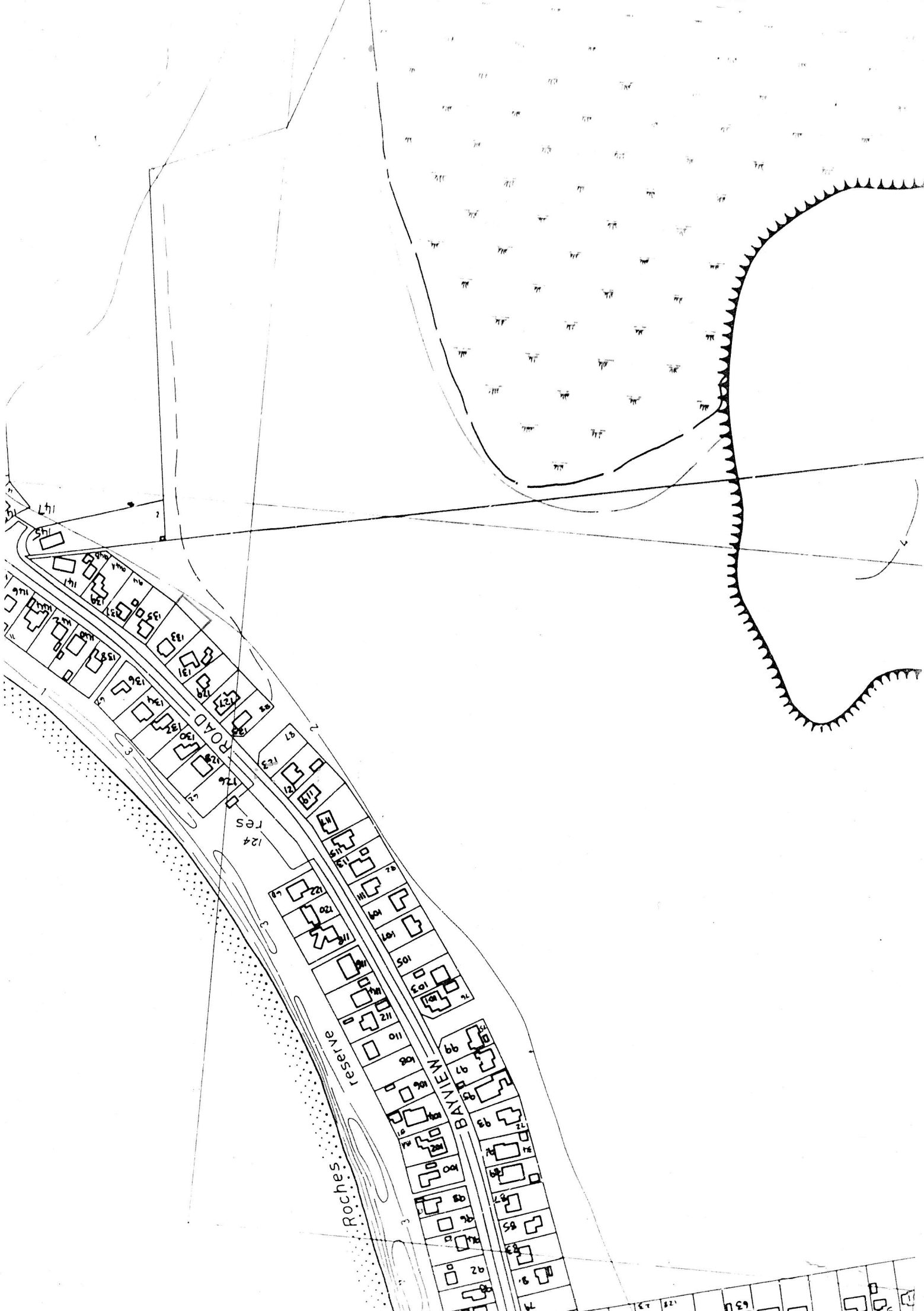
END OF SEARCH.

Warning: The information appearing under Unregistered Dealings and Notations has not been formally recorded in the Register.

Putting it all together.

APPROVED FROM <i>J. Woods</i> RECORDER OF TITLES	CONVERSION PLAN	REGISTERED NUMBER P.17614
FILE NUMBER Y. 81	GRANTEE PART OF 225.0.0 D. STANFIELD. (P. 634 D. D.)	B. HILL. 5-2-82





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Roches...

BAVINE

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Roches...

BAVINE

GENERAL INFORMATION

Land Title Referene - 26218/1
Building Class - 1a
Property Zone - General Residential
Wind Classification - TBC
Soil Classification (AS 2870) - TBC
Climate Zone (NCC 3.12) - Zone 7
Alpine Area (900m above AHD) - NA
BAL Rating (AS3959) - NA
Heritage Building - NO
Flood Prone Area - NO
Coastal Ingress Area - NO
Coastal Erosion Area - NO
Corrosion Environment -

OTHER CONSULTANTS

Structural Engineer - TBC
Geological Report (Soil) - TBC
Energy Assessment - TBC
Waste Water Report - NA
Bushfire Assessment - NA
Civil Engineer - TBC
Mechanical Engineer - NA
Electrical Engineer - NA
Site Survey - TBC
Hydrologist Report - NA
Contaminated Site Survey - NA

AREA SCHEDULE (All measurements in m2)

Site Plan - 827m2
Proposed (Ground Floor) - 126.23m2
Existing (First Floor) - 39.13m2
Alfresco Area - NA
Verandah Area - NA
Granny Flat - NA
Detached Office / Study - NA
Porch - NA
New Covered Deck - 48.21m2
Balcony (existing) - 6.19m2
Existing Garage - 38.36m2
Residential Shed - 28.80m2

Proposed Renovations & Additions

133 Bayview Road
Lauderdale Tasmania 7021

Drawing Schedule:

Table with 2 columns: Sheet number, Sheet name. Rows include: 01 TITLE PAGE, 02 SITE PLAN, 03 SITE SERVICES/ DRAINAGE PLAN, 04 EXISTING GROUND FLOOR PLAN, 05 GROUND FLOOR DEMOLITION PLAN, 06 PROPOSED GROUND FLOOR PLAN, 07 EXISTING FIRST FLOOR PLAN, 08 EXISTING ROOF PLAN, 09 PROPOSED ROOF PLAN, 10 EXISTING ELEVATIONS 1,2,3,4, 11 PROPOSED ELEVATIONS 1,2, 11 PROPOSED ELEVATIONS 3,4, 13 PROPOSED SUN SHADOW DIAGRAMS.



ISLAND LIFE DESIGNERS
BUILDING SERVICES PROVIDER
LICENCE No. 456943870
CONTACT: nick@islandlifedesigners.com

General Notes

The Builder shall check all dimensions and levels on site prior to construction.
Notify any errors, discrepancies or omissions to the building designer.
Drawings shall not be used for construction purposes until issued for construction.
Do not scale drawings.
All boundaries and contours subject to survey

Table with 2 columns: notes, revision. Rows include: Preliminary Issue A, Adjusted layout B, Adjusted layout C.

Table with 2 columns: stage, description. Rows include: preliminary design, design development, contract documentation, DA, BA, construction drawings.

PROJECT NAME: Renovations & Additions
CLIENT: Mr. & Mrs. Morley

SITE: No. 133 Bayview Road
Lauderdale TAS 7021
DRAWING TITLE: TITLE

REVISION NO. C
DRAWING NO.01
SCALE: As noted on A3 paper size

DRAWN BY: M.A.
CHECKED BY: Nicholas Young
PROJECT NO. 23-016
Plot Date: 10/01/2024

No. 133 Bayview Road
Lauderdale Tasmania 7021

SITE AREA: 827m²







Existing Site cover dwelling 176.21m² + outbuildings 83.39m² (approx.) =
259.60m²

Total Site Coverage: 259.60m² - 31.39%

Proposed Site cover dwelling 219.00m² + outbuildings 83.39m² (approx.) = 302.39m²

Total Site Coverage: 302.39m² = 36.56%

LEGEND & NOTES

-  EXISTING CONCRETE DRIVEWAY
-  PRIVATE OPEN SPACE - P.O.S.
-  EXISTING TURF
-  SEWER LINE
-  100mm DIA STORMWATER LINE
-  WATER LINE

Existing levels: To be confirmed before commencement of works
New levels: To be calculated as per existing dwelling levels

Note: Site levels supplied by Building Contractor

Soil & Water Management Strategies

Downpipes to be connected as soon as the roof is installed.

Install AG drain prior to footing excavation. See drawing

Excavated material placed up-slope of AG drain. To be removed when building works are complete and used as removed when building works are complete and used as fill on site for any low points. Install a sediment fence on the downslope side of material.

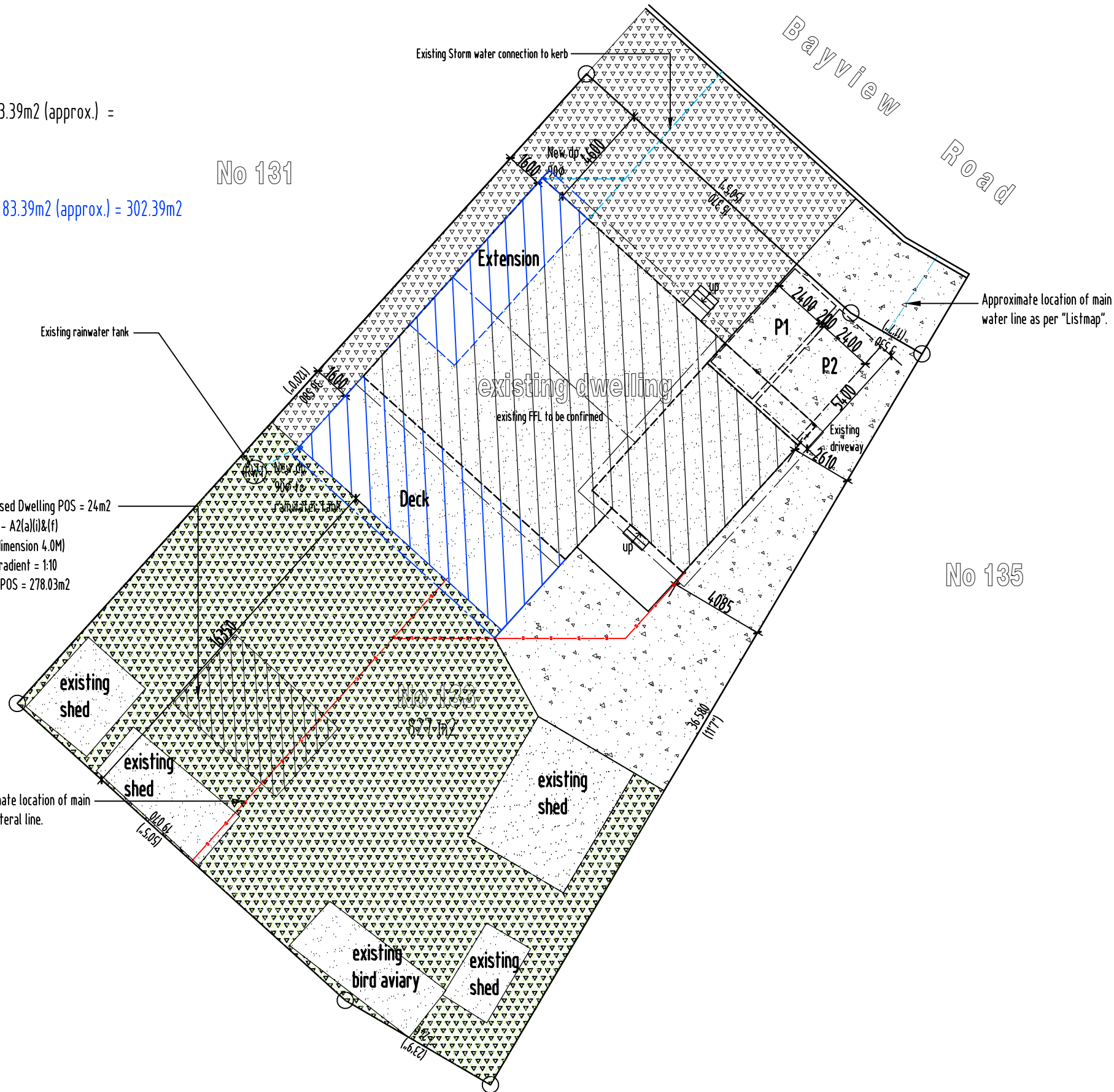
Construction vehicles to be parked on the street or the driveway once concreted, to prevent transferring debris onto Example Street.



Protection Work

(Section 121 of the Building Act)

If excavation is to a level below that of the adjoining owner's footings, along the title boundary or within 3 metres of a building belonging to an adjoining owner, the builder must (as a minimum) provide and maintain a guard to supervise the excavation. Adjoining owner to be notified using Form 6 (Building and Protection Work Notice) by the Building Surveyor.

 Site Plan - Ground Floor
Scale 1:200 @A3



- EXISTING 
- PROPOSED 



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notes	revision	status
Preliminary Issue	A	preliminary design
Adjusted layout	B	design development
Adjusted layout	C	contract documentation
Dimension & outbuildings	D	DA
		BA
		construction drawings

PROJECT NAME:
Renovations & Additions

CLIENT:
Mr. & Mrs. Morley

SITE:
No. 133 Bayview Road
Lauderdale TAS 7021

DRAWING TITLE:
SITE PLAN

REVISION NO. D

DRAWING NO.02

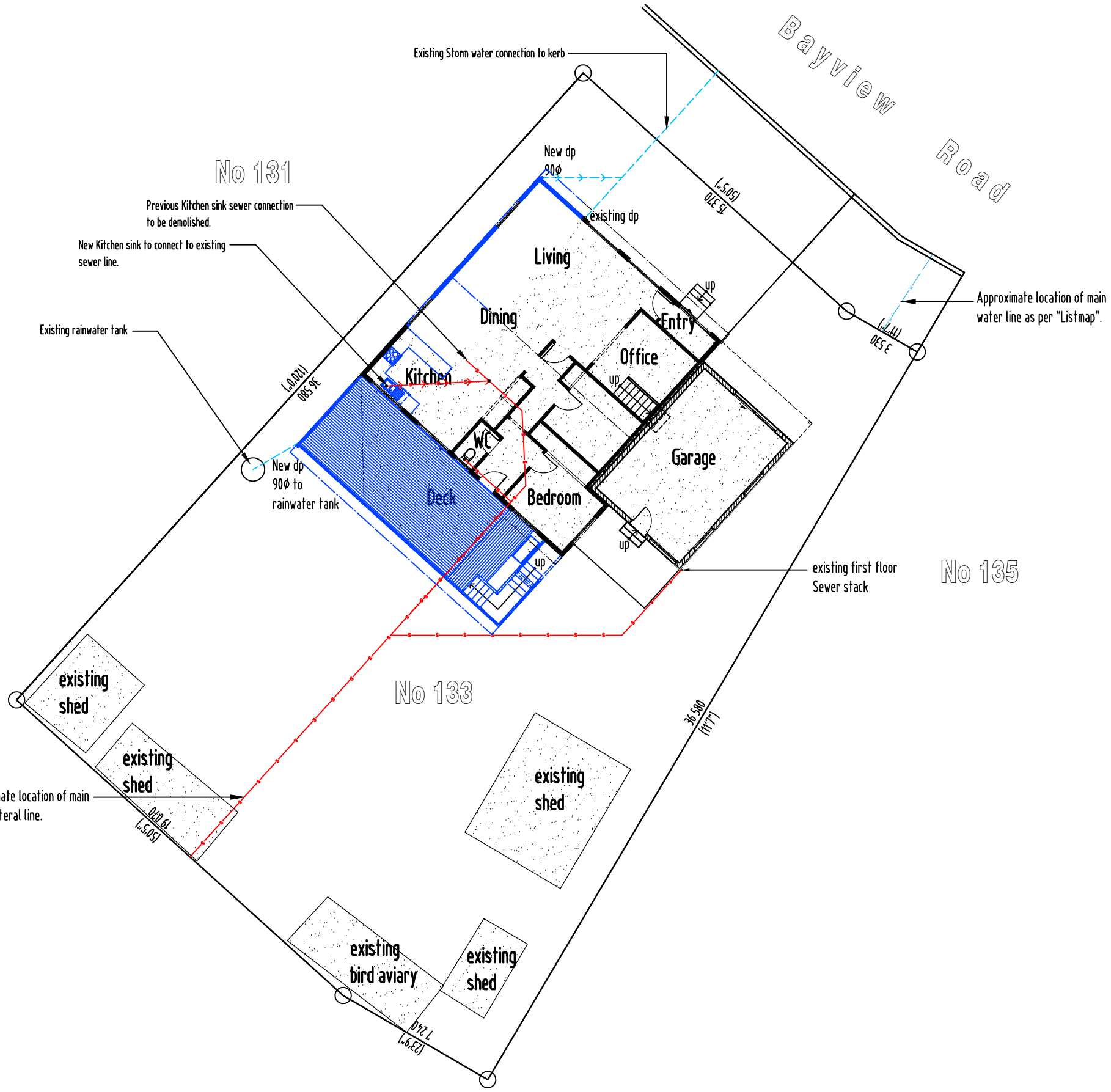
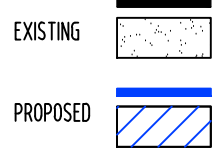
SCALE: As noted on A3 paper size

DRAWN BY: M.A.

CHECKED BY: Nicholas Young

PROJECT NO. 23-016

Plot Date: 07/02/2024



LEGEND & NOTES

SEWER
 SUB SOIL DRAINAGE
 STORMWATER DRAINAGE
 COLD WATER

Existing levels: To be confirmed before commencement of works
 New Levels

Note: Site levels as per survey

Soil & Water Management Strategies
 Downpipes to be connected as soon as the roof is installed.
 Install AG drain prior to footing excavation. See drawing

Excavated material placed up-slope of AG drain. To be removed when building works are complete and used as removed when building works are complete and used as fill on site for any low points. Install a sediment fence on the downslope side of material.

Construction vehicles to be parked on the street or the driveway once concreted, to prevent transferring debris onto Example Street.

All existing and proposed driveway and road connections to be confirmed and completed by Civil engineer.

Protection Work
 (Section 121 of the Building Act)
 If excavation is to a level below that of the adjoining owner's footings, along the title boundary or within 3 metres of a building belonging to an adjoining owner, the builder must (as a minimum) provide and maintain a guard to supervise the excavation. Adjoining owner to be notified using Form 6 (Building and Protection Work Notice) by the Building Surveyor.

Site Plan - Services/ Drainage plan
 Scale 1:200 @A3



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notes	revision	status
Preliminary Issue	A	preliminary design
Adjusted layout	B	design development
Adjusted layout	C	contract documentation
Dimension & outbuildings	D	DA
		BA
		construction drawings

PROJECT NAME:	Renovations & Additions
CLIENT:	Mr. & Mrs. Morley

SITE:
 No. 133 Bayview Road
 Lauderdale TAS 7021

DRAWING TITLE:
 Site plan - Services & Drainage plan

REVISION NO. D

DRAWING NO.03

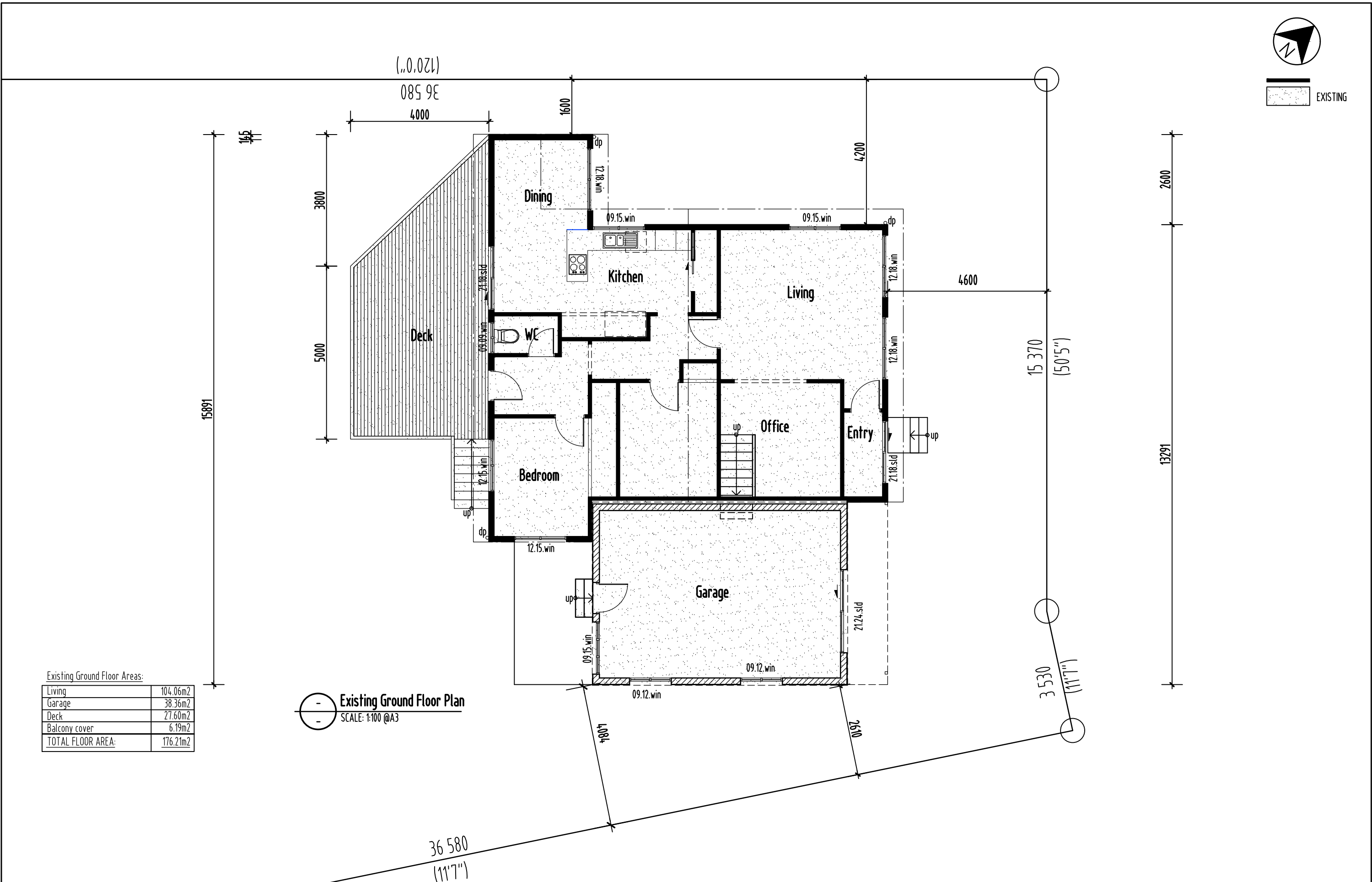
SCALE: As noted on A3 paper size

DRAWN BY: M.A.

CHECKED BY: Nicholas Young

PROJECT NO. 23-016

Plot Date: 07/02/2024



Existing Ground Floor Areas:

Living	104.06m ²
Garage	38.36m ²
Deck	27.60m ²
Balcony cover	6.19m ²
TOTAL FLOOR AREA:	176.21m²

Existing Ground Floor Plan
SCALE: 1:100 @A3

notes	revision	stage
Preliminary Issue	A	preliminary design
Adjusted layout	B	design development
Adjusted layout	C	contract documentation
		DA
		BA
		construction drawings

stage
preliminary design
design development
contract documentation
DA
BA
construction drawings

PROJECT NAME:
Renovations & Additions

CLIENT:
Mr. & Mrs. Morley

SITE:
**No. 133 Bayview Road
Lauderdale TAS 7021**

DRAWING TITLE:
Existing Ground floor plan

REVISION NO. C

DRAWING NO.04

SCALE: As noted on A3 paper size

DRAWN BY: M.A.

CHECKED BY: Nicholas Young

PROJECT NO. 23-016

Plot Date: 10/01/2024

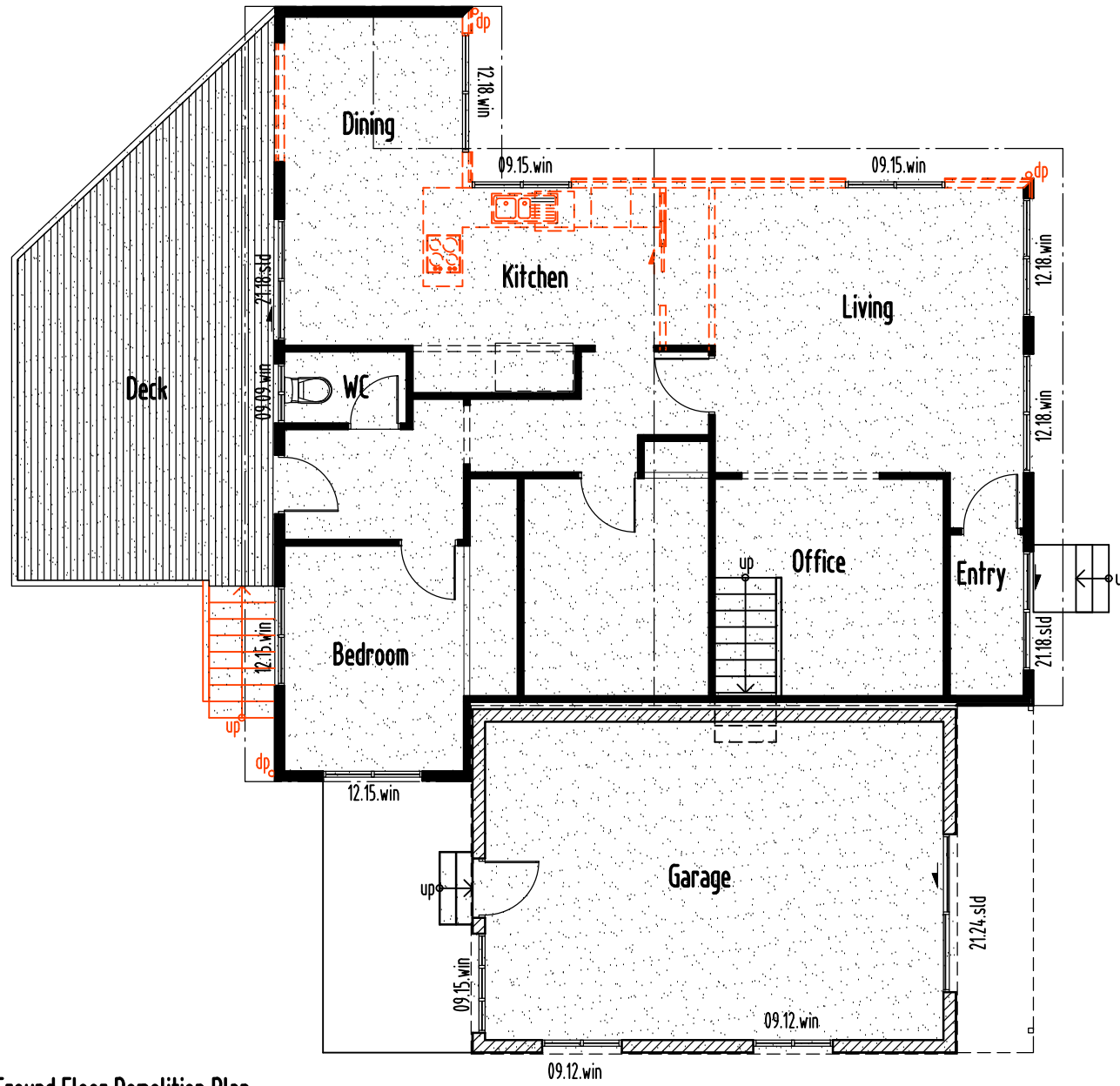


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36 580
(120.071)



15 370
(50'5")

3 530
(11'7")

Ground Floor Demolition Plan
SCALE: 1:100 @A3

36 580
(11'7")



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notes	revision	stage
Preliminary Issue	A	preliminary design
Adjusted layout	B	design development
Adjusted layout	C	contract documentation
		DA
		BA
		construction drawings

PROJECT NAME:
Renovations & Additions

SITE:
**No. 133 Bayview Road
Lauderdale TAS 7021**

DRAWING TITLE:
Ground floor Demolition plan

REVISION NO. C

DRAWING NO.05

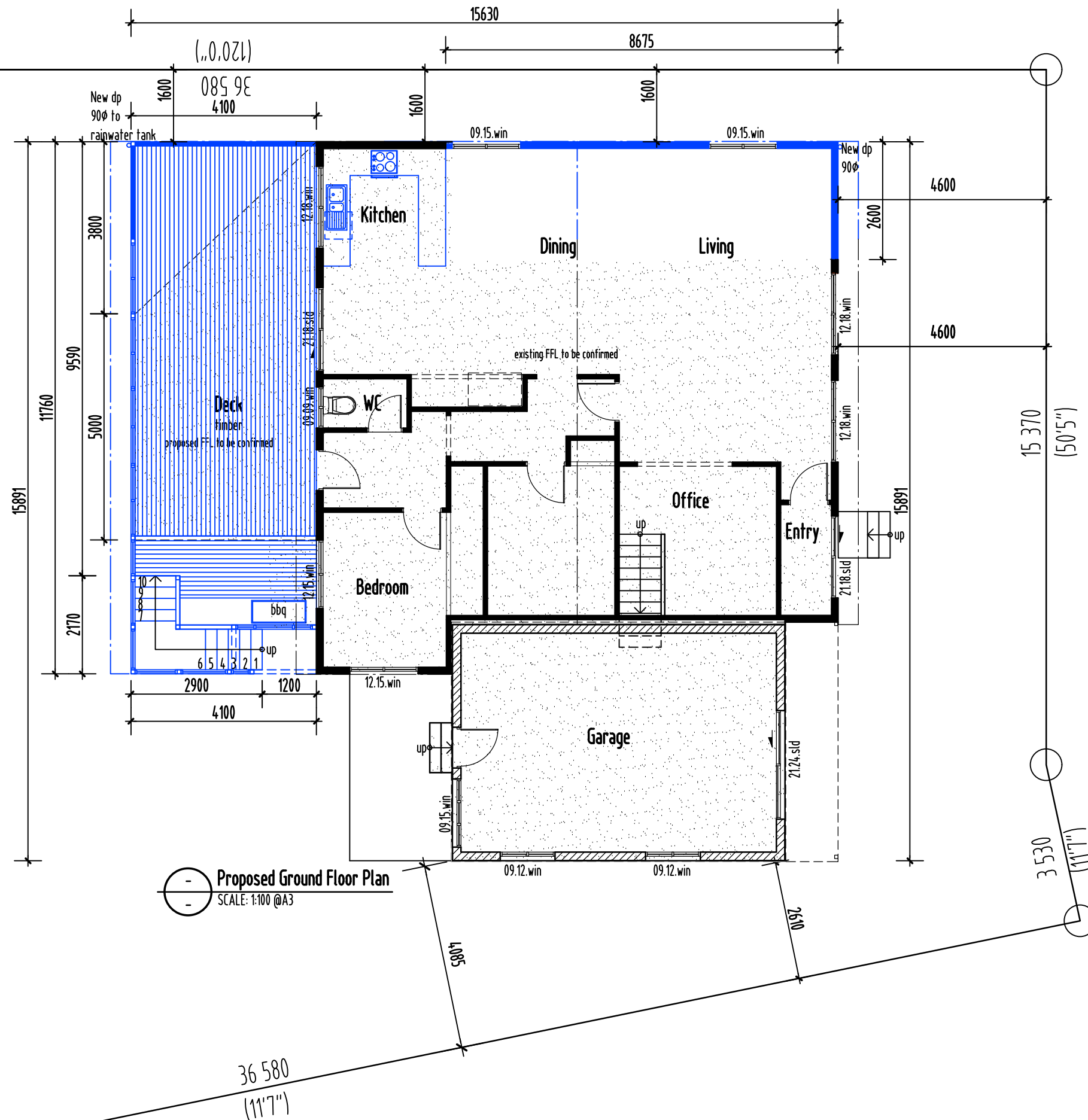
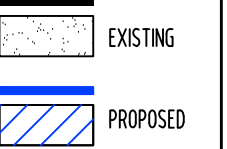
SCALE: As noted on A3 paper size

DRAWN BY: M.A.

CHECKED BY: Nicholas Young

PROJECT NO. 23-016

Plot Date: 10/01/2024



Proposed Ground Floor Areas:

Proposed Living	126.23m ²
Garage	38.36m ²
Enclosed Deck	48.21m ²
Balcony cover	6.19m ²
TOTAL FLOOR AREA:	219.00m ²

Proposed Ground Floor Plan
SCALE: 1:100 @A3



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notes	revision	stage
Preliminary Issue	A	preliminary design
Adjusted layout	B	design development
Adjusted layout	C	contract documentation
		DA
		BA
		construction drawings

PROJECT NAME:
Renovations & Additions

CLIENT:
Mr. & Mrs. Morley

SITE:
**No. 133 Bayview Road
Lauderdale TAS 7021**

DRAWING TITLE:
Proposed Ground floor plan

REVISION NO. C

DRAWING NO.06

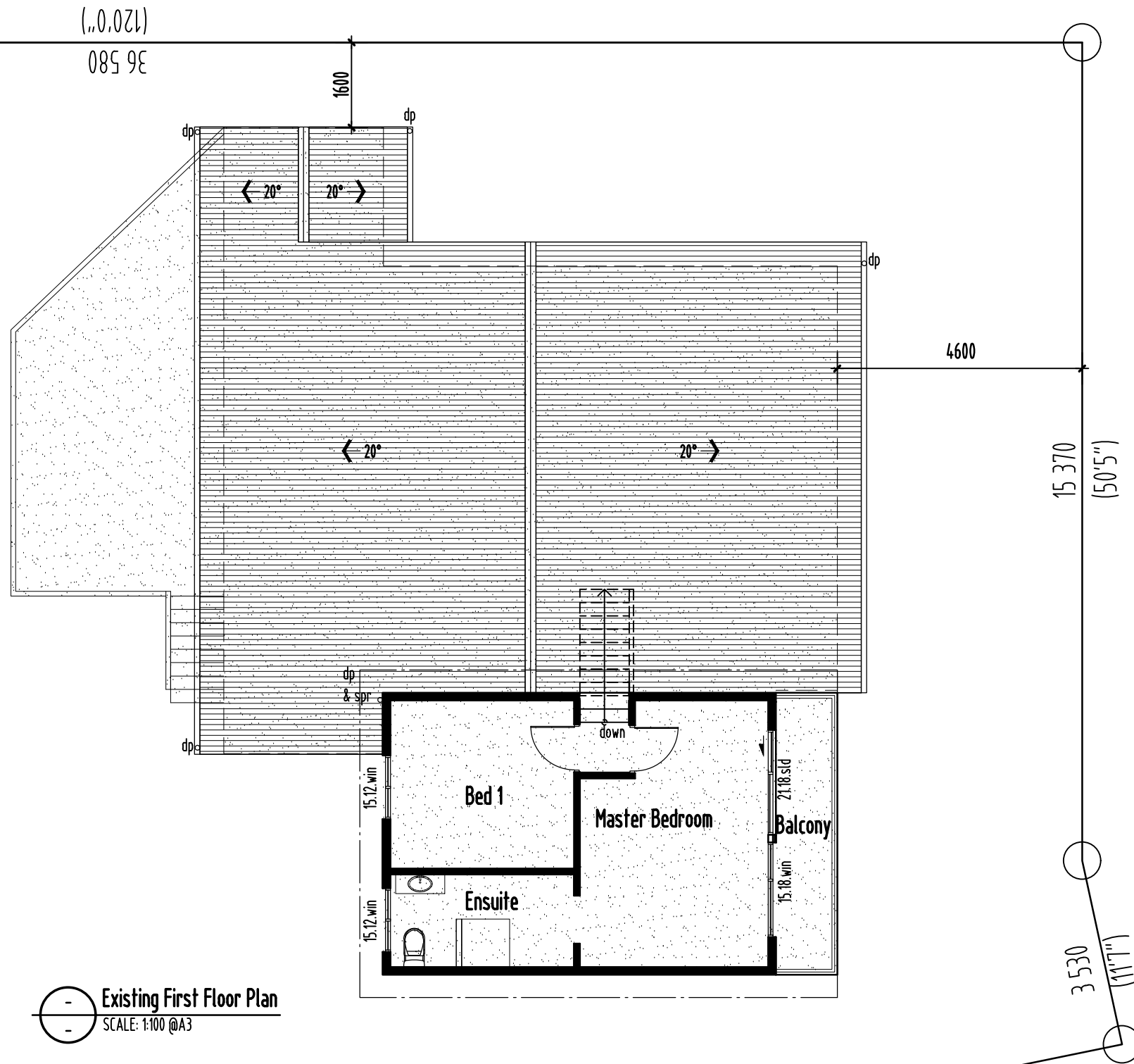
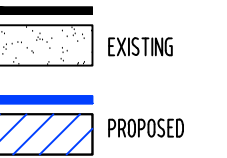
SCALE: As noted on A3 paper size

DRAWN BY: M.A.

CHECKED BY: Nicholas Young

PROJECT NO. 23-016

Plot Date: 10/01/2024



Existing First Floor Area:

Living	39.13m ²
Balcony	6.19m ²
TOTAL FLOOR AREA:	45.32m²

Existing First Floor Plan
SCALE: 1:100 @A3



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notes	revision
Preliminary Issue	A
Adjusted layout	B
Adjusted layout	C

stage	description
<input type="checkbox"/>	preliminary design
<input type="checkbox"/>	design development
<input type="checkbox"/>	contract documentation
<input checked="" type="checkbox"/>	DA
<input type="checkbox"/>	BA
<input type="checkbox"/>	construction drawings

PROJECT NAME:
Renovations & Additions

CLIENT:
Mr. & Mrs. Morley

SITE:
**No. 133 Bayview Road
Lauderdale TAS 7021**

DRAWING TITLE:
Existing first floor plan

REVISION NO. C

DRAWING NO.07

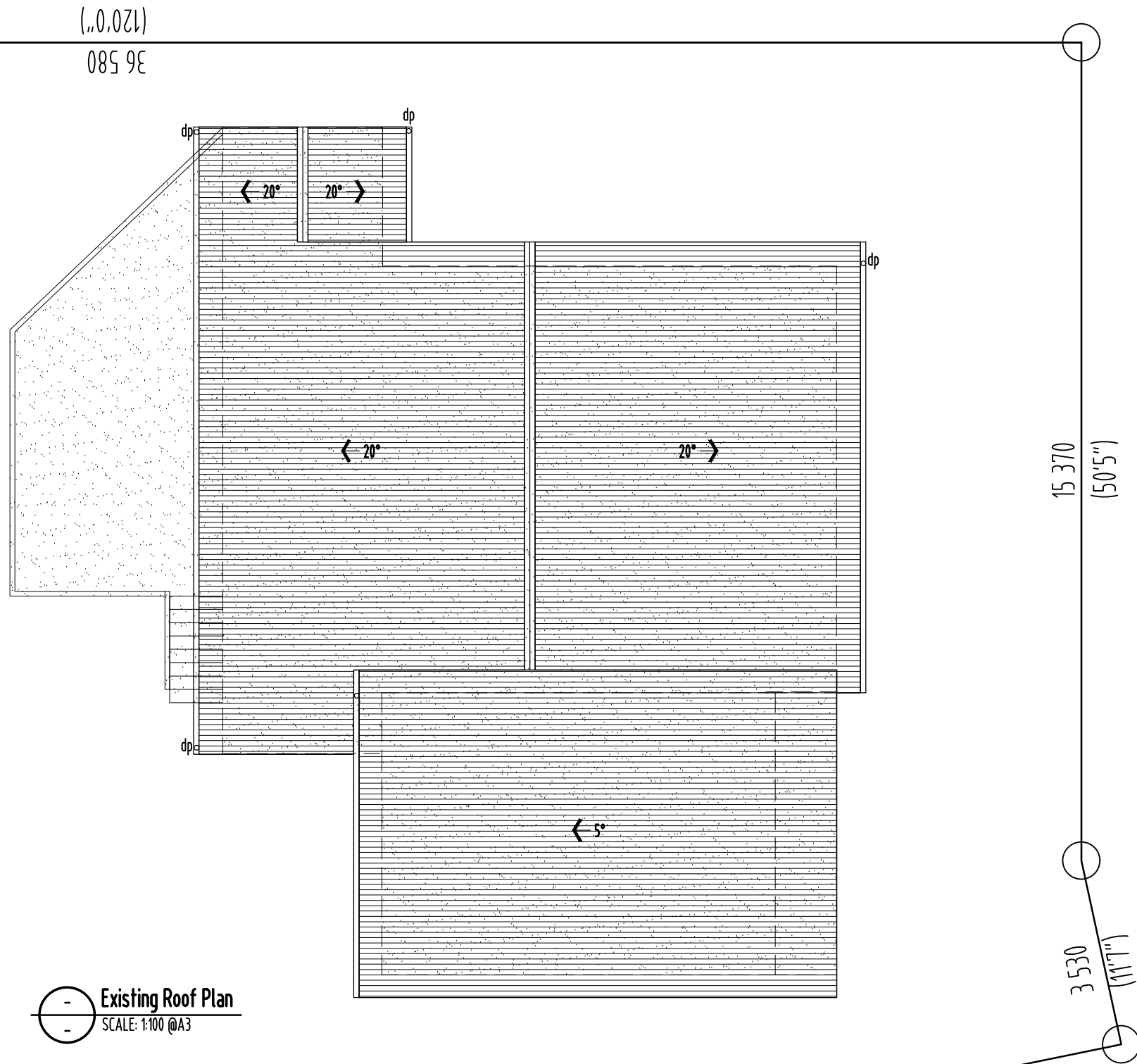
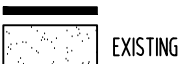
SCALE: As noted on A3 paper size

DRAWN BY: M.A.

CHECKED BY: Nicholas Young

PROJECT NO. 23-016

Plot Date: 10/01/2024



ISLAND LIFE DESIGNERS
 BUILDING SERVICES PROVIDER
 LICENCE No. 456943879
 CONTACT: nick@islandlifedesigners.com

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notes	revision
Preliminary Issue	A
Adjusted layout	B
Adjusted layout	C

stage	description
<input type="checkbox"/>	preliminary design
<input type="checkbox"/>	design development
<input type="checkbox"/>	contract documentation
<input checked="" type="checkbox"/>	DA
<input type="checkbox"/>	BA
<input type="checkbox"/>	construction drawings

PROJECT NAME:
Renovations & Additions

CLIENT:
Mr. & Mrs. Morley

SITE:
**No. 133 Bayview Road
 Lauderdale TAS 7021**

DRAWING TITLE:
Existing Roof plan

REVISION NO. C

DRAWING NO.08

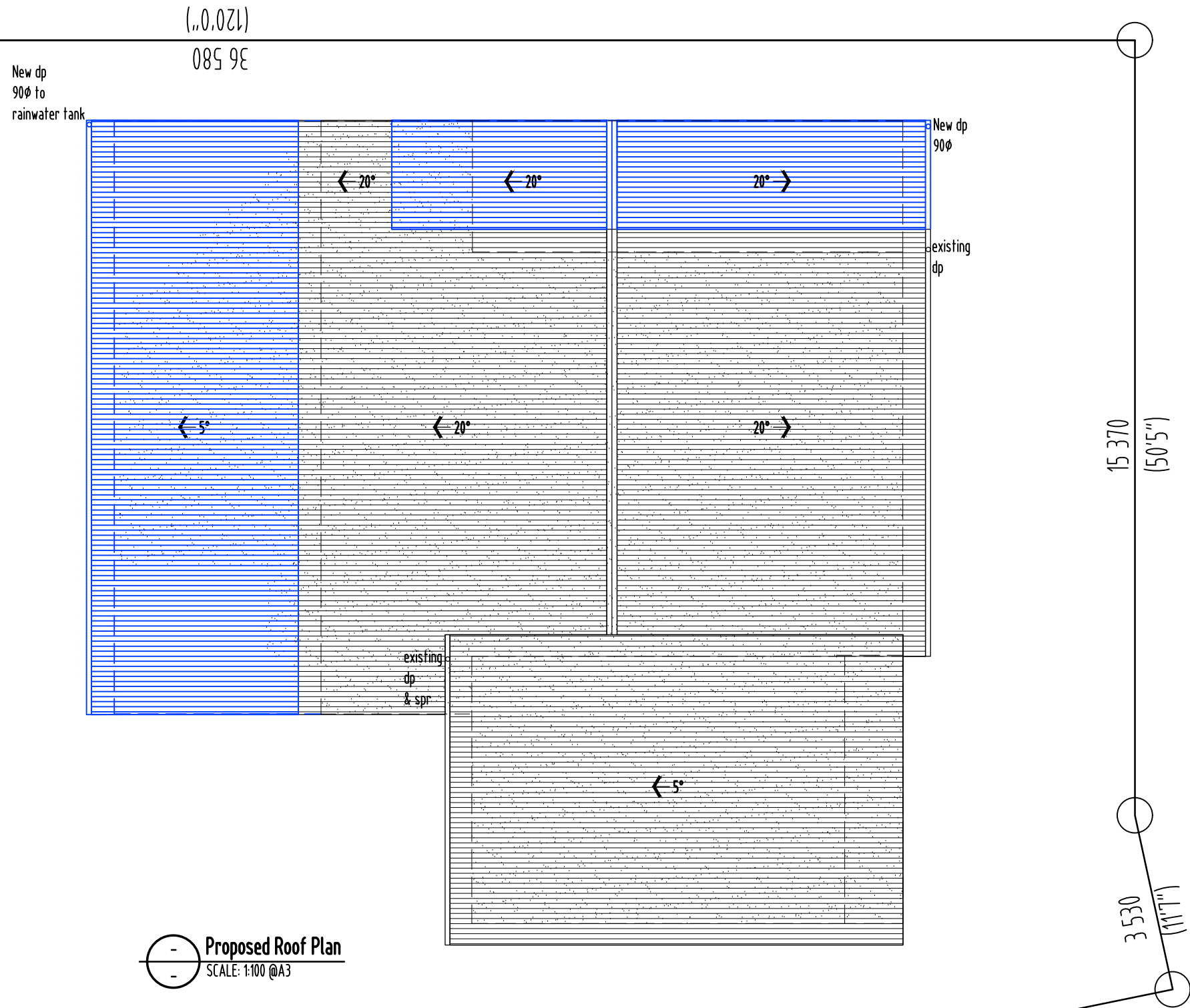
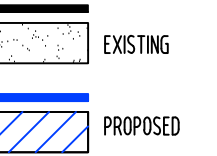
SCALE: As noted on A3 paper size

DRAWN BY: M.A.

CHECKED BY: Nicholas Young

PROJECT NO. 23-016

Plot Date: 10/01/2024



Proposed Roof Plan
SCALE: 1:100 @A3



ISLAND LIFE DESIGNERS
BUILDING SERVICES PROVIDER
LICENCE No. 456943879
CONTACT: nick@islandlifedesigners.com

General Notes
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All boundaries and contours subject to survey

notes	revision
Preliminary Issue	A
Adjusted layout	B
Adjusted layout	C

stage	
<input type="checkbox"/>	preliminary design
<input type="checkbox"/>	design development
<input type="checkbox"/>	contract documentation
<input checked="" type="checkbox"/>	DA
<input type="checkbox"/>	BA
<input type="checkbox"/>	construction drawings

PROJECT NAME:
Renovations & Additions

CLIENT:
Mr. & Mrs. Morley

SITE:
**No. 133 Bayview Road
Lauderdale TAS 7021**

DRAWING TITLE:
Proposed Roof plan

REVISION NO. C

DRAWING NO.09

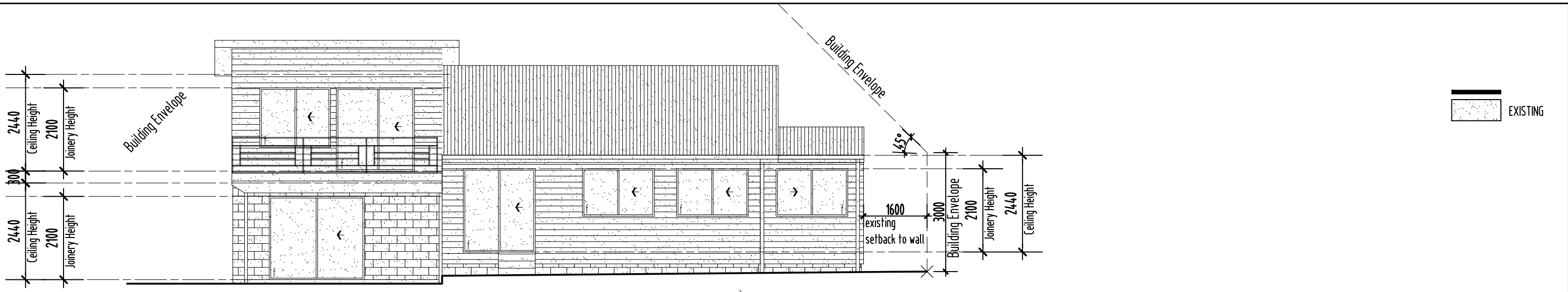
SCALE: As noted on A3 paper size

DRAWN BY: M.A.

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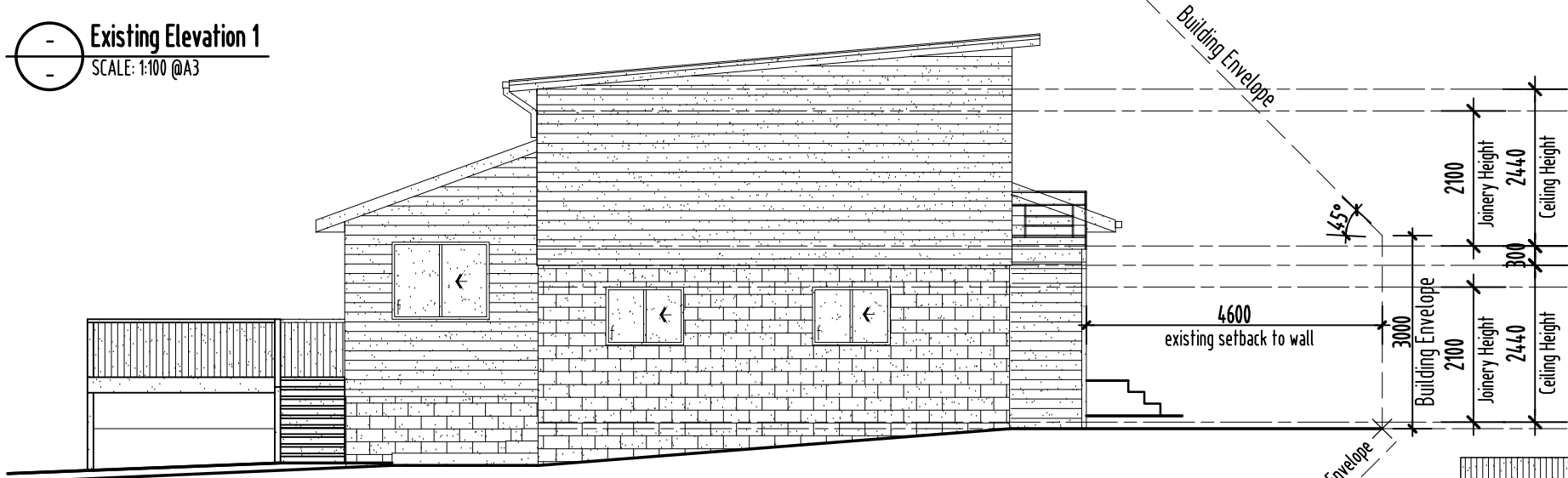
PROJECT NO. 23-016

Plot Date: 10/01/2024

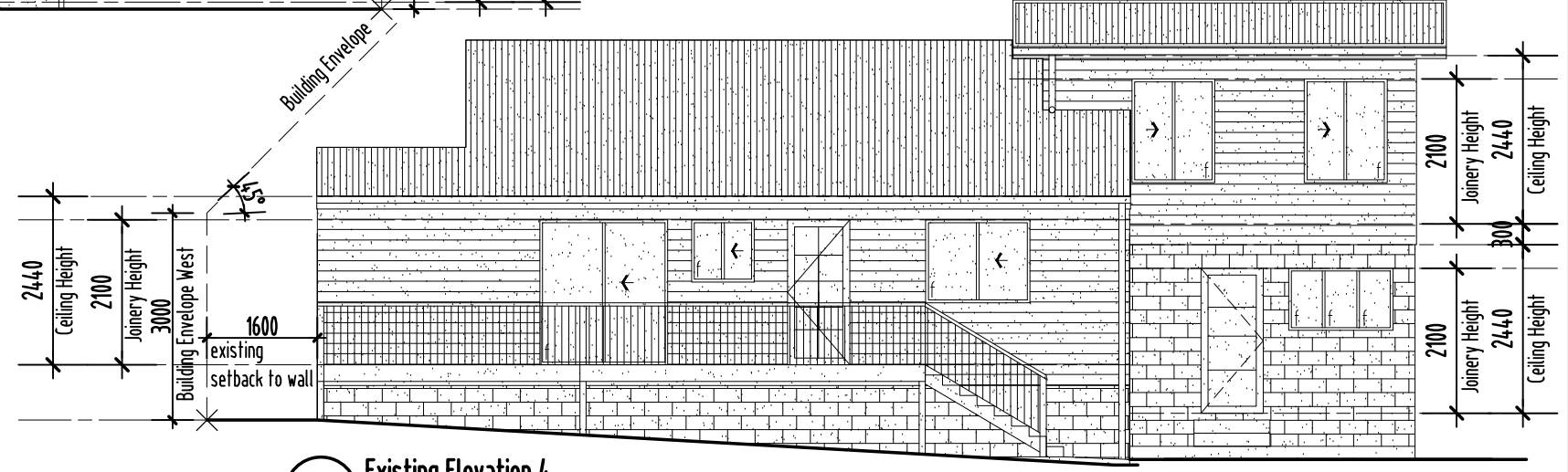


EXISTING

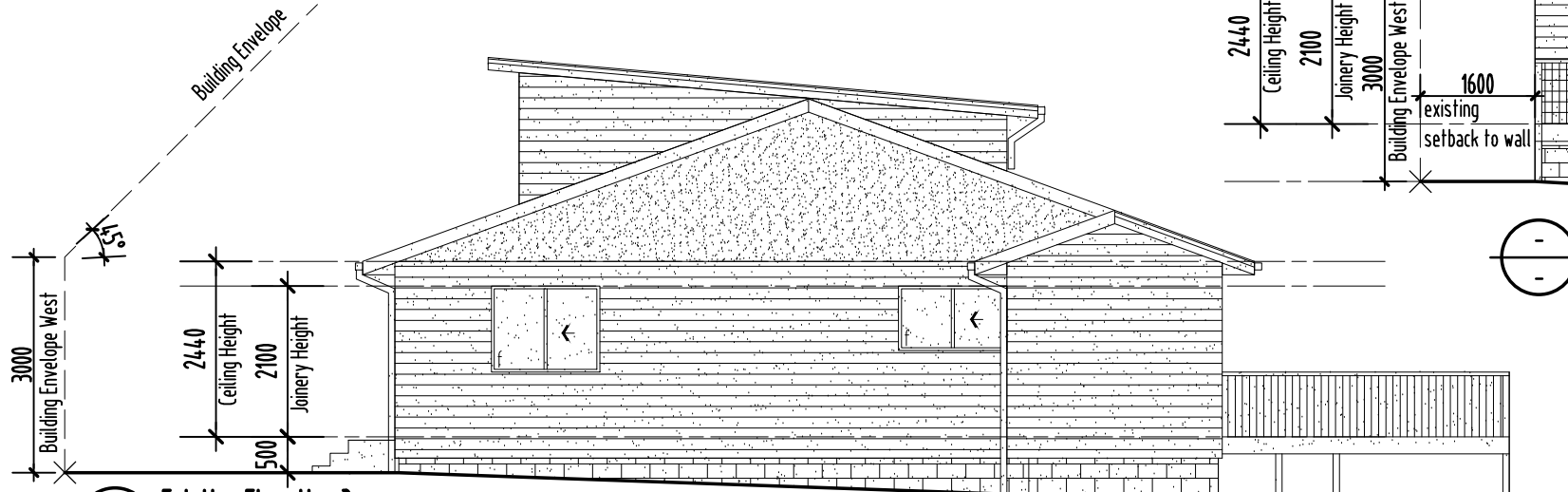
Existing Elevation 1
SCALE: 1:100 @A3



Existing Elevation 2
SCALE: 1:100 @A3



Existing Elevation 4
SCALE: 1:100 @A3



Existing Elevation 3
SCALE: 1:100 @A3



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Preliminary Issue	A	preliminary design
Adjusted layout	B	design development
Adjusted layout	C	contract documentation
		DA
		BA
		construction drawings

PROJECT NAME:
Renovations & Additions

CLIENT:
Mr. & Mrs. Morley

SITE:
**No. 133 Bayview Road
Lauderdale TAS 7021**

DRAWING TITLE:
Existing elevations 1-2-3-4

REVISION NO. C

DRAWING NO. 10

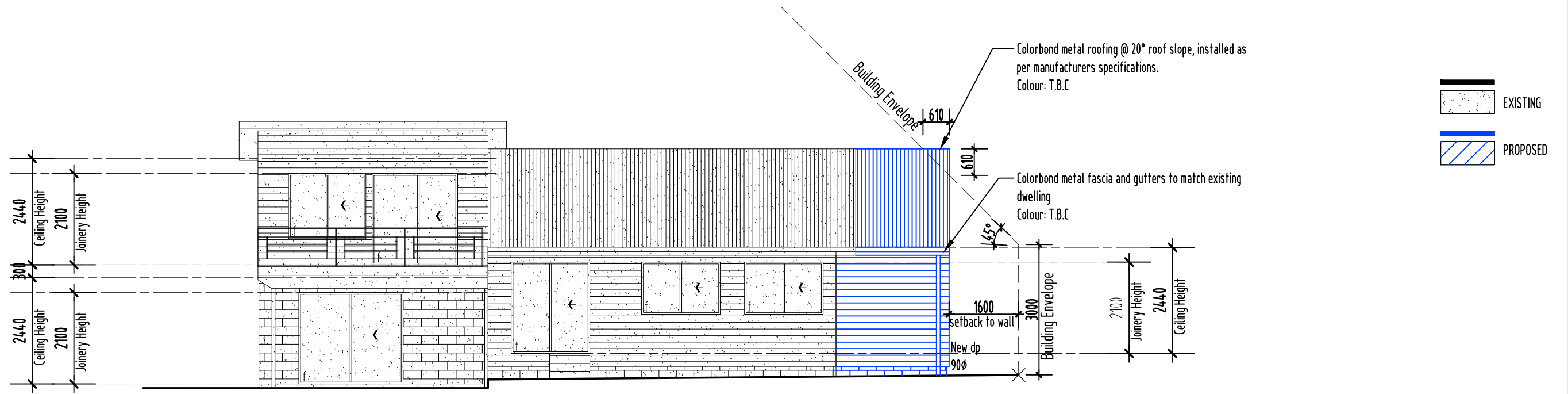
SCALE: As noted on A3 paper size

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PROJECT NO. 23-016

Plot Date: 10/01/2024

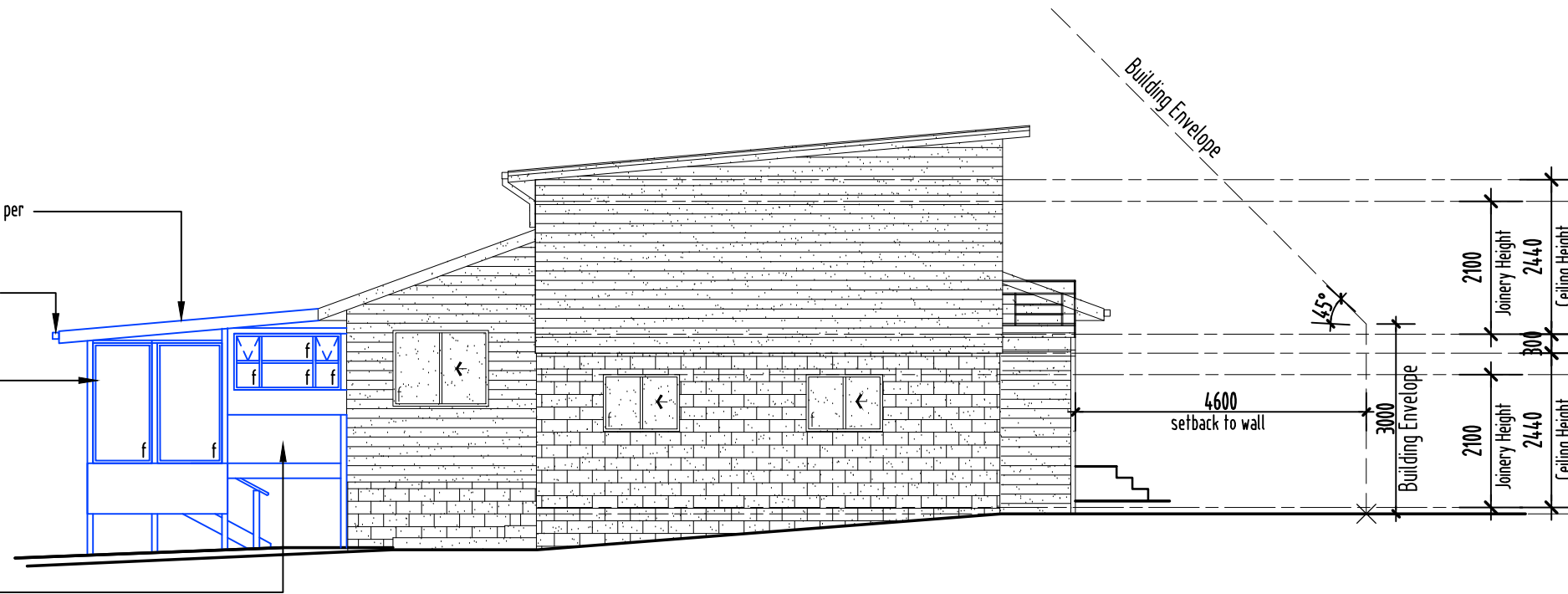


Proposed Elevation 1
SCALE: 1:100 @A3

Colorbond metal roofing @ 5° roof slope, installed as per manufacturers specifications.
Colour: T.B.C

Colorbond metal fascia and gutters to match existing dwelling
Colour: T.B.C

Powdercoated aluminium window / door frames
Colour: T.B.C.



Proposed Elevation 2
SCALE: 1:100 @A3



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Preliminary Issue	A	preliminary design
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Adjusted layout	C	contract documentation
		DA
		BA
		construction drawings

PROJECT NAME:
Renovations & Additions

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Mr. & Mrs. Morley

SITE:
**No. 133 Bayview Road
Lauderdale TAS 7021**

DRAWING TITLE:
Proposed Elevations 1-2

REVISION NO. C

DRAWING NO.11

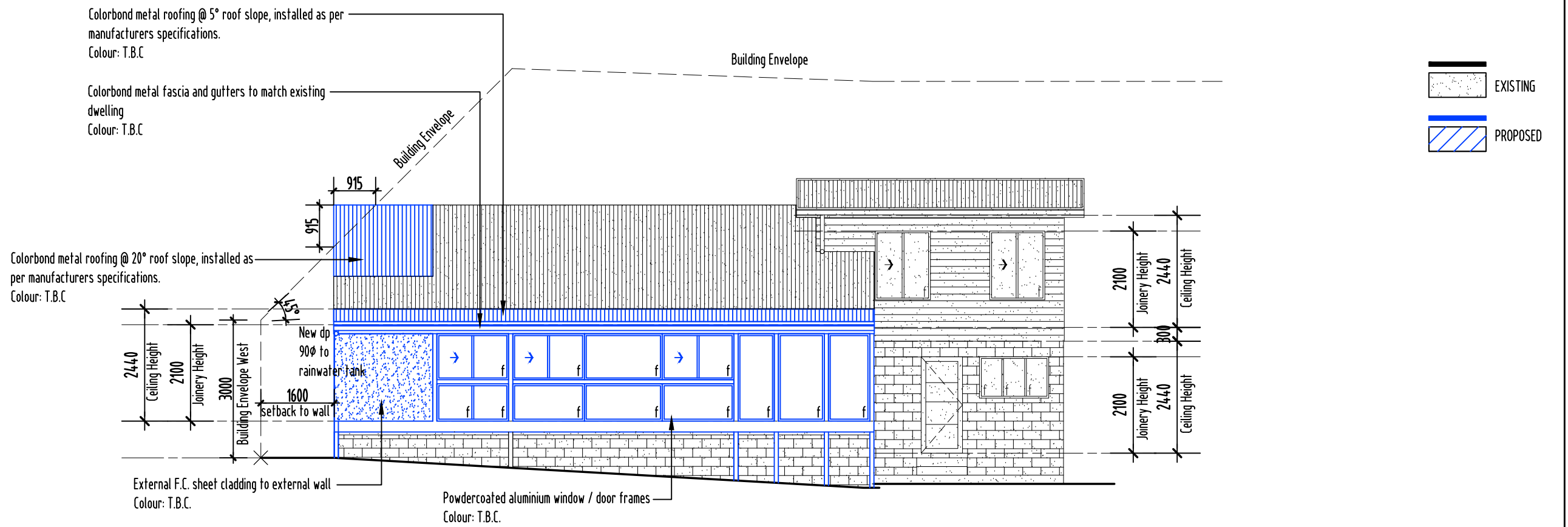
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DRAWN BY: M.A.

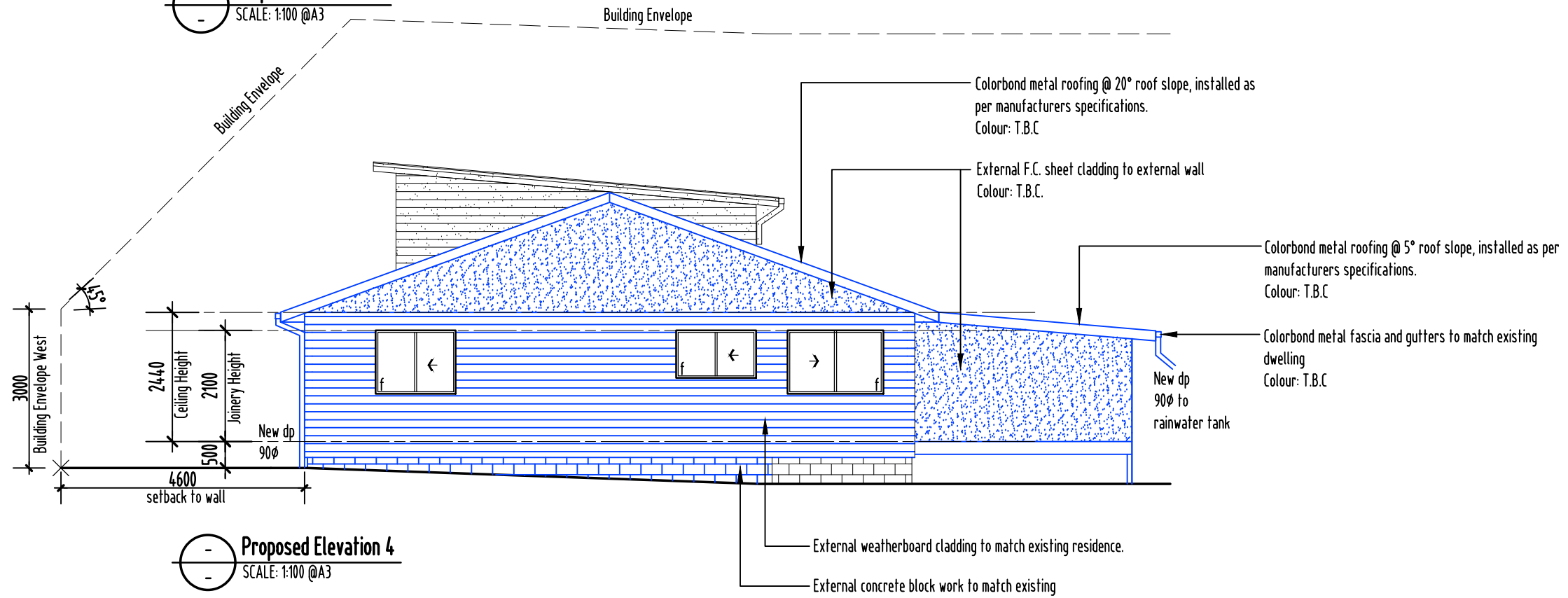
CHECKED BY: Nicholas Young

PROJECT NO. 23-016

Plot Date: 10/01/2024



Proposed Elevation 3
SCALE: 1:100 @A3



Proposed Elevation 4
SCALE: 1:100 @A3

EXISTING

PROPOSED



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		DA
		BA
		construction drawings

stage
preliminary design
design development
contract documentation
DA
BA
construction drawings

PROJECT NAME:
Renovations & Additions

CLIENT:
Mr. & Mrs. Morley

SITE:
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Lauderdale TAS 7021**

DRAWING TITLE:
Proposed Elevations 3-4

REVISION NO. C

DRAWING NO. 12

SCALE: As noted on A3 paper size

DRAWN BY: M.A.

CHECKED BY: Nicholas Young

PROJECT NO. 23-016

Plot Date: 10/01/2024



☉ SUN SHADOW DIAGRAM 21st JUNE-9am
SCALE NTS

☉ SUN SHADOW DIAGRAM 21st JUNE-10am
SCALE NTS

☉ SUN SHADOW DIAGRAM 21st JUNE-11am
SCALE NTS

☉ SUN SHADOW DIAGRAM 21st JUNE-12am
SCALE NTS



☉ SUN SHADOW DIAGRAM 21st JUNE-1pm
SCALE NTS

☉ SUN SHADOW DIAGRAM 21st JUNE-2pm
SCALE NTS

☉ SUN SHADOW DIAGRAM 21st JUNE-3pm
SCALE NTS



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Adjusted layout	B
Adjusted layout	C

revision

stage

<input type="checkbox"/>	preliminary design
<input type="checkbox"/>	design development
<input type="checkbox"/>	contract documentation
<input checked="" type="checkbox"/>	DA
<input type="checkbox"/>	BA
<input type="checkbox"/>	construction drawings

PROJECT NAME:
Renovations & Additions

CLIENT:
Mr. & Mrs. Morley

SITE:
No. 133 Bayview Road
Lauderdale TAS 7021

DRAWING TITLE:
Sun Shadow diagrams

REVISION NO. C

DRAWING NO. 12

SCALE: As noted on A3 paper size

DRAWN BY: M.A.

CHECKED BY: Nicholas Young

PROJECT NO. 23-016

Plot Date: 10/01/2024