



DEVELOPMENT APPLICATION

PDPLANPMTD-2024/041494

PROPOSAL: Dwelling & Outbuilding

LOCATION: 13 Glen Ayr Place, Richmond

RELEVANT PLANNING SCHEME: Tasmanian Planning Scheme - Clarence

ADVERTISING EXPIRY DATE: 06 March 2024

The relevant plans and documents can be inspected at the Council offices, 38 Bligh Street, Rosny Park, during normal office hours until 06 March 2024. In addition to legislative requirements, plans and documents can also be viewed at www.ccc.tas.gov.au during these times.

Any person may make representations about the application to the Chief Executive Officer, by writing to PO Box 96, Rosny Park, 7018 or by electronic mail to clarence@ccc.tas.gov.au. Representations must be received by Council on or before 06 March 2024.

To enable Council to contact you if necessary, would you please also include a day time contact number in any correspondence you may forward.

Any personal information submitted is covered by Council's privacy policy, available at www.ccc.tas.gov.au or at the Council offices.

Clarence City Council



Clarence... a brighter place

APPLICATION FOR DEVELOPMENT / USE OR SUBDIVISION

The personal information on this form is required by Council for the development of land under the Land Use Planning and Approvals Act 1993. We will only use your personal information for this and other related purposes. If this information is not provided, we may not be able to deal with this matter. You may access and/or amend your personal information at any time. How we use this information is explained in our Privacy Policy, which is available at www.ccc.tas.gov.au or at Council offices.

Proposal:

13 Glenayr Place Richmond New Home & New Shed/Out building.....

Location:

Personal Information Removed

Current
Owners/s:

Applicant:

Tax Invoice for
application fees to
be in the name of:
(if different from
applicant)

Estimated cost of development

\$ 450,000

Is the property on the Tasmanian Heritage Register?

Yes

No

(if yes, we recommend you discuss your proposal with Heritage Tasmania prior to lodgement as exemptions may apply which may save you time on your proposal)

If you had pre-application discussions with a Council Officer, please give their name

Holly Thurston-Doyle

Current Use of Site:

Vacant Land

Does the proposal involve land administered or owned by the Crown or Council?

Yes

No

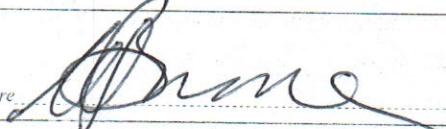
Declaration:

- I have read the Certificate of Title and Schedule of Easements for the land and am satisfied that this application is not prevented by any restrictions, easements or covenants.
- I authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation. I agree to arrange for the permission of the copyright owner of any part of this application to be obtained. I have arranged permission for Council's representatives to enter the land to assess this application
- I declare that, in accordance with Section 52 of the Land Use Planning and Approvals Act 1993, that I have notified the owner of the intention to make this application. Where the subject property is owned or controlled by Council or the Crown, their signed consent is attached. Where the application is submitted under Section 43A, the owner's consent is attached.
- I declare that the information in this declaration is true and correct.

Acknowledgement:

- I acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process; for display purposes during public consultation; and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

Applicant's Signature:

Signature  Date 11/1/24

PLEASE REFER TO THE DEVELOPMENT/USE AND SUBDIVISION CHECKLIST ON THE FOLLOWING PAGES TO DETERMINE WHAT DOCUMENTATION MUST BE SUBMITTED WITH YOUR APPLICATION.

SEARCH OF TORRENS TITLE

VOLUME 184775	FOLIO 4
EDITION 2	DATE OF ISSUE 15-Aug-2023

SEARCH DATE : 30-Aug-2023

SEARCH TIME : 03.34 PM

DESCRIPTION OF LAND

City of CLARENCE

Lot 4 on Sealed Plan 184775

Derivation : Part of 1992 Acres Gtd. to William De Gillern
Prior CT 178871/1

SCHEDULE 1

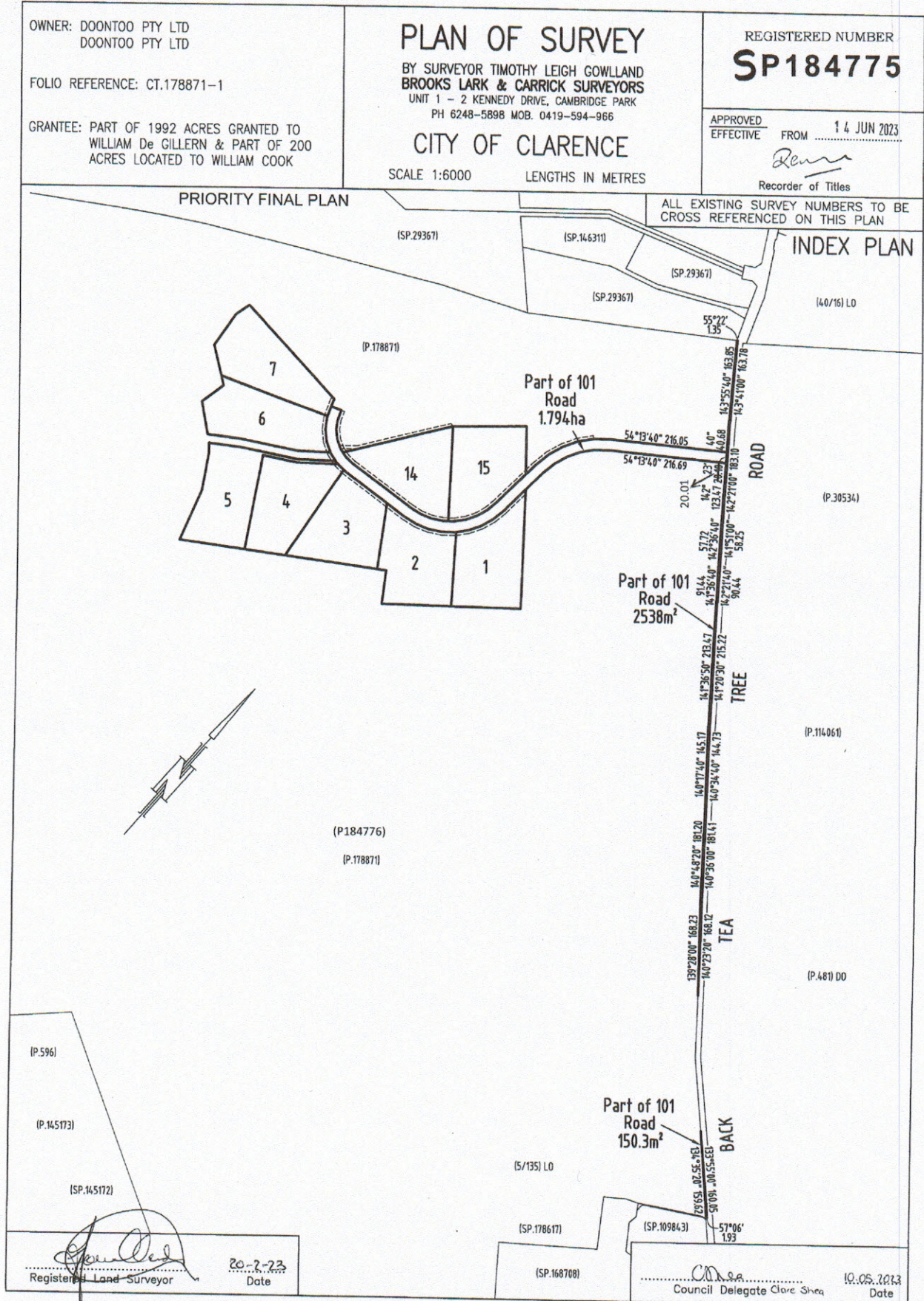
N145173 TRANSFER to WARREN ARTHUR BROWNE and STACY ANNE
BROWNE Registered 15-Aug-2023 at 12.01 PM

SCHEDULE 2

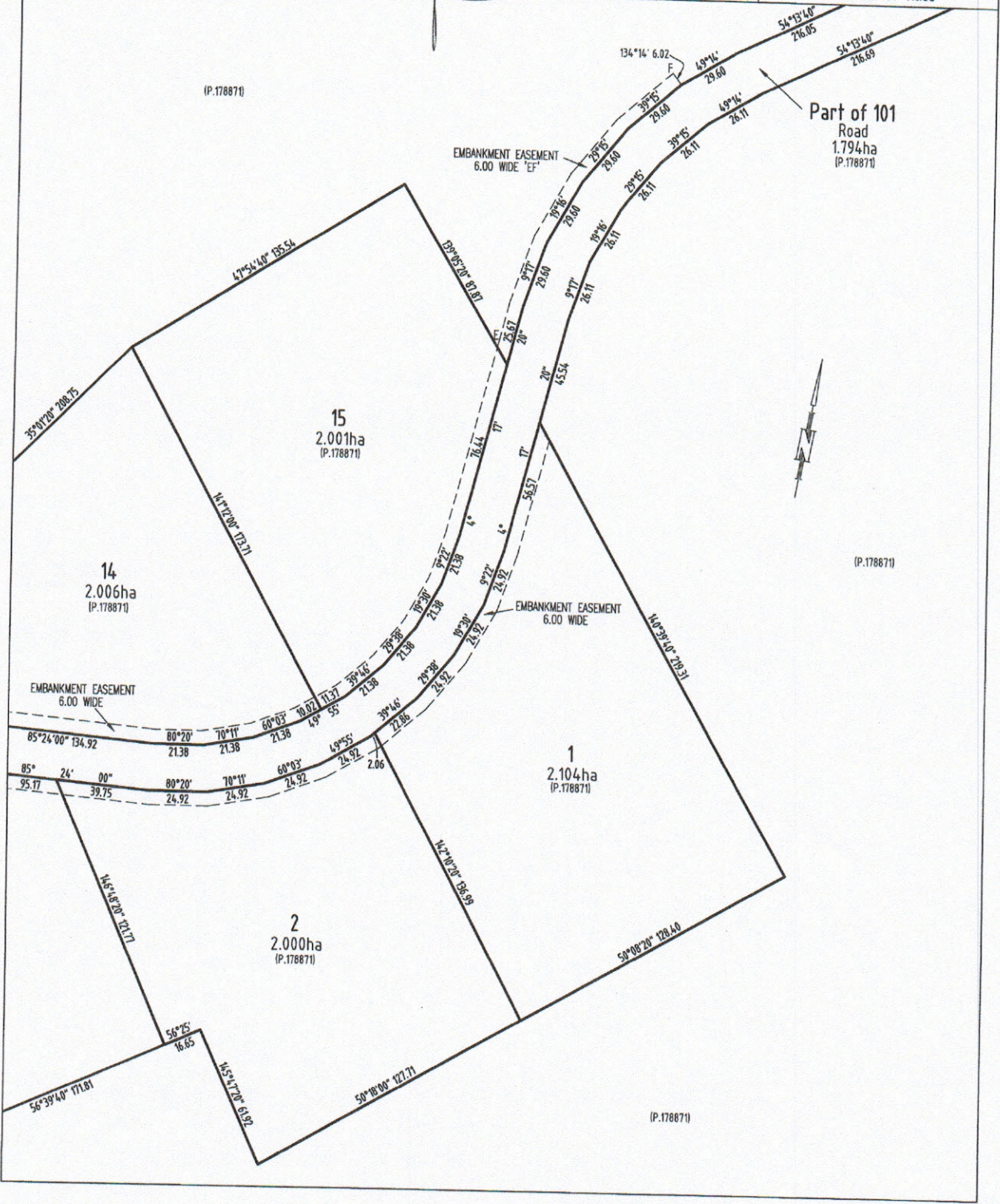
Reservations and conditions in the Crown Grant if any
SP184775 EASEMENTS in Schedule of Easements
SP184775 FENCING PROVISION in Schedule of Easements
C846211 AGREEMENT pursuant to Section 71 of the Land Use
Planning and Approvals Act 1993 Registered
03-Mar-2008 at noon
E356183 MORTGAGE to Commonwealth Bank of Australia
Registered 15-Aug-2023 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

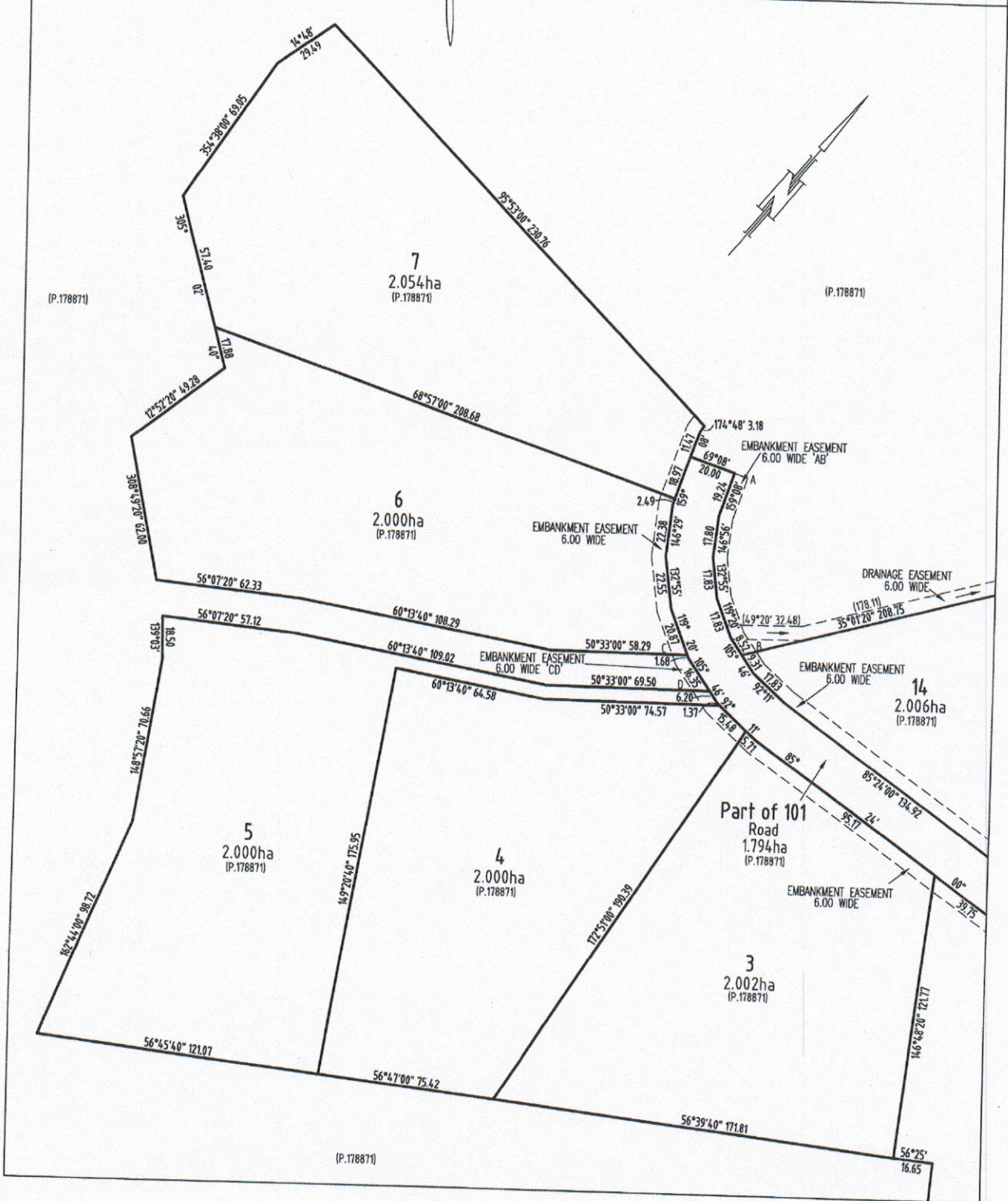
No unregistered dealings or other notations



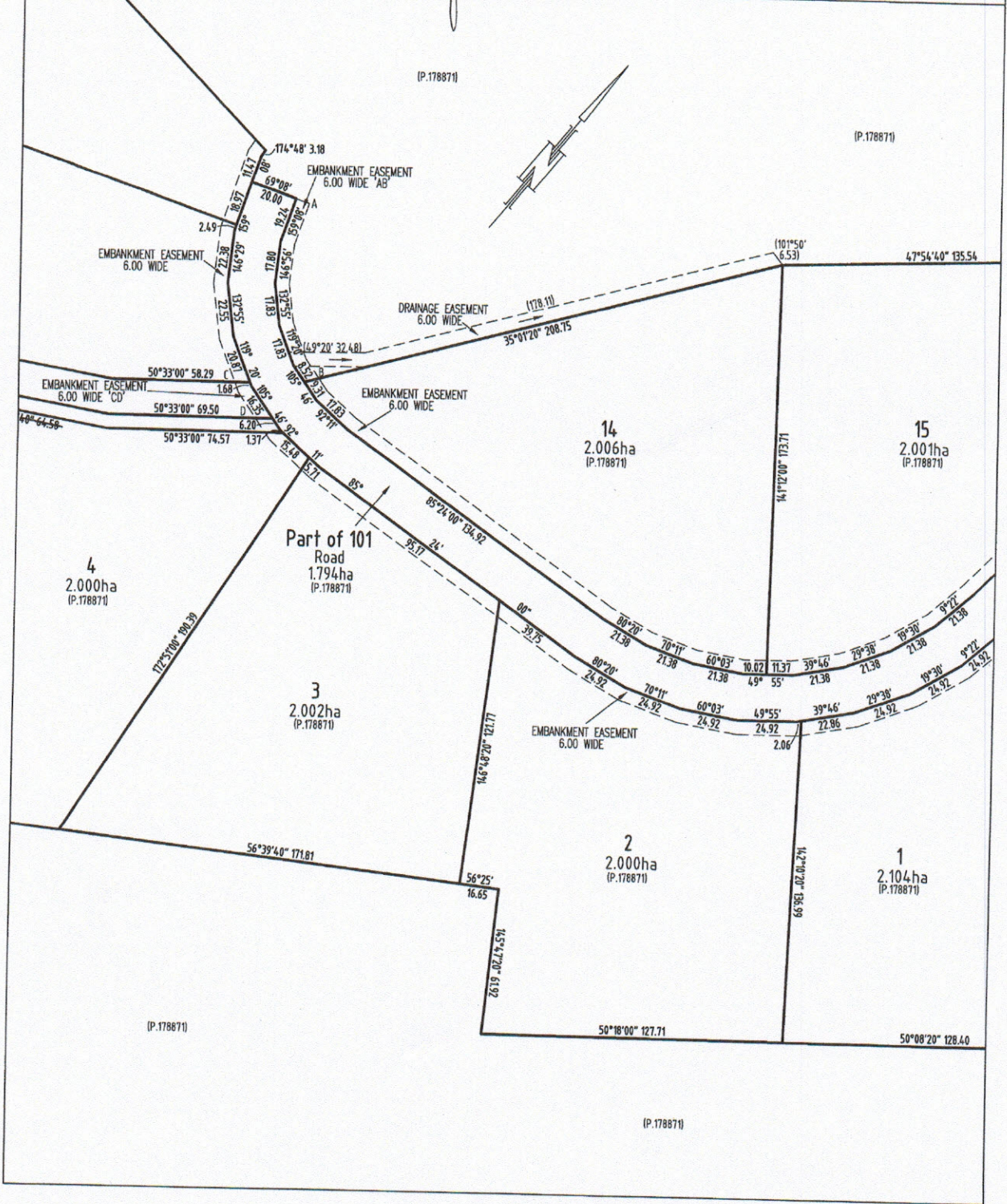
<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 1 OF 3 SHEETS</p>	<p>OWNER: DOONTOO PTY LTD DOONTOO PTY LTD FOLIO REFERENCE: CT.178871-1 SCALE 1:1500 LENGTH IN METRES</p>	<p>Registered Number SP 184775</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>C.hea</i> 10.05.2023 Council Delegate Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN <i>[Signature]</i> 20-2-23 Registered Land Surveyor Date</p>	<p>APPROVED EFFECTIVE FROM 14 JUN 2023 <i>[Signature]</i> Recorder of Titles</p>



<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 2 OF 3 SHEETS</p>	<p>OWNER: DOONTOO PTY LTD DOONTOO PTY LTD FOLIO REFERENCE: CT.178871-1 SCALE 1:1500 LENGTH IN METRES</p>	<p>Registered Number SP 184775</p>
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<p>PLAN OF SURVEY ANNEXURE SHEET SHEET 3 OF 3 SHEETS</p>	<p>OWNER: DOONTOO PTY LTD DOONTOO PTY LTD FOLIO REFERENCE: CT.178871-1 SCALE 1:1500 LENGTH IN METRES</p>	<p>Registered Number SP 184775</p>
<p>SIGNED FOR IDENTIFICATION PURPOSES <i>C. O'Neil</i> Council Delegate 10.05.2023 Date</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN <i>[Signature]</i> Registered Land Surveyor 20-2-23 Date</p>	<p>APPROVED EFFECTIVE FROM 14 JUN 2023 <i>[Signature]</i> Recorder of Titles</p>



SCHEDULE OF EASEMENTS	Registered Number
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	SP 18 4775

PAGE 1 OF 2 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lots 1-7, 14 & 15 are each subject to an embankment easement in gross as defined herein (in favour of Clarence City Council) over the land marked EMBANKMENT EASEMENT 6.00 WIDE passing through such lot on the plan

Lot 101 is together with an embankment easement as defined herein over the land marked EMBANKMENT EASEMENT 6.00 WIDE "AB", "CD" & "EF" on the plan

Lot 101 is together with a right of drainage over the land marked DRAINAGE EASEMENT 6.00 WIDE on the plan

FENCING PROVISION

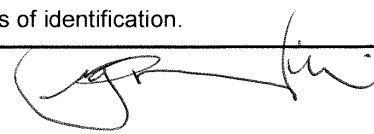
In respect to the lots on the plan the vendor (Doontoo Pty Ltd) shall not be required to fence

INTERPRETATION

"Embankment Easement" means the right for the dominant tenement with others and machinery to enter upon the land marked Embankment Easement on the plan to carry out any works that may be necessary to retain, embank or maintain the earthworks and drainage associated with the local highway on lot 101, but not precluding a servient tenement owner (subject to approval of Council) from constructing or erecting any structure on the said land as may be required to provide access to any part thereof, or to maintain the stability of the servient lot

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: DOONTOO P/L FOLIO REF: 178871-1 SOLICITOR: ABETZ WINTERS LAWYERS - 220764	PLAN SEALED BY: CLARENCE CITY COUNCIL Stg 1. DATE: 10 th May 2023 2022-028620 REF NO. 20201013104 Council Delegate <i>Clive Shea</i>
<p>NOTE: The Council Delegate must sign the Certificate for the purposes of identification.</p>	



ANNEXURE TO SCHEDULE OF EASEMENTS PAGE 2 OF 2 PAGES	Registered Number SP 18 4775
SUBDIVIDER: DOONTOO P/L FOLIO REFERENCE: 178871-1	

** ABIGAIL JAMES SINGLES
17/01/2023
legal representative
of subdivider.*

Executed by DOONTOO PTY LTD (ACN 009 510 712) pursuant to section 127(1) Corporations Act 2001 (Cth) by its

Agent ^{#186} Director signature: *Kate Lantier*
 Print Full Name: KATE LANTIER
 witness Director signature: *[Signature]*
 witness Print Full Name: ABIGAIL JAMILE SINGLES
 witness address 53 DAVENPORT ROAD HOBART TAS 7000

*its duly authorised agent
on 17/01/2023, who
declares that they
have received no notice
of revocation of their authority*

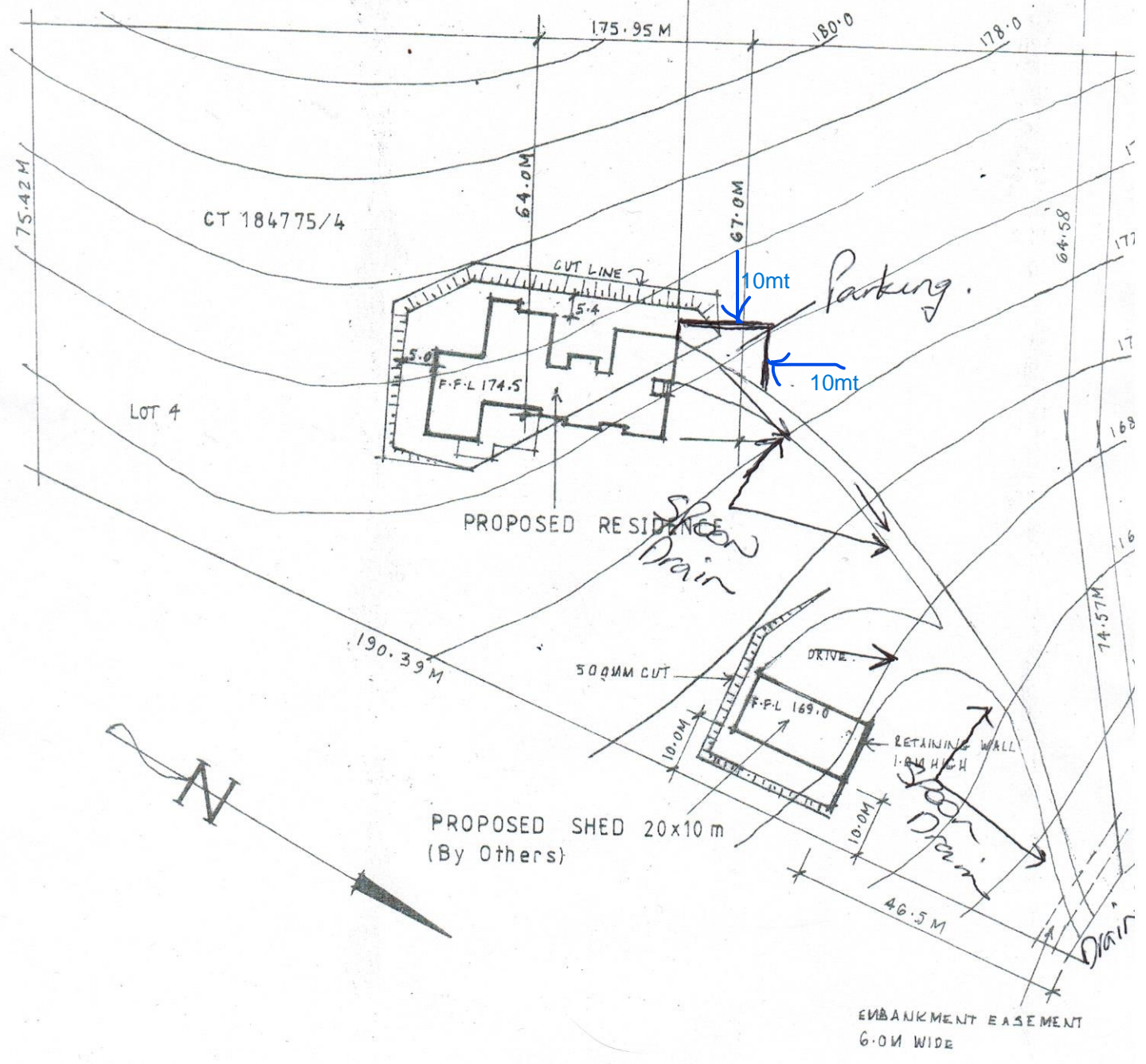
[Signature]

Signed by MYSTATE BANK LIMITED by its attorney, Rodney James Willie under power No. PA107277 (who declares that he/she has received no notice of revocation of the power) in the presence of:

[Signature]
 Fiona Elizabeth Parham
 Team Leader Settlements
 137 Harrington Street
 Hobart TAS 7000

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

[Signature]



CT 184775/4

LOT 4

PROPOSED RESIDENCE

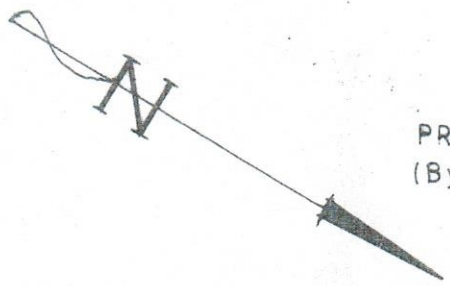
PROPOSED SHED 20x10 m
(By Others)

Parking

Spew Drain

Spew Drain

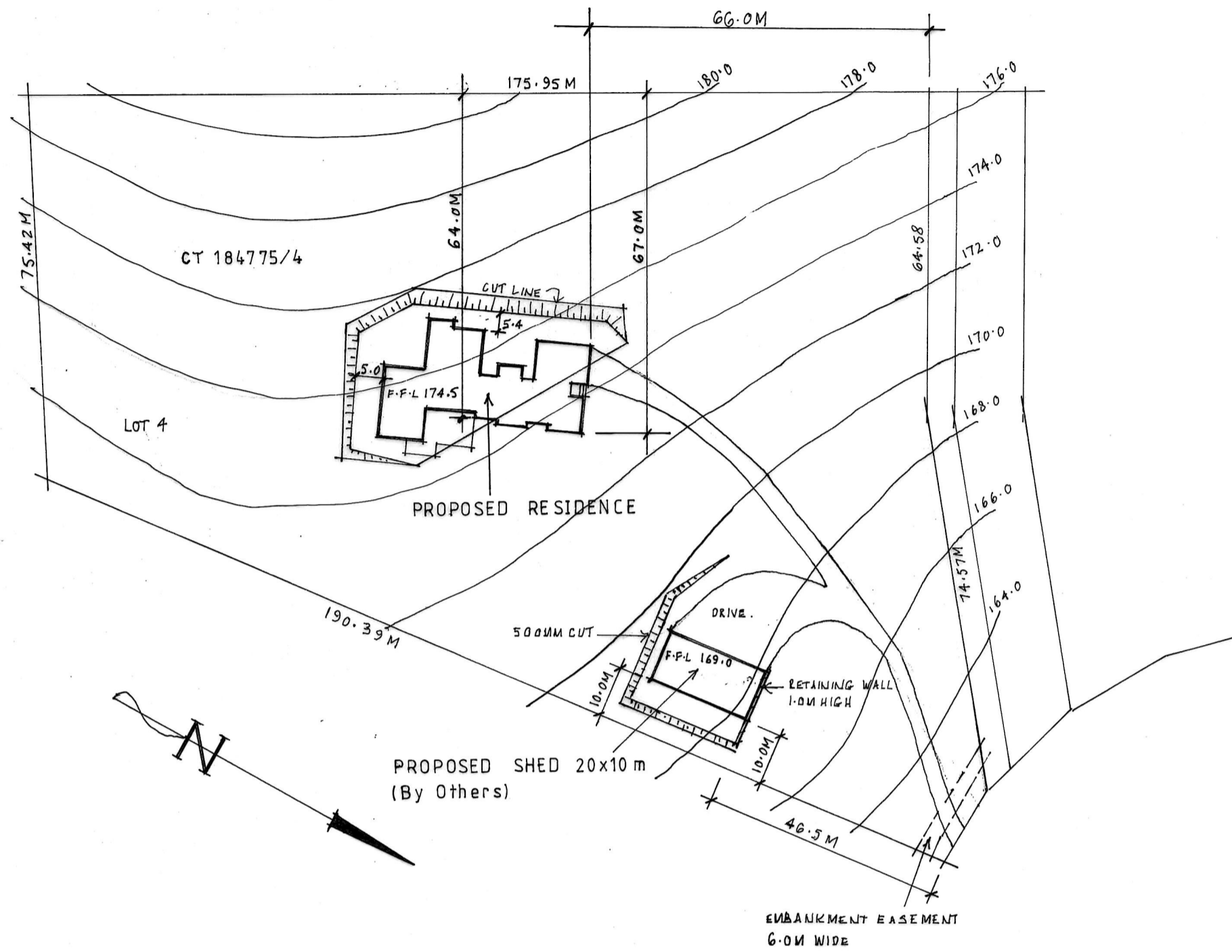
Drain



SITE PLAN

Scale 1:1000

NOTE: SURVEY INFORMATION PROVIDED BY PDA SURVEYORS, ENGINEER & PLANNERS (JOB N° 51485CT-1)
 & SUPPLIED BY BROWNE BUILDERS.

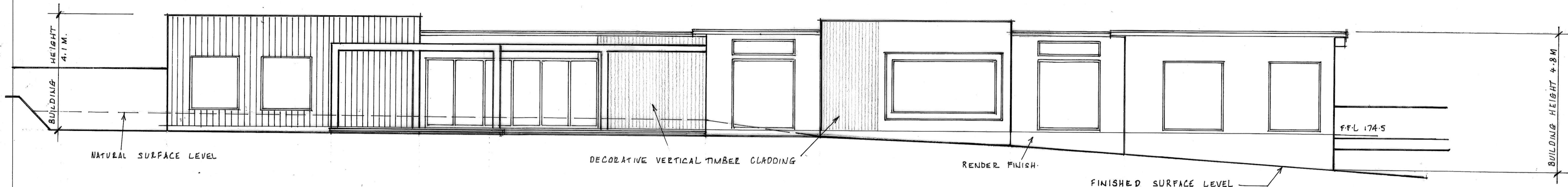


SITE PLAN
 Scale 1:1000

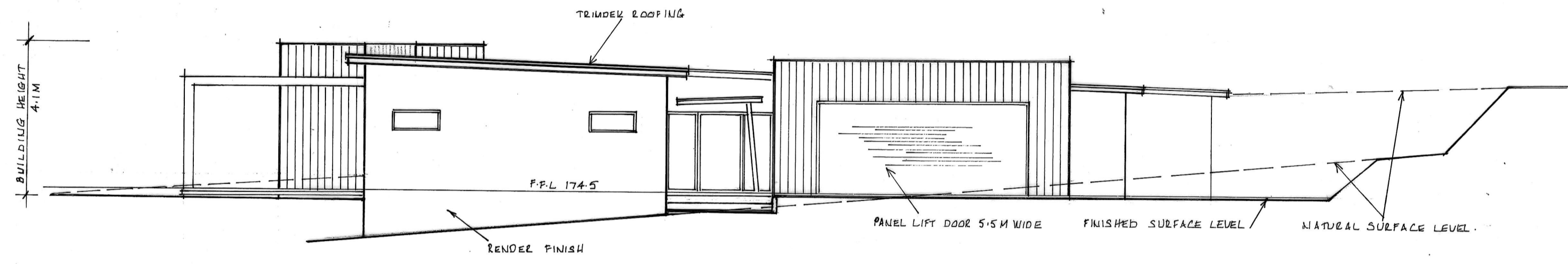
SCHEDULE:

DWG N°	TITLE	DATE
BBP 01/03	TITLE PAGE & SITE PLAN	10/1/24
BBP 02/03	FLOOR PLAN	10/1/24
BBP 03/03	ELEVATIONS	10/1/24

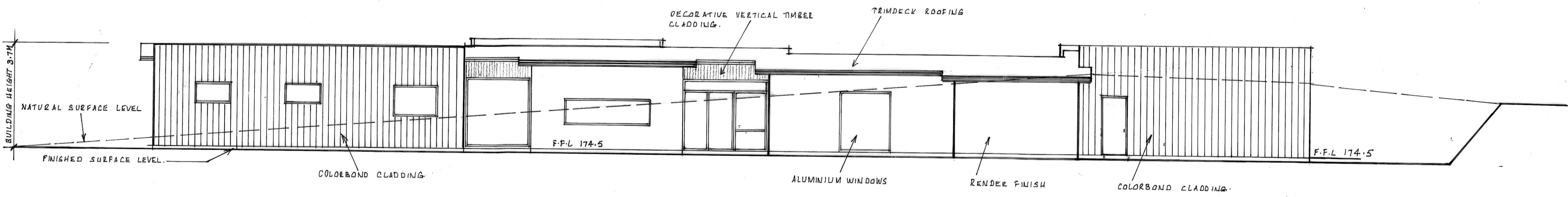
PROPOSED RESIDENCE
 AT: LOT 4 - 209 BACK TEA TREE ROAD
 RICHMOND.
 FOR: BROWNE BUILDERS.
 DATE: JANUARY 2024.
 DESIGNER: GRANT SCOTT.
 ACCREDITATION NO. CC1366L
 CT: 184775/4



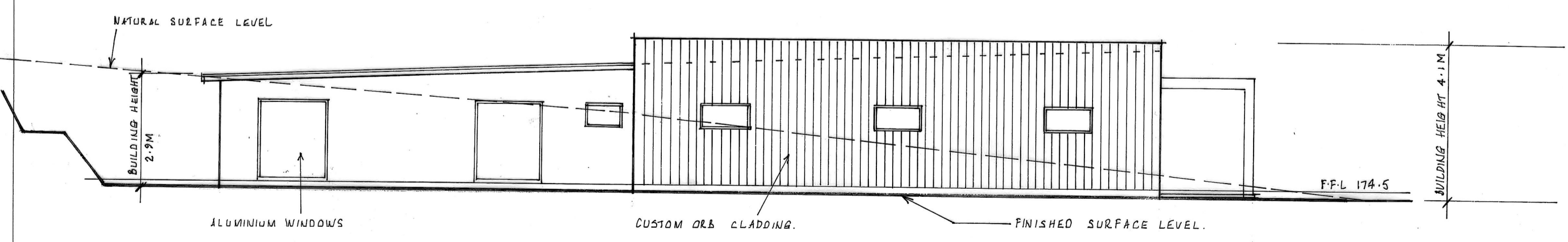
ELEVATION A
Scale 1:100



ELEVATION B
Scale 1:100

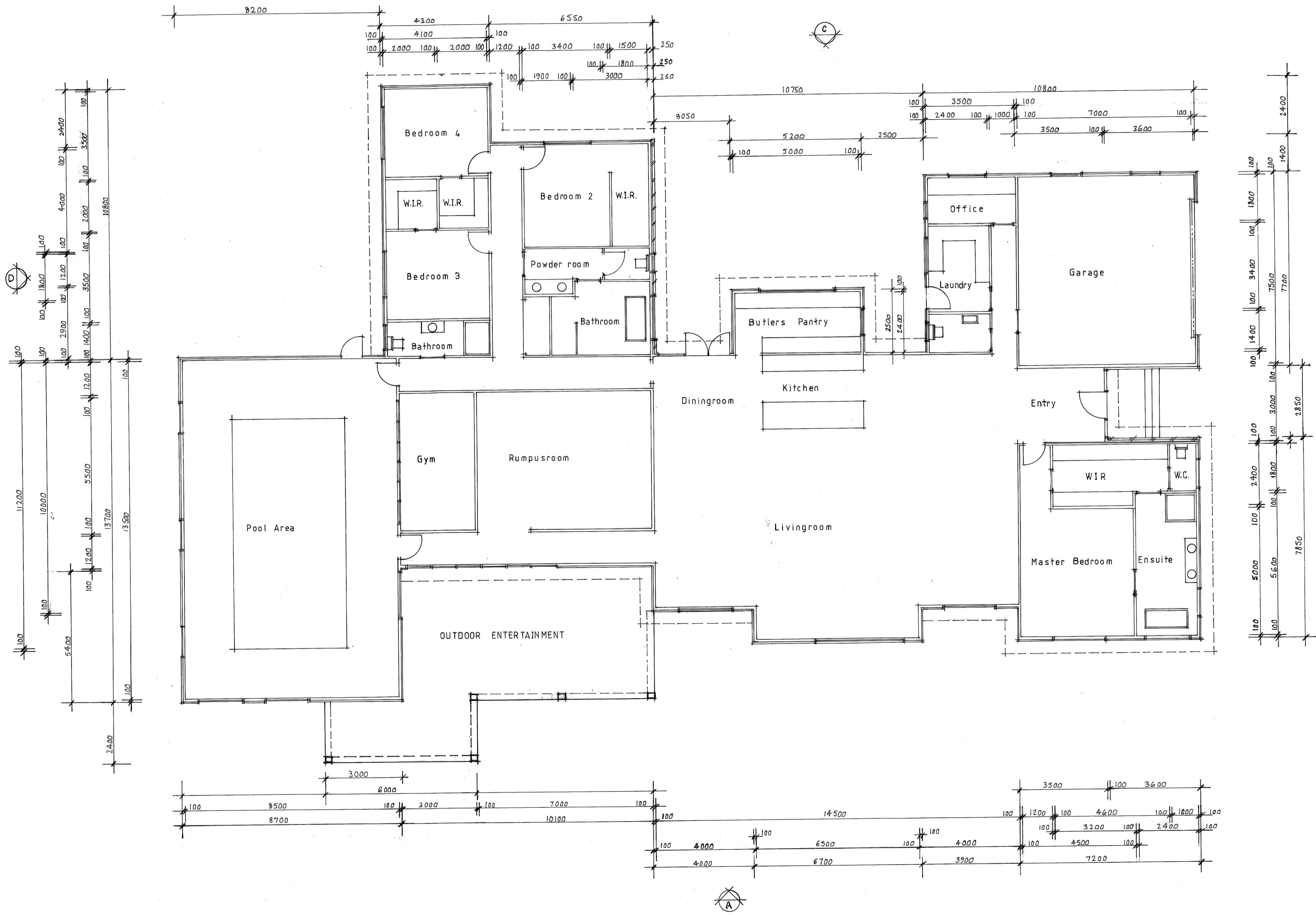


ELEVATION C
Scale 1:100

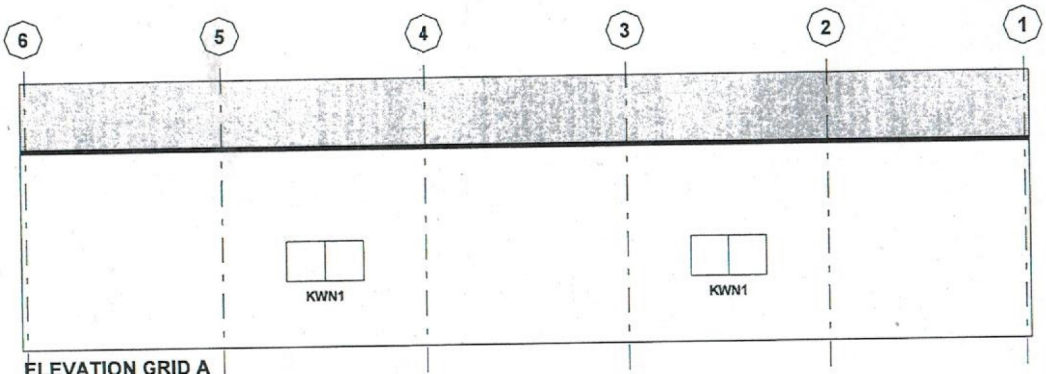


ELEVATION D
Scale 1:100

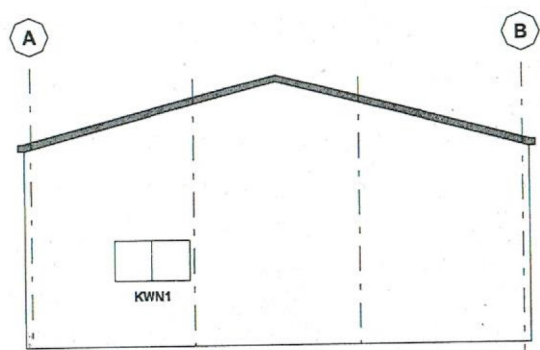
NOTE: OVERALL BUILDING HEIGHT IS CALCULATED FROM FINISHED SURFACE LEVEL NOT NATURAL SURFACE LEVEL. MAXIMUM BUILDING HEIGHT FROM FINISHED SURFACE LEVEL IS 4.8M. (F.F.L 174.5)



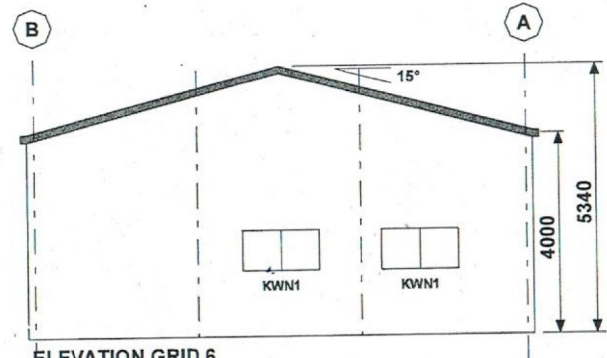
FLOOR PLAN
Scale 1:100



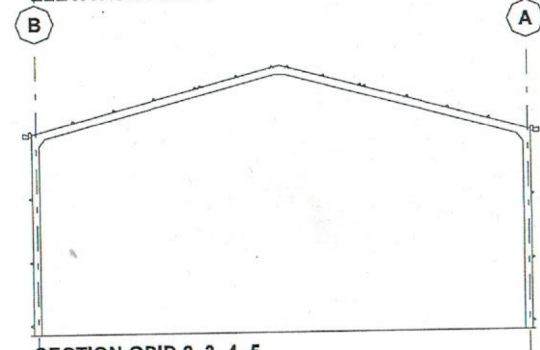
ELEVATION GRID A



ELEVATION GRID 1



ELEVATION GRID 6



SECTION GRID 2, 3, 4, 5

Accredited Practitioner
Alexander Filonov
CP4719P
LEVEL 1, 12 BEAUMONT ST
HAMILTON NSW 2303
+61 2 4962 4311
30/06/2023

NOT FOR CONSTRUCTION

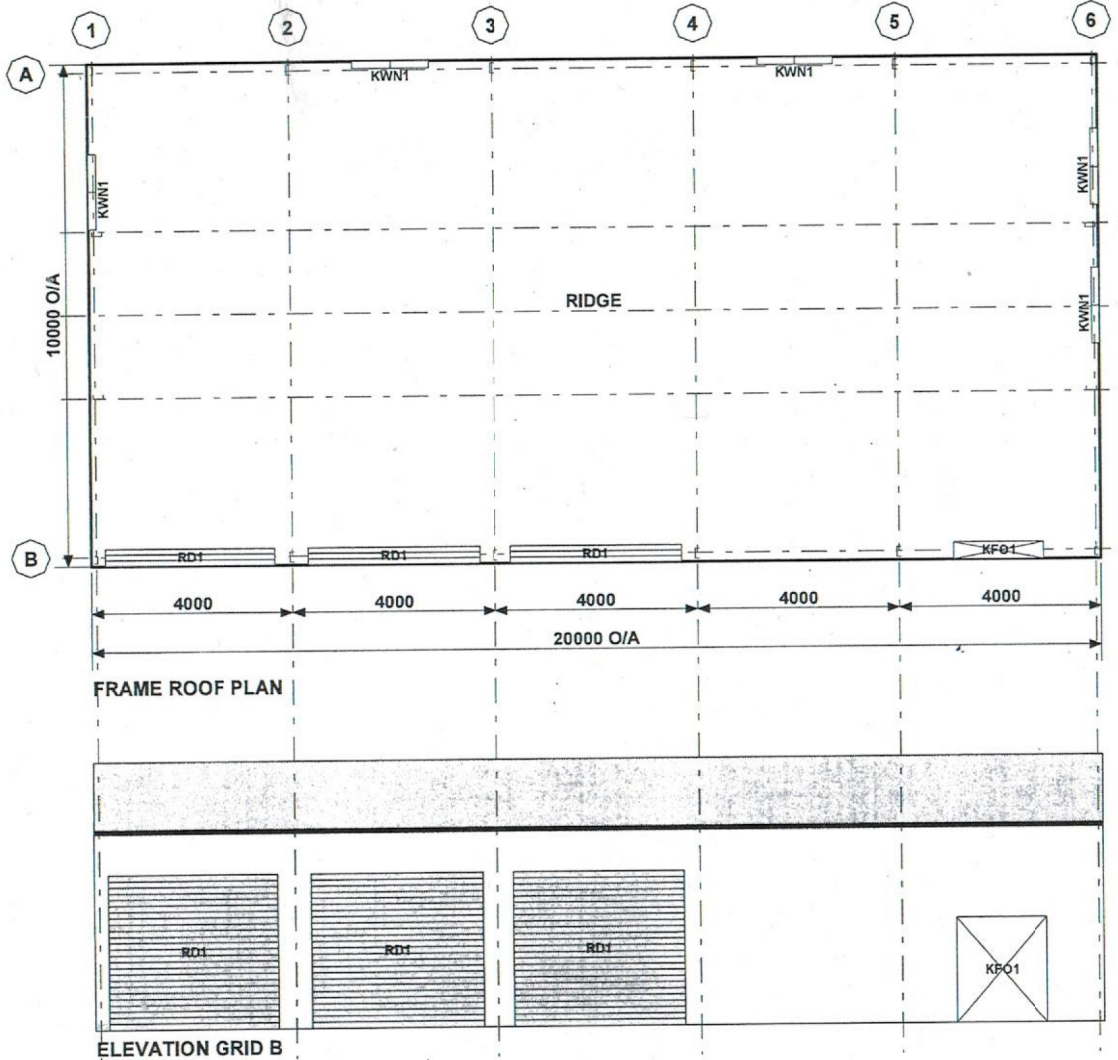
CLIENT
Warren Browne

SITE
209 Back Tea Tree Rd
RICHMOND TAS 7025

BUILDING
SUNDOWN DELUXE
10000 SPAN x 4000 EAVE x 20000 LONG

TITLE
GENERAL ARRANGEMENT

SCALE A3 SHEET 1:100	DRAWING NUMBER 425202-GA2	REV B	PAGE 2/9
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CLADDING			
ITEM	PROFILE (min)	FINISH	COLOUR
ROOF	CUSTOM ORB 0.42 BMT	CB	NS
WALLS	TRIMDEK 0.42 BMT	CB	NS
CORNERS	-	CB	NS
BARGE	-	CB	NS
GUTTER	HI-QUAD	CB	NS

0.35bmt=0.40tct; 0.42bmt=0.47tct; 0.48bmt=0.53tct

ACCESSORY SCHEDULE & LEGEND		
QTY	MARK	DESCRIPTION
3	RD1	Tauran, Domestic PR1ME Series A 3825 high x 3380 wide Clear Opening C/B, Wind Locked
1	KFO1	2100H x 1800W Framed Opening, Door must be fitted
5	KWN1	AMI - Reg A & B, 790x1505 CLR, Window Kit (BDSP)

Accredited Practitioner
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CP4719P
LEVEL 1, 12 BEAUMONT ST
HAMILTON NSW 2303
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30/06/2023

NOT FOR CONSTRUCTION

CLIENT
Warren Browne
SITE
209 Back Tea Tree Rd
RICHMOND TAS 7025

BUILDING
SUNDOWN DELUXE
10000 SPAN x 4000 EAVE x 20000 LONG

TITLE
GENERAL ARRANGEMENT

SCALE A3 SHEET 1:100	DRAWING NUMBER 425202-GA1	REV B	PAGE 1/9
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