

CLARENCE CITY COUNCIL (PLANNING AUTHORITY) MEETING**MONDAY 29 FEBRUARY 2016****TABLE OF CONTENTS**

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**BUSINESS TO BE CONDUCTED AT THIS MEETING IS TO BE CONDUCTED IN THE ORDER IN WHICH
IT IS SET OUT IN THIS AGENDA UNLESS THE COUNCIL BY ABSOLUTE MAJORITY DETERMINES
OTHERWISE**

1. APOLOGIES

Nil.

2. DECLARATIONS OF INTERESTS OF ALDERMAN OR CLOSE ASSOCIATE

(File No 10-03-09)

In accordance with Regulation 8 of the Local Government (Meeting Procedures) Regulations 2015 and Council's adopted Code of Conduct, the Mayor requests Aldermen to indicate whether they have, or are likely to have a pecuniary interest (any pecuniary benefits or pecuniary detriment) or conflict of interest in any item on the Agenda.

3. REPORTS OF OFFICERS

NB: Requests for Deputations will be finalised on the Friday prior to the Meeting

3.1 DEVELOPMENT APPLICATION D-2015/459 - 170 SUGARLOAF ROAD AND 1 ELAIA DRIVE, RISDON VALE - AGED CARE FACILITY
(File No D-2015/459)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for an Aged Care Facility at 170 Sugarloaf Road and 1 Elaia Drive, Risdon Vale.

RELATION TO PLANNING PROVISIONS

The land is zoned General Residential, is subject to the Bushfire Prone Areas, Parking and Access and Stormwater Management Codes, and the Olive Grove Specific Area Plan under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

LEGISLATIVE REQUIREMENTS

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 10 March 2016.

CONSULTATION

The proposal was advertised in accordance with statutory requirements and no representations were received.

RECOMMENDATION:

- A. That the Development Application for an Aged Care Facility at 170 Sugarloaf Road and 1 Elaia Drive, Risdon Vale (CI Ref D-2015/459) be approved subject to the following conditions and advice.
1. GEN AP1 – ENDORSED PLANS.
 2. GEN F5 – PART 5 AGREEMENT (BUSHFIRE).
 3. The developer of the site is to implement the measures prescribed in the Bushfire Hazard Management Plan prior to the commencement of the use of the site. The operators of the site are to then maintain the prescribed measures for the duration of the use of the site in accordance with the approved permit.
 4. Emergency evacuation plans, including designated emergency meeting points, which provide protection to fire fighters and evacuees must be developed and endorsed by a suitably qualified person. These plans must be submitted to Council's Manager City Planning prior to the commencement of the use of the site.

Information to staff, occupants and visitors on bushfire safety and evacuation procedures must also be clearly displayed in publicly accessible areas of the site at all times.

5. No works are to commence on-site prior to the creation of the lot as a separate title with completed road access.
6. GEN C1 – ON-SITE CAR PARKING [28] Delete last sentence.
7. GEN V8 – BICYCLE STORAGE [16].
8. GEN M14 – STORAGE AREAS.
9. GEN S1 – SIGN CONSENT.
10. ENG A5 – SEALED CAR PARKING.
11. ENG S1 – INFRASTRUCTURE REPAIR.
12. ENG S5 – STORMWATER PRINCIPLES.
13. ENG S10 – UNDERGROUND SERVICES.
14. ENG M1 – DESIGNS DA.
15. ENG M5 – EROSION CONTROL.
16. ENG R5 – ROAD EXTENSION.
17. All stormwater run-off from impervious surfaces within the site must be treated and discharged from site using Water Sensitive Urban Design principles to achieve stormwater quality and quantity targets in accordance with the State Stormwater Strategy 2010. Detailed engineering designs accompanied with a report on all stormwater design parameters and assumptions (or the MUSIC model) must be submitted to Council's Group Manager Asset Management for approval prior to the issue of a building or plumbing permit. This report is to include the maintenance management regime/replacement requirements for the treatment facility.
18. Prior to the commencement of the use, the landowner must enter into an agreement with Council under Part 5 of the Land Use Planning and Approvals Act, 1993 in such form as Council may require and which provides for the following:
 - the Maintenance Management Schedule/Regime obligations for the stormwater treatment facility and a requirement to report to Council on an annual basis stating that all maintenance requirements for the facility have been met.

The agreement will be prepared and registered by Council. The landowner is responsible for all Council and Land Titles Office fees and charges. Upon written request from the landowner and payment of relevant fees, Council will prepare the Part 5 Agreement.

19. LAND 1A – LANDSCAPE PLAN.
 20. LAND 3 – LANDSCAPE BOND (COMMERCIAL).
 21. LAND 7 – WATERING.
 22. The development must meet all required Conditions of Approval specified by TasWater notice dated 9/11/2015 (TWDA D-2015/459).
 23. ADVICE 5 – FOOD SPECIFICATIONS ADVICE.
 24. ADVICE 6 – FOOD REGISTRATION ADVICE.
- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

ASSOCIATED REPORT

1. BACKGROUND

Previously, a retirement village and aged care facility was approved over a portion of the parent lot at 170 Sugarloaf Road (now 1 Elaia Drive). This development has not progressed beyond site works. The previous approval included an aged care facility with only 78 beds which was incorporated into the cluster of the buildings of a retirement village. A new retirement village is now being considered under separate application for the 1 Elaia Drive site.

2. STATUTORY IMPLICATIONS

- 2.1.** The land is zoned General Residential, is subject to the Bushfire Prone Areas, Parking & Access and Stormwater Management Codes, and the Olive Grove Specific Area Plan under the Scheme.
- 2.2.** The proposal is Discretionary because it does not meet the Acceptable Solutions under the Scheme.

2.3. The relevant parts of the Planning Scheme are:

- Section 8.10 – Determining Applications;
- Part D – General Residential Zone;
- Part E – Bushfire Prone Areas, Parking & Access and Stormwater Management Codes; and
- Part F – Olive Grove Specific Area Plan.

2.4. Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

3. PROPOSAL IN DETAIL

3.1. The Site

The site is a regularly shaped 2.193ha lot which has been approved through SD-2015/49, but has yet to be created. The lot slopes moderately down toward the north-western corner. The site has previously been cleared and has a few trees along the northern boundary, but is otherwise covered in low-lying grasses.

3.2. The Proposal

The proposal is for the construction of a new, 90 bed, aged care facility at 170 Sugarloaf Road, Risdon Vale. The building will have a central hub, with 6 wings radiating out from this at approximately 30° angles to the central hub, as shown on the attachments. Each room will have its own ensuite near the central corridor, and a small, screened deck facing out into the gardens. The central hub includes kitchen facilities, dining rooms, consultant's rooms, library, staff work stations, reception and a number of varying sized lounge and sitting room areas.

The building will all be on one level, with no utilisation of the undercroft area for storage or such. The site will be retained with a combination of retaining walls and batter to ensure that all actual development associated with this use is contained on the future lot.

Bushfire management is proposed to extend into the future road reservation and into the adjacent property at 1 Elaia Drive, Risdon Vale.

The building will have a maximum height of 8.09m. It will be setback 4m from the western boundary, 3.6m from the future eastern road boundary, 26m from the northern boundary and 46m from the future southern property boundary. There will be landscaping and gazebos in the courtyard areas between the wings of the building to provide outdoor recreation space for the residents and staff of the facility.

Parking will be provided at the southern side of the building to accommodate 32 cars, 16 bicycles and 3 motorbikes. This is designed for one way traffic to circulate through the car parking area. There will be landscaping on the central area between the car parking spaces.

The adjacent property at 1 Elaia Drive is included in this application because it is relied upon to achieve compliance with the stormwater code. This is because stormwater detention ponds for the treatment of stormwater from this site are located on 1 Elaia Drive.

The building is over 40m from the nearest dwelling to the north and there is established screening vegetation on that adjacent property, ensuring that there will be no undue impact on existing residential amenity in the area.

Stormwater from the site is to be channelled onto the adjacent property to the west at 1 Elaia Drive and treated in detention ponds on this site in order to satisfy the Stormwater Management Code of the Scheme.

4. PLANNING ASSESSMENT

4.1. Determining Applications [Section 8.10]

“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:

(a) all applicable standards and requirements in this planning scheme; and

(b) any representations received pursuant to and in conformity with ss57(5) of the Act;

but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.

Reference to these principles is contained in the discussion below.

4.2. Compliance with Zone and Codes

The proposal is a permitted use and meets the Scheme’s relevant Acceptable Solutions of the General Residential Zone (which are limited by Clause 10.5.1 A1 to Clauses 10.4.2 A1 and A3; 10.4.3 A1 (a) and (c); and 10.4.7 A1) and Bushfire Prone Areas, Parking & Access and Stormwater Management Codes with the exception of the following.

Bushfire Prone Areas Code

Clause	Standard	Acceptable Solution (Extract)	Proposed
E1.5.1.1 A1	Standards for vulnerable uses	No acceptable solution	Aged care facility

The proposed variation can be supported pursuant to the following Performance Criteria.

“P1 - Vulnerable uses, other than visitor accommodation, must demonstrate that they are of an overriding benefit to the community and that there is no suitable alternative site”.

- The applicant has submitted that there is no such facility available in the immediate area and that, given the aging population, there is a growing need for such a facility in close proximity to the families of the likely residents.

- Notably, the proposal replaces a previously approved but undeveloped similar facility on the adjacent property.

Bushfire Prone Areas Code

Clause	Standard	Acceptable Solution (Extract)	Proposed
E1.5.1.1 A2	Standards for vulnerable uses	Vulnerable uses must demonstrate bushfire protection measures, addressing the characteristic, nature and scale of the vulnerable use, the characteristics of its occupants and the bushfire-prone vegetation, which are incorporated into a bushfire hazard management plan, certified by an accredited person or the TFS, that any risks associated with the use are tolerable, and that the plan provides for: (a) emergency evacuation plans, including designated emergency meeting points, which provide protection to fire fighters and evacuees; and (b) information to staff, occupants and visitors on bushfire safety and evacuation procedures	No emergency evacuation plan was submitted with the application

There are no performance criteria for this standard, which means that the acceptable solution must be met.

No emergency evacuation plan was submitted with the application as the applicant contested that this was not necessary at this stage of the development and would be developed with the operator of the site at the time the use is to commence.

As such, it is necessary to include a condition in the permit requiring an emergency evacuation plan be provided prior to the commencement of the use.

Stormwater Management Code

Clause	Standard	Acceptable Solution (Extract)	Proposed
E7.7.1 A2	Stormwater Drainage and Disposal	A stormwater system for a new development must incorporate water sensitive urban design principles R1 for the treatment and disposal of stormwater if any of the following apply: (a) the size of new impervious area is more than 600m ² ; (b) new car parking is provided for more than 6 cars;	Stormwater from the site is proposed to be channelled onto the adjacent property, where it will be held in detention ponds prior to entering the Council's stormwater Main.

The proposed variation can be supported pursuant to the following Performance Criteria.

“P2 - A stormwater system for a new development must incorporate a stormwater drainage system of a size and design sufficient to achieve the stormwater quality and quantity targets in accordance with the State Stormwater Strategy 2010, as detailed in Table E7.1 unless it is not feasible to do so”.

- Council engineers have assessed the proposal and found that, through the use of detention areas on the adjacent property at 1 Elaia Drive, there is sufficient capacity in the stormwater system to cope with the additional loading created by the development of the site.

5. EXTERNAL REFERRALS

The proposal was referred to TasWater, which has provided a number of conditions to be included on the planning permit if granted.

6. STATE POLICIES AND ACT OBJECTIVES

6.1. The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

6.2. The proposal is consistent with the objectives of Schedule 1 of LUPAA.

7. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS

7.1. There are no inconsistencies with Council's adopted Strategic Plan 2010-2015 or any other relevant Council Policy, including Council's Positive Ageing Plan, the development in fact is supported by both of these policy documents.

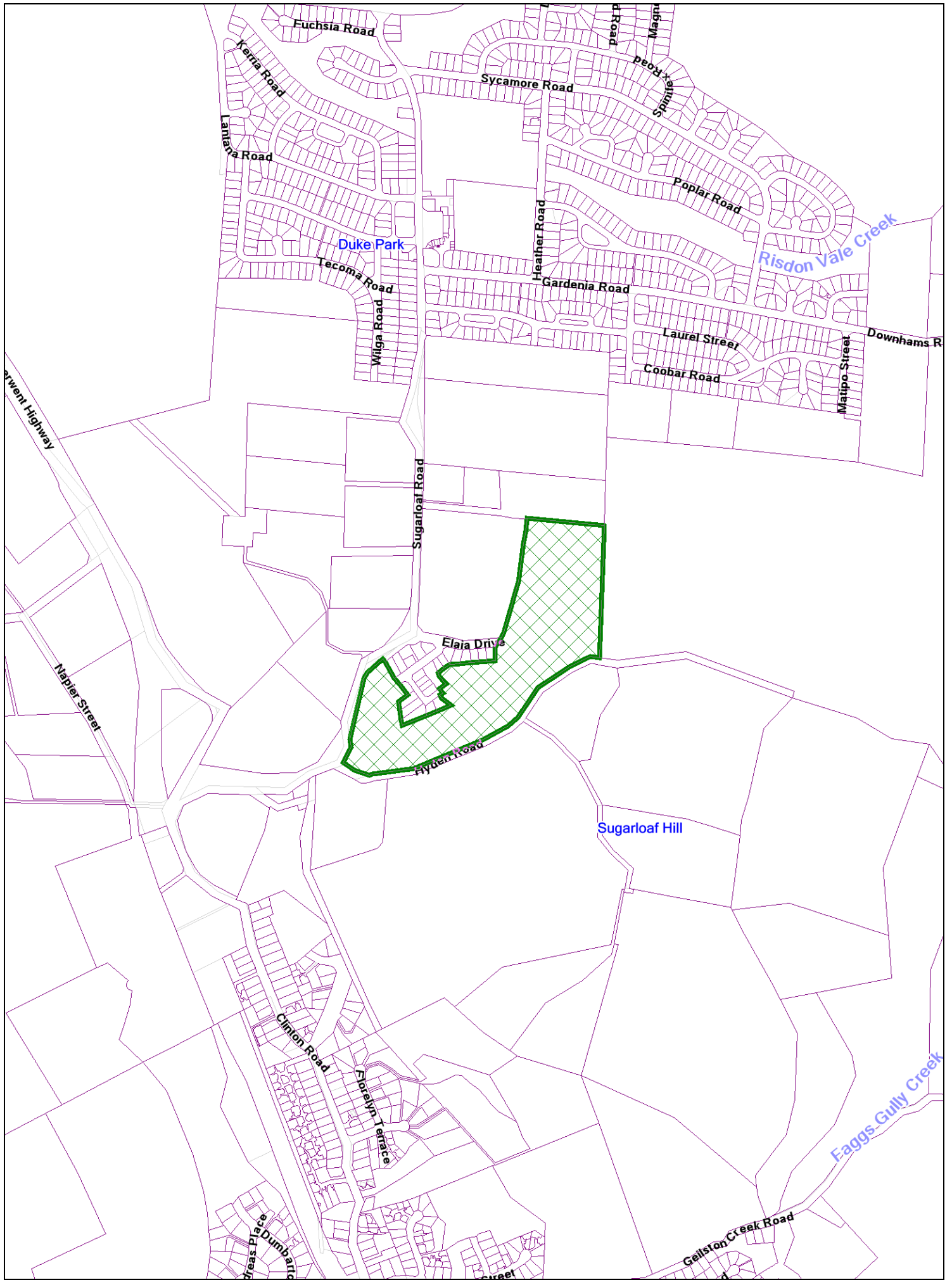
7.2. Developer contributions are not required to comply with any Council policies.

8. CONCLUSION

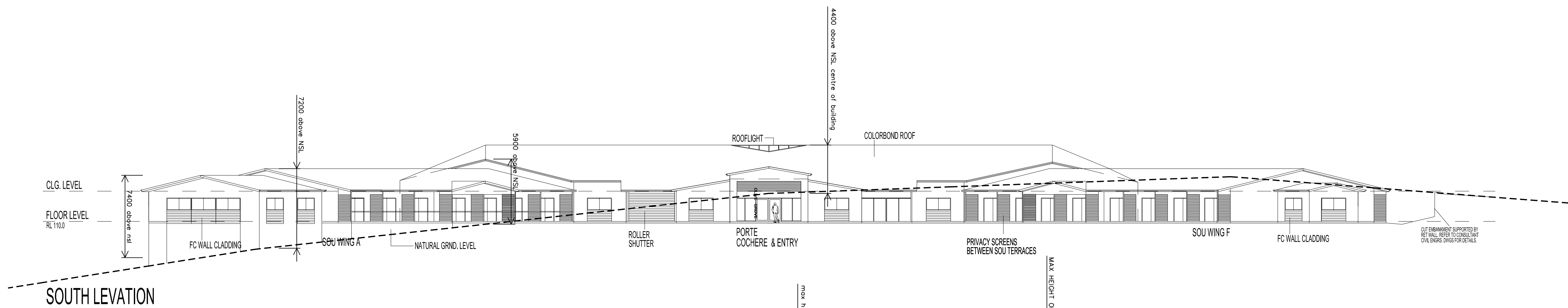
The proposal is for an aged care facility with capacity for 90 beds at 170 Sugarloaf Road, Risdon Vale, which relies upon 1 Elaia Drive, Risdon Vale for stormwater management. It meets the relevant Scheme requirements, and is therefore recommended for conditional approval.

Attachments: 1. Location Plan (1)
2. Proposal Plan (6)
3. Site Photo (1)

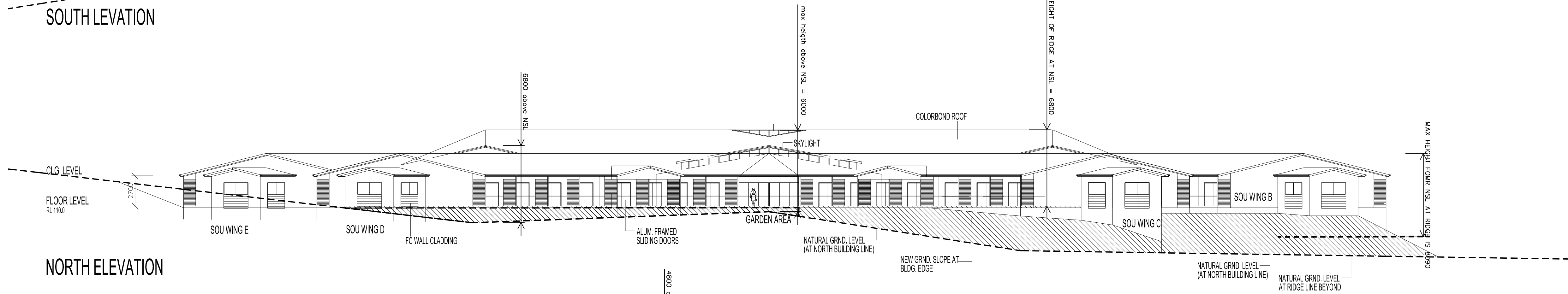
Bruce Gibbs
ACTING MANAGER CITY PLANNING



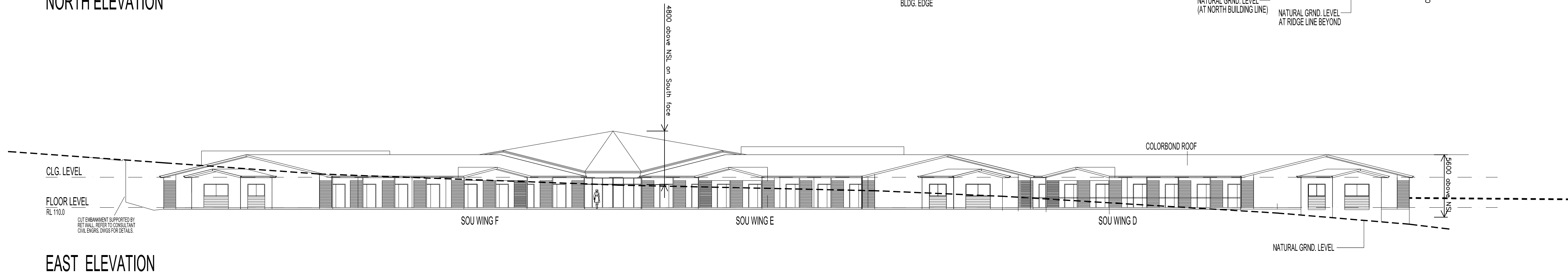
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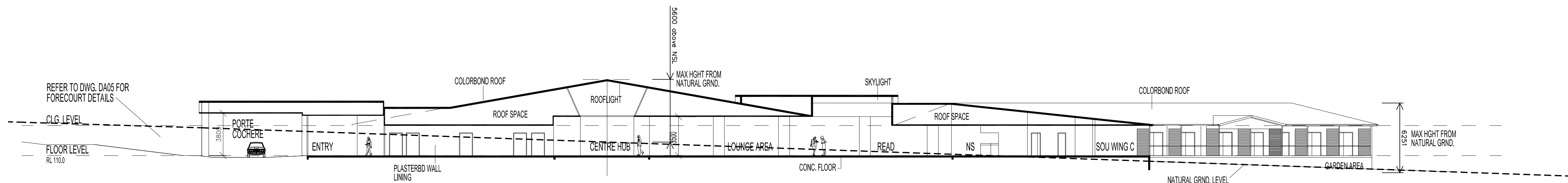
SOUTH LEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

PROPOSED RISDON VALE 90 BED AGED CARE FACILITY - OLIVE GROVE

PRELIMINARY PRINT

P1 | 21.01.15 | ISSUE FOR APPROVAL
REV DATE REMARK

SAFETY IN DESIGN REPORT
In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design.

The following risks which are unique to this design have been identified:	NIL
This report does not relieve contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.	



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PROJECT
**SUGARLOAF ROAD
REDEVELOPMENT**

TITLE
BUILDING ELEVATIONS

Accepted (Discipline Head)	Date
Accepted R. BESSELL (Team Leader)	Date
Approved R. BESSELL (Group Manager)	Date
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SCALES @ A2	DESIGNED BY
RB	KJH
1:100	PLOT DATE
	21/01/2016

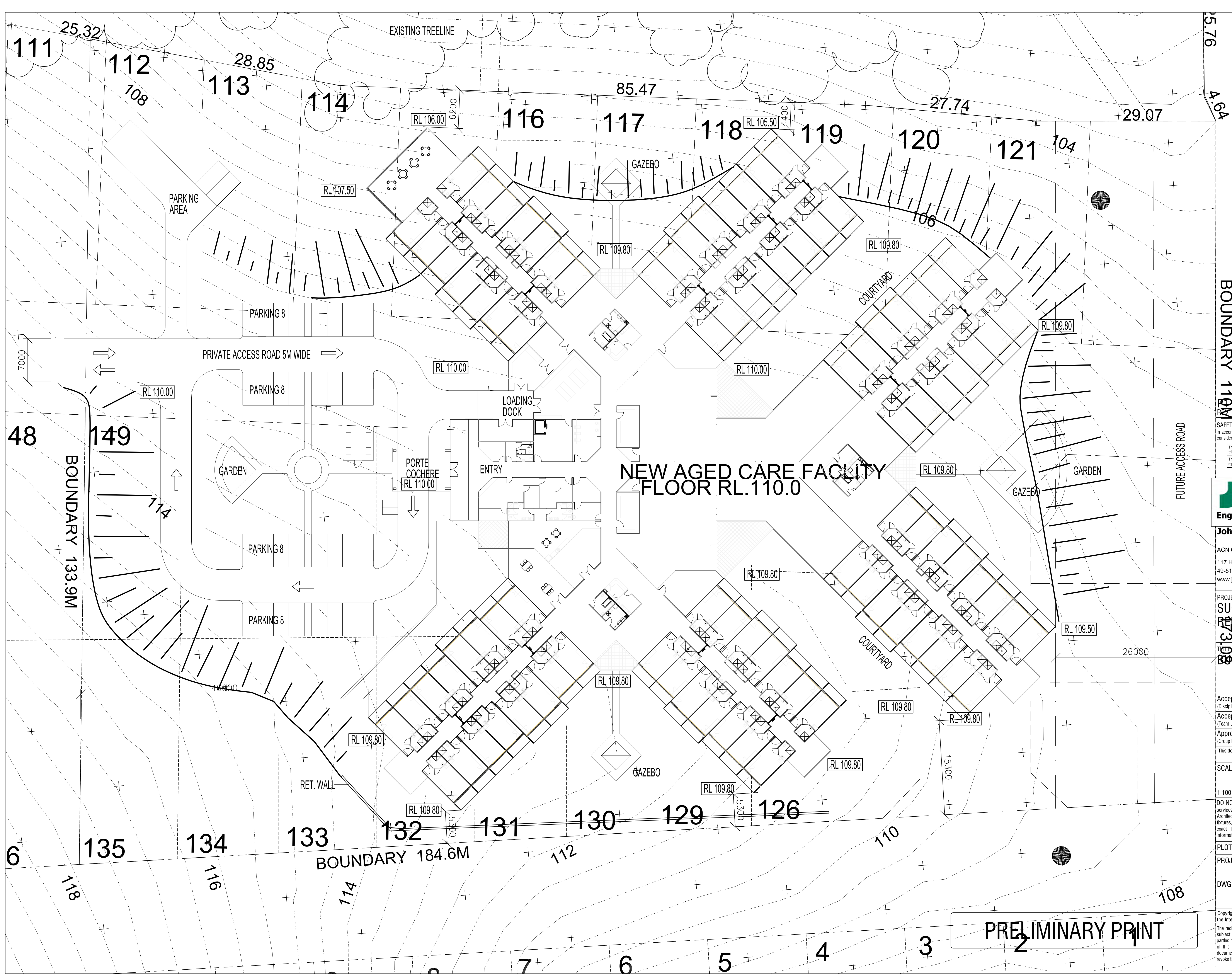
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PLOT DETAILS J153071 JMG ELEVATIONS.DWG

PROJECT NO. J153071PH

DWG NO. P04 REVISION P1

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JMG Engineers & Planners 70 Sugarloaf Road - Page 2 of 8



REV	21.01.15	ISSUE FOR APPROVAL
DATE		REMARK

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PROJECT
SUGARLOAF ROAD
REDEVELOPMENT

BUILDING ELEVATIONS

Accepted (Discipline Head)	Date
Accepted R. BESSELL (Team Leader)	Date
Approved R. BESSELL (Group Manager)	Date

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1:100	RB	KJH
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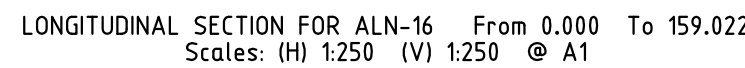
PLOT DETAILS JMG DA SITE PLAN.DWG

PROJECT NO. J153071PH

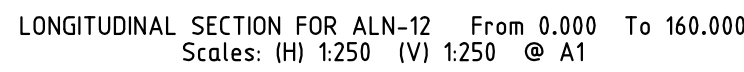
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P03	P1

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Sugarloaf Road - Page 4 of 8

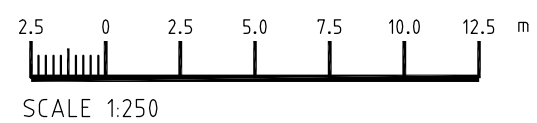
PRELIMINARY PRINT



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SCALE



SECTION
SCALE



PRELIMINARY PRINT

P3	21.01.16	CLARIFICATION OF ROOF HEIGHT HEIGHTS ADDED
P2	05.01.15	
P1		PRELIMINARY - FOR COMMENT
REV	DATE	REMARK

SAFETY IN DESIGN REPORT

In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design.

The following risks which are unique to this design have been identified:	YES
This report does not reduce those from their responsibilities under the Act to identify, investigate and manage all aspects of risk and safety.	

JM
Engineers & Planners

Johnstone McGee & Gandy Pty. Ltd
Incorporating **Dale P Luck & Associates**

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PROJECT
SUGARLOAF ROAD
DEVELOPMENT

TITLE

LONGITUDINAL SECTION

Accepted G. ATIERTON (Discipline Head)	Date
Accepted T. O'CONNOR (Team Leader)	Date
Approved R. BESSELL (Group Manager)	Date
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	RB
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	21/01/2016

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PROJECT NO. J153071PH

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P02	P3

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UNIT 1 - 2 KENNEDY DRIVE
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This plan has been prepared only for the purpose
of obtaining preliminary subdivisional approval from
the local authority and is subject to that approval

All measurements and areas are subject to the
final survey

OWNER SUGARLOAF HEIGHTS PTY LTD

LOCATION 170 SUGARLOAF ROAD
RISDON VALE

TITLE REFERENCE C.T.168081/2

PROPOSED EASEMENTS AS REQUIRED

GRANTEE SEE TITLE

SCALE 1:1250 (A1)
1:2500 (A3)

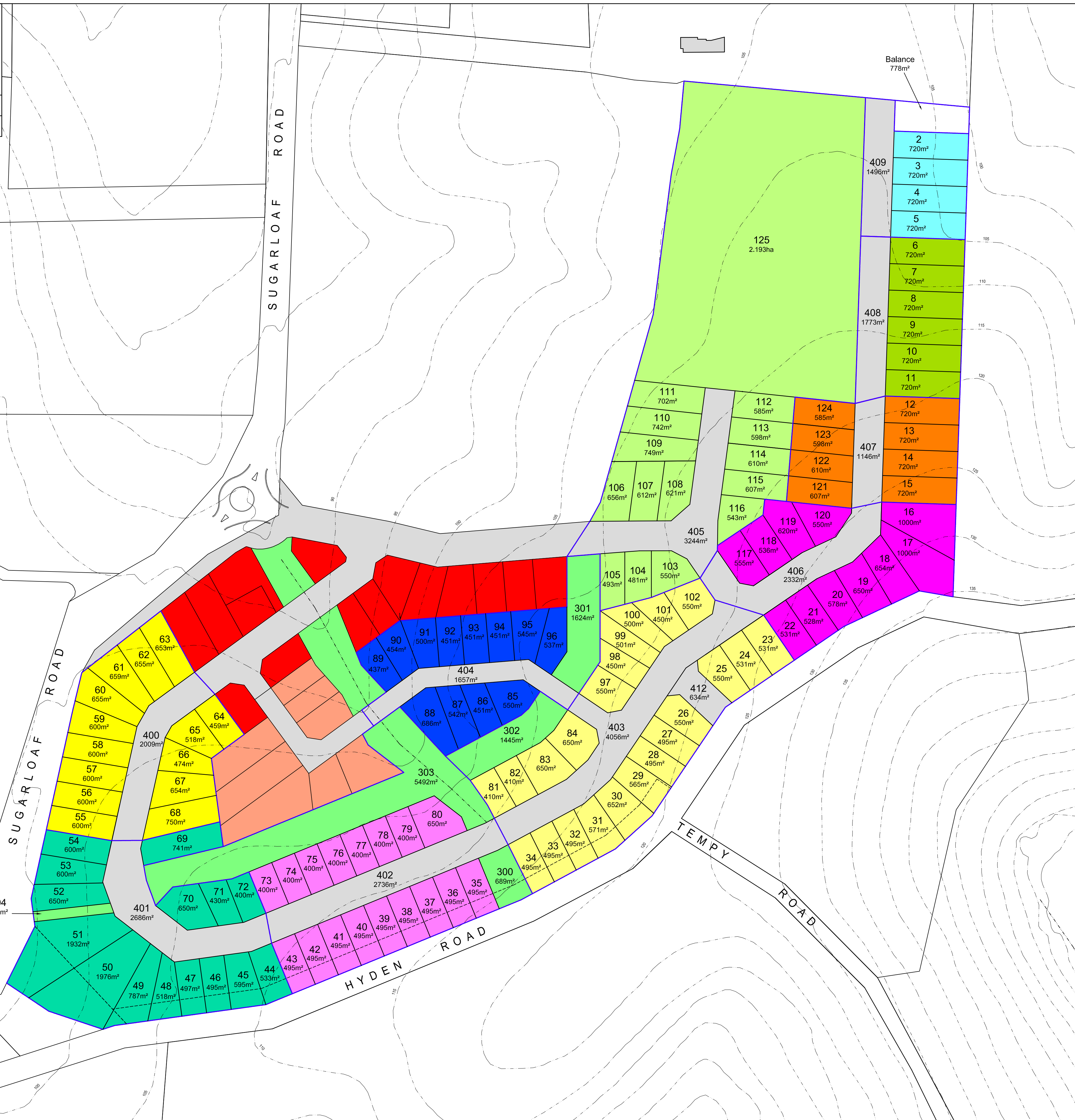
DATE 9-10-2015

MUNICIPALITY CLARENCE

REF. NO. PAPAA09
912909

PROPOSED SUBDIVISION STAGING PLAN - Plan 3 of 3

- STAGE 1a - complete (SD 2010/9)
- STAGE 2a - complete (SD 2010/9)
- STAGE 2b - LOTS 55-68 & Road 400 (14 lots)
- STAGE 2c - LOTS 103 - 116, Lot 125 & Road 405 (15 lots)
- STAGE 2d - LOTS 44-54, 69-72, Road 401 & P.O.S 304 (15 lots)
- STAGE 3a - LOTS 35-43, 73-80, Road 402 & P.O.S 300 & 303 (17 lots)
- STAGE 3b - LOTS 23-34, 81-84, 97-102, Road 403 & Road 412 & P.O.S 302 (22 lots)
- STAGE 4 - LOTS 85-96, Road 404 & P.O.S 301 (12 lots)
- STAGE 5 - LOTS 16-22, 117 - 120 & Road 406 (11 lots)
- STAGE 6 - LOTS 12-15, 121-124 & Road 407 (8 lots)
- STAGE 7 - LOTS 6-11 & Road 408 (6 lots)
- STAGE 8 - LOTS 2-5 & Road 409 (4 lots)



LEGEND

- W — WATER EXISTING
- S — SEWER EXISTING
- SW — STORMWATER EXISTING
- WATER PROPOSED 1500
- WATER PROPOSED 1000
- WATER PROPOSED 630
- SEWER PROPOSED 1500
- STORMWATER PROPOSED
- SWALE DRAIN PROPOSED
- WATERCOURSE EXISTING
- GRASSED CUT OFF DRAIN

BIOFILTER

NOTE : UNDERGROUND
POWER AND COMS (NBN)
LOCATED ADJACENT TO
WATER



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PRELIMINARY

Rev No	Revision note	Date	Approved
A	FOR APPROVAL	OCT15	HJP

POORTENAAR CONSULTING
ABN 40 672 032 737
PH 62664708
heln@poortenaarconsulting.com

Client	PLUIM GROUP
Project	RETIREMENT VILLAGE, 170 SUGARLOAF ROAD,
Title	SERVICES CONCEPT 1 OF 3
Scale	NTS
Designed By	HJP POORTENAAR
Date	OCT15
Drawing No	15110001
Rev	

170 Sugarloaf Road & 1 Elaia Drive, RISDON VALE



Site viewed from future lot access (new road to be created off Elaia Drive, Risdon Vale)

3.2 DEVELOPMENT APPLICATION D-2015/532 - 1 ELAIA DRIVE, RISDON VALE - RETIREMENT VILLAGE
(File No D-2015/532)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for a Retirement Village at 1 Elaia Drive, Risdon Vale.

RELATION TO PLANNING PROVISIONS

The land is zoned General Residential, is subject to the Bushfire Prone Areas and Parking & Access codes, and the Olive Grove Specific Area Plan under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

LEGISLATIVE REQUIREMENTS

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 17 March 2016.

CONSULTATION

The proposal was advertised in accordance with statutory requirements and no representations were received.

RECOMMENDATION:

- A. That the Development Application for Retirement Village at 1 Elaia Drive, Risdon Vale (Cl Ref D-2015/532) be approved subject to the following conditions and advice.
1. GEN AP1 – ENDORSED PLANS.
 2. GEN AP3 – AMENDED PLANS
 - [• clarifying the number of dwellings proposed for the site. An updated site plan showing the correct unit numbers, identifying a total of 82 dwellings for the proposal.
 - an amended site plan, including no less than 10 car parking spaces adjacent to the eastern side of the community building;
 - the southern side of all decks with a finished floor level greater than 1m above natural ground level must be screened to a height of 1.6m with a transparency no greater than 25%].

3. The “community centre” is approved as part of the retirement village use of the site. As such, it must be available for use by residents at all times and is not to be made available for use or hire by non-residents of the village.
4. GEN F5 – PART 5 AGREEMENT (BUSHFIRE).
5. The developer of the site is to implement the measures prescribed in the bushfire hazard management plan prior to the commencement of the use of the site. The operators of the site are to then maintain the prescribed measures for the duration of the use of the site in accordance with the approved permit.
6. Emergency evacuation plans including designated emergency meeting points, which provide protection to fire fighters and evacuees must be developed and endorsed by a suitably qualified person. These plans must be submitted to Council’s Manager City Planning prior to the commencement of the use of the site.

Information to staff, occupants and visitors on bushfire safety and evacuation procedures must also be clearly displayed in publicly accessible areas of the site at all times.
7. GEN C1 – ON-SITE CAR PARKING [113] delete last 2 sentences. Add: “A minimum of 92 of these must be provided as per Conditions 1 and 2, with the balance able to be provided informally throughout the site” after the first sentence.
8. GEN M14 – STORAGE AREAS.
9. GEN S1 – SIGN CONSENT.
10. LAND 1A – LANDSCAPE PLAN [add dot points as follows:
 - landscaping of the “future reserve” and “20m wide reserve”, consistent with any bushfire management that may be required for the site, must be included in the landscape plan;
 - rehabilitation and landscaping of the excavated area at the northern end of the Sugarloaf Road frontage is to be included in the landscape plan.
11. LAND 3 – LANDSCAPE BOND (COMMERCIAL).
12. LAND 7 – WATERING.
13. ENG A5 – SEALED CAR PARKING.
14. ENS S1 –INFRASTRUCTURE REPAIR.
15. ENG S5 – STORMWATER PRINCIPLES.

16. ENG S10 – UNDERGROUND SERVICES
 17. ENG M1 – DESIGNS DA. After “Such designs must be” add “compliant with all current Council By-Laws and adopted standards. These designs, together with the safety in design report”.
 18. All stormwater run-off from impervious surfaces within the site must be treated and discharged from site using Water Sensitive Urban Design principles to achieve stormwater quality and quantity targets in accordance with the State Stormwater Strategy 2010. Detailed engineering designs accompanied with a report on all stormwater design parameters and assumptions (or the MUSIC model) must be submitted to Council’s Group Manager Asset Management for approval prior to the issue of a building or plumbing permit. This report is to include the maintenance management regime/replacement requirements for the treatment facility.
 19. Prior to the commencement of the use, the landowner must enter into an agreement with Council under Part 5 of the Land Use Planning and Approvals Act, 1993 in such form as Council may require and which provides for the Maintenance Management Schedule/Regime obligations for the stormwater treatment facility and a requirement to report to Council on an annual basis stating that all maintenance requirements for the facility have been met.

The agreement will be prepared and registered by Council. The landowner is responsible for all Council and Land Titles Office fees and charges. Upon written request from the landowner and payment of relevant fees, Council will prepare the Part 5 Agreement.
 20. The development must meet all required Conditions of Approval specified by TasWater notice dated 16/02/2016 (TWDA 2015/01937-CCC).
- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council’s decision in respect of this matter.

DEVELOPMENT APPLICATION D-2015/532 - 1 ELAIA DRIVE, RISDON VALE - RETIREMENT VILLAGE /contd...

ASSOCIATED REPORT**1. BACKGROUND**

Previously, a 176 dwelling Retirement Village and a 78 bed Aged Care Facility were approved, under permit D-2009/76, over a portion of the parent lot at 170 Sugarloaf Road (now 1 Elaia Drive). This development has not progressed beyond site works. The previous approval included an aged care facility which was incorporated into the cluster of the buildings of a retirement village. A new aged care facility is now being considered through D-2015/459 on the parent property at 170 Sugarloaf Road, on a future lot adjacent and to the east of this application site.

2. STATUTORY IMPLICATIONS

- 2.1.** The land is zoned General Residential, is subject to the Bushfire Prone Areas Parking & Access and Stormwater Management codes, and the Olive Grove Specific Area Plan under the Scheme.
- 2.2.** The proposal is Discretionary because it does not meet the Acceptable Solutions under the Scheme.
- 2.3.** The relevant parts of the Planning Scheme are:
- Section 8.10 – Determining Applications;
 - Part D – General Residential Zone;
 - Part E – Bushfire Prone Areas, Parking & Access and Stormwater Management Codes; and
 - Part F – Olive Grove Specific Area Plan.

- 2.4.** Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

3. PROPOSAL IN DETAIL

3.1. The Site

The site is a generally regularly shaped 5.969ha lot on the eastern side of Sugarloaf Road, north of the corner of Elaia Drive and Sugarloaf Road, Risdon Vale. The land slopes moderately down toward a gully near the centre of the site which runs down to the western boundary. There are a number of trees remaining to the north of the gully and as such to the north of the area to be developed (predominantly to the south of the gully).

There has been some benching of the site in accordance with the previous approval, D-2009/76, which will need to be ameliorated in places where development is no longer proposed, to minimise the visual impacts. This will include grading to achieve a more natural finish. Landscaping and/or replacement plantings will also be required in such areas of the site.

3.2. The Proposal

The proposal is for the construction of 82 independent living, retirement village dwellings, a community centre and an associated maintenance shed at 1 Elaia Drive, Risdon Vale.

The dwellings will be constructed in 6 co-joined rows, with between 6 and 20 units per row. The 2 outside rows will be single storey with hipped roofs. The middle 4 rows will be 2 storeys with skillion roofs and completely separate residences above and below (as shown in the 3D rendering provided in the attachments).

The community centre will be a large open space, with the capacity to split it into 2 sections through the use of folding doors. There will be an office, small kitchen and some toilets along the southern end of the building, with storage on the southern end of the eastern side of the building.

Additionally, a 12m x 12m maintenance shed is proposed in the north-western corner of the site. This shed will be shaped like a “Quaker barn”, with a significantly higher central section than the sides.

Stormwater from the site will be channelled to a detention area near the centre of the western, Sugarloaf Road, boundary.

The application was submitted with supporting documentation, including a Traffic Impact Assessment, which demonstrated that the road network is capable of supporting the proposed development with the access to public roads and on-site manoeuvring as shown on the advertised plans.

4. PLANNING ASSESSMENT

4.1. Determining Applications [Section 8.10]

“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*
but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.

Reference to these principles is contained in the discussion below.

4.2. Compliance with Zone and Codes

The proposal meets the Scheme’s relevant Acceptable Solutions of the General Residential Zone and the Bushfire Prone Areas and Parking & Access Codes with the exception of the following.

General Residential Zone

Clause	Standard	Acceptable Solution (Extract)	Proposed
10.4.2 A3	Setbacks and building envelope for all dwellings	<p>A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:</p> <p>(a) be contained within a building envelope (refer to Diagrams 10.4.2A, 10.4.2B, 10.4.2C and 10.4.2D) determined by:</p> <p>(ii) projecting a line at an angle of 45° from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level;</p>	The dwellings labelled 39 and 40 on the site plan are proposed to have a maximum building height of 8.93m above natural ground level (a variation of up to 0.43m).

The proposed variation can be supported pursuant to the following Performance Criteria.

“P3 – The siting and scale of a dwelling must:

- (a) not cause unreasonable loss of amenity by:*
 - (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or*
 - (ii) overshadowing the private open space of a dwelling on an adjoining lot; or*
 - (iii) overshadowing of an adjoining vacant lot; or*
 - (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and*
- (b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area”.*

- 0.43m is a relatively minor variation and is limited to a relatively small portion of the site.
- The dwellings which exceed the maximum permissible height of the building envelope are centrally located in the development, so will not have an adverse impact on any properties external to the development site in terms of overshadowing or loss of privacy.

- Due to the scale of the development, and their location within the development, the height of the buildings will not have a significant visual impact on surrounding properties, with them blending into the overall development of the site.
- As the property is a corner lot, with a 22m setback to the eastern side boundary and 38m from the nearest building, but in excess of 100m from the dwellings to the northern boundary, there is ample separation between the buildings on the site and those on adjacent properties to maintain consistency with the surrounds.

General Residential Zone

Clause	Standard	Acceptable Solution (Extract)	Proposed
10.4.3 A2	Site coverage and private open space for all dwellings	<p>A dwelling must have an area of private open space that:</p> <p>(a) is in one location and is at least:</p> <p>(i) 24m²;</p> <p>(b) has a minimum horizontal dimension of:</p> <p>(i) 4m;</p> <p>(c) is directly accessible from, and adjacent to, a habitable room (other than a bedroom); and</p> <p>(e) is located between the dwelling and the frontage, only if the frontage is orientated between 30° west of north and 30° east of north, excluding any dwelling located behind another on the same site; and</p> <p>(f) has a gradient not steeper than 1 in 10.</p>	<p>Dwellings 1-6, 41-48, and the lower level dwellings do not have outdoor space which meets this standard.</p> <p>The upper level dwellings, shown in locations 7-40 all have decks which meet the acceptable solution.</p> <p>Therefore, discretion is sought for 48 of the 82 dwellings.</p>

The proposed variation can be supported pursuant to the following Performance Criteria.

“P2 – A dwelling must have private open space that:

- (a) includes an area that is capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children’s play and that is:*
- (i) conveniently located in relation to a living area of the dwelling; and*
 - (ii) orientated to take advantage of sunlight”.*

- All of the proposed dwellings will have an outdoor area dedicated for the use of the occupants. These will comprise a small access deck which can act as an extension to the living room, as well as some outdoor area for the ground level and single storey residences.
- These outdoor areas will receive some sunlight in the mornings and afternoons, with limited or no direct sunlight through the middle of the day.
- Given that this development is a retirement village, the number of people residing in each dwelling and the mobility of its inhabitants is likely to be less than a typical Multiple Dwelling. For this reason the need for private open space is likely to be less than that specified for a typical dwelling. As such, it is considered that the proposed outdoor areas are sufficient for the future residents in terms of need and maintenance.

General Residential Zone

Clause	Standard	Acceptable Solution (Extract)	Proposed
10.4.4 A1	Sunlight and overshadowing for all dwellings	A dwelling must have at least one habitable room (other than a bedroom) in which there is a window that faces between 30° west of north and 30° east of north.	Only 4 dwellings on the northern end of the upper level satisfy this standard. No other dwellings on the site have north facing living rooms.

The proposed variation can be supported pursuant to the following Performance Criteria.

“P1 – A dwelling must be sited and designed so as to allow sunlight to enter at least one habitable room (other than a bedroom)”.

- All dwellings have been designed and located on-site to ensure that they will receive sunlight to habitable rooms in the mornings and the afternoons, providing sufficient sunlight to enter the dwellings.

General Residential Zone

Clause	Standard	Acceptable Solution (Extract)	Proposed
10.4.6 A1	Privacy for all dwellings	<p>A balcony, deck, roof terrace, parking space, or carport (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above natural ground level must have a permanently fixed screen to a height of at least 1.7m above the finished surface or floor level, with a uniform transparency of no more than 25%, along the sides facing a:</p> <p>(c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is at least 6m:</p> <p>(i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or</p> <p>(ii) from a balcony, deck, roof terrace or the private open space, of the other dwelling on the same site.</p>	All upper level dwellings, shown on the site plan as 7-40, have side by side deck areas for private open space which have no screening provided between them.

The proposed variation can be supported pursuant to the following Performance Criteria.

“P1 – A balcony, deck, roof terrace, parking space or carport (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above natural ground level, must be screened, or otherwise designed, to minimise overlooking of:

- (a) a dwelling on an adjoining lot or its private open space; or*
(b) another dwelling on the same site or its private open space;
or

(c) an adjoining vacant residential lot”.

Nothing has been done to achieve the performance criteria. Accordingly, it is considered appropriate to require screening to the southern side of all decks with a finished floor level of greater than 1m above natural ground level. This screen should be 1.8m high and have a maximum transparency of 25%.

If this is provided, there is no need for screening of the northern side of the adjacent decks, as privacy will be achieved. This will also provide increased opportunity for sunlight to enter these decks as the screen will be setback to allow more sunlight to penetrate.

Bushfire Prone Areas Code

Clause	Standard	Acceptable Solution (Extract)	Proposed
E1.5.1.1 A1	Standards for vulnerable uses	No acceptable solution.	Aged care facility.

The proposed variation can be supported pursuant to the following Performance Criteria.

“P1 - Vulnerable uses, other than visitor accommodation, must demonstrate that they are of an overriding benefit to the community and that there is no suitable alternative site”.

The proposal replaces a previously approved but undeveloped facility on this site. As such, the matter of need for the development has been previously established.

Bushfire Prone Areas Code

Clause	Standard	Acceptable Solution (Extract)	Proposed
E1.5.1.1 A2	Standards for vulnerable uses	Vulnerable uses must demonstrate bushfire protection measures, addressing the characteristic, nature and scale of the vulnerable use, the characteristics of its occupants and the bushfire-prone vegetation, which are incorporated into a bushfire hazard management plan, certified by an accredited person or the TFS, that any risks associated with the use are tolerable, and that the plan provides for: (a) emergency evacuation plans, including designated emergency meeting points, which provide protection to fire fighters and evacuees; and (b) information to staff, occupants and visitors on bushfire safety and evacuation procedures.	No emergency evacuation plan was submitted with the application.

There are no performance criteria for this standard, which means that the acceptable solution must be met.

No emergency evacuation plan was submitted with the application as the applicant contested that this was not necessary at this stage of the development and would be developed with the operator of the site at the time the use was to commence.

As such, it is necessary to include a condition in the permit requiring an emergency evacuation plan, endorsed by a suitably qualified person, be provided prior to the commencement of the use.

Parking and Loading

Clause	Standard	Acceptable Solution (Extract)	Proposed
E6.7.1	Number of Vehicular Accesses	The number of vehicle access points provided for each road frontage must be no more than 1 or the existing number of vehicle access points, whichever is the greater.	Two accesses are proposed to Elaia Drive.

The proposed variation can be supported pursuant to the following Performance Criteria.

“P1 – The number of vehicle access points for each road frontage must be minimised, having regard to all of the following:

- (a) access points must be positioned to minimise the loss of on-street parking and provide, where possible, whole car parking spaces between access points;*
- (b) whether the additional access points can be provided without compromising any of the following:*
 - (i) pedestrian safety, amenity and convenience;*
 - (ii) traffic safety;*
 - (iii) residential amenity on adjoining land;*
 - (iv) streetscape;*
 - (v) cultural heritage values if the site is subject to the Local Historic Heritage Code;*
 - (vi) the enjoyment of any ‘al fresco’ dining or other outdoor activity in the vicinity”.*

Given the size of the frontage, it is considered appropriate to have a second access. This is because, given the General Residential zoning, it is possible for there to be many more driveways along the same expanse of road were it not for the intended use of the lot. There will be ample on-street parking available and the additional driveway will not impact upon any cultural, heritage, pedestrian and vehicle safety, or streetscape values for the site or surrounds.

Parking and Loading

Clause	Standard	Acceptable Solution (Extract)	Proposed
E6.6.1 A1	Number of car parking spaces	<p>The number of on-site car parking spaces must be:</p> <p>(a) no less than the number specified in Table E6.1.</p> <p>Table E6.1 requires 1 space per dwelling, plus 1 visitor space for every 4 dwellings.</p> <p>Therefore, 82 spaces are required for the dwellings, with a further 21 spaces required for visitors to the site.</p> <p>Therefore, a total of 113 spaces are required.</p>	<p>82 parking spaces are provided, one for each dwelling as an attached carport.</p> <p>The applicant proposes that the remainder of the required spaces be provided 'on-street' or as jockey parking at the residences.</p>

The proposed variation can be supported pursuant to the following Performance Criteria.

“P1 – The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:

- (a) car parking demand;*
- (b) the availability of on-street and public car parking in the locality;*
- (c) the availability and frequency of public transport within a 400m walking distance of the site;*
- (d) the availability and likely use of other modes of transport;*
- (e) the availability and suitability of alternative arrangements for car parking provision”.*

The applicant has proposed that jockey parking and parking in the internal road network will provide for the deficit in car parking spaces provided on-site. As the spaces are to be shared by all visitors to the site, and not all residences have the capacity for jockey parking, it is not appropriate to provide them as jockey car parking in the driveways of the individual residences where they can be accommodated.

Further, the internal road network does not have sufficient width for parking directly outside the residences without it impacting the manoeuvring of vehicles on-site. As such, this is also not a desirable outcome.

Notwithstanding this, the variation can be supported for the following reasons.

- There is sufficient space at the ends of the internal roads for the parking of 11-12 vehicles, which is considered appropriate to allow visitors to park near the residences and walk up or down the internal roads.
- Given the likely need for a community bus to service the resident's needs, as well as the decreased demand for multiple vehicles per dwelling in such environments, the reduction in formal car parking for the site is considered appropriate.

However, this leaves a deficit of 10 vehicle spaces. Given the use of the community building and the likely need for visitors such as doctors, hairdressers, caterers and the like to park vehicles for prolonged periods in its vicinity, it is considered appropriate to condition that the deficit spaces be provided adjacent to the driveway servicing the building.

Stormwater Management Code

Clause	Standard	Acceptable Solution (Extract)	Proposed
E7.7.1 A2	Stormwater Drainage and Disposal	A stormwater system for a new development must incorporate water sensitive urban design principles R1 for the treatment and disposal of stormwater if any of the following apply: (a) the size of new impervious area is more than 600m ² ; (b) new car parking is provided for more than 6 cars;	Stormwater from the site is proposed to be channelled into detention ponds prior to entering the Council's stormwater Main.

The proposed variation can be supported pursuant to the following Performance Criteria.

“P2 - A stormwater system for a new development must incorporate a stormwater drainage system of a size and design sufficient to achieve the stormwater quality and quantity targets in accordance with the State Stormwater Strategy 2010, as detailed in Table E7.1 unless it is not feasible to do so”.

Council engineers have assessed the proposal and found that, through the use of detention areas on-site, there is sufficient capacity in the stormwater system to cope with the additional loading created by the development of the site.

5. EXTERNAL REFERRALS

The proposal was referred to TasWater, which has provided a number of conditions to be included on the planning permit if granted.

6. STATE POLICIES AND ACT OBJECTIVES

6.1. The proposal is consistent with the outcomes of the State Policies.

6.2. The proposal is consistent with the objectives of Schedule 1 of LUPAA.

7. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS

7.1. There are no inconsistencies with Council's adopted Strategic Plan 2010-2015 or any other relevant Council Policy.

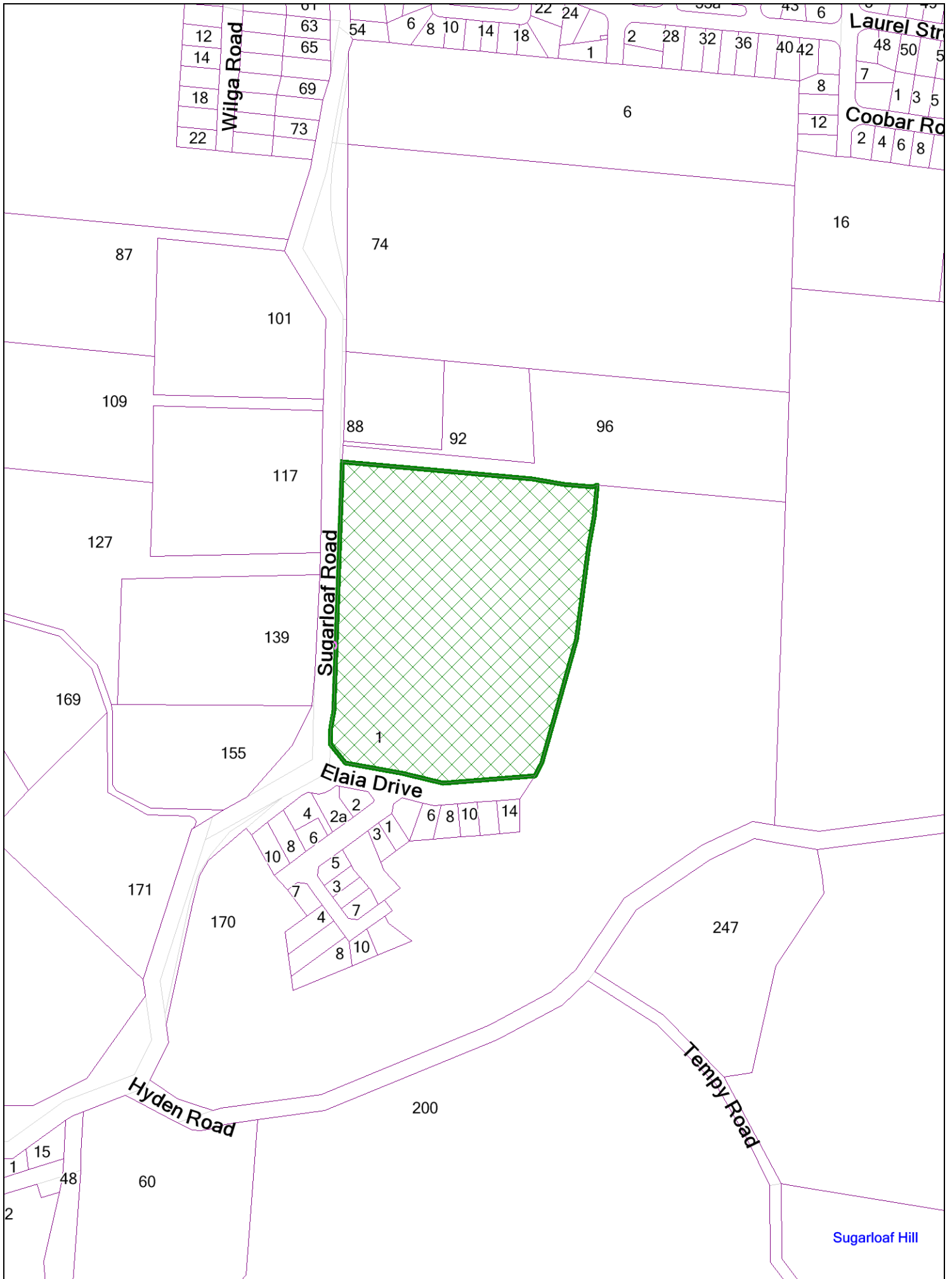
7.2. No developer contributions are required to comply with any Council policies.

8. CONCLUSION

The proposal is for the development of an 82 dwelling retirement village, with community building and storage shed, at 1 Elaia Drive, Risdon Vale. The proposal meets all of the relevant requirements of the Planning Scheme and as such is recommended for conditional approval as detailed above.

Attachments: 1. Location Plan (1)
2. Proposal Plan (19)
3. Site Photo (1)

Bruce Gibbs
ACTING MANAGER CITY PLANNING





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Sandy Bay 7005
Ph 0419 363 489
email architect@netspace.net.au

Project Title
**Retirement Village
170 Sugarloaf Rd.
RISDON VALE**

Client
Plum Group
Drawing Title
Master Plan Site

Drawn by PS
Scale 1:1000 @ A1
Date refer printed date below
File Number 1518
Drawing No 1
Thursday 4 February 2016

PRELIMINARY
Not to be used for construction
Revision Date



P3	04/02/16	SITE PLAN REVISED
P2	02/02/16	BUILDING FLOOR LEVELS ADDED
P1		PRELIMINARY - FOR COMMENT
REV	DATE	REMARK

SAFETY IN DESIGN REPORT
In accordance with the Workplace Health & Safety Acts and Regulations JMG have considered the potential hazards and risks that are specific to this design.

The following risks were assessed as being low risk.
This report does not release contractors from their responsibilities under the Act to identify, report, mitigate and manage all aspects of risk and safety.

Johnstone McGee & Gandy Pty. Ltd.
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PROJECT
SUGARLOAF ROAD DEVELOPMENT

TITLE
SITE PLAN

Accepted G. ATHERTON (Discipline Head)	Date
Accepted T. O'CONNOR (Team Leader)	Date
Approved R. BESSELL (Group Manager)	Date

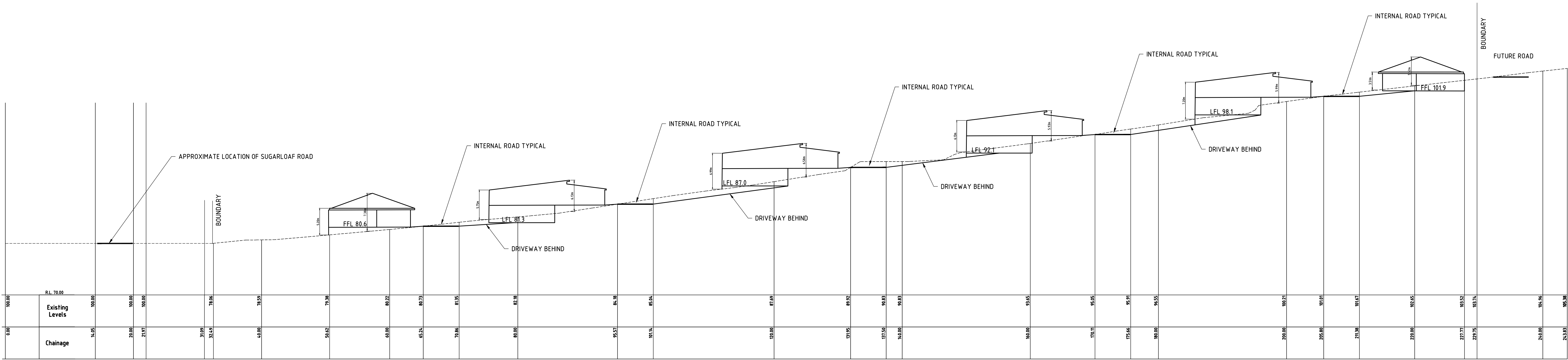
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1:500	RB	KJH
	PLOT DATE	04/02/2016

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PROJECT NO.	J153071PH
DWG NO.	P04
REVISION	P3

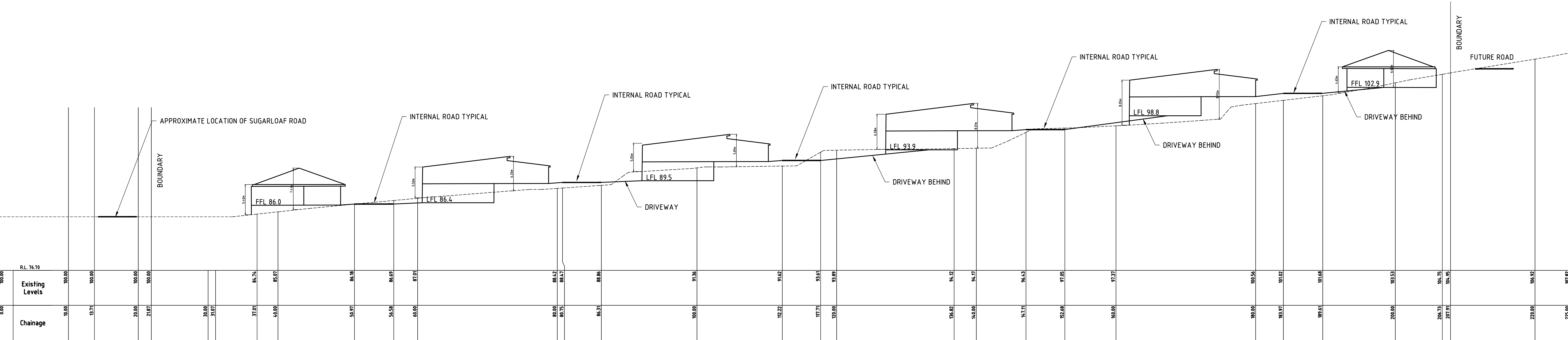
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ALN-site-2 From 0.000 To 243.829
Scales: H 1 in 300 V 1 in 300

SECTION
SCALE

C
P04



ALN-site-1 From 0.000 To 225.000
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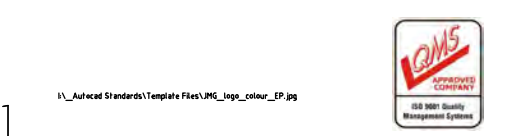
SECTION
SCALE

D
P04

FLOOR LEVELS AND BUILDING OUTLINES ADDED	
REV	REMARK
P2	2/2/16
P1	PRELIMINARY - FOR COMMENT

SAFETY IN DESIGN REPORT
In accordance with the Workplace Health & Safety Acts and Regulations, JMG has considered the potential hazards and risks that are specific to this design.

The following table shows the extent to which the design has been identified.	10.
This report does not release contractors from their responsibilities under the Act to identify, assess and manage all aspects of risk and safety.	



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PROJECT
SUGARLOAF ROAD DEVELOPMENT

TITLE

LONGITUDINAL SECTION

Accepted G. ATHERTON (Discipline Head)	Date
Accepted T. O'CONNOR (Team Leader)	Date
Approved R. BESSELL (Group Manager)	Date

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PLOT DATE	02/02/2016	

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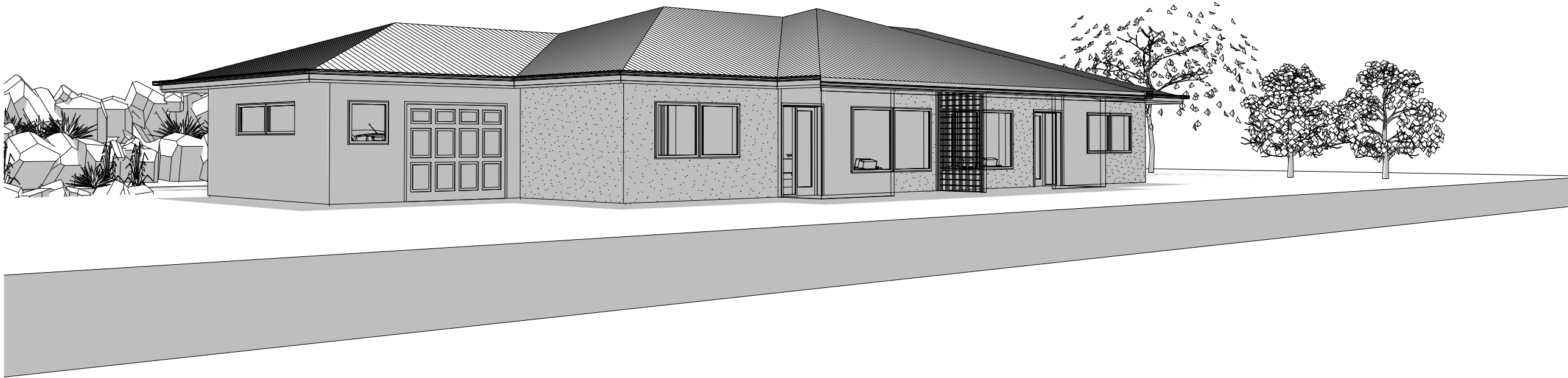
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PROJECT NO. J153071PH

DWG NO.	REVISION
P03	P2

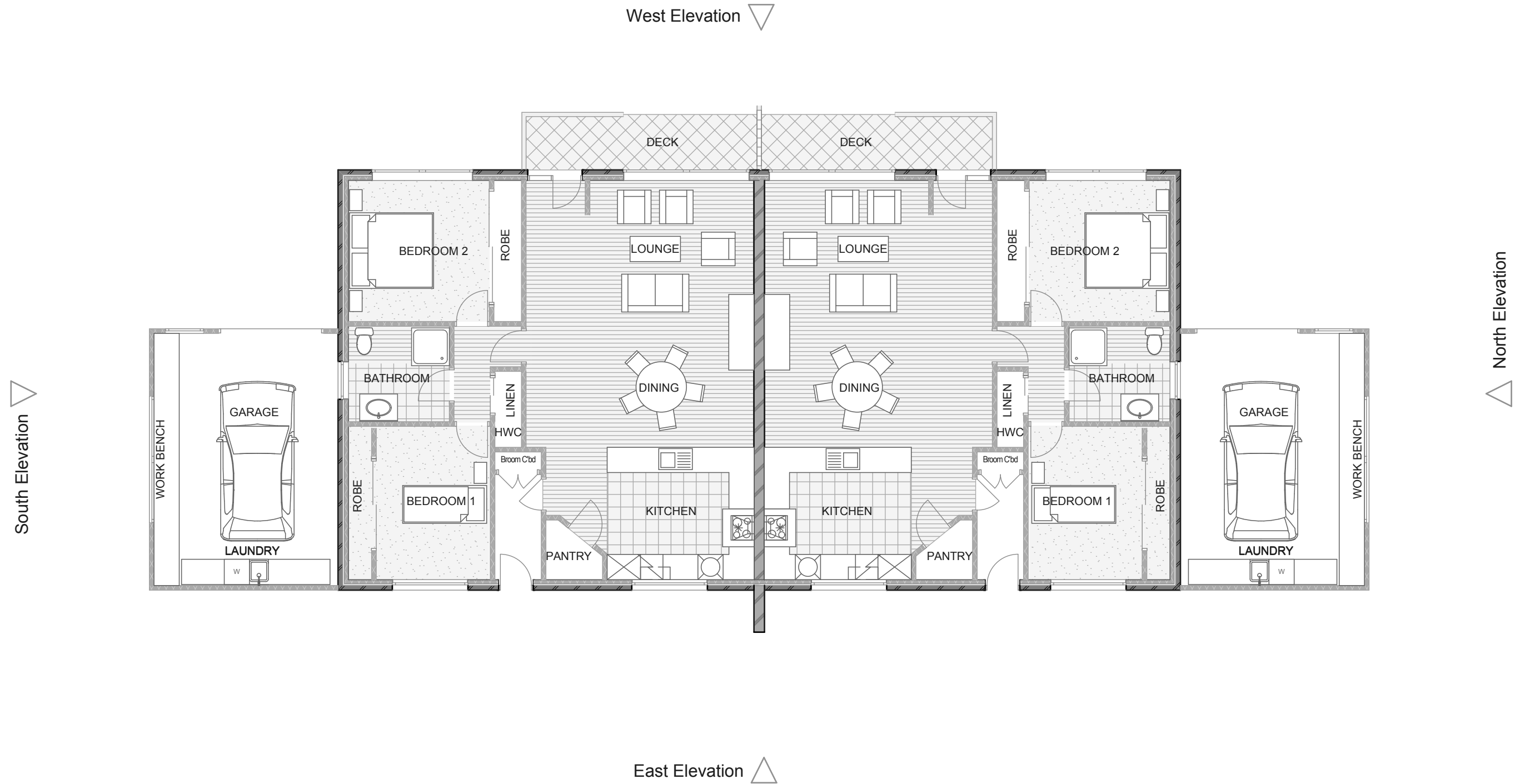
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Agenda Attachments - 1 Elain Drive - Page 4 of 21

PRELIMINARY PRINT



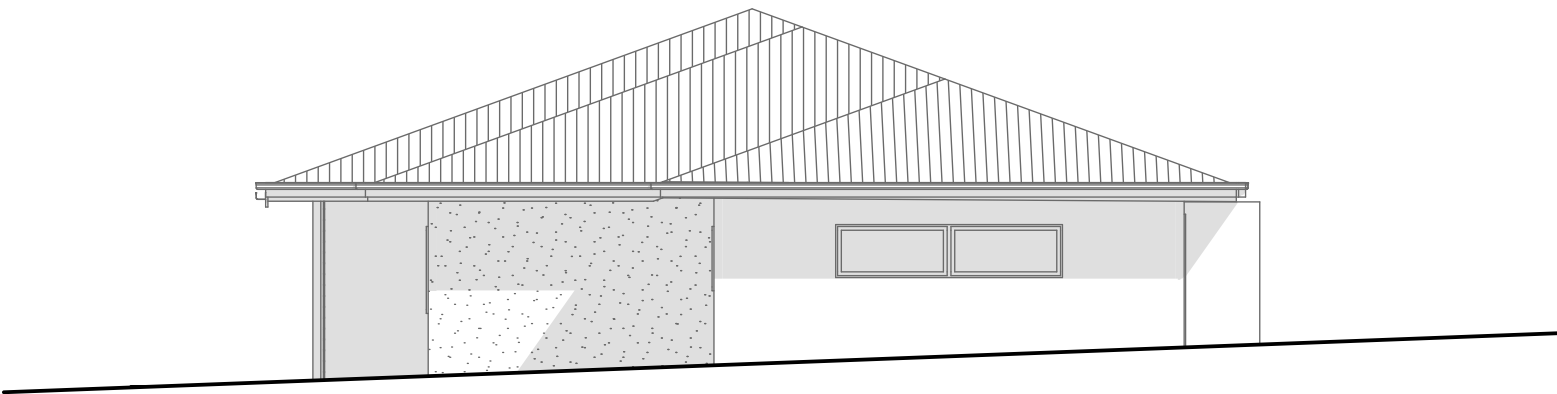
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A.02	Elevations S&W		<input type="checkbox"/>
A.03	Elevations N&E		<input type="checkbox"/>

Revision		Date		Project Title	Phillip Stary	Drawing Title	Drawn	Checked
	<div>PRELIMINARY</div> <div>DO NOT SCALE DRAWINGS</div> <div>CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION</div> <div>ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA</div> <div>ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS</div>			Retirement Village T1P	<div>Architect</div> <div>ph 0419 363 489</div> <div>email:architect@netspace.net.au</div> <div>11 Glover Drive</div> <div>Sandy Bay 7005</div>	Cover Sheet	Scale	1:100 @ A3
				170 Sugarloaf Road		TYPE 1	Date	SEPTEMBER 2009
				Risdon Vale		Retirement Village T1P	File Number	1518
				Client		Agenda Attachments - 1	Drawing No	DA - 1
				Pluim Group				15 November 2015



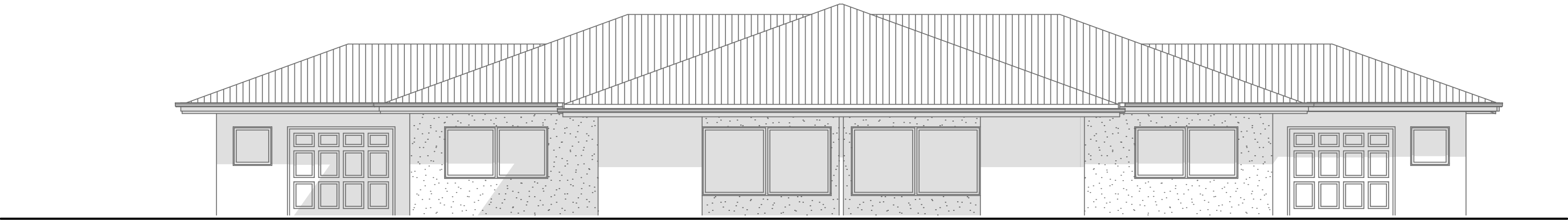
Revision	Date	Project Title	Phillip Stary	Drawing Title	Drawn	Checked
<div>PRELIMINARY</div> <div>DO NOT SCALE DRAWINGS</div> <div>CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION</div> <div>ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA</div> <div>ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS</div>		Retirement Village T1P	<div>Architect</div> <div>ph 0419 363 489</div> <div>email: architect@netspace.net.au</div> <div>11 Glover Drive</div> <div>Sandy Bay 7005</div>	Ground Floor	Scale	1:100 @ A3
		170 Sugarloaf Road		TYPE 1	Date	SEPTEMBER 2009
		Risdon Vale		Retirement Village T1P	File Number	1518
		Client		Agenda Attachments - 1	Drawing No	DA - 2
		Plum Group				15 November 2015

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South Elevation


Scale 1:100



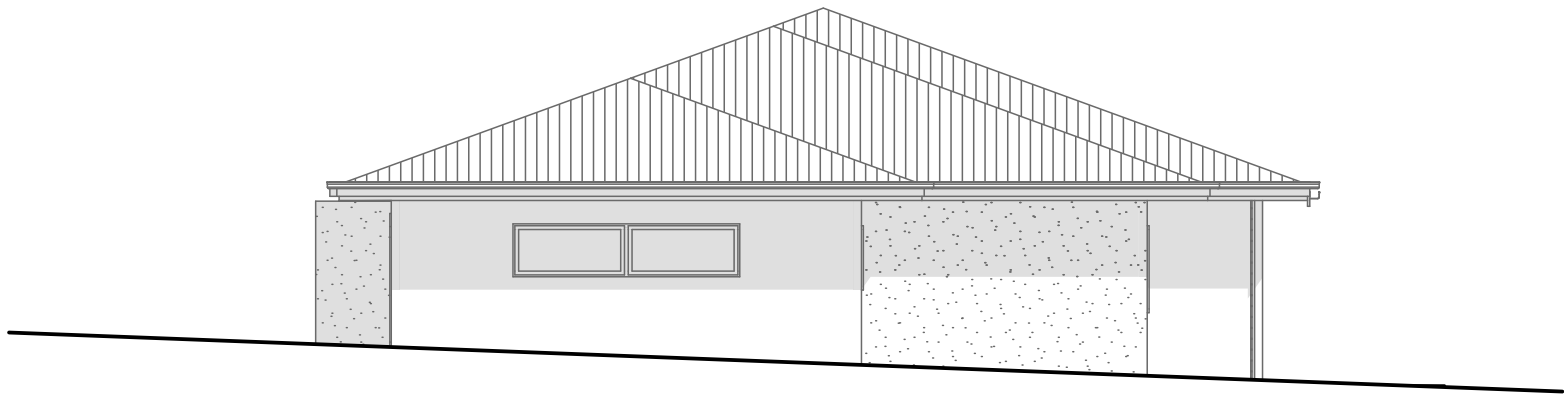
West Elevation

Scale 1:100

3

Revision		Date	Project Title	Phillip Stary	Drawing Title	Drawn	Checked
			Retirement Village T1P		Elevations S&W	Scale	
			170 Sugarloaf Road		TYPE 1	1:100 @ A3	
			Risdon Vale		Retirement Village T1P	Date	SEPTEMBER 2009
			Client		Agenda Attachments - 1	File Number	1518
			Pluim Group	ph 0419 363 489 email: architect@netspace.net.au 11 Glover Drive Sandy Bay 7005		Drawing No	DA - 3
<div>GENERAL NOTES</div> <div>DO NOT SCALE DRAWINGS</div> <div>CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION</div> <div>ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA</div> <div>ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS</div>							
<div>PRELIMINARY</div> <div>NOT TO BE USED FOR CONSTRUCTION</div>							

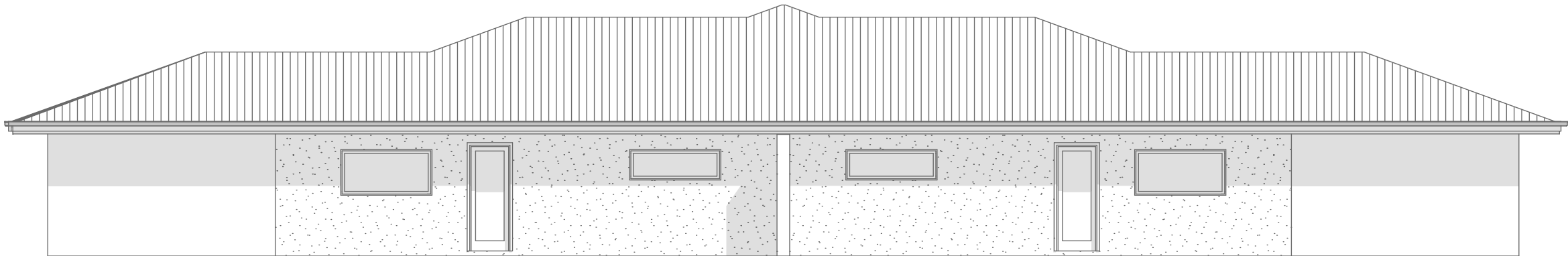
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2

North Elevation

Scale 1:100



East Elevation

Scale 1:100

Revision		Date	Project Title	Phillip Stary	Drawing Title	Drawn	Checked
			Retirement Village T1P	Architect	Elevations N&E	Scale	1:100 @ A3
			170 Sugarloaf Road		TYPE 1	Date	SEPTEMBER 2009
			Risdon Vale		Retirement Village T1P	File Number	1518
			Client	ph 0419 363 489	Agenda Attachments - 1	Drawing No	1518
			Pluim Group	email: architect@netspace.net.au		11 Glover Drive - Page 8 of 8	DA - 4
				11 Glover Drive			Sunday, 15 November 2015
				Sandy Bay 7005			

PRELIMINARY

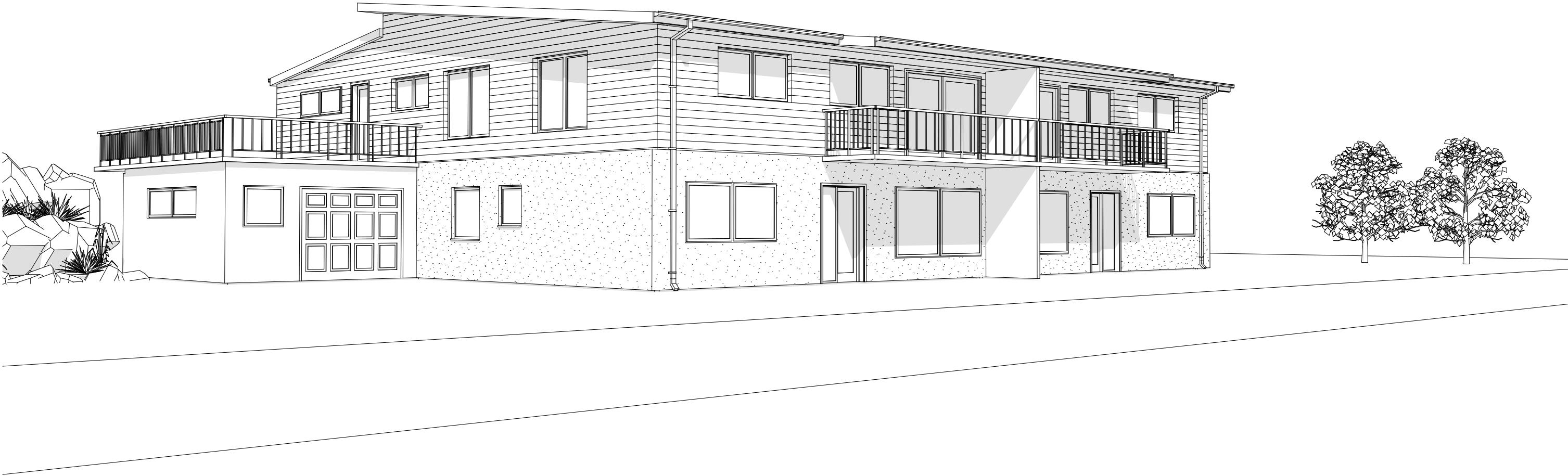
DO NOT SCALE DRAWINGS

CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION

ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA

ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS

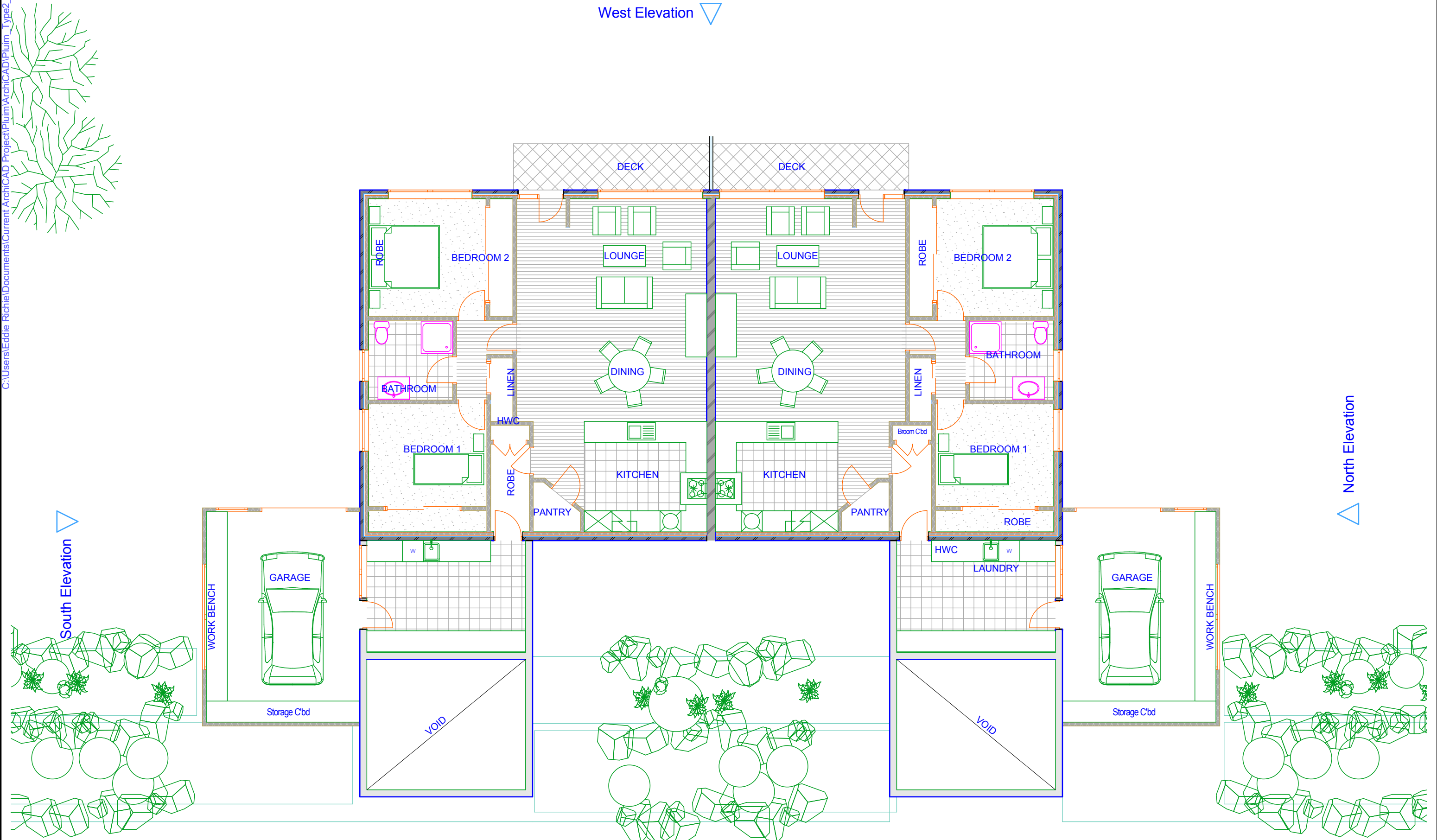
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Sheet Index			
Layout ID	Layout Name	Revision	Issued
	Cover Sheet		<input type="checkbox"/>
A.01	Ground Floor		<input type="checkbox"/>
A.02	Upper Level		<input type="checkbox"/>
A.03	Elevations S&W		<input type="checkbox"/>
A.04	Elevations N&E		<input type="checkbox"/>

Revision	Date	Project Title	Phillip Stary	Drawing Title	Drawn	Checked
<div>PRELIMINARY</div> <div>DO NOT SCALE DRAWINGS</div> <div>CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION</div> <div>ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA</div> <div>ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS</div>		Retirement Village T2 170 Sugarloaf Road Risdon Vale	<div>Architect</div> <div>ph 0419 363 489</div> <div>email:architect@netspace.net.au</div> <div>11 Glover Drive</div> <div>Sandy Bay 7005</div>	Cover Sheet	Scale	1:100 @ A3
				TYPE 2	Date	SEPTEMBER 2009
				Retirement Village T2	File Number	1518
				Agenda Attachments - 1	Drawing No	DA - 1
		Client				Printed: 23 November 2015
		Pluim Group				

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Revision	Date	Project Title	Phillip Stary	Drawing Title	Drawn	Checked
<div>PRELIMINARY</div> <div>DO NOT SCALE DRAWINGS</div> <div>CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION</div> <div>ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA</div> <div>ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS</div>		Retirement Village T2	<div>Architect</div> <div>ph 0419 363 489</div> <div>email: architect@netspace.net.au</div> <div>11 Glover Drive</div> <div>Sandy Bay 7005</div>	Ground Floor	Scale	1:100 @ A3
		170 Sugarloaf Road		TYPE 2	Date	SEPTEMBER 2009
		Risdon Vale		Retirement Village T2	File Number	1518
		Client		Agenda Attachments - 1	Drawing No	DA - 2
		Plum Group			Printed: 23 November 2015	

West Elevation

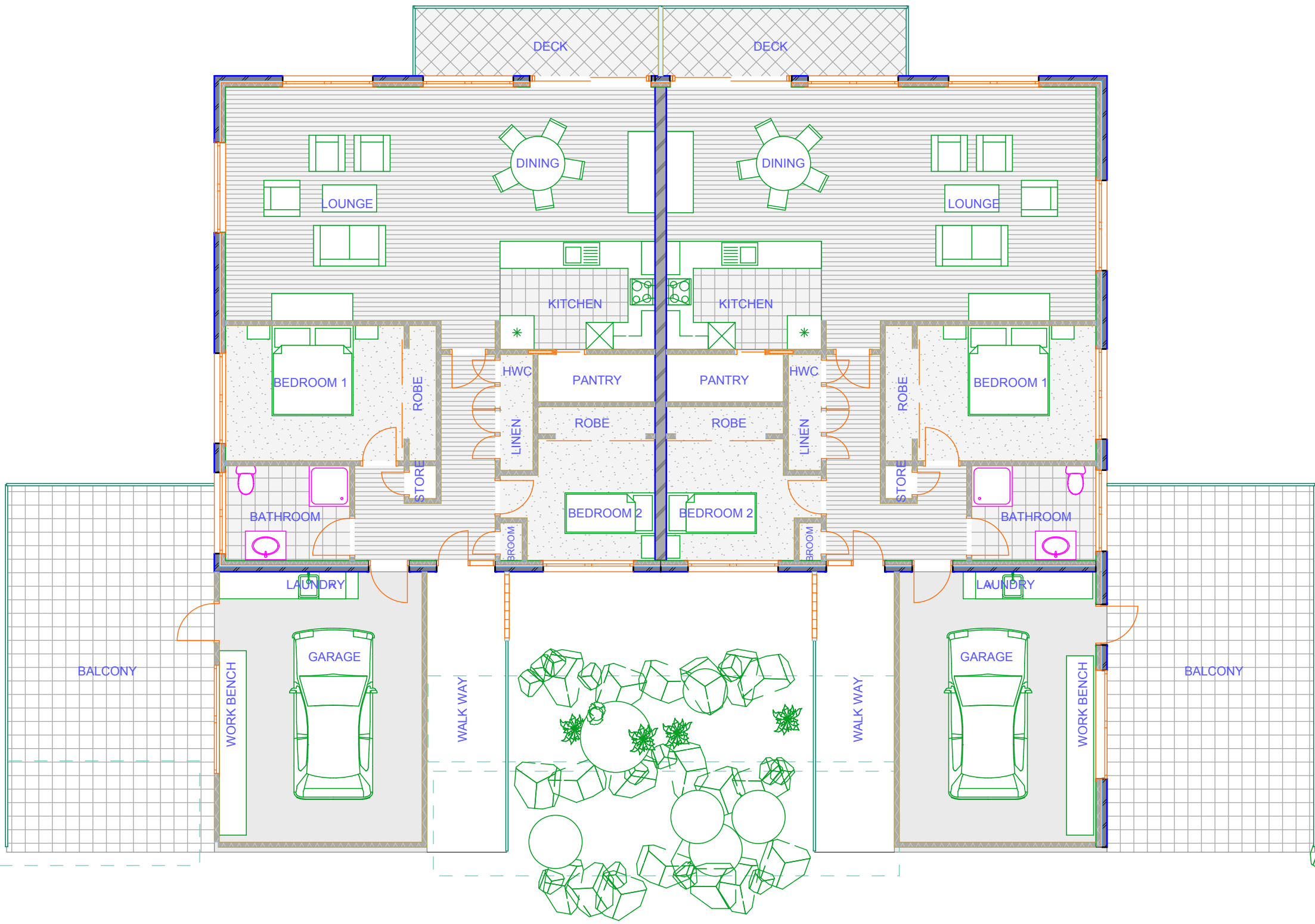


South Elevation

North Elevation



East Elevation

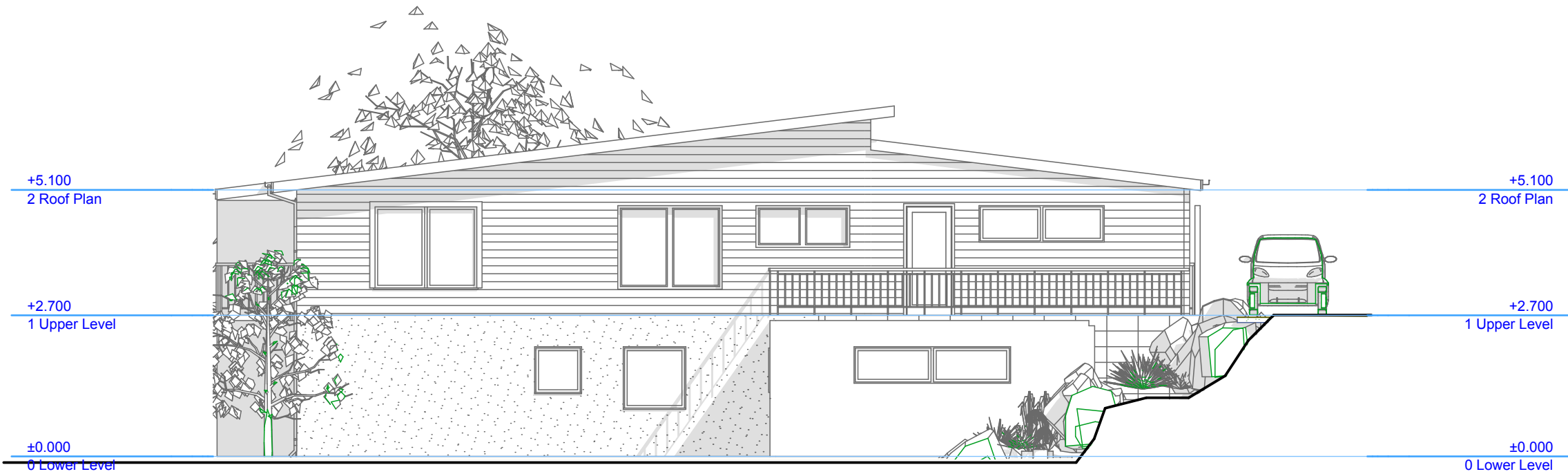


Revision	Date	Project Title	Philip Stary	Drawing Title	Drawn	Checked
		Retirement Village T2	Architect	Upper Level	Scale	
		170 Sugarloaf Road		TYPE 2	1:100 @ A3	
		Risdon Vale		Retirement Village T2	Date	SEPTEMBER 2009
		Client		Agenda Attachments - 1	File Number	1518
		Pluim Group	ph 0419 363 489 email: architect@netspace.net.au 11 Glover Drive Sandy Bay 7005		Drawing No	DA - 3
					Printed	23 November 2015

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

GENERAL NOTES
DO NOT SCALE DRAWINGS
CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION
ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS

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EXTERNAL FINISHES
Rendered masonry to lower levels, with combination of rendered panels or horizontal weather boards to upper levels.
Roofs to be corrugated colourbond.

South Elevation

Scale 1:100



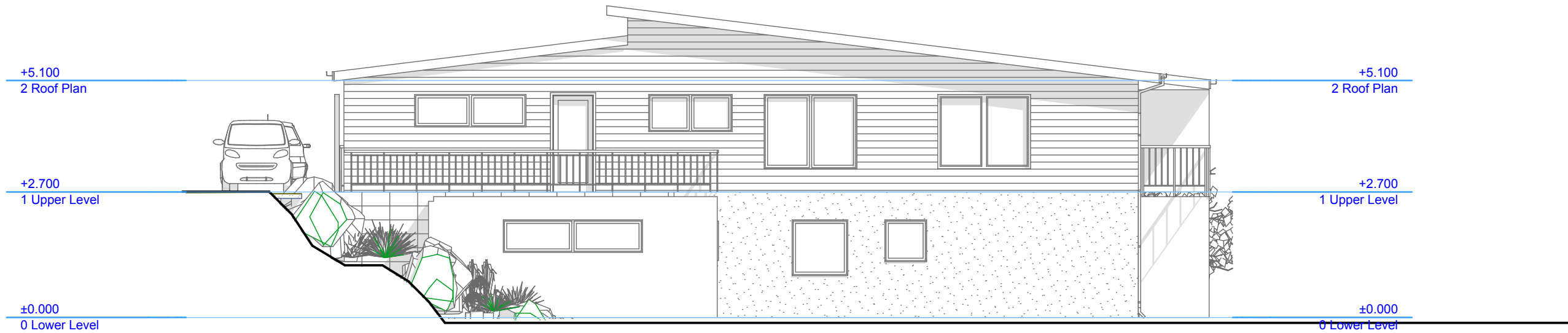
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West Elevation

Scale 1:100

Revision	Date	Project Title	Phillip Stary	Drawing Title	Drawn	Checked
<div>PRELIMINARY</div> <div>DO NOT SCALE DRAWINGS</div> <div>CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION</div> <div>ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA</div> <div>ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS</div>		Retirement Village T2	<div>Architect</div> <div>ph 0419 363 489</div> <div>email: architect@netspace.net.au</div> <div>11 Glover Drive</div> <div>Sandy Bay 7005</div>	Elevations S&W	Scale	1:100 @ A3
		170 Sugarloaf Road		TYPE 2	Date	SEPTEMBER 2009
		Risdon Vale		Retirement Village T2	File Number	1518
		Client		Agenda Attachments - 1	Drawing No	DA - 4
		Plum Group			Printed: 23 November 2015	

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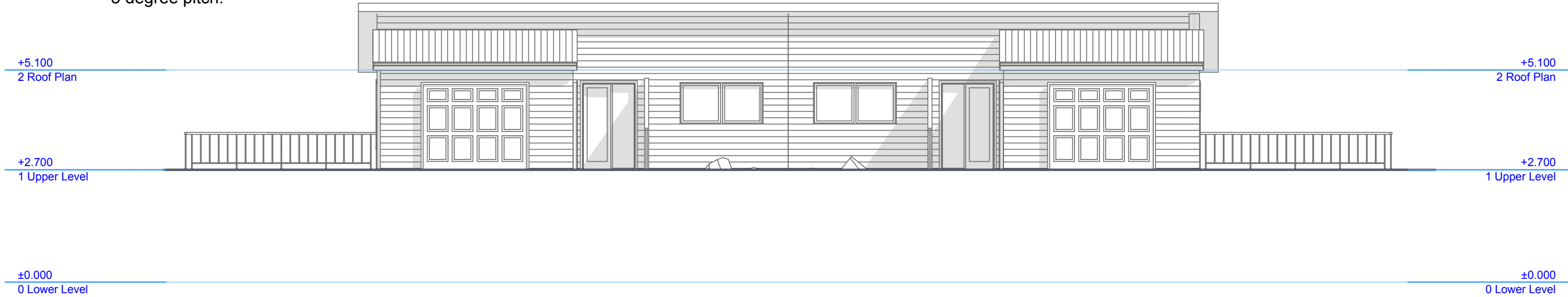


2

North Elevation

Scale 1:100

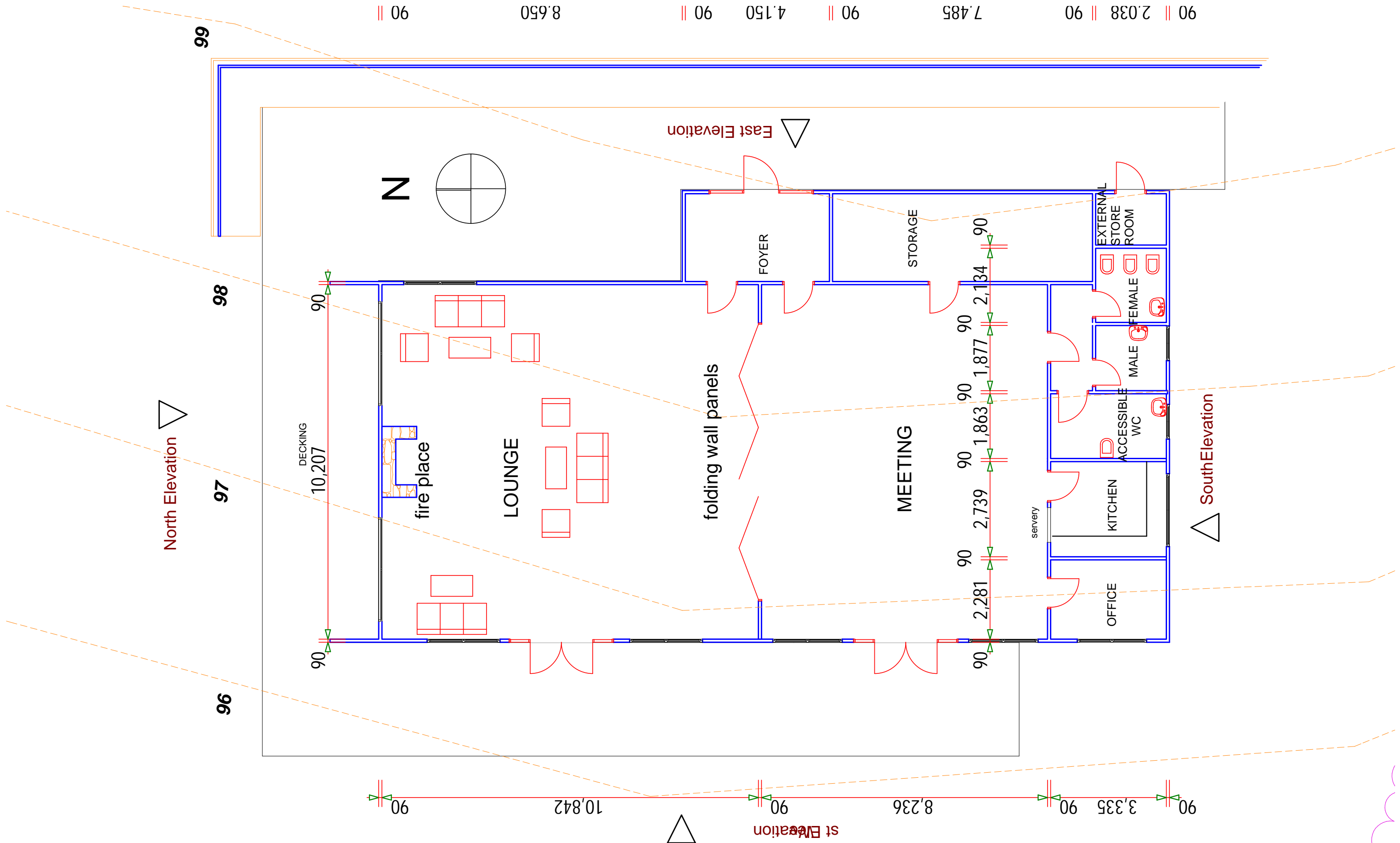
EXTERNAL FINISHES
Rendered masonry to lower levels, with combination of rendered panels or horizontal weather boards to upper levels.
Roofs to be corrugated colourbond and nominally 5 degree pitch.



East Elevation

Scale 1:100

Revision	Date	Project Title	Phillip Stary	Drawing Title	Drawn	Checked
<div>PRELIMINARY</div> <div>DO NOT SCALE DRAWINGS</div> <div>CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION</div> <div>ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA</div> <div>ALL DRAWINGS TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS</div>		Retirement Village T2 170 Sugarloaf Road Risdon Vale	<div>Architect</div> <div>ph 0419 363 489</div> <div>email: architect@netspace.net.au</div> <div>11 Glover Drive</div> <div>Sandy Bay 7005</div>	Elevations N&E	Scale 1:100 @ A3	
				TYPE 2	Date SEPTEMBER 2009	
				Retirement Village T2 Agenda Attachments - 1	File Number 1518	Drawing No DA - 5
		Client Pluim Group				Printed: 23 November 2015



GENERAL NOTES
1. DO NOT SCALE DRAWINGS
2. CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION
3. ALL WORK TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA
4. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS

Community Centre
Sugarloaf Road
RISDON VALE

Client
PLUIM GROUP

Phillip Stary
Acc.No. CC1035T

Architect

11 Glover Dve
Sandy Bay 7005

Ph. 0410-363489
e architect@netspace.net.au

Ground Floor

Scale
1:100 @ A3

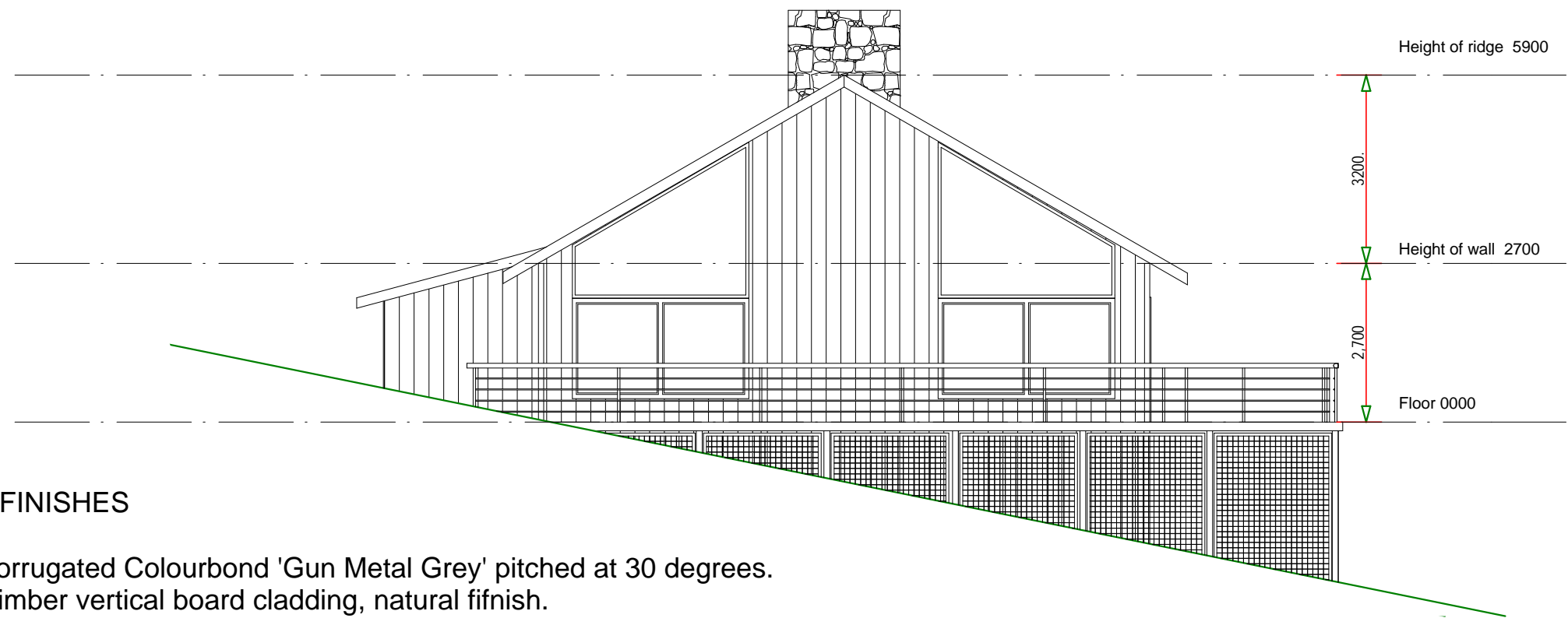
Date
May 2014

File Number
1518

Drawing No

BA - 2

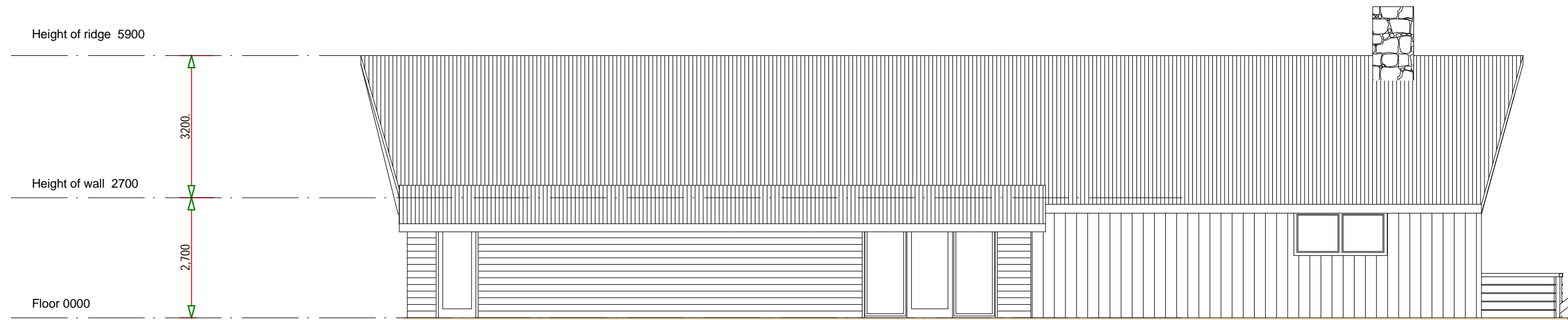
Printed:
Tuesday, 1
December 2015



EXTERNAL FINISHES

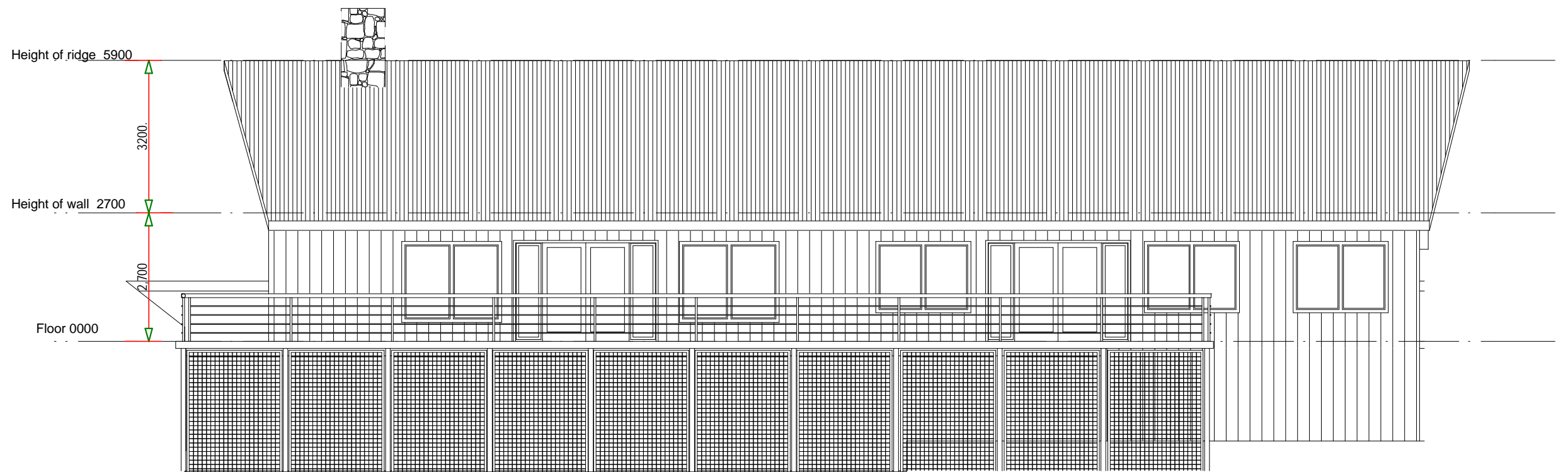
Roof to be corrugated Colourbond 'Gun Metal Grey' pitched at 30 degrees.
 Walls to be timber vertical board cladding, natural finish.
 Deck to be enclosed below with lattice.

NORTH ELEVATION Scale 1:100



EAST ELEVATION Scale 1:100

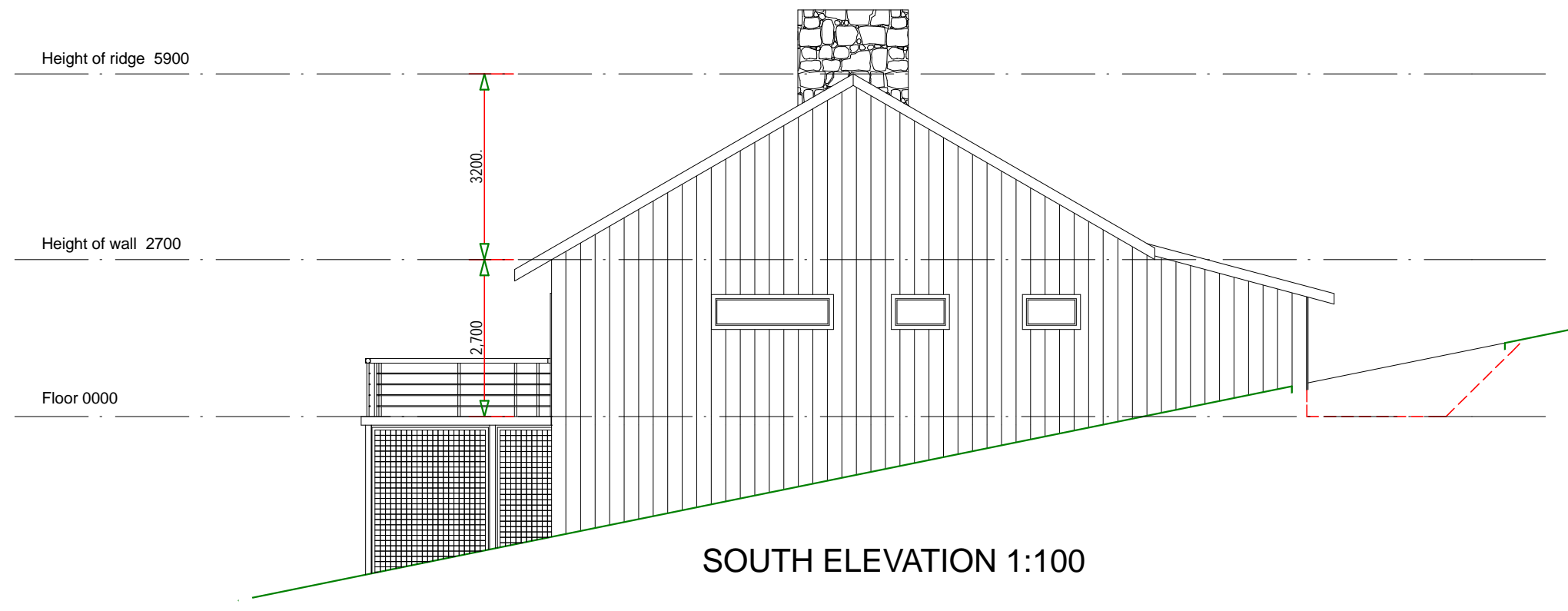
Revision	Date	Project Title	Phillip Stary Acc.No. CC1035T	Drawing Title	Drawn	Checked
		Community Centre Sugarloaf Road RISDON VALE		Elevations	Scale	1:100 @ A3
					Date	May 2014
					File Number	1518
					Drawing No	BA - 3
					Printed: Tuesday, 1 December 2015	
GENERAL NOTES 1. DO NOT SCALE DRAWINGS 2. CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION 3. ALL WORK TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA 4. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS			Client PLUIM GROUP	11 Glover Dve Sandy Bay 7005	Ph. 0410-363489 e architect@netspace.net.au	



EXTERNAL FINISHES

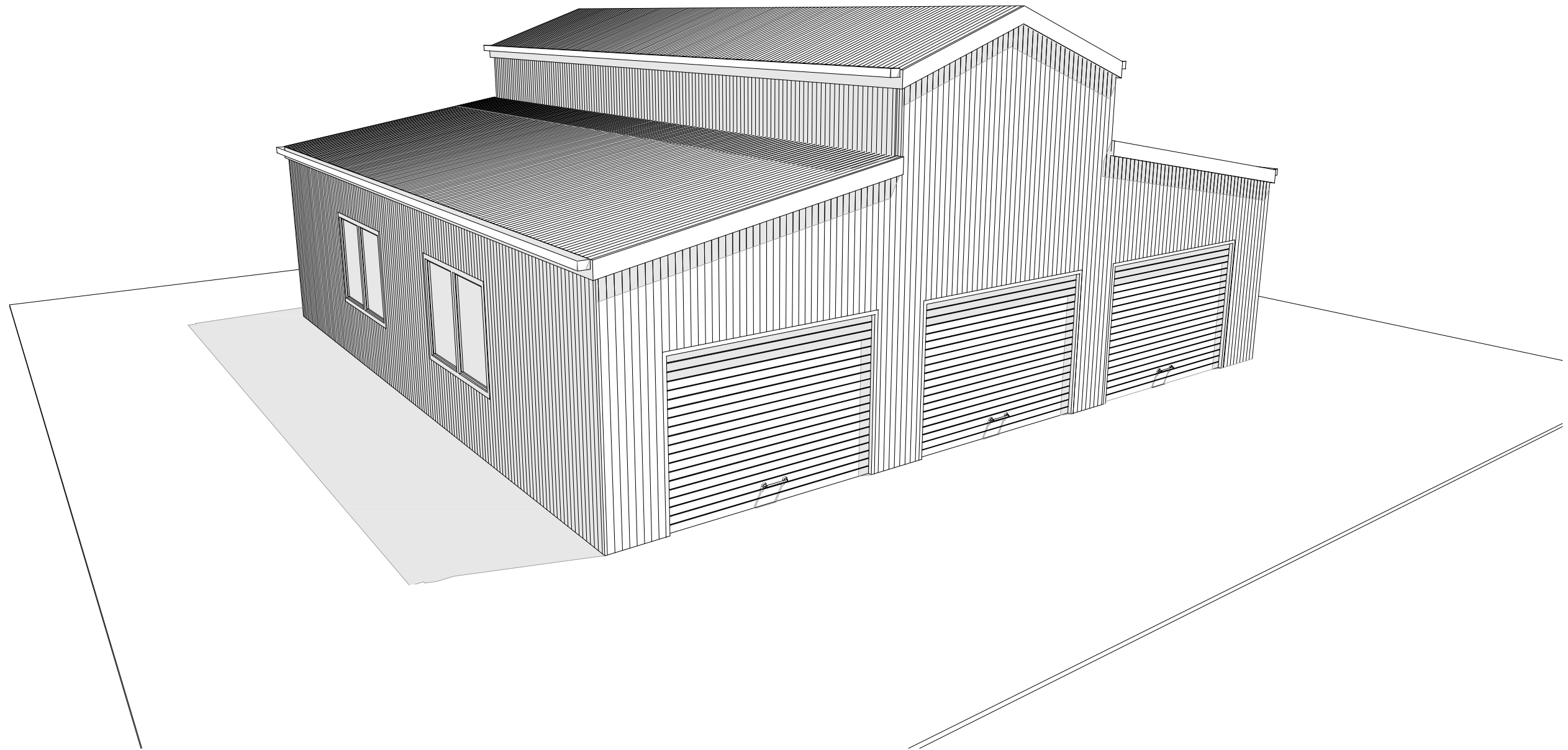
Roof to be corrugated Colourbond 'Gun Metal Grey' pitched at 30 degrees.
Walls to be timber vertical board cladding, natural finish.
Deck to be enclosed below with lattice.

WEST ELEVATION 1:100



SOUTH ELEVATION 1:100

Revision	Date	Project Title	Phillip Stary Acc.No. CC1035T	Drawing Title	Drawn	Checked
		Community Centre Sugarloaf Road RISDON VALE	<i>Architect</i>	ELEVATIONS	Scale 1:100 @ A3	
					Date May 2014	
					File Number 1518	
					Drawing No BA - 4	
GENERAL NOTES 1. DO NOT SCALE DRAWINGS 2. CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION 3. ALL WORK TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA 4. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS			Client PLUIM GROUP	11 Glover Dve Sandy Bay 7005	Ph. 0410-363489 e architect@netspace.net.au	Printed: Tuesday, 1 December 2015



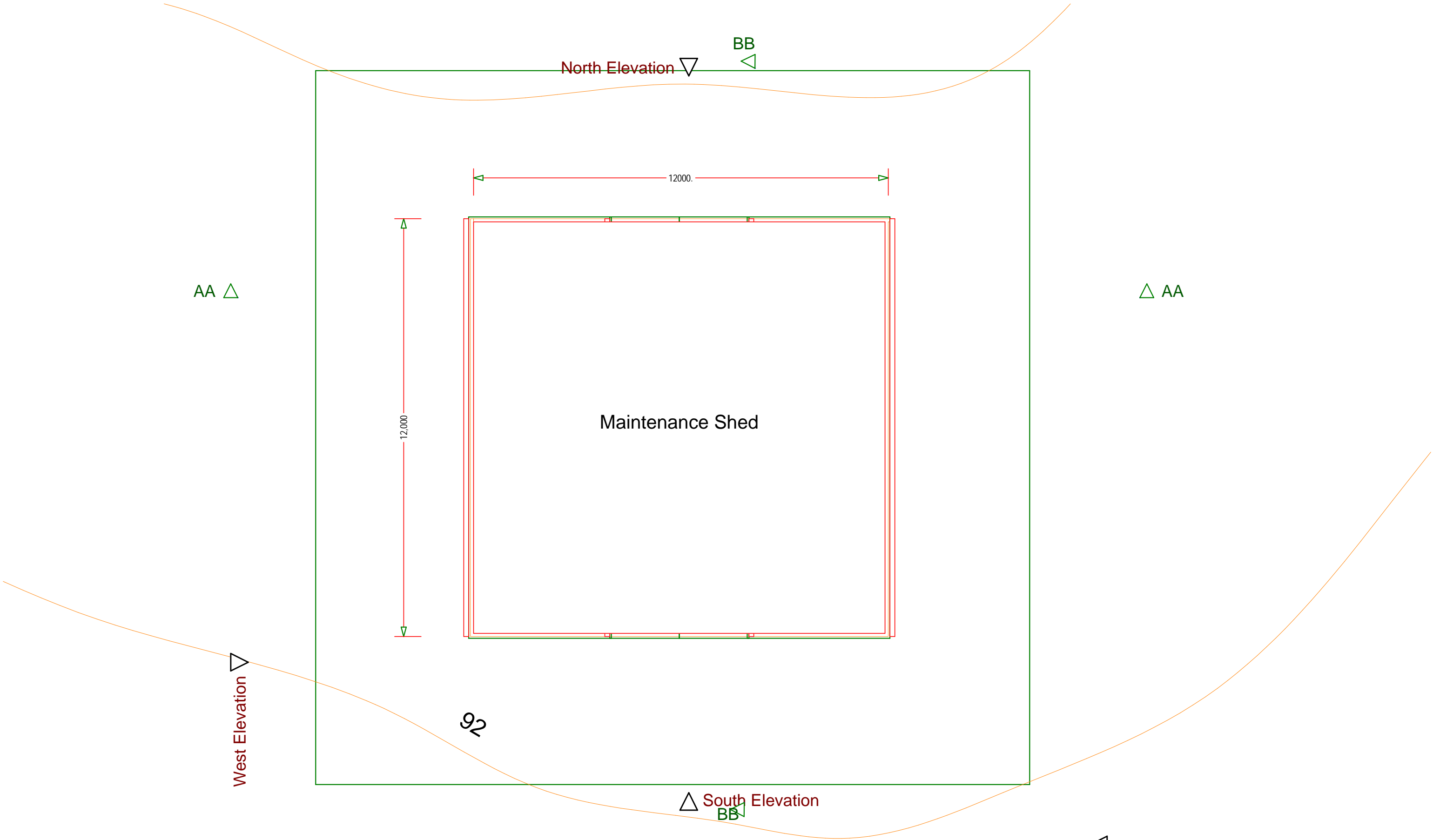
1

3D View

1:25

Revision		Date	Project Title	Phillip Stary Acc.No. CC1035 T <i>Architect</i>	Drawing Title	Drawn	Checked
A.	Amended drawing	24/1/2014	Retirement Village Maintenance Shed Sugarloaf Road RISDON VALE	11 Glover Drive Sandy Bay 7005 phone 0419 363 489 email architect@netspace.net.au	Cover Sheet	Scale 1:100 @ A3 <small>Do not manually scale as the scale may alter due to copy reproduction</small>	
						Date refer date printed below	
						Job Number 1500	
						Drawing No DA-1	Printed: Friday 27 November 2015
GENERAL NOTES DO NOT SCALE DRAWINGS CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND NCC ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS			Client Pluim Group				

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION



Revision	Date	Project Title	Drawing Title		Drawn	Checked
		Retirement Village Maintenance Shed Sugarloaf Road Risdon Vale Tasmania	Ground Floor		Scale	1:100 @ A3
					Date	May 2014
					File Number	1325
GENERAL NOTES 1. DO NOT SCALE DRAWINGS 2. CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION 3. ALL WORK TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA 4. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS		Client Pluim Group	Agenda Attachments - 1 Elm Drive - Page 18 of 18		Drawing No BA - 2	Printed: Friday, 27 November 2015

Phillip Stary
Acc.No. CC1035T

Architect

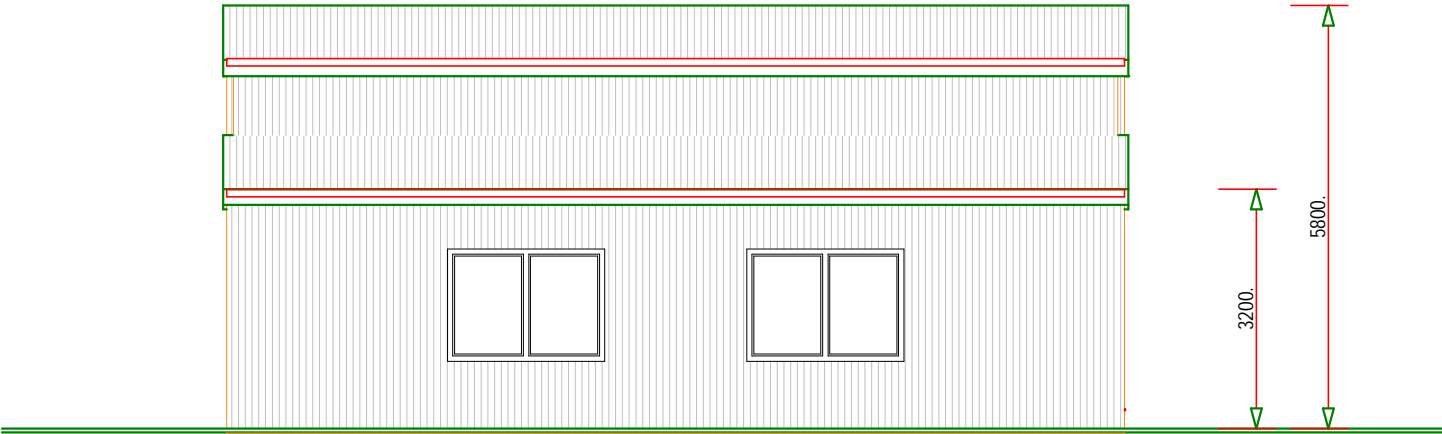
11 Glover Dve
Sandy Bay 7005

Ph. 0410-363489
e architect@netspace.net.au

East Elevation

NOTE

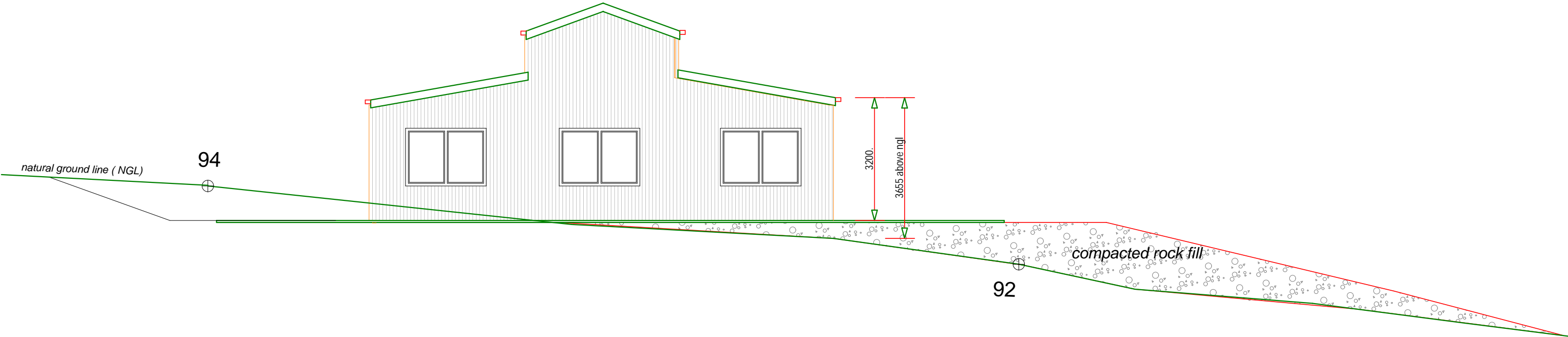
All external walls and roofing to be corrugated colourbond cladding, 'Pale Eucalypt' colour



2

West Elevation

1:100

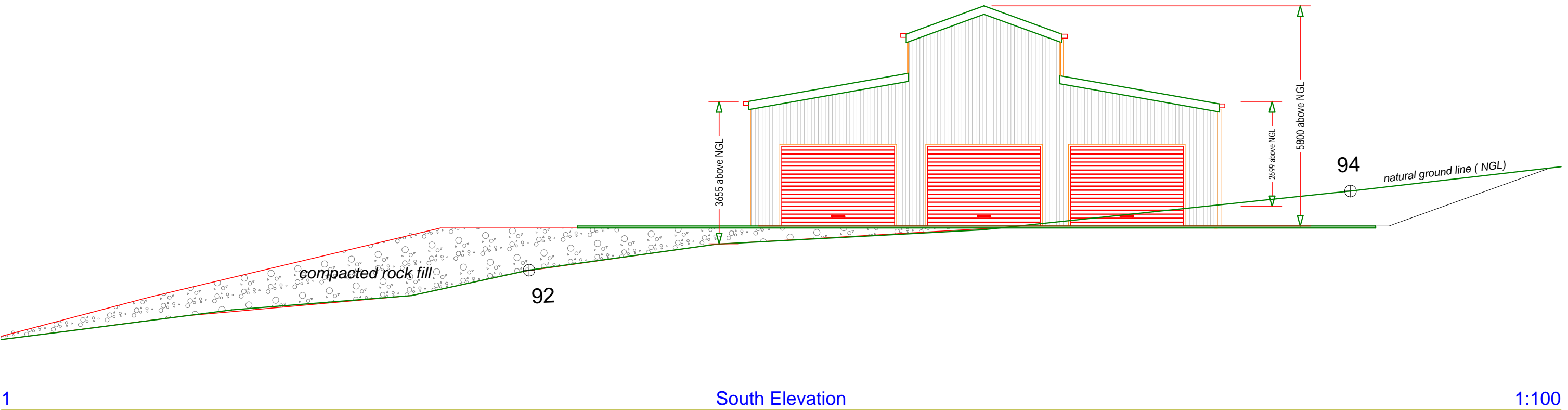
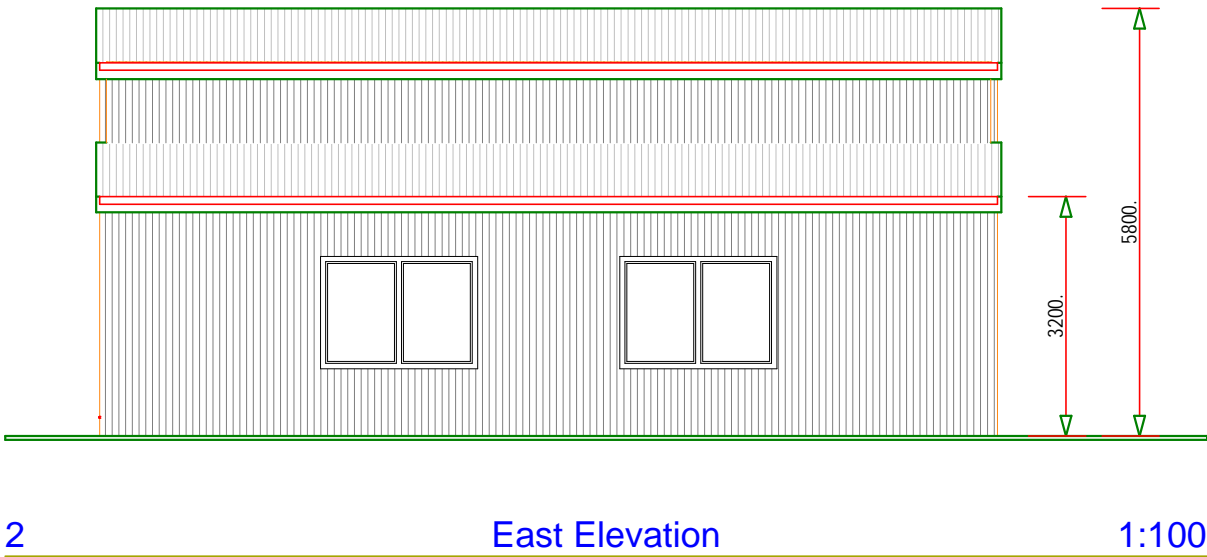



1

North Elevation

1:100

Revision	Date	Project Title	Drawing Title	Drawn	Checked
		Retirement Village Maintenance Shed	Elevations	Scale	1:100 @ A3
		Sugarloaf Road		Date	May 2014
		Risdon Vale Tasmania		File Number	1325
				Drawing No	BA - 3
GENERAL NOTES 1. DO NOT SCALE DRAWINGS 2. CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION 3. ALL WORK TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA 4. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS			Agenda Attachments - 1 Elevations - Page 19 of 19		
Client Pluim Group			Phillip Stary Acc.No. CC1035T <i>Architect</i> 11 Glover Dve Sandy Bay 7005 Ph. 0410-363489 e architect@netspace.net.au		



Revision	Date	Project Title	Drawing Title		Drawn	Checked
		Retirement Village Maintenance Shed Sugarloaf Road Risdon Vale Tasmania	Phillip Stary Acc.No. CC1035T 	Elevations	Scale	
					Date	May 2014
					File Number	1325
					Drawing No	
GENERAL NOTES 1. DO NOT SCALE DRAWINGS 2. CONFIRM DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE AND INSTALLATION 3. ALL WORK TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BCA 4. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATION AND ENGINEERS DRAWINGS			Client Pluim Group	11 Glover Dve Sandy Bay 7005	Ph. 0410-363489 e architect@netspace.net.au	Agenda Attachments - 1 Elevations - Page 20 of 20 BA - 4
						Printed: 27 November 2015

1 Elaia Drive, RISDON VALE



Site viewed from Elaia Drive, Risdon Vale