

Prior to the commencement of the meeting, the Mayor will make the following declaration:

“I acknowledge the Tasmanian Aboriginal Community as the traditional custodians of the land on which we meet today, and pay respect to elders, past and present”.

The Mayor also to advise the Meeting and members of the public that Council Meetings, not including Closed Meeting, are audio-visually recorded and published to Council’s website.

COUNCIL MEETING
MONDAY 7 MAY
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BUSINESS TO BE CONDUCTED AT THIS MEETING IS TO BE CONDUCTED IN THE ORDER IN WHICH IT IS SET OUT IN THIS AGENDA UNLESS THE COUNCIL BY ABSOLUTE MAJORITY DETERMINES OTHERWISE

COUNCIL MEETINGS, NOT INCLUDING CLOSED MEETING, ARE AUDIO-VISUALLY RECORDED AND PUBLISHED TO COUNCIL’S WEBSITE

1. APOLOGIES

Ald Peers (Leave of Absence)

2. CONFIRMATION OF MINUTES

(File No. 10/03/01)

RECOMMENDATION:

That the Minutes of the Council Meeting held on 16 April 2018, as circulated, be taken as read and confirmed.

3. MAYOR'S COMMUNICATION**4. COUNCIL WORKSHOPS**

In addition to the Aldermen's Meeting Briefing (workshop) conducted on Friday immediately preceding the Council Meeting the following workshops were conducted by Council since its last ordinary Council Meeting:

PURPOSE

Budget

DATE

23 April

Presentation – Proposed Cambridge Primary School Master Plan

Rating Matters

Kerbside Recyclables Collection Service

Draft Capital Expenditure Program 2018/19

30 April

RECOMMENDATION:

That Council notes the workshops conducted.

| |
|---|
| 5. DECLARATIONS OF INTERESTS OF ALDERMAN OR CLOSE ASSOCIATE (File No) |
|---|

In accordance with Regulation 8 of the Local Government (Meeting Procedures) Regulations 2015 and Council's adopted Code of Conduct, the Mayor requests Aldermen to indicate whether they have, or are likely to have a pecuniary interest (any pecuniary benefits or pecuniary detriment) or conflict of interest in any item on the Agenda.

6. TABLING OF PETITIONS

(File No. 10/03/12)

(Petitions received by Aldermen may be tabled at the next ordinary Meeting of the Council or forwarded to the General Manager within seven (7) days after receiving the petition.

Petitions are not to be tabled if they do not comply with Section 57(2) of the Local Government Act, or are defamatory, or the proposed actions are unlawful.

The General Manager will table the following petitions which comply with the Act requirements:

7. PUBLIC QUESTION TIME

Public question time at ordinary Council meetings will not exceed 15 minutes. An individual may ask questions at the meeting. Questions may be submitted to Council in writing on the Friday 10 days before the meeting or may be raised from the Public Gallery during this segment of the meeting.

The Chairman may request an Alderman or Council officer to answer a question. No debate is permitted on any questions or answers. Questions and answers are to be kept as brief as possible.

7.1 PUBLIC QUESTIONS ON NOTICE

(Seven days before an ordinary Meeting, a member of the public may give written notice to the General Manager of a question to be asked at the meeting). A maximum of two questions may be submitted in writing before the meeting.

Nil.

7.2 ANSWERS TO QUESTIONS ON NOTICE

The Mayor may address Questions on Notice submitted by members of the public.

Nil.

7.3 ANSWERS TO PREVIOUS QUESTIONS TAKEN ON NOTICE

Nil.

7.4 QUESTIONS WITHOUT NOTICE

The Chairperson may invite members of the public present to ask questions without notice.

Questions are to relate to the activities of the Council. Questions without notice will be dependent on available time at the meeting.

Council Policy provides that the Chairperson may refuse to allow a question on notice to be listed or refuse to respond to a question put at a meeting without notice that relates to any item listed on the agenda for the Council meeting (note: this ground for refusal is in order to avoid any procedural fairness concerns arising in respect to any matter to be determined on the Council Meeting Agenda).

When dealing with Questions without Notice that require research and a more detailed response the Chairman may require that the question be put on notice and in writing. Wherever possible, answers will be provided at the next ordinary Council Meeting.

8. DEPUTATIONS BY MEMBERS OF THE PUBLIC

(File No 10/03/04)

(In accordance with Regulation 38 of the Local Government (Meeting Procedures) Regulations 2015 and in accordance with Council Policy, deputation requests are invited to address the Meeting and make statements or deliver reports to Council)

9. MOTIONS ON NOTICE

Nil.

10. REPORTS FROM OUTSIDE BODIES

This agenda item is listed to facilitate the receipt of both informal and formal reporting from various outside bodies upon which Council has a representative involvement.

10.1 REPORTS FROM SINGLE AND JOINT AUTHORITIES

Provision is made for reports from Single and Joint Authorities if required

Council is a participant in the following Single and Joint Authorities. These Authorities are required to provide quarterly reports to participating Councils, and these will be listed under this segment as and when received.

- **SOUTHERN TASMANIAN COUNCILS AUTHORITY**
Representative: Ald Doug Chipman, Mayor or nominee

Quarterly Reports

Not required.

Representative Reporting

- **COPPING REFUSE DISPOSAL SITE JOINT AUTHORITY**
Representatives: Ald Jock Campbell
(Ald James Walker, Deputy Representative)

Quarterly Reports

March Quarterly Report pending.

Representative Reporting

- **TASWATER CORPORATION**

10.2 REPORTS FROM COUNCIL AND SPECIAL COMMITTEES AND OTHER REPRESENTATIVE BODIES**TRACKS AND TRAILS ADVISORY COMMITTEE**

(File No 07-06-09)

Chairperson's Report – Alderman R James

Report to Council for the 3 month period 1 January 2018 to 31 March 2018.

1. PRINCIPAL OBJECTIVES AND GOALS

The Committee's prime objectives are to:

- provide advice and make recommendations, including policy, to assist Council in the development of tracks and trails in the City;
- assist in the development and periodic review of Council's Tracks and Trails Strategy;
- develop and maintain a Tracks and Trails Register which captures all existing and possible future trail and track networks (including multi-user pathways) in Clarence;
- develop and review (on a rolling basis) the Tracks and Trails Action Plan for endorsement by Council that articulates the development initiatives prioritised and proposed to be conducted over a 5 year programme, which recognises the access and needs of all users eg: walkers, horse riders, mountain bikers, etc;
- monitor progress and work to address the actions of the plan according to their level of priority;
- as part of internal referral process to provide input and advice on the provision and requirements for trail networks and the provision of trail linkages as part of new subdivisions.

In working towards these goals, the Committee undertook a range of activities, which are set out below.

2. CAPITAL WORKS PROJECT

Clarence Mountain Bike Park – Skills Park Stage 2

A funding application to the Cycle Tourism Grant was successful and construction of Stage 2 of the skills park has commenced. The funding will also go towards a new carpark, signage, shelter with seating and 2 new mountain bike tracks in the Meehan Range.

Coal River Track at Richmond Recreation Reserve

Post and rail fencing has been installed at the entry off Gunning Street.

Clarence Foreshore Trail in Tranmere – Pindos Park to Gully

A new track has been constructed in the foreshore reserve south of Pindos Park.

Meehan Range

A new easily graded walking and biking track has been constructed between the Tunnel Hill road crossing and the Skyline Fire Trail and a link track has been constructed between Flagstaff Hill and Caves Hill.

3. RECURRENT INITIATIVES – MAINTENANCE AND UPGRADES

Tangara Trail Post and Rail Fencing at Entry Points

Several entry points on the Tangara Trail in Sandford have had post and rail fencing installed.

Track Maintenance

Maintenance work has been carried out on the Risdon Vale Rivulet Track, Thoona Track, Geilston Bay intertidal track, Elinga Park Track, Blessington Track, Flagstaff Gully Track and Natone Hill Track.

4. DESIGN AND INVESTIGATION WORK IN PROGRESS

Ralphs Bay Coastal Track

Quotes have been received and an application for a Permit to Conceal Aboriginal middens has been submitted.

Blessington Track to Fort Direction Road

A track alignment has been identified at Fort Direction. The Defence Force has approved a 10 year licence agreement with Council for a track to link the foreshore to Fort Direction Road and Potters Hill Reserve.

5. GOVERNANCE MATTERS

Committee Meetings

One committee meeting was held on 15 February 2018 and a special meeting was held on 15 March 2018.

6. EXTERNAL LIAISON

Nil.

RECOMMENDATION:

That the Chairperson's Report be received by Council.

Attachments: Nil.

Alderman R James
CHAIRPERSON

NATURAL RESOURCE MANAGEMENT – QUARTERLY REPORT

(File No 12-15-01)

Chairperson’s Report – Alderman Kay McFarlane

Report to Council for the 3 month period 1 January 2018 to 31 March 2018.

1. PRINCIPAL OBJECTIVES AND GOALS

The Committee’s prime objectives are to:

- advise Council on the strategic planning and management of bushland and coastal reserves and parks throughout the City;
- provide advice on Council’s Reserve Activity Plans and Catchment Management Plans in the context of the “Clarence Bushland and Coastal Strategy”;
- administer, in conjunction with Council, the Land and Coast Care Grants Program;
- facilitate and provide guidance for the implementation of Council’s adopted “Clarence Bushland and Coastal Strategy”; and
- promote information sharing of natural resource related matters affecting the City.

In working towards these goals the Committee, in conjunction with Council’s Natural Assets Officer, implemented a range of activities which are set out below.

2. CAPITAL WORKS PROJECTS

Nil.

3. RECURRENT INITIATIVES**Work for the Dole Program**

The Work for the Dole Program is progressing very well. The crew, during the last quarter, have conducted brush cutting, weed control, cumbungi removal and crack willow removal. The crew have also been working closely with Council’s Fire Crew, piling vegetation heaps that the Fire Crew burn to reduce fuel loads about 45 Goodwin’s Road.

The crew have also worked alongside contractors (chainsaw assistance) to remove dead trees and thin vegetation along the Clarence Plains Rivulet.

Development of Reserve Activity Plans (RAP) 2017-18

The review and extension of the Tranmere Coastal Reserve RAP 2018-2022 has recently been adopted by Council.

The second stage of consultation for the draft Acton Trails and Reserves RAP 2018-2022 attracted substantial feedback. The feedback is currently being evaluated prior to drafting a report to Council.

The first stage of consultation for the review and extension of the Mortimer Bay Coastal Reserve RAP 2018-2022, involving a well-attended “Walk and Talk” and feedback forms, has been completed.

Letters have been sent to the Seven Mile Beach community regarding the date for a “Walk and Talk” as part of the consultation for the review and extension of Seven Mile Beach Coastal Reserve RAP 2018-2022.

Implement Natural Area Reserve Activity Plans

Tranmere Coastal Reserve

Has had 2 stone pitched/paver water access paths installed close to the headland at Punchs Reef.

North Warrane Bushland Reserve

Has undergone brush cutting, slashing of treated/untreated blackberry canes and weed control. Cumbungi in the nearby swale has been treated using a “wick wipe” technique to trial its effectiveness for control.

Seven Mile Beach Coastal Reserve

Radiata pine control has been undertaken at Seven Mile Beach Coastal Reserve. Minor pruning of coastal wattle has also occurred.

Second Bellerive Bluff

Has undergone maintenance contractor works. Garden beds have been weeded, vegetation pruned and track verges sprayed and cleared of vegetation.

Wetland/Storm Water Retention Basins

Otago Bay Freshwater Lagoon

Has been brush cut, has undergone weed control and had cumbungi removed from the native vegetation growing in the lagoon.

Drainage Swales

Barilla Rivulet

Near Backhouse Lane, has been slashed in preparedness for excavation works. Crack willow has been poisoned for removal and cumbungi will be dug out to restore flow lines.

Below Spinnaker Terrace Swale

The swale Reserve below Spinnaker Terrace has undergone brush cutting, weed control and pruning.

Priority Weed Management

Significant weed control work has been administered in various CCC natural areas including: Second Bellerive Bluff, Tranmere Coastal Reserve, Cambridge Road and South Arm.

CCC Land and Coastcare Grants' Program

All projects that were funded by the NRM & Grants Committee are well underway. Projects will need to be finished by the end of the financial year.

Maintenance Clarendon Vale Rivulet

The Clarence Plains Rivulet is in very good condition at the moment due to the work carried out by the Work for Dole Team.

Schools Landcare Support Program

Planning is underway to do some more planting with Richmond Primary School at the Richmond Recreational Ground.

Community Clean Up Program

The program is well underway with many groups having conducted clean ups in their local areas.

Clean up Australia Day

Clean up Australia Day was a huge success for 2018. Data on transfers, recycling, number of groups etc, will be collated in the coming weeks and a report submitted for the 2018 events.

World Wetlands Day

Clarence City Council, in partnership with Sorell Council, NRM South, Derwent Estuary Program, DPIPWE and University of Tasmania, hosted a World Wetlands Day Event centred at Lauderdale Primary School. The event attracted 500 participants and strong media interest featuring numerous stalls and field trips on both Lauderdale saltmarshes and the Roscommon constructed wetland.

Australian Native Plants Society Conference 2018

Clarence City Council hosted 5 well-attended half day field trips on the Lauderdale Saltmarshes.

Australia Coast to Coast Conference 2018

Clarence City Council is providing support to Australia's foremost Conference on Coasts under a Changing Climate. Clarence City Council will be hosting a field event at Roches Beach and providing a presentation on Clarence's coastal adaptation activities.

Prison Program Project

The Prison Crew have continued with dry stone retaining wall work along the new gravel path from Gordons Hill Road to the Rosny Barn.

The Prison Crew have continued with maintenance-type work in the natural areas about Risdon Vale and have also performed extensive vegetation management works about Grass Tree Hill Rivulet.

Extensive weed control has been done along footpaths and natural areas at Risdon Vale.

4. DESIGN AND INVESTIGATION WORK IN PROGRESS

Nil.

5. GOVERNANCE MATTERS.

Committee Meeting

Committee meetings were held on 25 January 2018 and 13 March 2018. Capital and recurrent budget items were discussed for Council consideration during the 2018/2019 budget process.

Revised Constitution

The Committee has undertaken a 5 year review of the Constitution and discussed a revised Constitution to reflect the current needs and purpose of the Committee. A proposed revised Constitution will be reported to a Council Meeting for formal adoption.

6. EXTERNAL LIAISON

The NRM & Grants Committee have assessed all Landcare Grant Applications and funds have distributed to successful applicants.

RECOMMENDATION:

That the Chairperson's Report be received by Council.

Attachments: Nil.

Alderman Kay McFarlane
CHAIRPERSON

BICYCLE STEERING COMMITTEE – QUARTERLY REPORT

(File No 04-03-02)

Chairperson's Report – Alderman S von Bertouch

Report to Council for the 3 month period 1 January 2018 to 31 March 2018.

1. PRINCIPAL OBJECTIVES AND GOALS

The Committee's prime objectives are to:

- advise Council on the identification, development and maintenance of cycling routes and infrastructure along roads and other easements throughout the City;
- facilitate and provide guidance for the implementation of Council's adopted Bicycle Strategy;
- be actively involved in providing design advice relating to cycling infrastructure projects undertaken by Council;
- be actively involved in providing advice to Cycling South on matters relating to regional cycling infrastructure; and
- promote information sharing of cycling related matters affecting the City.

In working towards these goals the Committee arranged and implemented a range of activities, which are set out below.

2. CAPITAL WORKS PROJECTS**Silwood Avenue Track Upgrade**

The Aboriginal Heritage Assessment has been completed and an application for a Permit to Conceal has been lodged with Aboriginal Heritage Tasmania.

3. RECURRENT INITIATIVES

Nil.

4. DESIGN AND INVESTIGATION WORK IN PROGRESS**Clarence Street Safety Assessment Report**

Council decided to adopt Option 1 as its preferred option at its Council Meeting held on 3 July 2017. Plans are being designed for intersection treatments at Shoreline and Wentworth Streets of which the Committee provide comments.

After this, design plans will be prepared for Wentworth Street to Beach Street.

Clarence Foreshore Trail – Simmons Park to Anzac Park

Design is well advanced to show the Aldermen and a cost estimate has been completed at \$700,000.

Tasman Highway – Extension from Tasman Bridge to Montagu Bay Road

Council has been successful in receiving funding of \$70,000 under the Vulnerable Road User Program for this project. With Council's contribution of \$50,000 the total funding available is \$120,000. Currently waiting on final negotiations with the Department of State Growth (DSG) on the shared responsibilities for the area between the southern property boundary and the edge of the Tasman Highway. An issue is DSG's insistence on the application of the Roads and Jetties Act in relation to Council being responsible for maintaining the State Government road reserve if a path is constructed.

Tasman Highway – Tasman Bridge to Mornington

Cycling South has been successful in being awarded funding of \$25,000 for the feasibility and concept design for a multi-user pathway along the Tasman Highway road reservation. Sugden and Gee are preparing a report which is focused on a safe walking and cycling crossing at the Mornington Roundabout.

Howrah and Tranmere Roads – Investigation of Bike Infrastructure

The consultant's report is complete. Staff are currently working through the list of the recommended outcomes.

Clarence Foreshore Track – Marana Avenue to Montagu Bay Park

The demolition of the SES building has allowed for a realignment of the path around the point and large rocks have been placed to restrict vehicle access and to reduce the amount of illegal rubbish dumping. A Notification of Works sign was installed under the Tasman Bridge and the school has been notified of plans to close off the secondary access road to the SES building and re-use it for the Clarence Foreshore Trail.

Richmond Road Sealed Shoulders Project

Concern at the use of 14/7mm twin seal finished surface for the road shoulder. Staff are negotiating to have a 10/7mm seal instead.

Kangaroo Bay Development

When the slipway is open it becomes a challenge for cyclists to make their way along Cambridge Road through the village and back onto the foreshore path. The Committee has also discussed issues relating to the Bellerive Yacht Club development. The Committee's preference is for the suggested ramp access from Cambridge Road to the Foreshore Path.

5. GOVERNANCE MATTERS.**Committee Meeting**

The Committee held one meeting during the quarter on 19 February 2018.

6. EXTERNAL LIAISON

CyclingSouth Annual General Meeting was held on 20 February 2018.

RECOMMENDATION:

That the Chairperson's Report be received by Council.

Attachments: Nil.

Alderman Sharyn von Bertouch

CHAIRPERSON

11. REPORTS OF OFFICERS

11.1 WEEKLY BRIEFING REPORTS

(File No 10/02/02)

The Weekly Briefing Reports of 16, 23 and 30 April 2018 have been circulated to Aldermen.

RECOMMENDATION:

That the information contained in the Weekly Briefing Reports of 16, 23 and 30 April 2018 be noted.

11.2 DETERMINATION ON PETITIONS TABLED AT PREVIOUS COUNCIL MEETINGS

Nil.

11.3 PLANNING AUTHORITY MATTERS

In accordance with Regulation 25 (1) of the Local Government (Meeting Procedures) Regulations 2015, the Mayor advises that the Council intends to act as a Planning Authority under the Land Use Planning and Approvals Act 1993, to deal with the following items:

11.3.1 DEVELOPMENT APPLICATION D-2018/154 - 4 CULGOA STREET, MORNINGTON - 2 MULTIPLE DWELLINGS (1 EXISTING, 1 NEW)
(File No D-2018/154)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for 2 Multiple Dwellings (1 existing, 1 new) at 4 Culgoa Street, Mornington.

RELATION TO PLANNING PROVISIONS

The land is zoned General Residential and subject to the Parking and Access Code under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

LEGISLATIVE REQUIREMENTS

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 9 May 2018.

CONSULTATION

The proposal was advertised in accordance with statutory requirements and 3 representations were received raising the following issues:

- solar access;
- noise;
- privacy; and
- overall loss of residential amenity.

RECOMMENDATION:

A. That the Development Application for 2 Multiple Dwellings (1 existing, 1 new) at 4 Culgoa Street, Mornington (CI Ref D-2018/154) be approved subject to the following conditions and advice.

1. GEN AP1 – ENDORSED PLANS.

2. The foundations of all structures, including deck, must be a minimum of 1m away from the side of any piped infrastructure and at an appropriate depth as not to cause detriment. The exact location of infrastructure locations and depths are to be included on the engineering drawings to be provided for Council approval, prior to the granting of a building permit.
 3. ENG M1 – DESIGNS DA.
 4. ENG A5 – SEALED CAR PARKING.
 5. ENG S1 – INFRASTRUCTURE REPAIR.
 6. The development must meet all required Conditions of Approval specified by TasWater notice dated 26 March 2018 (TWDA 2018/00415-CCC).
- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

ASSOCIATED REPORT

1. BACKGROUND

No relevant background.

2. STATUTORY IMPLICATIONS

2.1. The land is zoned General Residential under the Scheme.

2.2. The proposal is discretionary because it does not meet the Acceptable Solution under the Scheme in relation to the number of parking spaces.

2.3. The relevant parts of the Planning Scheme are:

- Section 8.10 – Determining Applications;
- Section 10.0 – General Residential Zone;
- Section E6.0 – Parking and Access Code; and
- Section E7.0 – Stormwater Management Code.

- 2.4.** Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

3. PROPOSAL IN DETAIL

3.1. The Site

The site is a regularly shaped lot with a land area of 686.21m² and has 16.71m frontage and vehicular access onto Culgoa Street. The site supports an existing dwelling and outbuilding, which would both be retained as part of the proposal. The site slopes gradually down to the north-east and is clear of significant vegetation, aside from some landscaping surrounding the dwelling.

The surrounding area is similarly zoned General Residential and is characterised by single detached dwellings located within the established residential area at Mornington.

There are no easements encumbering the subject property. There are, however, both sewer and stormwater lines traversing the site that have been referenced by the proposal plans.

3.2. The Proposal

The proposal is for the construction of 2 Multiple Dwelling units (1 existing, 1 new) on the subject property. The proposed unit would contain 1 bedroom, shared kitchen/dining areas, kitchen, amenities, and outdoor living area to the north of the unit. The total floor area of the proposed unit would be 56m² and although less than 60m², in this instance the proposal is not an ancillary dwelling because there would be no sharing of water, sewerage, electricity and telecommunications services.

It is proposed to provide 2 parking spaces to the south of the existing dwelling unit for resident parking, to be located between the dwelling and frontage. It is proposed to provide 2 tandem parking spaces to the east of the proposed dwelling unit, for both residents of that dwelling and a visitor space, serviced by the existing driveway access adjacent the eastern property boundary. A copy of the proposal is included in the attachments.

The proposed unit would have a maximum height above natural ground level of 5.1m at its highest point. Outdoor living areas are proposed to the north of the proposed unit and to the west of the existing, each with an area in excess of 60m².

The proposed unit would be setback 3.9m from the western (side) property boundary, 3.4m from the eastern (side) boundary and 4.85m from the northern (rear) boundary. A separation distance of 3m between the proposed and existing dwelling units is proposed.

4. PLANNING ASSESSMENT

4.1. Determining Applications [Section 8.10]

“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.

Reference to these principles is contained in the discussion below.

4.2. Compliance with Zone and Codes

The proposal meets the Scheme’s relevant Acceptable Solutions of the General Residential Zone, Parking and Access Code and Stormwater Management Code with the exception of the following.

Parking and Access Code

| Clause | Standard | Acceptable Solution | Proposed |
|---------------|------------------------------|--|--|
| E6.6.1 A1 | Number of car parking spaces | <p>The number of on-site car parking spaces must be:</p> <p>(a) no less than the number specified in Table E6.1;</p> <p>except if:</p> <p>i. the site is subject to a parking plan for the area adopted by Council, in which case parking provision (spaces or cash-in-lieu) must be in accordance with that plan.</p> | <p>Does not comply – a total of 4 accessible spaces are required, including 1 visitor space.</p> <p>A total of 3 spaces are proposed and no visitor space.</p> |

The proposed variation must be considered pursuant to the Performance Criteria (P1) of the Clause E6.6.1 for the following reasons.

| Performance Criteria | Comment |
|--|---|
| <i>“P1 - The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:</i> | see below |
| <i>(a) car parking demand;</i> | Council has no record of parking issues in the Culgoa Street area and Council’s Development Engineer is satisfied that the 1 bedroom proposal would not place unreasonable demand on on-street parking. |
| <i>(b) the availability of on-street and public car parking in the locality;</i> | <p>There is an availability of on-street and public car parking in the locality in Culgoa Street and the surrounding road network.</p> <p>It is therefore considered that there is adequate on-street car parking to satisfy overflow and visitor parking demand, which would be minimal.</p> |

| | |
|--|--|
| (c) <i>the availability and frequency of public transport within a 400m walking distance of the site;</i> | The site is within 400m of public transport route which extends along Binalong Road. Occupants would therefore have access to a reliable, frequent public transport network to access services and facilities in the nearby Rosny Park area. |
| (d) <i>the availability and likely use of other modes of transport;</i> | The site is within an urban environment, where occupants would have options to use bicycles and motorcycles, which could easily be parked on the site. Reliance on alternative modes of transport is reasonable given the formation of footpaths and the proximity to Rosny. |
| (e) <i>the availability and suitability of alternative arrangements for car parking provision;</i> | There are no alternative options. |
| (f) <i>any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;</i> | Car parking spaces are not proposed to be shared in this instance. |
| (g) <i>any car parking deficiency or surplus associated with the existing use of the land;</i> | The current use of the property contains a compliant number of car parking spaces, being 2. |
| (h) <i>any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of substantial redevelopment of a site;</i> | As discussed above, the current single dwelling use contains a compliant number of car parking spaces. |
| (i) <i>the appropriateness of a financial contribution in-lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity;</i> | As the site is not located within a commercial activity centre, it would be inappropriate to require a financial contribution in-lieu of parking. There are no plans for public parking facilities in the vicinity of the site. |
| (j) <i>any verified prior payment of a financial contribution in-lieu of parking for the land;</i> | No previous financial contributions in-lieu of parking have been provided for the land. |

| | |
|--|--|
| (k) <i>any relevant parking plan for the area adopted by Council;</i> | The site is not located within an area affected by a parking plan. |
| (l) <i>the impact on the historic cultural heritage significance of the site if subject to the Local Heritage Code”.</i> | The site is not subject to the Historic Heritage Code. |

5. REPRESENTATION ISSUES

The proposal was advertised in accordance with statutory requirements and 3 representations were received. The following issues were raised by the representors.

5.1. Solar Access

Concern is raised that the proposed development would have a significant and negative impact upon the solar access to nearby residential properties, most significantly in relation to access to solar energy. It is submitted that solar efficiency would be unreasonably compromised and that daylight into rooms of adjacent dwellings would be blocked. It is submitted that the proposal should be refused on this basis.

- **Comment**

The proposed development meets the relevant acceptable solutions in relation to overshadowing at Clause 10.4.2 A3 of the Scheme, in that the unit would be within the building envelope prescribed by the Scheme. This issue therefore does not justify the refusal of the proposal under the Scheme.

5.2. Noise

Concerns relating to anticipated noise to be generated as a result of construction and resultant driveway traffic and residential use are highlighted by the representations as an objection to the proposal.

- **Comment**

The site is located within an established residential area at Mornington. While noise is not a matter relevant to the determination of this application under the Scheme, noise levels should be within normal expectations for a residential area.

5.3. Privacy

Overlooking is raised as a concern in terms of the outdoor living areas of adjacent residential development. Specifically, it is raised that adjacent areas used for private recreation as backyard would be entirely overlooked (and therefore unreasonably compromised) by the proposed development, and that the proposal would “be visually overbearing”.

- **Comment**

The proposed development meets the relevant acceptable solutions in relation to privacy at Clause 10.4.6 A1 and A2 of the Scheme, in that the proposed windows and outdoor living areas have been designed to achieve compliance with the relevant parts of the acceptable solution relating to finished floor levels. This issue therefore does not justify the refusal of the proposal under the Scheme.

5.4. Overall Loss of Residential Amenity

The representors raise concern that the proposal would, based on the reasons identified above, have a high and negative impact upon residential amenity.

- **Comment**

Whilst the concerns of the representors are discussed above, it is noted that the proposal satisfies the relevant acceptable solutions for development of multiple dwellings within the General Residential Zone. The development relies upon a single performance criterion only, in that it is not proposed to provide a visitor parking space. This request satisfies the relevant tests under the Scheme, as discussed above and on this basis the refusal of the proposal is not warranted.

6. EXTERNAL REFERRALS

The proposal was referred to TasWater, which has provided a number of conditions to be included on the planning permit if granted.

7. STATE POLICIES AND ACT OBJECTIVES

7.1. The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

7.2. The proposal is consistent with the objectives of Schedule 1 of LUPAA.

8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

9. CONCLUSION

The proposal seeks approval for 2 Multiple Dwellings (1 existing, 1 new) at 4 Culgoa Street, Mornington. The application meets the relevant acceptable solutions and performance criteria of the Scheme.

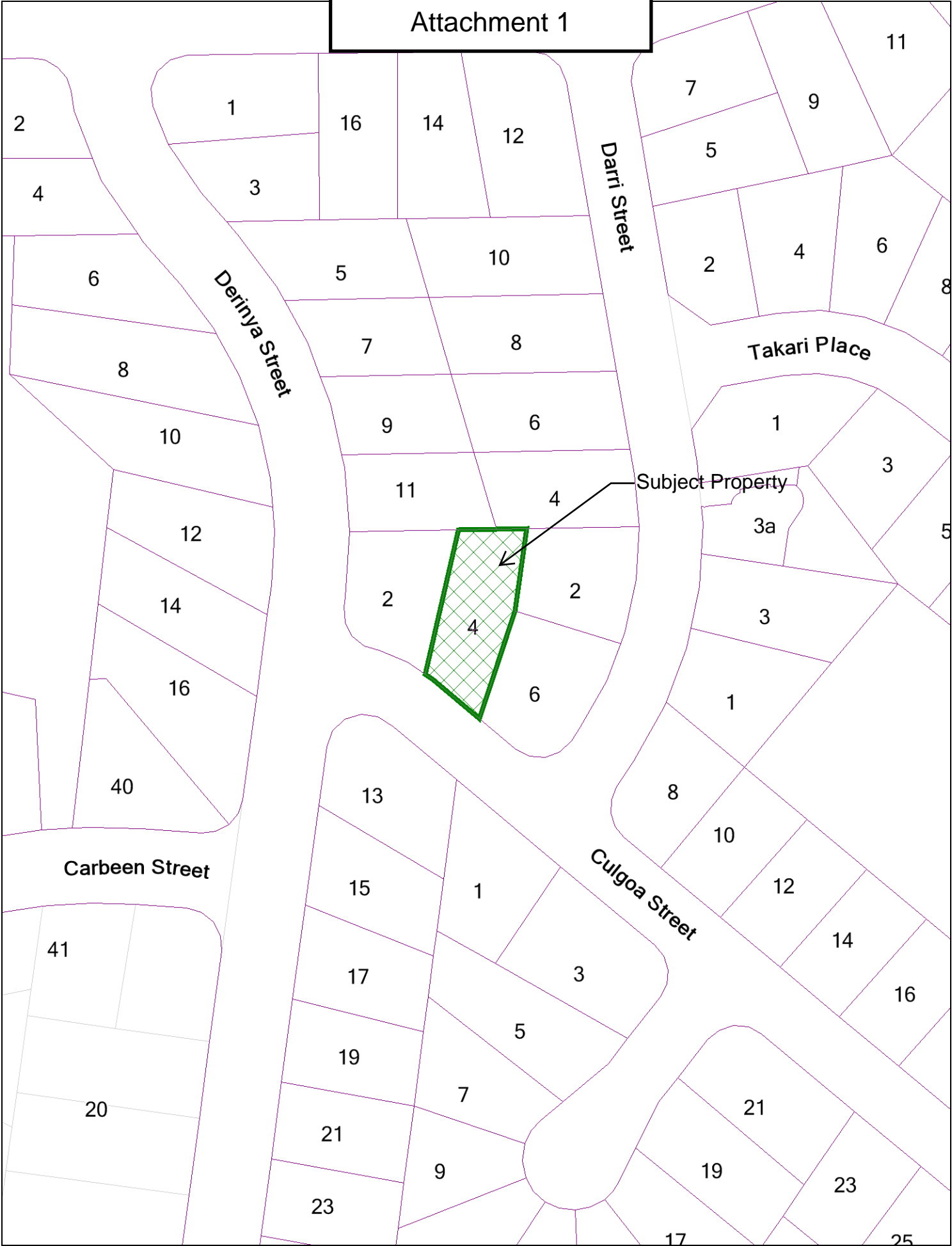
The proposal is recommended for approval subject to conditions.

Attachments: 1. Location Plan (1)
2. Proposal Plan (7)
3. Site Photo (1)

Ross Lovell
MANAGER CITY PLANNING

LOCATION PLAN - 4 CULGOA STREET

Attachment 1



Disclaimer: This map is a representation of the information currently held by Clarence City Council. While every effort has been made to ensure the accuracy of the product, Clarence City Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated. Copying or reproduction, without written consent is prohibited. **Date:** Tuesday, 24 April 2018 **Scale:** 1:1,162 @A4



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Telephone 08-6224-8642
Email info@room11.com.au Website www.room11.com.au
Registration no 61397

DATE:
16/03/2018
CLIENT /OWNER:
SALVATION ARMY
PROJECT ADDRESS:
4 Culgoa Street
Morrington 7018
DESIGNER:
NATHAN CRUMP
CC6170C

PROJECT:

4 CULGOA STREET, MORNINGTON PROPOSED DWELLING
T17030

| SKETCH DESIGN DRAWING INDEX | | |
|-----------------------------|-----------------------------|------------------|
| SHEET | ID | CURRENT REVISION |
| SK01 | LOCATION PLAN | A |
| SK02 | SITE PLAN | A |
| SK03 | FLOOR PLAN | A |
| SK04 | ELEVATIONS 01 | A |
| SK05 | ELEVATIONS 02 | A |
| SK06 | PRIVATE OPEN SPACE SUNLIGHT | A |

| | |
|--------------------------------------|---------------------------|
| AREAS | |
| SITE AREA : | 686.21m ² |
| PROPOSED DWELLING FLOOR | 56m ² |
| PROPOSED DECK | 9m ² |
| PROPOSED POS | 60m ² |
| EXISTING DWELLING | 104.5m ² |
| PROPOSED POS | 60m ² |
| EXISTING SITE COVERAGE (ROOFED AREA) | 130m ² |
| PROPOSED SITE COVERAGE (ROOFED AREA) | (27.7%) 190m ² |



SITE INFORMATION
PROPERTY ID: 54803/436
DESIGN WIND SPEED: N3
SOIL CLASSIFICATION: 'P'
CLIMATE ZONE: 7
BUSH FIRE ATTACK LEVEL: LOW
ALPINE AREA: N/A
CORROSION ENVIRONMENT: LOW

DEVELOPMENT APPLICATION



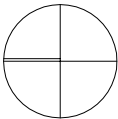
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Registration no. 61397

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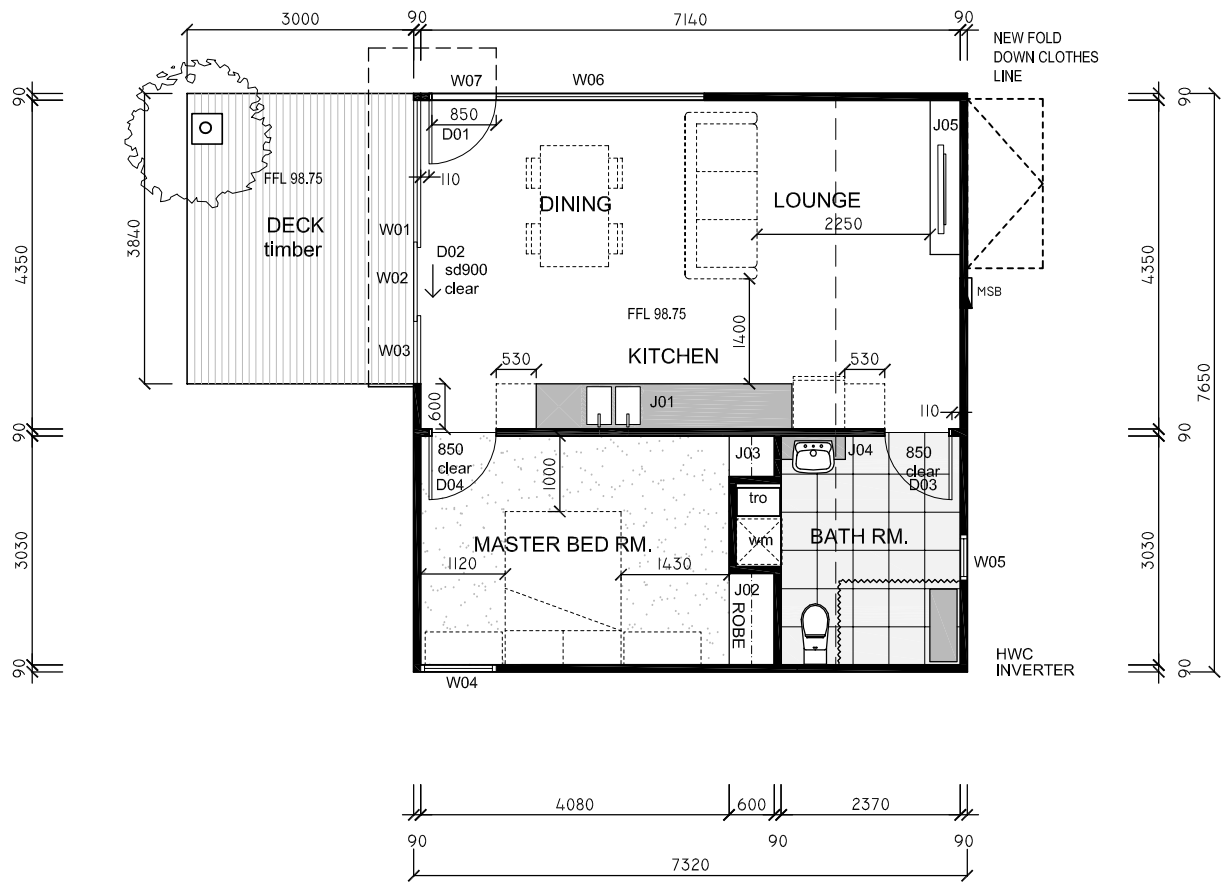
Project No:
T17030
Client
SALVATION ARMY
Project Name
SALVATION ARMY HOUSING
Project Address
**4 Culgoa Street
Morrington 7018**

| ISSUE ID | ISSUE NAME | ISSUE DATE |
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| Drawing Title: LOCATION PLAN | | |
| Scale: NTS | Drawing No.: SK01 | Revision: A |
| Date: 16/03/2018 | | |
| Drawn By: | | |
| Checked By: NC | | |
| Status: | | |



1 BEDROOM 56m²

| NATURAL LIGHT AND VENTILATION | | | | | |
|-------------------------------|---------|----------|----------|-------------|----------|
| ROOM | AREA | LIGHT | | VENTILATION | |
| | | REQUIRED | ACHIEVED | REQUIRED | ACHIEVED |
| LOUNGE RM. | 31.0M² | 3.1M² | 17.52M² | 1.55M² | 4.2M² |
| DINING RM. | | | | | |
| KITCHEN | | | | | |
| MASTER | 12.35M² | 1.235M² | 2.15M² | 0.618M² | 1.2M² |



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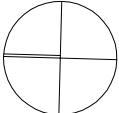
Project No:
T17030

Client
SALVATION ARMY

Project Name
SALVATION ARMY HOUSING

Project Address
**4 Culgoa Street
Morningside 7018**

| ISSUE ID | ISSUE NAME | ISSUE DATE | ISSUE ID | ISSUE NAME | ISSUE DATE |
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FLOOR PLAN

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Date: 16/03/2018

Drawn By:

Checked By: NC

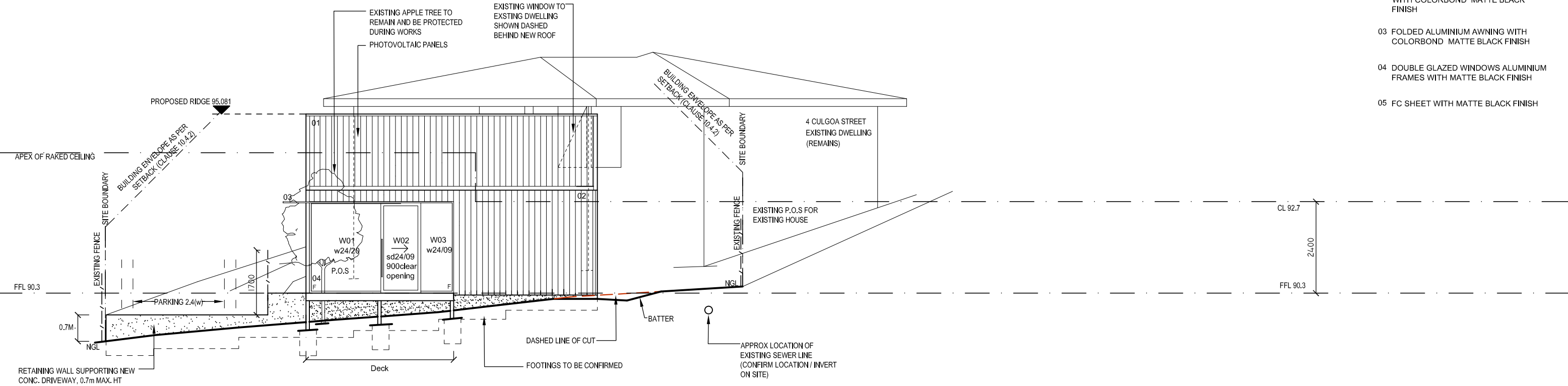
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Drawing No.:
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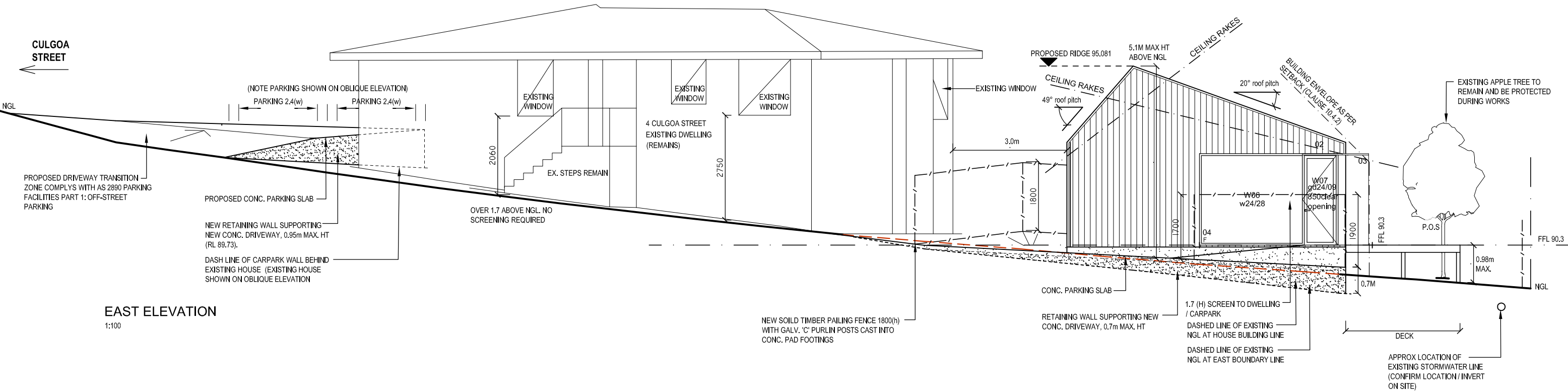
Revision:
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Agenda Attachments - 4 Culgoa Street, Mornington Page 5 of 9


- 01 LONGLINE SHEET METAL ROOFING WITH COLORBOND MATTE BLACK FINISH
- 02 LONGLINE SHEET METAL CLADDING WITH COLORBOND MATTE BLACK FINISH
- 03 FOLDED ALUMINIUM AWNING WITH COLORBOND MATTE BLACK FINISH
- 04 DOUBLE GLAZED WINDOWS ALUMINIUM FRAMES WITH MATTE BLACK FINISH
- 05 FC SHEET WITH MATTE BLACK FINISH



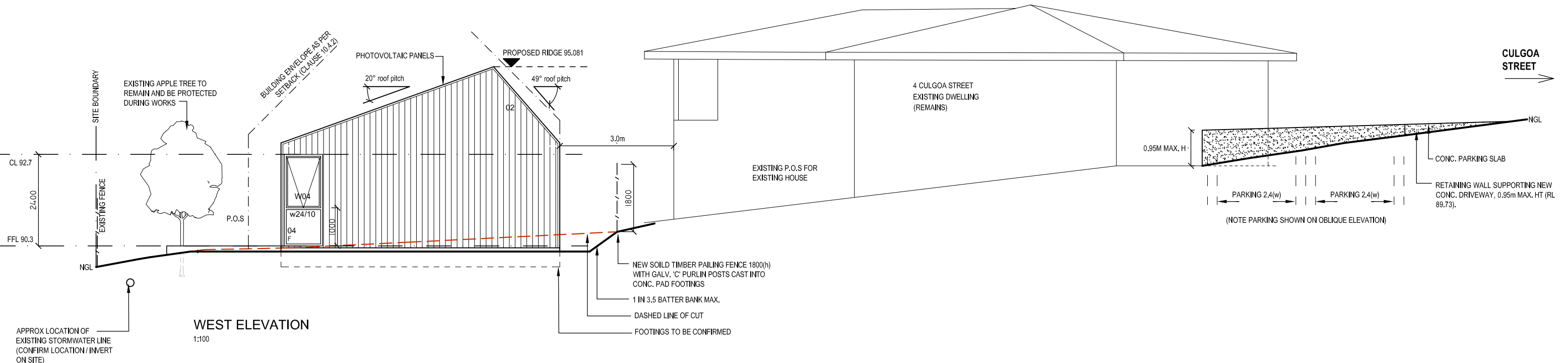
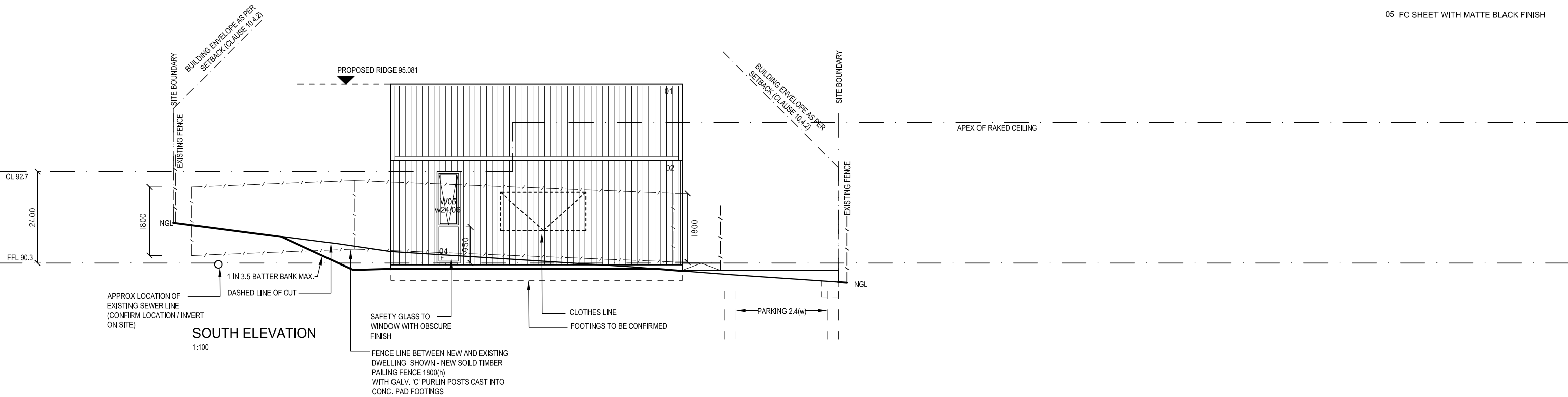
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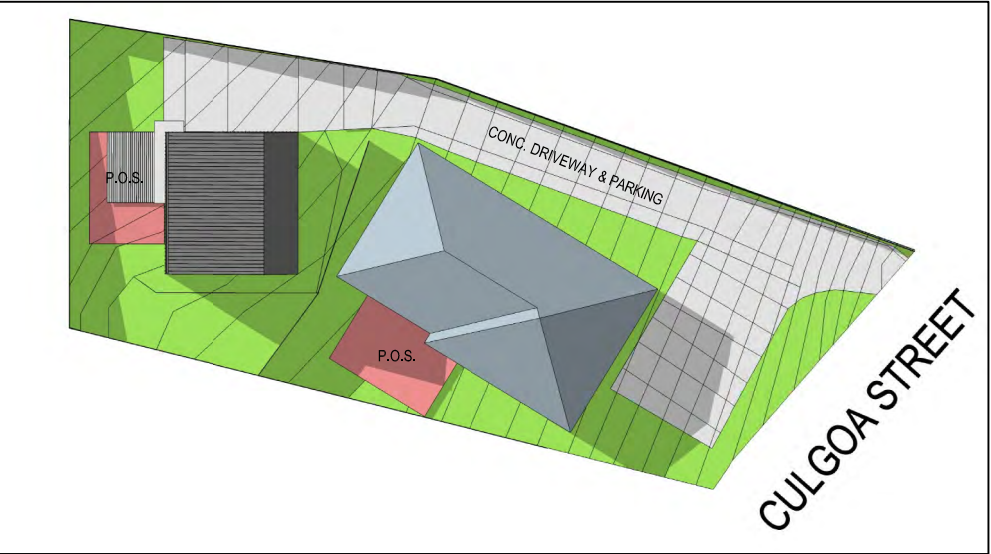
EAST ELEVATION
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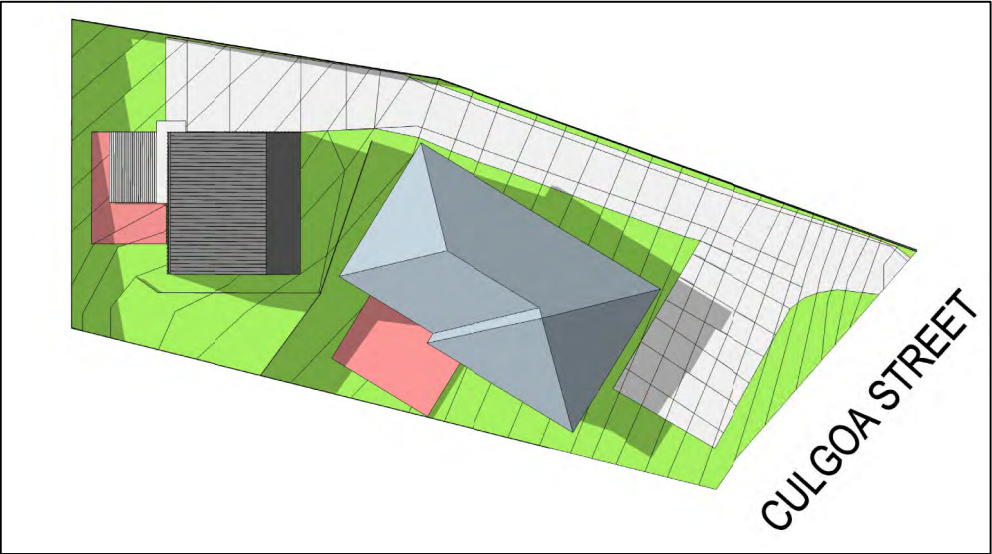
- 01 LONGLINE SHEET METAL ROOFING
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FINISH
- 02 LONGLINE SHEET METAL CLADDING
WITH COLORBOND MATTE BLACK
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FRAMES WITH MATTE BLACK FINISH
- 05 FC SHEET WITH MATTE BLACK FINISH



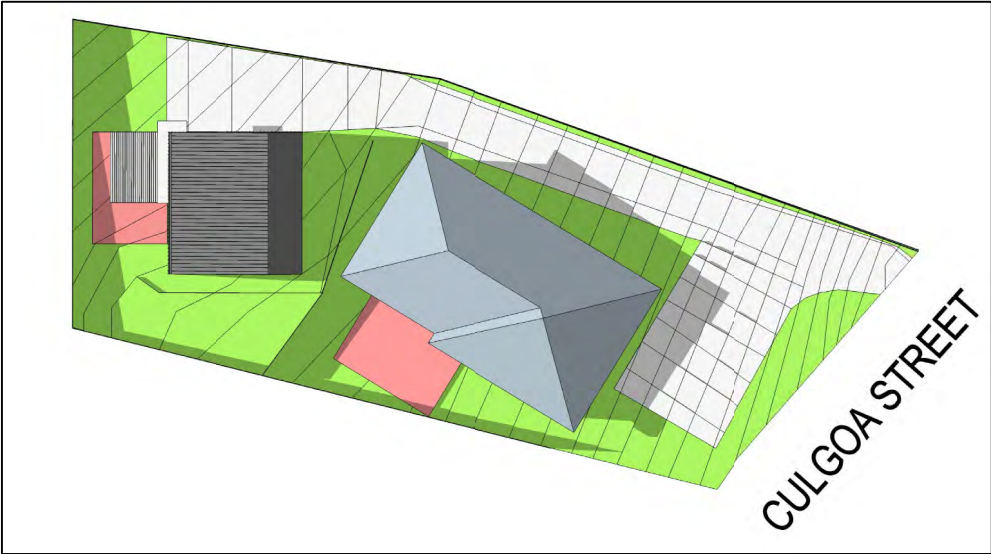
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| <div><div>ROOM</div><div>11</div></div> <div>Room11 Architects Studio HOBAIT 356B Macquarie Street, South Hobart, TAS 7004 Telephone 03-6224-9642 Email info@room11.com.au Website www.room11.com.au Registration no. 61397</div> | Drawings to be read in conjunction with specification by Room11 and all drawings and documents by engineers and subconsultants referred to in these plans. Contractors are to verify all dimensions on site before commencing any work or producing shop drawings. Larger scale drawings and written dimensions take preference. DO NOT SCALE FROM DRAWINGS. These drawings are protected by the laws of copyright and may not be copied or reproduced without the written permission of Room 11. ALL DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE AUTHOR. | Project No: T17030 Client SALVATION ARMY Project Name SALVATION ARMY HOUSING Project Address 4 Culgoa Street Morrington 7018 | ISSUE ID | ISSUE NAME | ISSUE DATE | ISSUE ID | ISSUE NAME | ISSUE DATE | <div>Drawing Title: ELEVATIONS</div> <div>Scale: 1:100</div> <div>Date: 16/03/2018</div> <div>Drawn By:</div> <div>Checked By: NC</div> <div>Status:</div> <div>Drawing No.: SK05</div> <div>Revision: A</div> |
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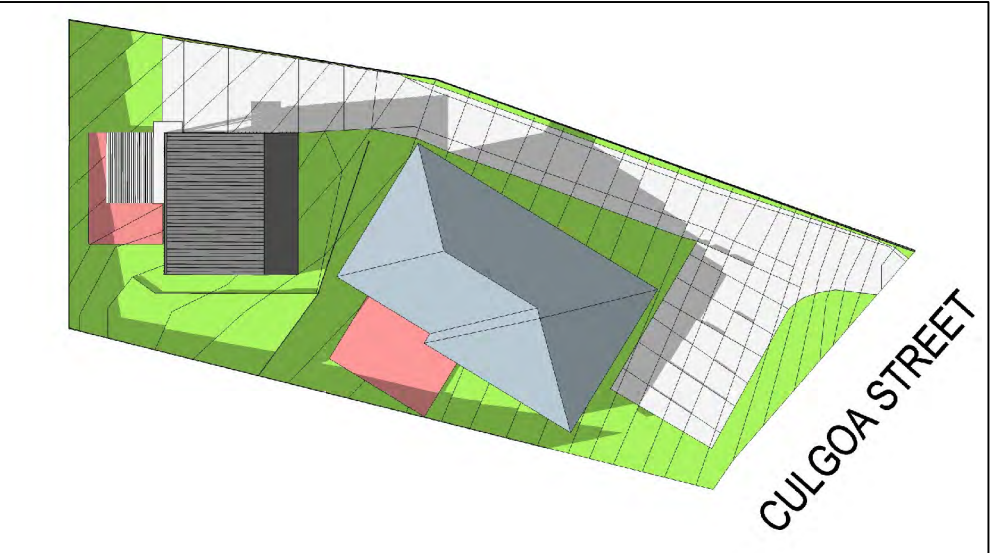
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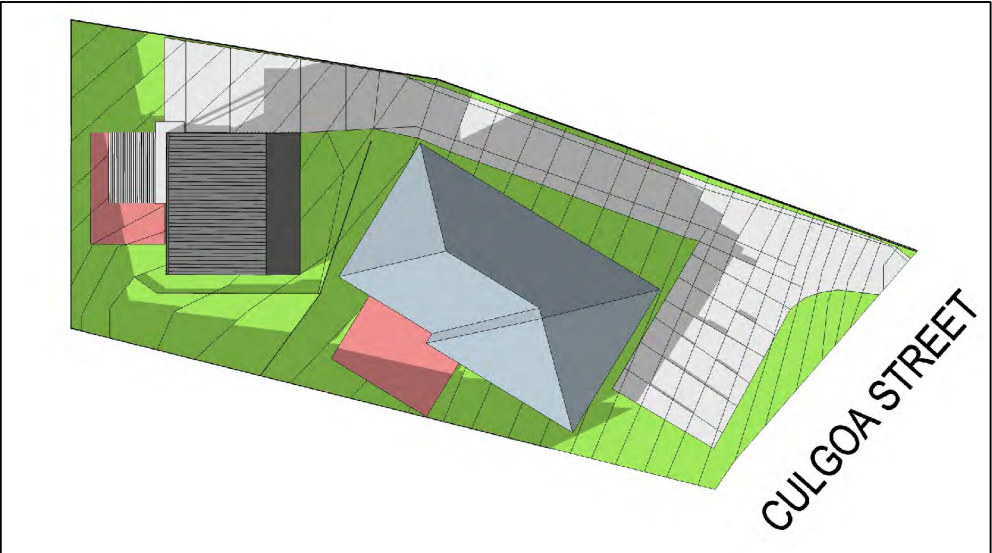
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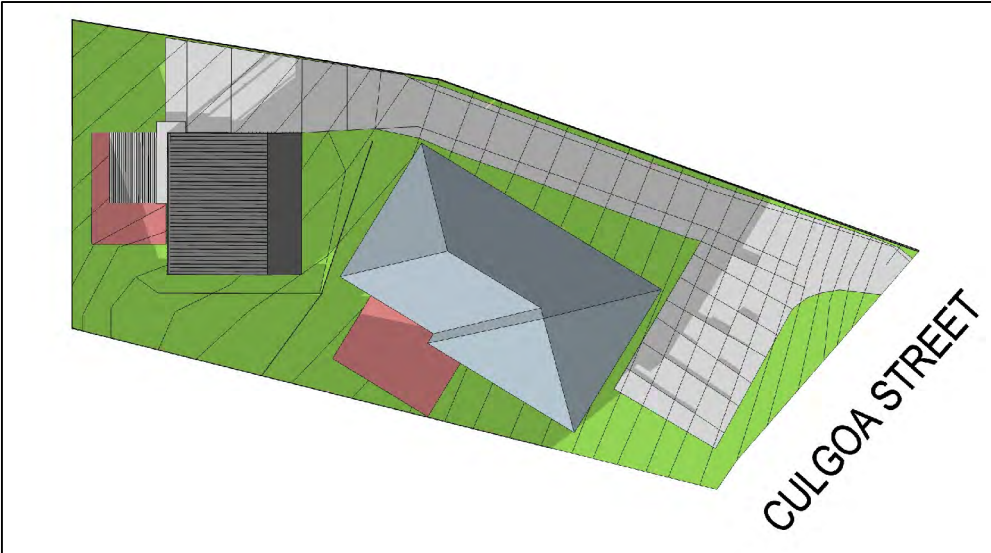
21st JUNE 12:00PM



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21st JUNE 2:00PM



21st JUNE 3:00PM

NOTE: BOTH PROPOSED AND EXISTING DWELLING RECEIVE OVER 3 HOURS OF SUNLIGHT TO PRIVATE OPEN SPACE (P.O.S) AS PER SUNLIGHT AND OVERSHADOWING CLAUSE 10.4.4)



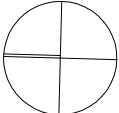
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Project No:
T17030
Client
SALVATION ARMY
Project Name
SALVATION ARMY HOUSING
Project Address
4 Culgoa Street
Morrington 7018

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PRIVATE OPEN SPACE SUNLIGHT

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| Checked By: | NC |
| Status: | |

Drawing No.:
SK06

Revision:
A

4 Culgoa Street, MORNINGTON



Site viewed from Culgoa Street, looking north



Site viewed from adjacent property boundary, looking north



Site of proposed development, viewed from rear of existing dwelling looking northwest

11.3.2 DEVELOPMENT APPLICATION D-2017/523 - 155 TRANMERE ROAD, HOWRAH - MULTIPLE DWELLINGS (1 EXISTING, 1 NEW) AND ADDITIONS TO EXISTING
(File No D-2017/523)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for Multiple Dwellings (1 existing, 1 new) and additions to the existing dwelling at 155 Tranmere Road, Howrah.

RELATION TO PLANNING PROVISIONS

The land is zoned General Residential and subject to the Waterway and Coastal Protection and Parking and Access Codes under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

LEGISLATIVE REQUIREMENTS

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires with the consent of the applicant on 9 May 2018.

CONSULTATION

The proposal was advertised in accordance with statutory requirements on 2 occasions, secondly with modifications made to the proposal. Two representations were received in both instances, raising the following issues:

- noise;
- traffic;
- privacy;
- overshadowing;
- visual impact; and
- nature of use.

RECOMMENDATION:

- A. That the Development Application for Multiple Dwellings (1 existing, 1 new) and additions to existing at 155 Tranmere Road, Howrah (CI Ref D-2017/523) be approved subject to the following conditions and advice.

1. GEN AP1 – ENDORSED PLANS.
 2. The development must meet all required Conditions of Approval specified by TasWater notice dated 22 January 2018 (TWDA 2018/00086-CCC).
- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council’s decision in respect of this matter.

ASSOCIATED REPORT

1. BACKGROUND

The subject dwelling was approved by Council in 1957 under B-1957/5330, with additions approved more recently under B-2002/810, BPA-2008/148 and PA-2008/156.

2. STATUTORY IMPLICATIONS

- 2.1. The land is zoned General Residential under the Scheme.
- 2.2. The proposal is discretionary because it does not meet certain Acceptable Solutions under the Scheme.
- 2.3. The relevant parts of the Planning Scheme are:
 - Section 8.10 – Determining Applications;
 - Section 10.0 – General Residential Zone;
 - Section E6.0 – Parking and Access Code; and
 - Section E11.0 – Waterway and Coastal Protection Code.
- 2.4. The Waterway and Coastal Protection Code is applicable to part of the site. The site of the proposed development is, however, not within the parts of lot affected by the Code. The proposal therefore does not require assessment against the detailed provisions of the Code.

- 2.5.** Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

3. PROPOSAL IN DETAIL

3.1. The Site

The site is a 1014m² lot with 19.81m frontage to Tranmere Road. It supports an existing single-storey dwelling and associated landscaped gardens, is located within an established residential area at Tranmere and slopes down to the west towards the river. Vehicular access to the site is from an existing driveway from Tranmere Road and there are no easements encumbering the subject property.

3.2. The Proposal

The proposal is for the development of Multiple Dwellings (1 existing, 1 new) and additions to the existing dwelling. The proposal is for the Multiple Dwelling and the dwelling additions to be developed as an upper level addition to an existing dwelling at the subject property.

The proposal is to construct an upper level addition over the eastern part of the existing dwelling. The development would result in a building with a total floor area of 330m², an overall footprint of 393m² and resultant site coverage of 38 percent of the total lot area.

The proposed Multiple Dwelling would be located within the upper level addition, at the easternmost part of the building. The proposed access to the Multiple Dwelling would be adjacent the existing double-car garage at the ground level, and the Multiple Dwelling would have a floor area of 85m². It would be a 2 bedroom Multiple Dwelling, with the associated open space provided as a deck on the northern elevation of the addition.

The additions would be 7.255m in height above natural ground level at their highest point. A level outdoor living area is proposed to the west of the existing dwelling unit, with an area in excess of 24m².

The development would be setback 4.605m from the northern (side) property boundary, 2.056m from the southern (side) boundary and 4.658m from the front (Tranmere Road) property boundary. The 2 parking spaces required for the proposed Multiple Dwelling would be provided within the proposed garage at the eastern end of the building and associated turning and a further 2 parking spaces (and visitor space) to be provided to the north of the main dwelling.

The development would be clad using a combination of block, rendered cement sheet, Colorbond roofing and oiled hardwood for the proposed timber decking. Timber privacy screening with a height of 1.7m is proposed as part of the development and it is proposed to replace the roof of the existing part of the dwelling with a flat roof to match the proposed additions. A copy of the proposal is included in the attachments.

4. PLANNING ASSESSMENT

4.1. Determining Applications [Section 8.10]

“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.

Reference to these principles is contained in the discussion below.

4.2. Compliance with Zone and Codes

The proposal meets the Scheme's relevant Acceptable Solutions of the General Residential Zone and Parking and Access Code with the exception of the following.

General Residential Zone

| Clause | Standard | Acceptable Solution | Proposed |
|---------------|--|--|--|
| 10.4.2 A1 | Setbacks and building envelope for all dwellings | <p>Unless within a building area, a dwelling, excluding protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m into the frontage setback, must have a setback from a frontage that is:</p> <p>(a) if the frontage is a primary frontage, at least 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site; or</p> <p>(b) if the frontage is not a primary frontage, at least 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; or</p> <p>(c) if for a vacant site with existing dwellings on adjoining sites on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or</p> <p>(d) if the development is on land that abuts a road specified in Table 10.4.2, at least that specified for the road.</p> | <p>not applicable</p> <p>not applicable</p> <p>not applicable</p> <p>Does not comply – 6.0m setback required for Tranmere Road, and 4.658m proposed.</p> |

The proposed variation must be considered pursuant to the Performance Criteria (P1) of the Clause 10.4.2 for the following reasons.

| Performance Criteria | Comment |
|--|--|
| <i>“P1 - A dwelling must:</i> | see below |
| <i>(a) have a setback from a frontage that is compatible with the existing dwellings in the street, taking into account any topographical constraints; and</i> | <p>Setbacks of adjacent buildings within the vicinity of the subject property range from 3.7m to the south for an existing garage at 157 Tranmere Road, to 900mm at 159 Tranmere Road. The site additionally slopes down to the west towards the water and is partially fenced from view from Tranmere Road. This would minimise the visual impact of the proposal when viewed directly from Tranmere Road.</p> <p>The proposed development would be setback in excess of the adjacent distances to the south, and thus considered to be compatible with the existing dwellings and development in the street.</p> |
| <i>(b) if abutting a road identified in Table 10.4.2, include additional design elements that assist in attenuating traffic noise or any other detrimental impacts associated with proximity to the road”.</i> | The site adjoins Tranmere Road, and as noted the setback distances are similar to residential development to the south of the site. No specific attenuation measures are proposed or considered necessary, in response to the reduced setback sought in relation to the development. |

General Residential Zone

| Clause | Standard | Acceptable Solution | Proposed |
|---------------|--|---|-----------------|
| 10.4.2 A3 | Setbacks and building envelope for all dwellings | <p>A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:</p> <p>(a) be contained within a building envelope (refer to Diagrams 10.4.2A, 10.4.2B, 10.4.2C and 10.4.2D) determined by:</p> | |

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| | | <p>(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and</p> <p>(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and</p> <p>(b) only have a setback within 1.5m of a side boundary if the dwelling:</p> <p>(i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining lot; or</p> <p>(ii) does not exceed a total length of 9m or one-third the length of the side boundary (whichever is the lesser).</p> | <p>Does not comply – the additions would be setback 4.658m from the front boundary, not 6.0 as prescribed for Tranmere Road.</p> <p>Does not comply – the privacy screen only at the upper level deck would extend beyond the prescribed building envelope, as illustrated by the attachments.</p> <p>not applicable</p> <p>complies</p> |
|--|--|--|--|

The proposed variation must be considered pursuant to the Performance Criteria (P3) of the Clause 10.4.2 as follows.

| Performance Criteria | Comment |
|--|---|
| <p><i>“P3 – The siting of a dwelling must:</i></p> <p><i>(a) not cause any unreasonable loss of amenity by:</i></p> <p><i>(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or</i></p> | <p>see below</p> <p>The proposal plans show the location of the building envelope in relation to the proposed development, and identify the extent of the parts outside the prescribed building envelope.</p> |

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| | <p>Diagrams illustrating the extent of shadows likely to be cast at Winter Solstice were provided with the application and included in the advertised plans.</p> <p>As noted, the proposal has been modified following the first advertising period for the application, in light of the concerns raised by the representations. Specific changes to the design were made to increase the setback distance from the additions to the southern property boundary, and additionally to modify the roof of the existing part of the dwelling to a flat roof. These changes have resulted in the upper level addition itself being within the building envelope prescribed by the acceptable solution.</p> <p>The elements of the proposal requiring consideration under the performance criteria are the portion of the dwelling within the front setback, and a portion of the privacy screen of the upper level deck.</p> <p>The neighbouring property affected by the proposed development is 157 Tranmere Road, located to the south of the subject property. The shadow diagrams indicate that there would be no overshadowing impacts on other properties, including the dwelling at 153 Tranmere Road.</p> <p>In relation to the front setback, it is noted that the area to the south affected by this portion of the addition would involve the garage at 157 Tranmere Road, which is non habitable and therefore not a relevant consideration.</p> <p>Secondly and in relation to the privacy screen, it is noted that the screen itself would be 1.7m in height and would be 25 percent transparent.</p> |
|--|--|

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| | <p>The impact of this structure upon solar access would therefore be low, in that light would be filtered (and enabled) by the semi-transparent screen proposed.</p> <p>The rooms at the north-western part of the dwelling at 157 Tranmere Road include bedrooms and to the north-western side, part of the living area associated with that dwelling. The shadow diagrams show that the impact of the proposed development upon the windows of the living area would be early in the day on 21 June, but any overshadowing impacts would cease by between 10am and 11am. This impact is considered reasonable in relation to this performance criterion, in that at least 3 hours of sunlight would exist to the habitable parts of that dwelling at Winter Solstice.</p> <p>It is apparent from inspection of the site that a bedroom within the north-eastern part of 157 Tranmere Road is used as a home office, which is considered a habitable room under the Scheme. The shadow diagrams show, it is considered accurately, that this part of the dwelling would receive in excess of 3 hours of sunlight at Winter Solstice.</p> <p>On the basis of the assessment above and shadow diagrams submitted, the impact is therefore considered to be reasonable.</p> |
| <p>(ii) <i>overshadowing the private open space of a dwelling on an adjoining lot; or</i></p> | <p>In relation to 157 Tranmere Road, the diagrams show that overshadowing of parts of the private open space between the dwelling and garage would occur at Winter Solstice. The diagrams indicate that the existing single storey dwelling at 155 Tranmere Road already impacts on part of this area, and that the proposed development would have an additional impact.</p> |

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| | <p>The shadow diagrams demonstrate that the proposed dwelling would cast a shadow upon the part of the private open space between the dwelling and garage at 157 Tranmere Road. It is noted that 157 Tranmere Road does, however, have an area of 1014m² and has private open space compliant with the minimum provisions of the Scheme on the western side of the dwelling – in the form of a deck and garden areas.</p> <p>The smaller and more private of the private open space of 157 Tranmere Road is located between the garage and dwelling, and adjacent to the proposed upper level addition. Though this part of the site is substantially impacted, it is considered that the site has sufficient open space and the proposal does not unreasonably impact upon residential amenity under this performance criterion.</p> |
| (iii) <i>overshadowing of an adjoining vacant lot; or</i> | not relevant |
| (iv) <i>visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and</i> | <p>Given the gradient of the land in the vicinity of the site, the surrounding area generally contains Single Dwellings on multiple levels. Neighbouring dwellings are typically oriented to the south to obtain views of the river and mountain.</p> <p>The visual impact of the proposed development is considered reasonable, in that the building height at its highest point would be 7.255m above natural ground level and largely consistent with the prescribed building envelope. The proposed development would remain single storey at the rear where adjacent the water, and 2-storey on the eastern part of the site which is consistent with residential development within proximity of the site. The resultant dwelling would also have site coverage less than the 50 percent coverage prescribed by the Scheme.</p> |

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|---|--|
| | <p>Both neighbouring properties at 153 and 157 Tranmere Road have existing established landscaped gardens, and the materials proposed for cladding of the development would be consistent both with the existing dwelling and the range of styles within the vicinity of the site.</p> <p>It is considered that the variation to the building envelope is a reasonable response to the constraints of the site, and consistent with the nature of surrounding development. For the above reasons, it is therefore considered that the proposal would not cause a loss of amenity to the adjoining properties through visual bulk and scale of the development.</p> |
| <i>(b) provide separation between dwellings on an adjoining lot that is compatible with that prevailing in the surrounding area”.</i> | <p>Development within proximity of the subject property is characterised by setbacks consistent with that proposed, in terms of side boundary setbacks. The proposed dwelling separation distances at 3.5m and 5.5m are therefore compatible with the separation distances evident in the surrounding area.</p> |

5. REPRESENTATION ISSUES

The proposal was advertised in accordance with statutory requirements on 2 occasions, secondly with modifications to the proposal made in response to the concerns raised by the issues first raised by the representations. Upon advertising for a second period, 2 representations were again received. The following issues were raised by the representors.

5.1. Noise

Concern is raised by the representations that the proposed development would have an adverse impact upon the residential amenity of the area, by creating excessive noise likely as part of the proposed and any future commercial use for visitor accommodation.

- **Comment**

The site is located within an established residential area on a busy sub-arterial road at Tranmere. While noise is not a matter relevant to the determination of this application under the Scheme, noise levels should be within normal expectations for the area. It is further noted that the proposed use is residential, which is a permitted use within the zone.

5.2. Traffic

It is submitted traffic impacts justify refusal, having regard to the number of bedrooms, possible future commercial use and conflict with on-street parking and an adjacent bus stop.

- **Comment**

The Scheme does not prescribe a maximum number of bedrooms for a dwelling and the Parking and Access Code requires that a Multiple Dwelling with 2 or more bedrooms must have 2 parking spaces and a single visitor space only. The proposed development satisfies this requirement.

The application documentation included a Traffic Report prepared by Howarth Fisher dated 11 December 2017, in relation to the proposed parking and on-site manoeuvring arrangements. Council's Engineers are satisfied with the findings of the assessment, which concludes that the proposed development is in a form appropriate for the site (and a permitted use within the zone), and would meet the relevant requirements of both the Scheme and the Australian Standards.

5.3. Privacy

Overlooking is raised as a concern, in terms of both the outdoor and indoor living areas of nearby residential development. Specifically, it is raised that valued and private portions of nearby residential properties would be unreasonably compromised by the proposed development, and that the proposal should be refused on the basis that it does not comply with Clause 10.4.2 P3 of the Scheme.

- **Comment**

The proposed development meets the relevant acceptable solutions in relation to privacy at Clause 10.4.6 A1 and A2 of the Scheme, in that the proposed windows have been designed to achieve the required sill heights to comply with (b)(ii) and a privacy screen proposed with a height of 1.7m to address separation and privacy impacts between dwellings.

On this basis it is considered that this issue is not of determining weight and does not justify refusal of the application.

5.4. Overshadowing

Concern is raised that the proposed development would have a significant and negative impact upon the solar access to nearby residential properties, both in relation to private open space and the dwellings. It is submitted that the enjoyment of outdoor living areas would be unreasonably affected and that daylight into rooms of adjacent dwellings would be blocked all year round.

Detailed analysis of the submitted shadow diagrams in relation to likely impacts was submitted by 1 representor in relation to the proposal, and in support of the objection.

- **Comment**

The proposed development meets the relevant tests of the Scheme in relation to overshadowing as discussed in relation to Clause 10.4.2, above.

Specifically, the rooms at the north-western part of the dwelling at 157 Tranmere Road include bedrooms and to the north-western side, part of the living area associated with that dwelling. The shadow diagrams show that the impact of the proposed development upon the windows of the living area would be early in the day on 21 June, but any overshadowing impacts would cease by between 10am and 11am.

This impact is considered reasonable in relation to this performance criterion, in that at least 3 hours of sunlight would exist to the habitable parts of that dwelling at Winter Solstice. The Scheme considers this to be reasonable impact.

In relation to overshadowing of private open space, it is noted that the dwelling at 157 Tranmere Road has access to private open space compliant with the minimum provisions of the Scheme on the western side of the dwelling – in the form of a deck and garden areas. Though the site is impacted in terms of the pocket of open space between the garage and dwelling at Winter Solstice, it is considered a reasonable impact upon residential amenity under the Scheme.

5.5. Visual Impact

It is submitted that the proposed development would be inconsistent with the appearance of surrounding properties and that the visual impact when viewed from nearby land would be high and have a negative impact upon the residential amenity of the area.

- **Comment**

The proposed development is consistent with the building envelope prescribed by Clause 10.4.2 A3 of the Scheme, with the exception of the part of the dwelling within the 6.0m front setback, to Tranmere Road, and a portion of the proposed (and 25 percent transparent) privacy screen to the upper level deck.

Whilst these elements of the design rely upon the performance criteria to 10.4.2(P3), the dwelling additions themselves are largely compliant with the prescribed building envelope as shown in the attachments, and as discussed above it is considered that the proposal satisfies the related performance criterion. It is noted that the proposed dwelling would be 7.255m above natural ground level at its highest point, which is less than the 8.5m maximum height prescribed by the Scheme.

The visual impact of the development has been assessed above and it is considered that the proposal satisfies the relevant tests of the performance criteria. The development would remain single storey at the rear where adjacent the water and 2 storey on the eastern part of the site, which is consistent with the scale of residential development within proximity of the site. For these reasons and those discussed above, the visual impact of the proposal is therefore not considered to be of determining weight in relation to the proposal.

5.6. Nature of Use

Concern is raised in relation to the nature of the proposed use, noting that it appears the intention for the separate unit is for commercial use of some form such as hosted accommodation. The number of bedrooms within the resultant main dwelling is also raised as a concern, in relation to possible future commercial use, as it is a decrease in land value as a result of “overcrowding” of the area.

- **Comment**

The application made to Council is for the development of Multiple Dwellings (1 existing, 1 new) and additions to the existing dwelling. The applicant has submitted that the purpose of the proposed Multiple Dwellings is for the accommodation of an elderly relative, and that the purpose of the dwelling additions is to accommodate a large and extended family.

The additions to the main dwelling would result in a 7 bedroom dwelling. The development of Multiple Dwellings is permitted within the General Residential Zone and any permit issued for the proposal would be for Multiple Dwellings (1 existing, 1 new) and not any form of commercial use.

It is noted that land value is not a relevant consideration under the Scheme.

6. EXTERNAL REFERRALS

The proposal was referred to TasWater, which has provided a number of conditions to be included on the planning permit if granted.

7. STATE POLICIES AND ACT OBJECTIVES

7.1. The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

7.2. The proposal is consistent with the objectives of Schedule 1 of LUPAA.

8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

9. CONCLUSION

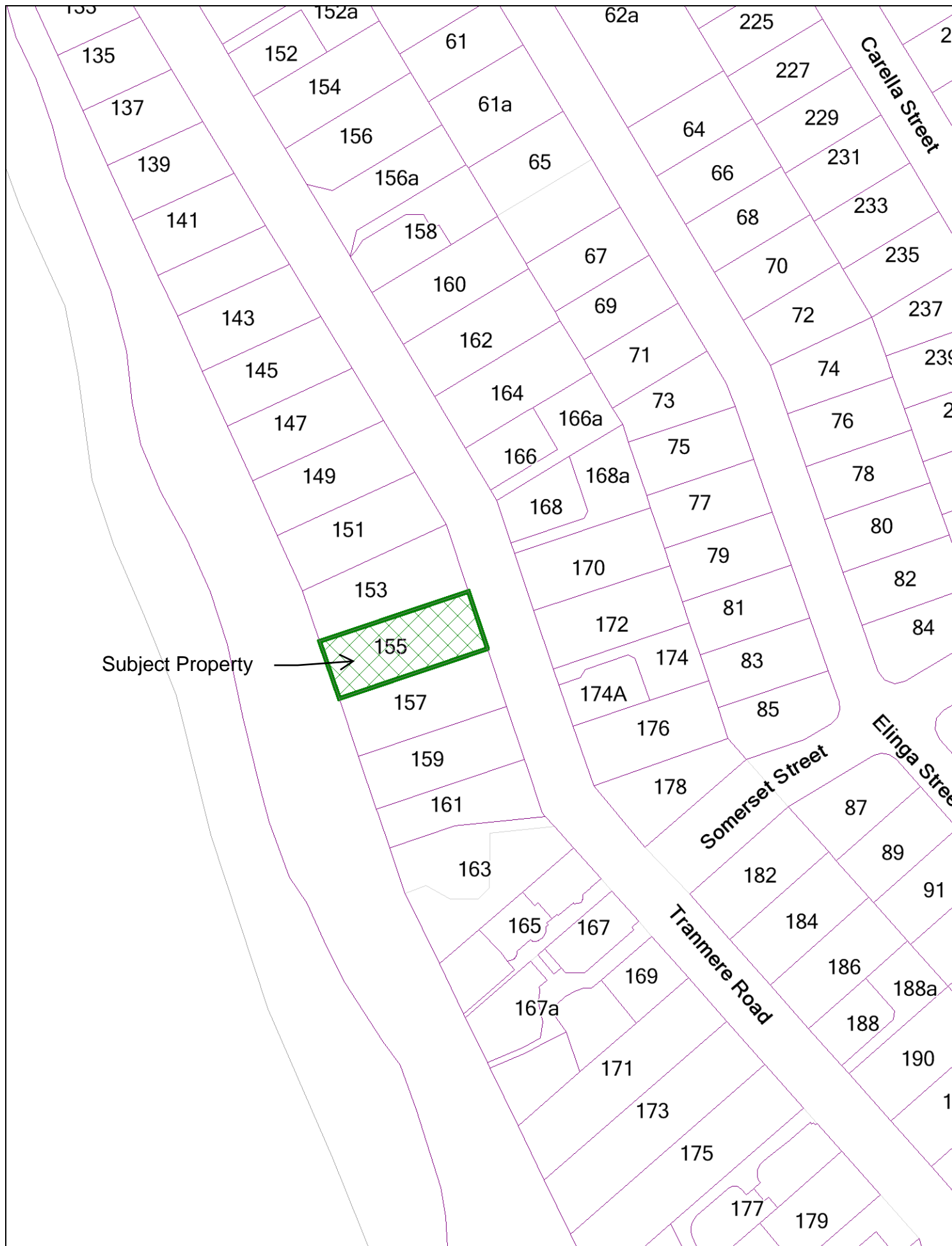
The proposal seeks approval for Multiple Dwellings (1 existing, 1 new), including additions to the existing dwelling at 155 Tranmere Road, Tranmere. The application meets the relevant Acceptable Solutions and Performance Criteria of the Scheme.

The proposal is recommended for approval subject to conditions.

Attachments: 1. Location Plan (1)
2. Proposal Plan (13)
3. Site Photo (1)

Ross Lovell
MANAGER CITY PLANNING

LOCATION PLAN - 155 TRANMERE ROAD



Disclaimer: This map is a representation of the information currently held by Clarence City Council. While every effort has been made to ensure the accuracy of the product, Clarence City Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated. Copying or reproduction, without written consent is prohibited. **Date:** Monday, 22 January 2018 **Scale:** 1:1,579 @A4

W22 - 1.40W x 0.89H Top RL:13.70 First Floor Window
W23 - 1.29W x 0.89H Top RL:13.70 First Floor Window
W24 - 1.51W x 0.88H Top RL:13.71 First Floor Window
W25 - 2.04W x 0.88H Top RL:13.70 First Floor Window
W26 - 2.04W x 0.88H Top RL:13.70 First Floor Window
W27 - 2.04W x 0.88H Top RL:13.70 First Floor Window
W28 - 2.04W x 0.88H Top RL:13.70 First Floor Window

Indicates unable to locate due to line of sight obstruction

W1 - 2.92W x 2.01H Top RL:13.36 Ground Floor Window
W2 - 2.06W x 2.00H Top RL:13.34 Ground Floor Window
W3 - 1.05W x 2.00H Top RL:13.33 Ground Floor Window
D4 - 0.75W x 2.03H Top RL:13.30 Front Door
W5 - 1.86W x 2.00H Top RL:13.33 Ground Floor Window
W6 - 2.08W x 1.42H Top RL:13.33 Ground Floor Window
W7 - 3.94W x 1.46H Top RL:13.34 Ground Floor Window
W8 - 2.09W x 2.06H Top RL:13.24 Ground Floor Window
W9 - 0.41W x 0.50H Top RL:13.34 Ground Floor Window
W10 - 0.49W x 1.93H Top RL:13.34 Ground Floor Window
W11 - 1.80W x 1.43H Top RL:13.35 Ground Floor Window
W12 - 1.13W x 0.39H Top RL:13.34 Ground Floor Window
1080 W13 - 0.78W x 0.39H Top RL:13.34 Ground Floor Window
W14 - 6.17W x 2.15H Top RL:13.36 Ground Floor Window
W15 - 2.36W x 2.02H Top RL:13.35 Ground Floor Window
W16 - 1.63W x 2.02H Top RL:13.35 Ground Floor Window
W17 - 2.12W x 2.01H Top RL:13.34 Ground Floor Window
W18 - 2.12W x 2.01H Top RL:13.34 Ground Floor Window
W19 - 1.32W x 2.01H Top RL:13.34 Ground Floor Window
W20 - 1.32W x 2.01H Top RL:13.35 Ground Floor Window
D21 - 1.32W x 2.01H Top RL:13.35 Garage Door
W29 - 3.11W x 0.88H Top RL:12.12 Ground Floor Window
W30 - 1.78W x 0.88H Top RL:12.11 Ground Floor Window
W31 - 2.31W x 0.88H Top RL:12.12 Ground Floor Window
W32 - 2.25W x 0.88H Top RL:12.12 Ground Floor Window

W33 - 2.25W x 0.88H Top RL:12.12 Ground Floor Window
W34 - 0.98W x 0.88H Top RL:12.11 Ground Floor Window
W35 - 1.78W x 0.89H Top RL:12.10 Ground Floor Window
W36 - 1.69W x 0.88H Top RL:12.20 Ground Floor Window
W37 - 0.64W x 1.02H Top RL:12.16 Ground Floor Window
W38 - 2.36W x 0.88H Top RL:12.20 Ground Floor Window
W39 - 1.19W x 0.88H Top RL:12.22 Ground Floor Window
D40 - 1.29W x 0.88H Top RL:12.04 Door
W41 - 2.38W x 0.88H Top RL:12.18 Ground Floor Window

Indicates unable to locate due to line of sight obstruction

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED BY SURVEY PLUS FROM A COMBINATION OF EXISTING RECORDS AND FIELD SURVEY FOR THE PURPOSES OF SHOWING THE PHYSICAL FEATURES OF THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.
3. SERVICES SHOWN ON THIS PLAN WERE LOCATED WHERE POSSIBLE BY FIELD SURVEY. THEY ARE NOT A COMPLETE PICTURE OF SERVICES ON SITE. ALL SERVICE LOCATIONS ARE TO BE VERIFIED BEFORE COMMENCEMENT OF ANY WORK ON SITE, IN PARTICULAR THOSE SERVICES NOT PREVIOUSLY LOCATED THROUGH FIELD SURVEY.
4. SURVEY PLUS CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE WHETHER SHOWN BY OUR SURVEY OR NOT.
5. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF SURVEY PLUS
6. HORIZONTAL DATUM IS MGA (Map Grid Australia)
7. VERTICAL DATUM IS AHD (Australian Height Datum)
8. CONTOUR INTERVAL IS 0.2 METRES, INDEX IS 1.0 METRES.
9. BOUNDARIES ARE COMPILED ONLY FROM P 12491 AND ARE APPROXIMATE AND SUBJECT TO SURVEY
10. COMPILED BOUNDARIES: THE TITLE BOUNDARIES SHOWN ON THIS GENERAL DETAIL PLAN WERE NOT MARKED AT THE TIME OF SURVEY AND HAVE BEEN DETERMINED BY EXISTING TITLE PLAN DIMENSIONS AND OCCUPATION (WHERE AVAILABLE) ONLY AND NOT BY FIELD SURVEY. AS A RESULT THEY ARE CONSIDERED APPROXIMATE ONLY. THIS PLAN SHOULD NOT BE USED FOR BUILDING TO THE BOUNDARY OR TO PRESCRIBED SET-BACKS WITHOUT FURTHER SURVEY.

| Date | Rev. | Description |
|------|------|-------------|
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| |
|--|
| Title: Lot 148 P12491 - 1034m ² |
| Wind speed to AS4055 : N |
| Soil Class to AS 2870 : - |
| Energy: - star |
| BAL: N/A > 100m from unmanaged vegetation |

Survey by
Survey Plus

R & M Jackson

Drafting Services

P. 03 62391019 E. jacksondrafting@gmail.com
Accredited Building Practitioner Licence No: CC340Y

A1

Scale 1:250

| | |
|-----------------------------------|---------------------------|
| Client : E. ENNIS-SHORT | |
| 155 Tranmere Road, Howrah | |
| Drawn by : RJ | Issue : PLANNING |
| (not to be used for construction) | |
| Date : Sept. 2016 | Sheet size: A3 Project No |
| | Issue: C 16D0904 |

Contractor to verify the location of all current underground services shown on the plans including but not limited to electricity, telecom, gas, sewer, stormwater, NBN etc. prior to excavation. (DBYD www.1100.com.au)

ALL DIMENSIONS & LEVELS TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO COMMENCEMENT. DISCREPANCIES TO BE REFERRED TO THIS OFFICE IMMEDIATELY

Clarence City Council
Interim Planning Scheme 2015
Zone : General Residential
Overlay : Waterway & Coastal
Protection Area

FLOOR AREAS

EXISTING
living - 185m²
decks - 34m²
patio - 12m²
TOTAL - 231m²

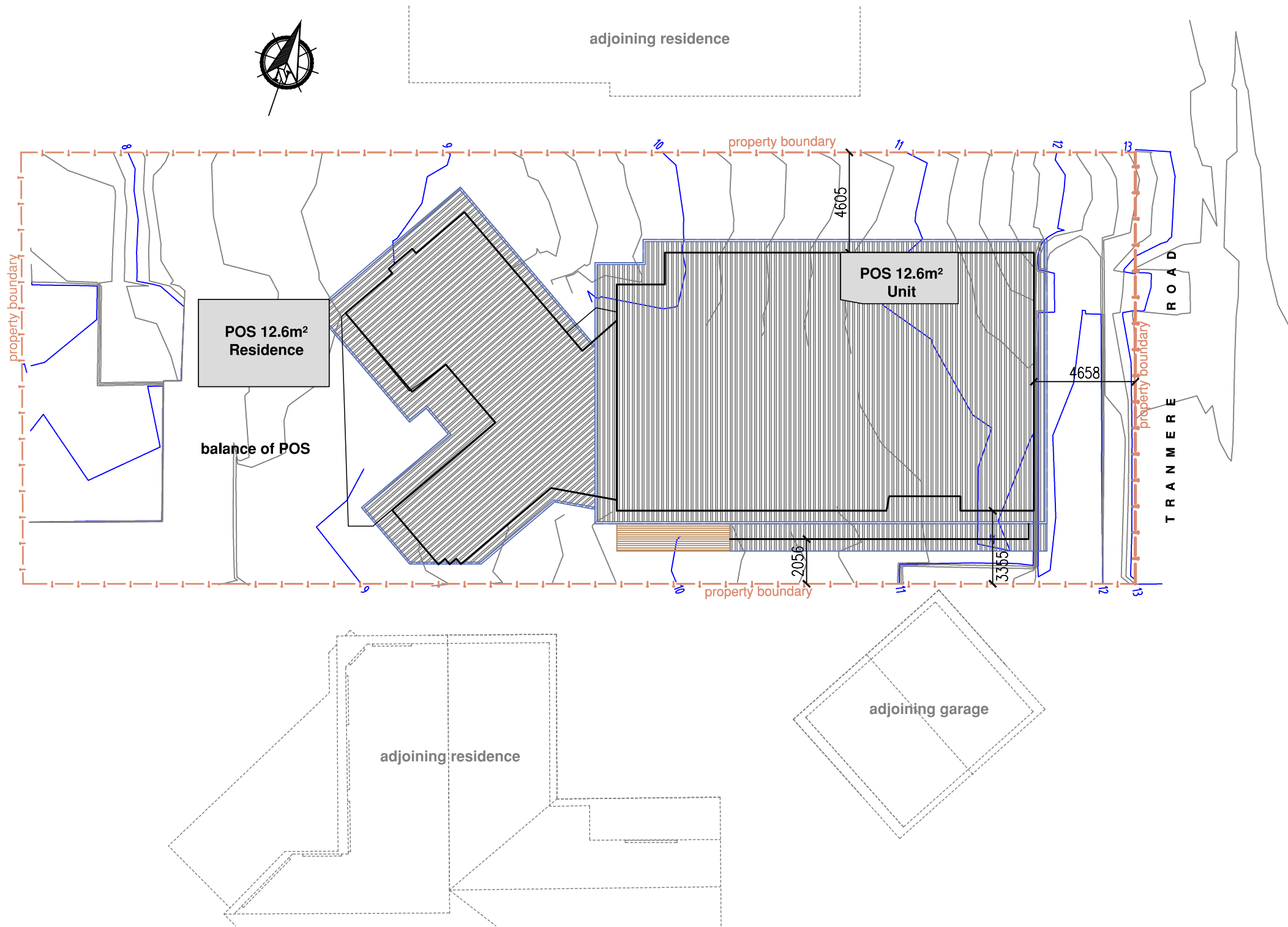
UNIT (new)
lower - 60.0m²
upper - 85.0m²
decks - 12.6m²
TOTAL - 157.6m²

RESIDENCE
upper (new) - 129.4m²
lower (ex.) - 185m²
decks (new) - 10.0m²
decks (ex.) - 34.0m²
patio (ex.) - 2.0m²
TOTAL - 360.4m²

DRIVE (sealed) - 134m²

SITE COVERAGE
site - 1034m²
site coverage (buildings)- 38%
coverage (incl. drive) - 525m²
impervious free area - 49%

OH&S HAZARD
Type: public safety
Solution: provision of safety fencing
around construction area



| Date | Rev. | Description |
|----------|------|--------------------------------------|
| 15-12-17 | 1 | Waste storage added, POS highlighted |
| | | |
| | | |

| |
|--|
| Title: Lot 148 P12491 - 1034m ² |
| Wind speed to AS4055 : N |
| Soil Class to AS 2870 : - |
| Energy: - star |
| BAL: N/A>100m from unmanaged vegetation |

Proposed Site
plan

R & M Jackson

Drafting Services
P. 03 62391019 E. jacksondrafting@gmail.com
Accredited Building Practitioner Licence No: CC340Y



A2

Scale 1:200

Client : E. ENNIS-SHORT
155 Tranmere Road, Howrah

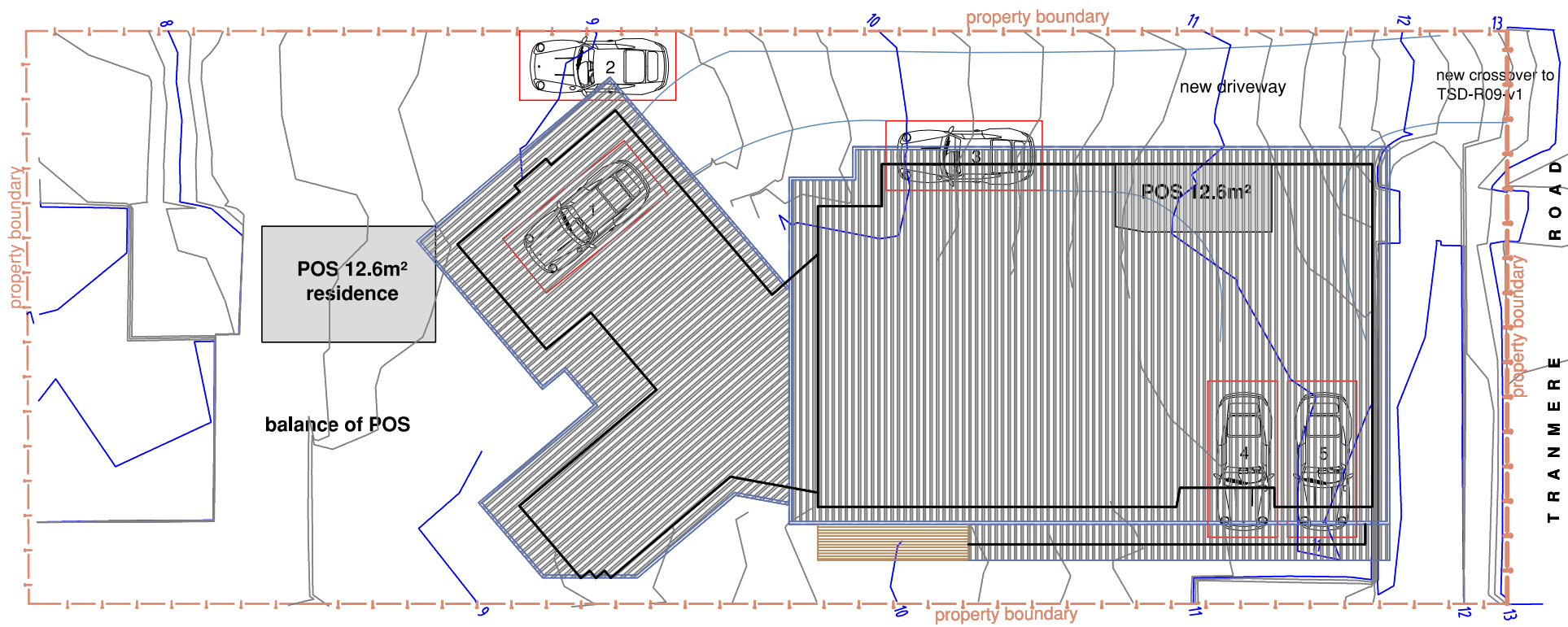
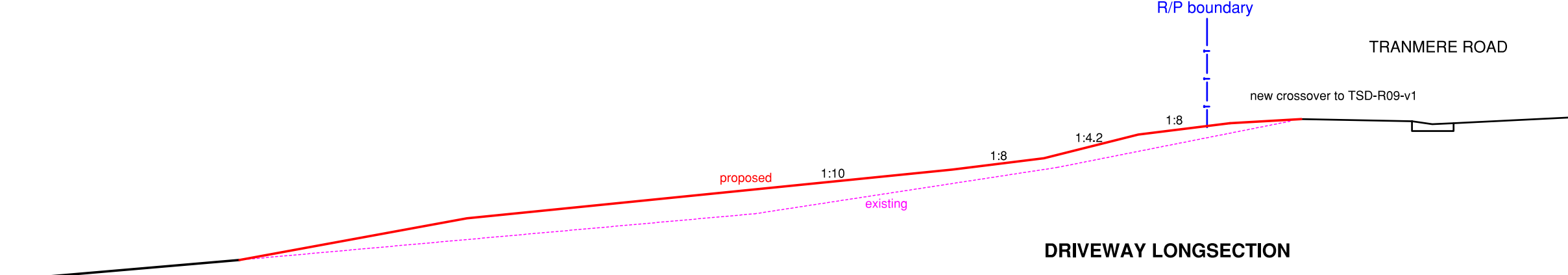
Drawn by : RJ

Date : Sept. 2016

Issue : PLANNING
(not to be used for construction)

Sheet size: A3
Issue: C

Project No
16D0904



| Date | Rev. | Description |
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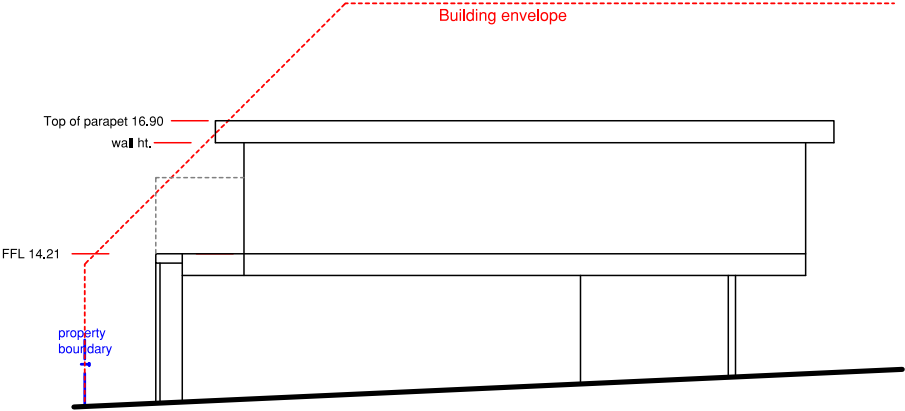
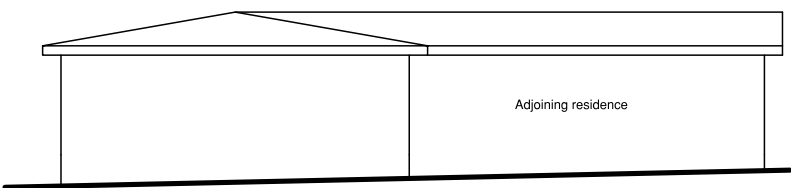
| | |
|-------------------------|-------------------------------------|
| Title: | Lot 148 P12491 - 1034m ² |
| Wind speed to AS4055 : | N |
| Soil Class to AS 2870 : | - |
| Energy: | - star |
| BAL: | N/A>100m from unmanaged vegetation |

Driveway & Parking details

R & M Jackson
Drafting Services
P. 03 62391019 E. jacksondrafting@gmail.com
Accredited Building Practitioner Licence No: CC340Y

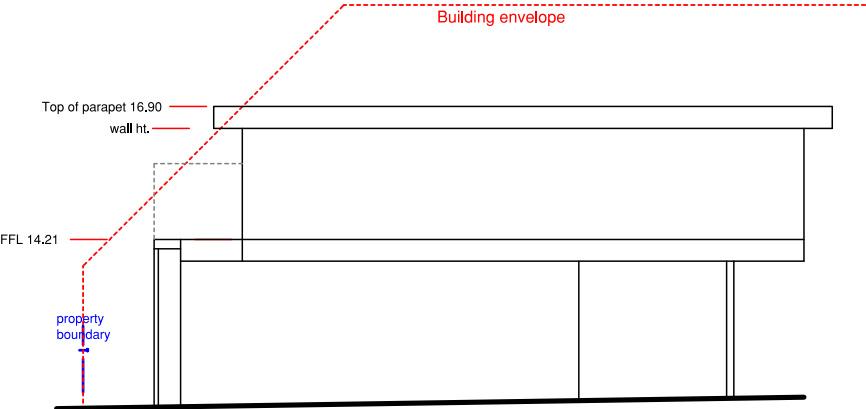
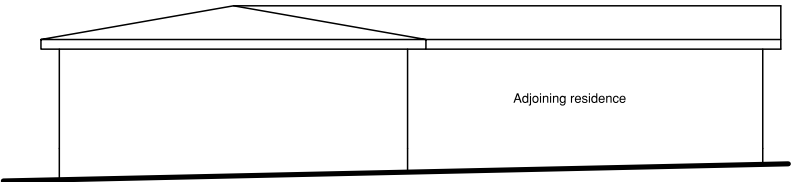
A2a
Scale 1:200,100

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|-------------|---|
| Client : | E. ENNIS-SHORT 155 Tranmere Road, Howrah |
| Drawn by : | RJ |
| Date : | Sept. 2016 |
| Issue: | C |
| Sheet size: | A3 |
| Project No | 16D0904 |
| Issue : | PLANNING (not to be used for construction) |

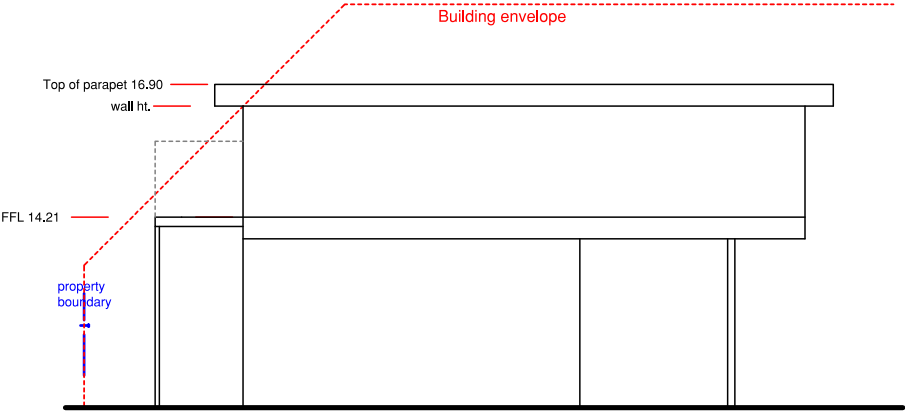
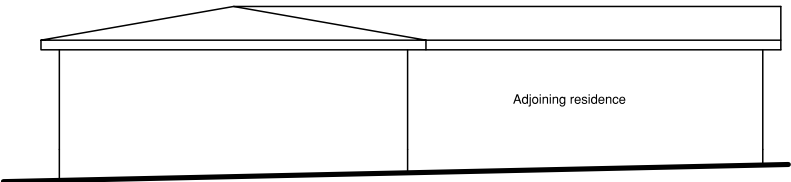


- ABBREVIATIONS
- NSL - natural surface level
 - FSL - final surface level
 - FFL - finished floor level
 - FCL - finished ceiling level
 - U/S - underside
 - JH - joinery height

POSITION 1



POSITION 2



POSITION 3

| Date | Rev. | Description |
|------|------|-------------|
| | | |
| | | |
| | | |

| | |
|-------------------------|--------------------------------------|
| Title: | Lot 148 P12491 - 1034m ² |
| Wind speed to AS4055 : | N |
| Soil Class to AS 2870 : | - |
| Energy: | - star |
| BAL: | N/A > 100m from unmanaged vegetation |

PD4 - building envelope

R & M Jackson

Drafting Services

P. 03 62391019 E. jacksondrafting@gmail.com

Accredited Building Practitioner Licence No: CC340Y

A2b

Scale 1:150

Client : E. ENNIS-SHORT

155 Tranmere Road, Howrah

Drawn by : RJ

Date : Sept. 2016

Issue : **PLANNING**

(not to be used for construction)

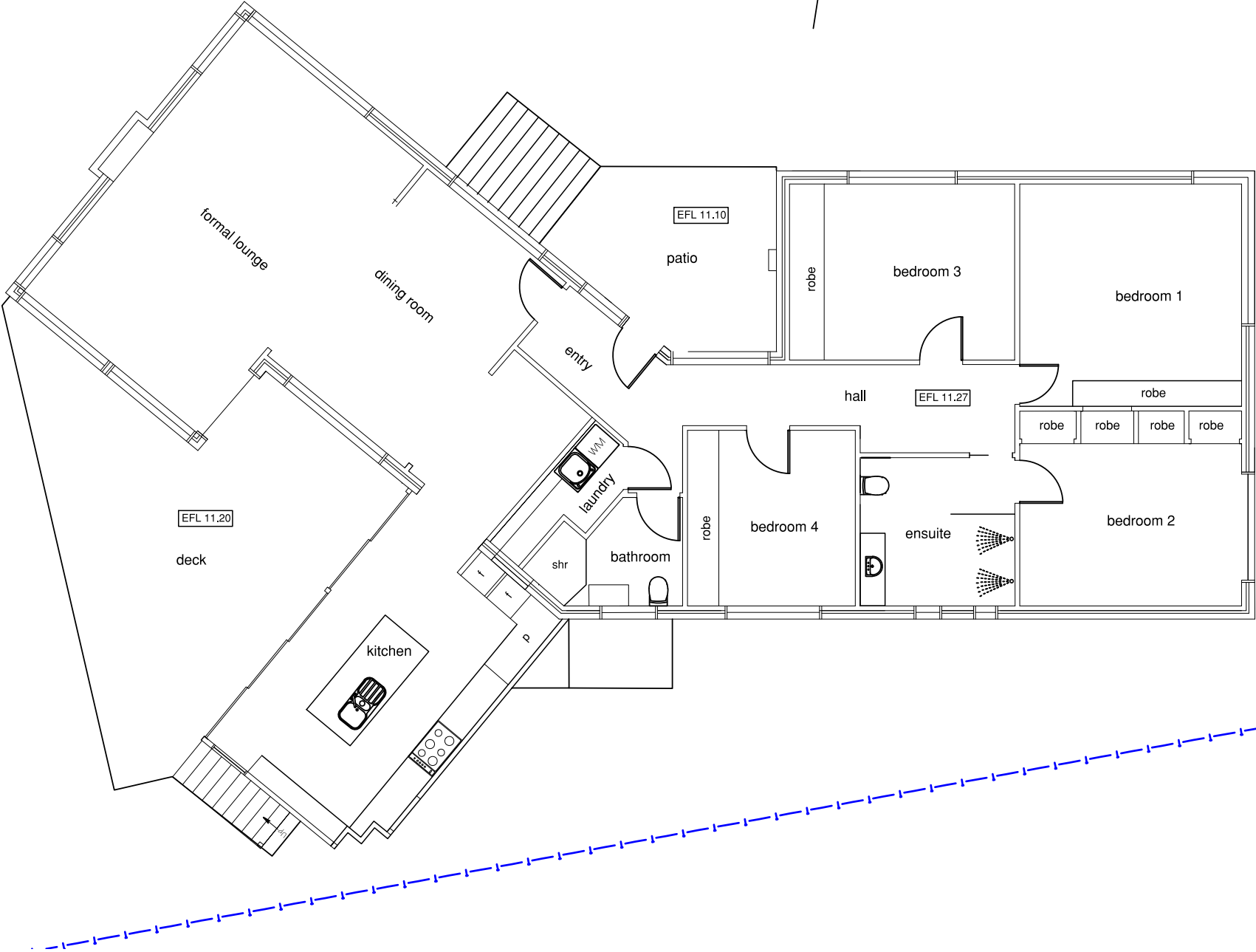
Sheet size: A3

Issue: C

Project No

16D0904

ALL DIMENSIONS & LEVELS TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO COMMENCEMENT. DISCREPANCIES TO BE REFERRED TO THIS OFFICE IMMEDIATELY



| Date | Rev. | Description |
|------|------|-------------|
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| | | |

| | |
|-------------------------|--------------------------------------|
| Title: | Lot 148 P12491 - 1034m ² |
| Wind speed to AS4055 : | N |
| Soil Class to AS 2870 : | - |
| Energy: | - star |
| BAL: | N/A > 100m from unmanaged vegetation |

Existing floor plan

R & M Jackson

Drafting Services

P. 03 62391019 E. jacksondrafting@gmail.com

Accredited Building Practitioner Licence No: CC340Y



A3

Scale 1:100

Client : E. ENNIS-SHORT

155 Tranmere Road, Howrah

Drawn by : RJ

Date : Sept. 2016

Issue : **PLANNING**

(not to be used for construction)

Sheet size: A3

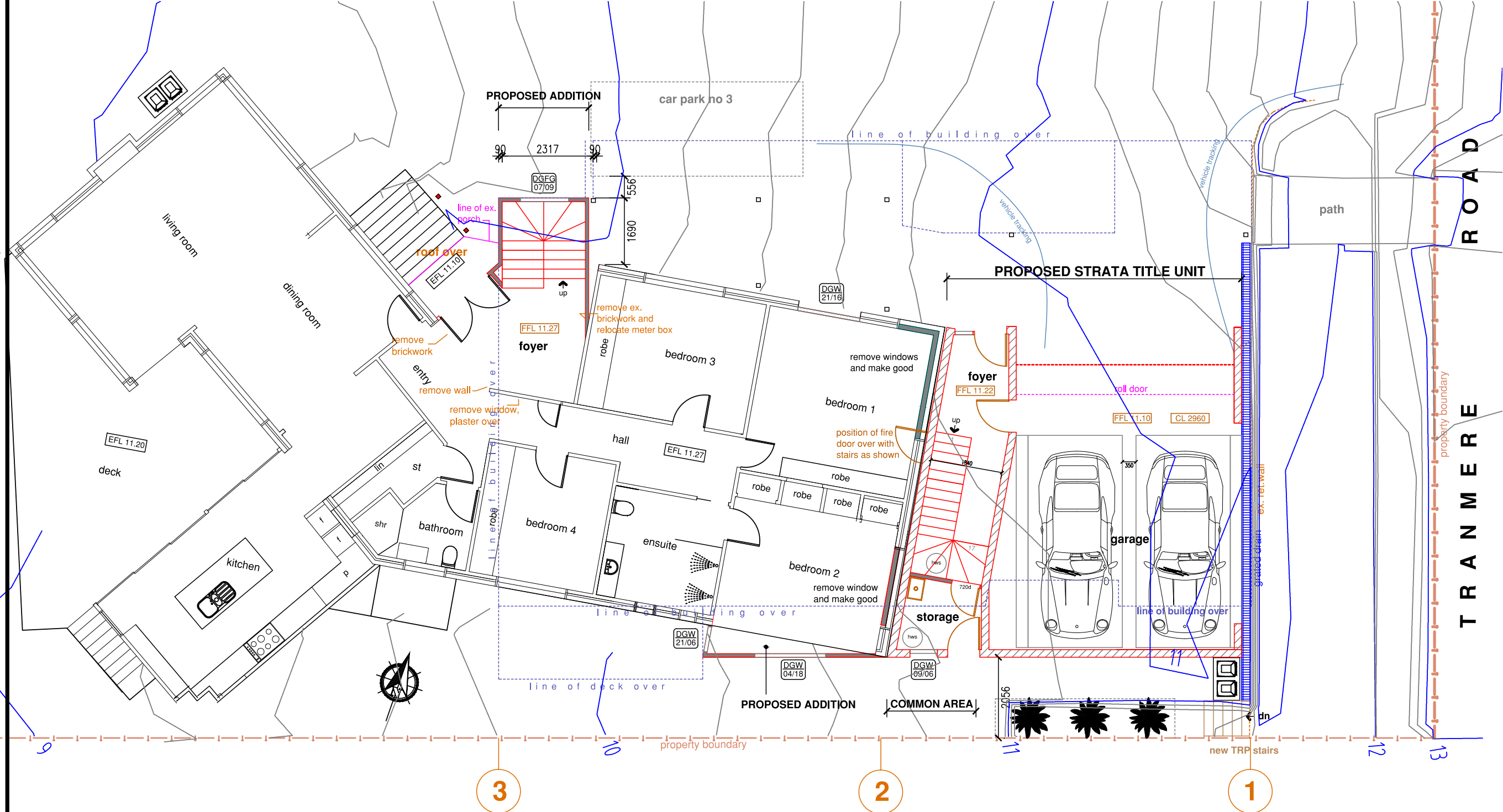
Issue: C

Project No

16D0904

- ABBREVIATIONS
- NSL - natural surface level
 - FSL - final surface level
 - FFL - finished floor level
 - FCL - finished ceiling level
 - U/S - underside
 - JH - joinery height

ALL DIMENSIONS & LEVELS TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO COMMENCEMENT. DISCREPANCIES TO BE REFERRED TO THIS OFFICE IMMEDIATELY



| Date | Rev. | Description |
|------|------|-------------|
| | | |
| | | |
| | | |

Title: Lot 148 P12491 - 1034m²
Wind speed to AS4055 : **N**
Soil Class to AS 2870 : **-**
Energy: **- star**
BAL: **N/A**>100m from unmanaged vegetation

Proposed floor plan - lower level

R & M Jackson
Drafting Services
P. 03 62391019 E. jacksondrafting@gmail.com
Accredited Building Practitioner Licence No: CC340Y

A4
Scale 1:100

Client : **E. ENNIS-SHORT**
155 Tranmere Road, Howrah
Drawn by : **RJ**
Date : **Sept. 2016**
Issue : **C**
Sheet size: **A3**
Project No: **16D0904**
Issue : PLANNING
(not to be used for construction)

Contractor to verify the location of all current underground services shown on the plans including but not limited to electricity, telecom, gas, sewer, stormwater, NBN etc. prior to excavation. (DBYD www.1100.com.au)

ALL DIMENSIONS & LEVELS TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO COMMENCEMENT. DISCREPANCIES TO BE REFERRED TO THIS OFFICE IMMEDIATELY

| Door & window Tag Legend | |
|--|--|
| (sizes examples only - refer to floor plan for actual) | |
| | Safety Glass Window (1000h x 900w) |
| | Single Glazed Window (1000h x 1800w) |
| | Double Glazed Window (1000h x 1800w) |
| | Single Glazed Sliding Doors (2100h x 1800w) |
| | Double Glazed Sliding Doors (2100h x 1800w) |
| | Fixed Glass Window (1000h x 900w) |
| | Double Glazed Safety Glass Window (1000h x 900w) |

NOTE: * bathroom and wc glazing to be obscure unless directed by owners otherwise
* refer elevations re: window style and openings

* Where windows are > 2m (bedrooms) and > 4m (all others) above external surface refer table above

Denotes mech. light & ventilation to AS1668.2
 Denotes wired-in smoke detector to AS 3786
NOTE: All to be interconnected to operate simultaneously

REFER ENERGY ASSESSMENT RE: U and SHGC values for new windows

WINDOW/DOORS TO BE MANUFACTURED TO - **- N2**

WINDOW SPECIFICATIONS TO NCC :-

BEDROOMS where external fall height >2m

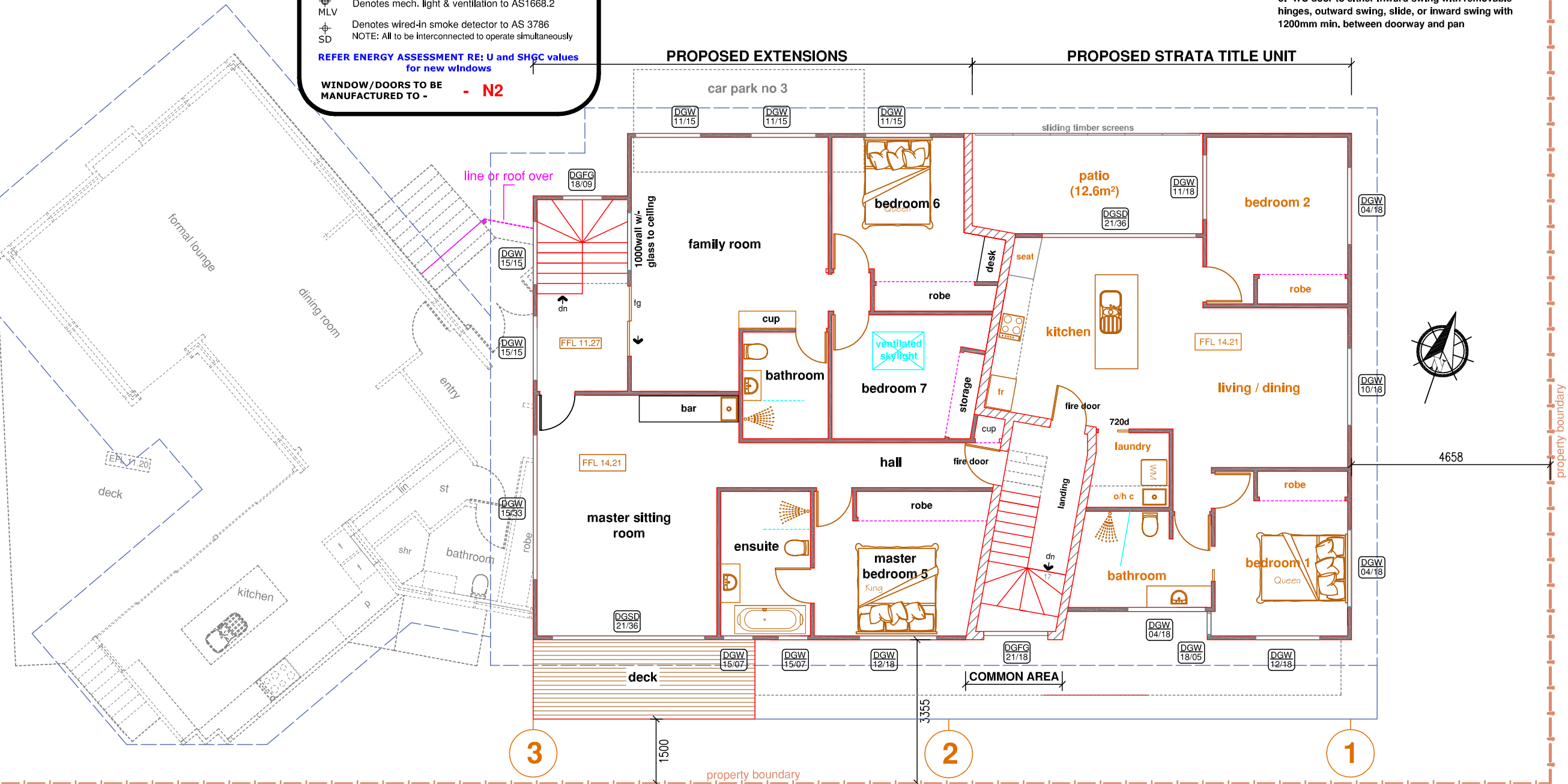
- * where opening is more than 1700mm (sill) above floor NO opening restrictions.
- * where opening is within 1700mm above floor and has climbable element between 150mm and 750mm, opening to be restricted to 125mm or fitted with a non-removable robust screen.
- * where opening is between 865mm and 1700mm above floor and has no climbable element between 150mm and 760mm above floor, opening to be restricted to 125mm or fitted with a removable robust screen.
- * where opening is within 865mm above floor and has climbable element between 150mm and 760mm above the floor, opening to be restricted to 125mm or fitted with non-removable robust screen.

ALL OTHERS where external fall height >4m

- * where window transom is above 865mm above floor and a sill height less than 150mm and no opening within 865mm above floor, NO opening restriction required.
- * as above - where sill is greater than 150mm, opening to be restricted.
- * where window transom is below 865mm above the floor and sill is less than 150mm, opening is to be restricted.

This note is for information only - manufacturer to confirm and liaise with builder and owner.

- NOTES:-**
1. Kitchen to be provided with rangehood vented externally.
 2. All MLV's to be vented externally (can interconnect in roof space) and to be provided with time delay switches.
 3. All cupboards adjacent to external walls to be provided with air vents
 4. ARTIFICIAL LIGHTING -
max. 5 watts/m² for living areas
max. 4 watts/m² for balconies, verandahs
max. 3 watts/m² for Class 10a buildings (assoc. with Class 1a)
 5. All windows are to be positioned centrally within walls UNO
 6. Provide 12mm ply blocking between studs at positions of handrails etc in WC's and bathrooms etc.
 7. All doors UNO to be 2040x820
 8. WC door to either inward swing with removable hinges, outward swing, slide, or inward swing with 1200mm min. between doorway and pan



| Date | Rev. | Description |
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| |
|---|
| Title: Lot 148 P12491 - 1034m ² |
| Wind speed to AS4055 : N |
| Soil Class to AS 2870 : - |
| Energy: - star |
| BAL: N/A >100m from unmanaged vegetation |

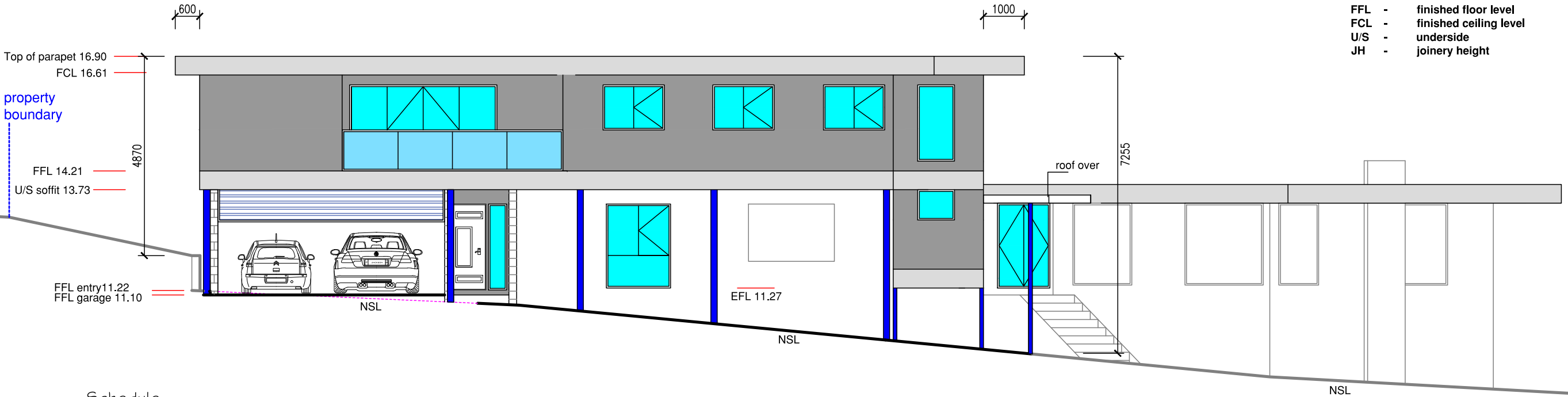
Proposed floor plan - upper level

R & M Jackson
Drafting Services
P. 03 62391019 E. jacksondrafting@gmail.com
Accredited Building Practitioner Licence No: CC340Y

A4a
Scale 1:100

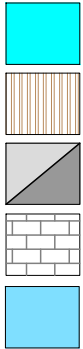
| | |
|---|--|
| Client : E. ENNIS-SHORT 155 Tranmere Road, Howrah | Issue : PLANNING (not to be used for construction) |
| Drawn by : RJ | Sheet size: A3 Issue: C |
| Date : Sept. 2016 | Project No 16D0904 |

- ABBREVIATIONS
- NSL - natural surface level
 - FSL - final surface level
 - FFL - finished floor level
 - FCL - finished ceiling level
 - U/S - underside
 - JH - joinery height

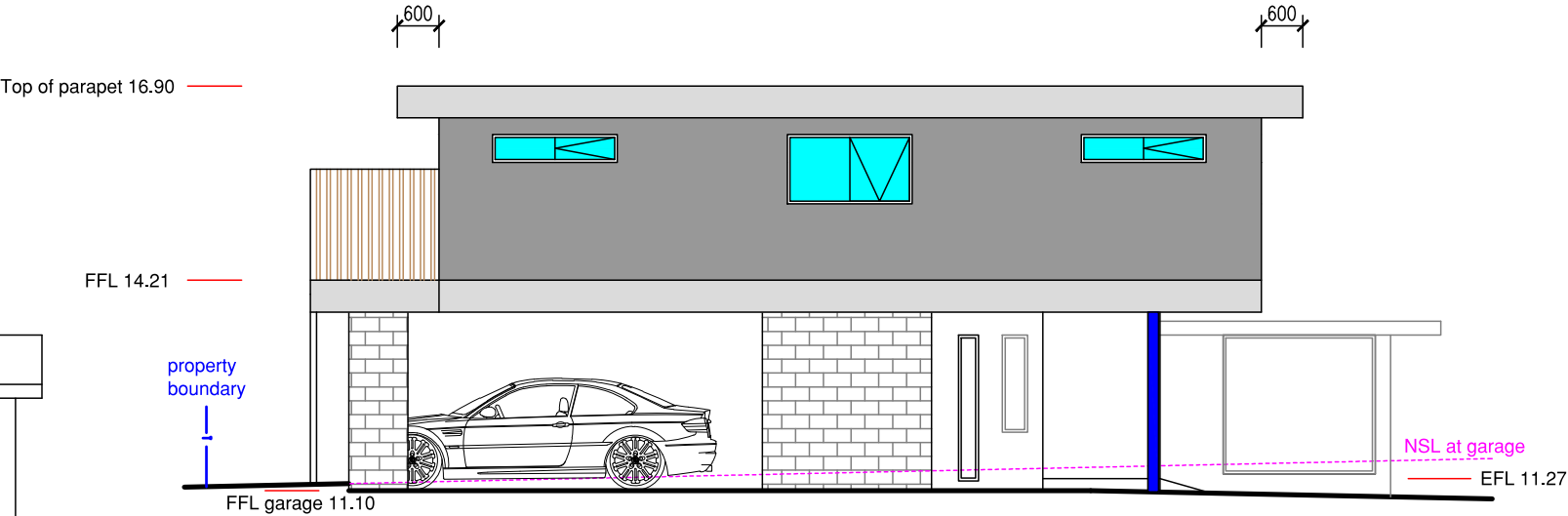
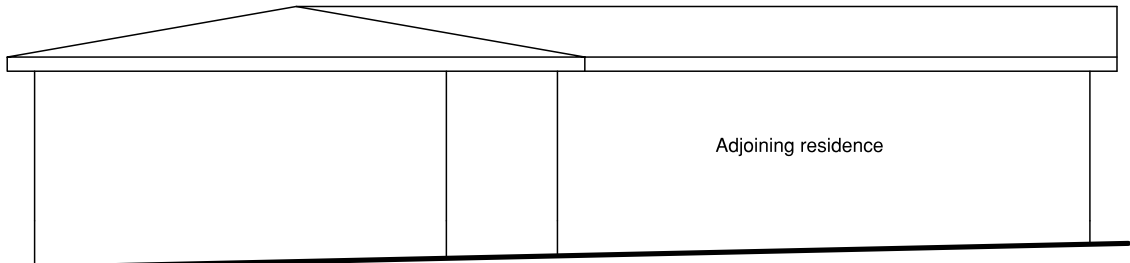


NORTH

Schedule



- New windows / doors
- Privacy screen - refer Sh A5b
- Hardies rendered harditex or similar
- Blockwork
- Glass balustrade



EAST

| Date | Rev. | Description |
|------|------|-------------|
| | | |
| | | |
| | | |

Title: **Lot 148 P12491 - 1034m²**
Wind speed to AS4055 : **N**
Soil Class to AS 2870 : **-**
Energy: **- star**
BAL: **N/A > 100m from unmanaged vegetation**

Elevations

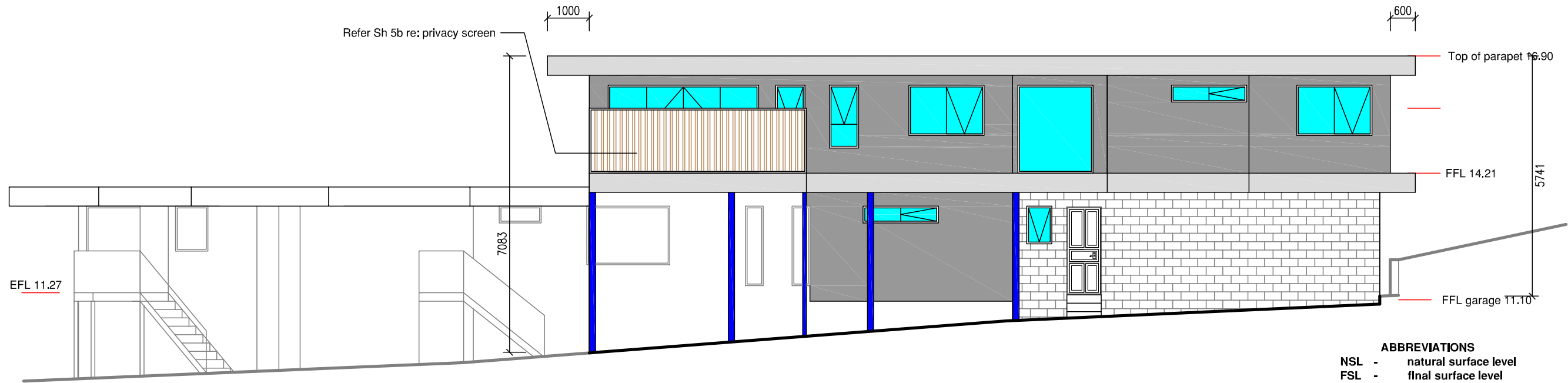
R & M Jackson
Drafting Services
P. 03 62391019 E. jacksondrafting@gmail.com
Accredited Building Practitioner Licence No: CC340Y



A5

Scale 1:100

| | |
|---|---|
| Client : E. ENNIS-SHORT 155 Tranmere Road, Howrah | |
| Drawn by : RJ | Issue : PLANNING <small>(not to be used for construction)</small> |
| Date : Sept. 2016 | Sheet size: A3 Project No: 16D0904 Issue: C |

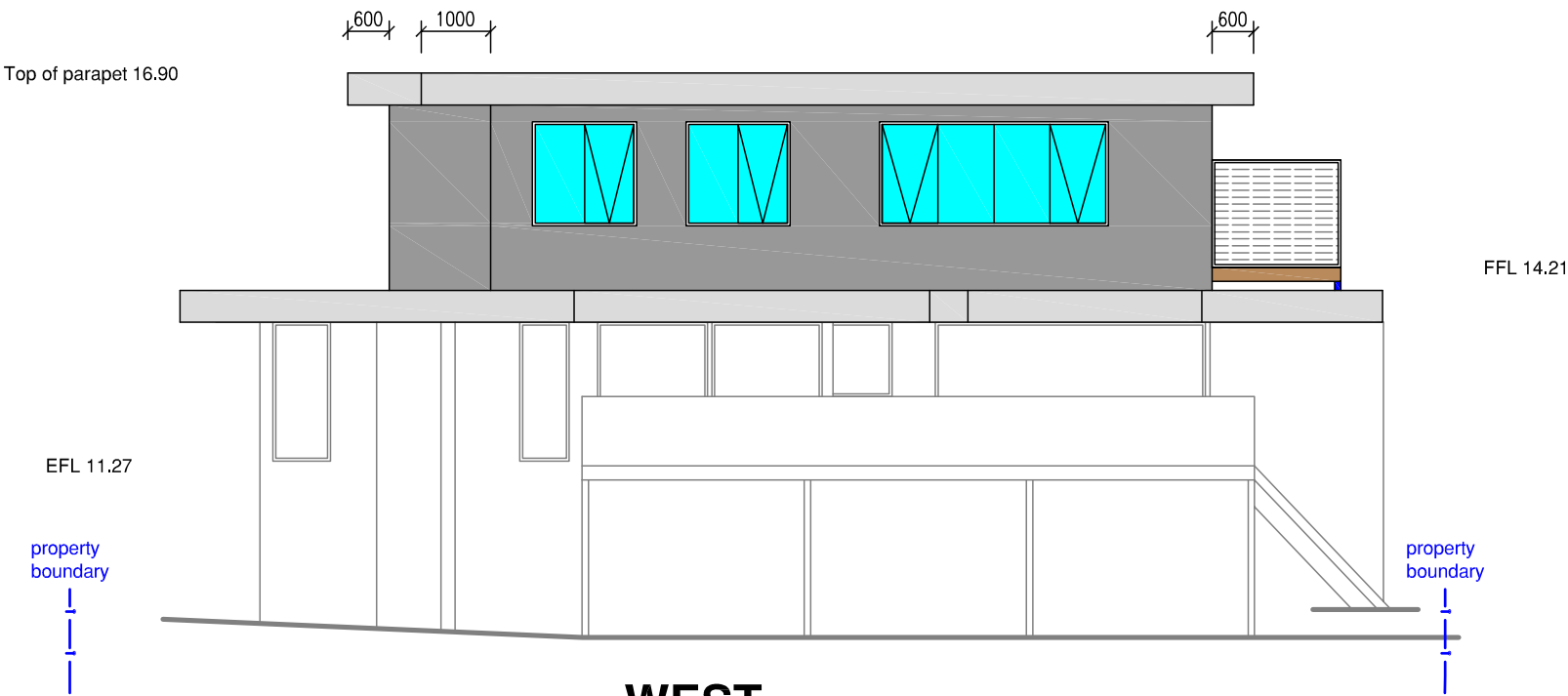


SOUTH

- ABBREVIATIONS
- NSL - natural surface level
 - FSL - final surface level
 - FFL - finished floor level
 - FCL - finished ceiling level
 - U/S - underside
 - JH - joinery height

Schedule

- New windows / doors
- Privacy screen - refer Sh A5b
- Hardies rendered harditex or similar
- Blockwork
- Glass balustrade
- Wire balustrade



WEST

| Date | Rev. | Description |
|------|------|-------------|
| | | |
| | | |
| | | |
| | | |

| | |
|-------------------------|--------------------------------------|
| Title: | Lot 148 P12491 - 1034m ² |
| Wind speed to AS4055 : | N |
| Soil Class to AS 2870 : | - |
| Energy: | - star |
| BAL: | N/A > 100m from unmanaged vegetation |

Elevations

R & M Jackson

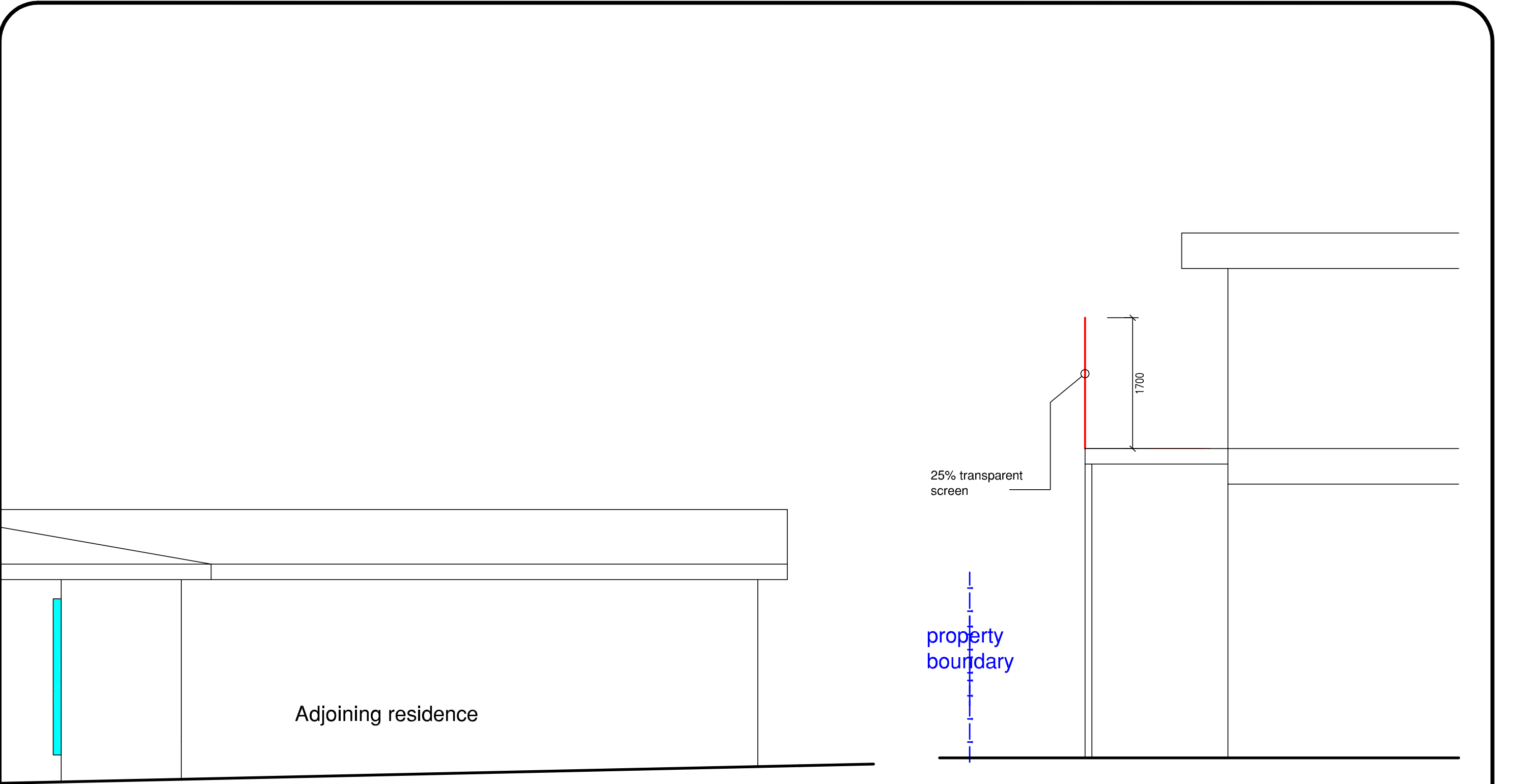
Drafting Services

P. 03 62391019 E. jacksondrafting@gmail.com
Accredited Building Practitioner Licence No: CC340Y

A5a

Scale 1:100

| | |
|-------------|---|
| Client : | E. ENNIS-SHORT 155 Tranmere Road, Howrah |
| Drawn by : | RJ |
| Date : | Sept. 2016 |
| Issue: | C |
| Sheet size: | A3 |
| Project No | 16D0904 |



| Date | Rev. | Description |
|------|------|-------------|
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| | |
|-------------------------|-------------------------------------|
| Title: | Lot 148 P12491 - 1034m ² |
| Wind speed to AS4055 : | N |
| Soil Class to AS 2870 : | - |
| Energy: | - star |
| BAL: | N/A>100m from unmanaged vegetation |

Privacy
Screening

R & M Jackson

Drafting Services

P. 03 62391019 E. jacksondrafting@gmail.com

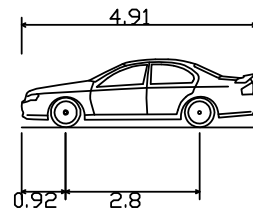
Accredited Building Practitioner Licence No: CC340Y



A5b

Scale 1:50

| | |
|------------|-----------------------------------|
| Client : | E. ENNIS-SHORT |
| | 155 Tranmere Road, Howrah |
| Drawn by : | RJ |
| | Issue : PLANNING |
| | (not to be used for construction) |
| Date : | Sept. 2016 |
| | Sheet size: A3 |
| | Issue: C |
| | Project No |
| | 16D0904 |

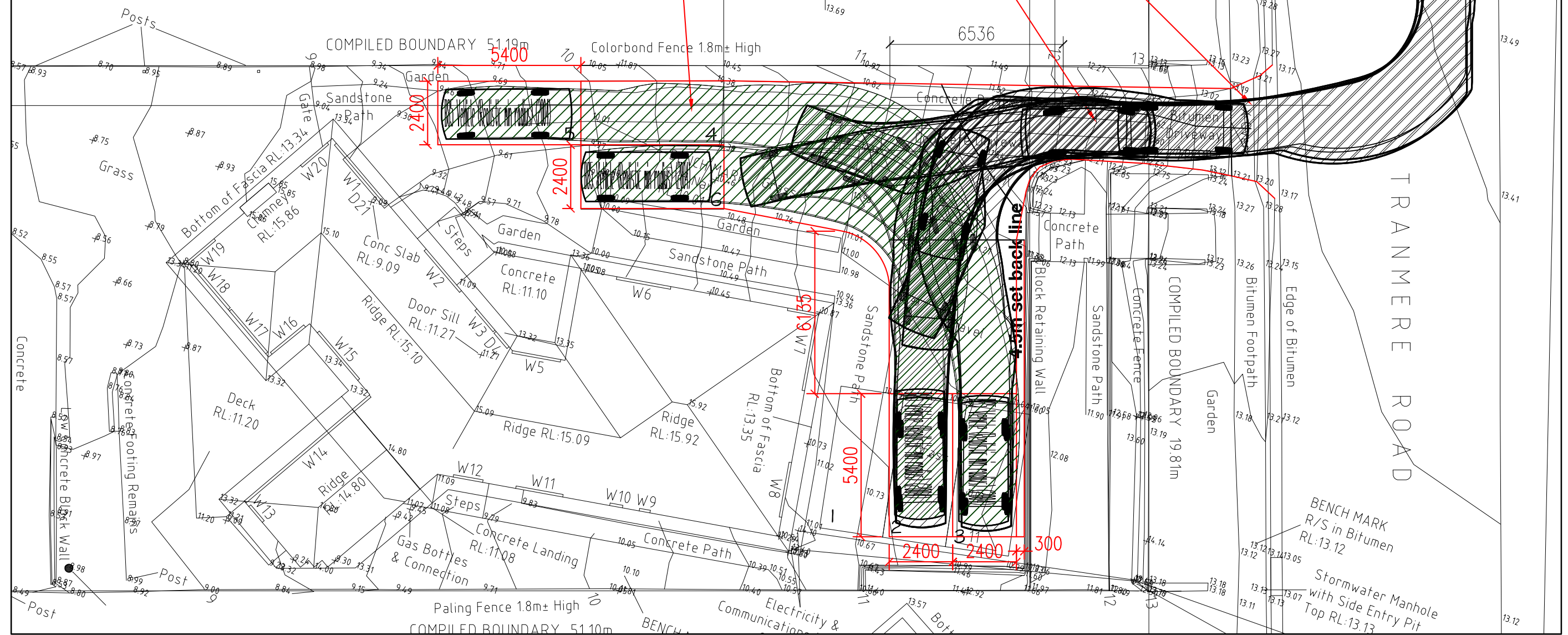


B85 Vehicle (Realistic min radius) (2004)
 Overall Length 4.910m
 Overall Width 1.870m
 Overall Body Height 1.421m
 Min Body Ground Clearance 0.159m
 Track Width 1.770m
 Lock to Lock Time 4.00s
 Kerb to Kerb Turning Radius 5.750m

PARKING MODULE(S)
 (PARKING AREA AND MANOEUVRING AREA)
 MAX. GRADE
 5% PARALLEL TO THE PARKING BAY
 6.25% TRANSVERSE TO THE PARKING BAY
 TRANSITIONS TO AS/NZS 2890 REQUIRED.

GRADE ACROSS PROPERTY
 BOUNDARY AND FOOTPATH
 MAX. GRADE 5%
 TRANSITIONS TO AS/NZS 2890 REQUIRED.

ACCESS DRIVEWAY
 MAX. GRADE 25%
 TRANSITIONS TO AS/NZS 2890 REQUIRED.



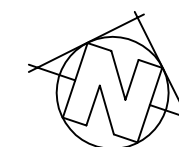
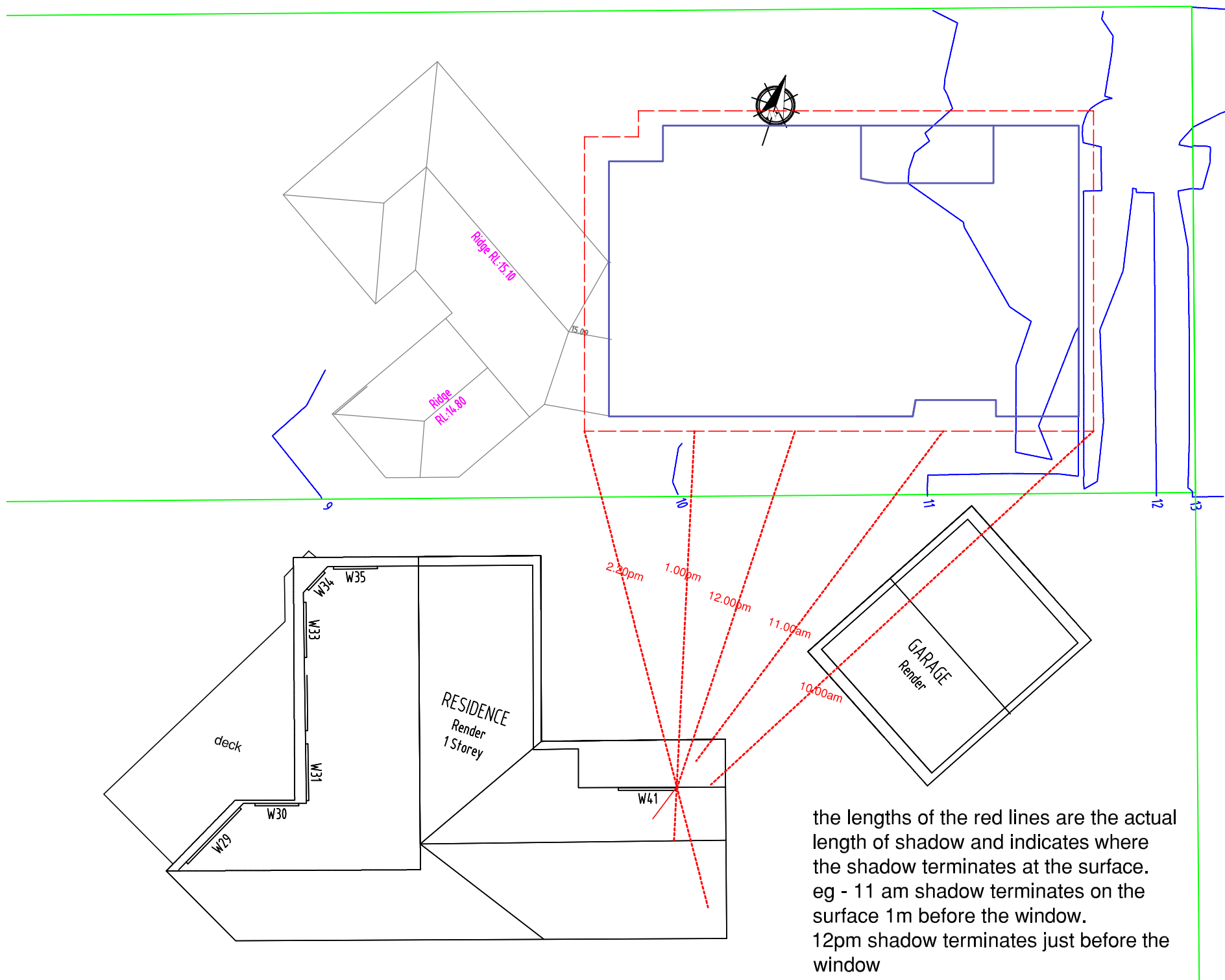
PRELIMINARY - NOT FOR CONSTRUCTION

| | | | |
|---|-------------------|----|----------|
| THIS DRAWING & THE DESIGN SHOWN HEREIN IS THE PROPERTY OF HOWARTH & FISHER ASSOCIATES AND SHALL NOT BE COPIED NOR REPRODUCED IN PART OR IN WHOLE IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF HOWARTH & FISHER ASSOCIATES AND SHALL BE USED ONLY BY THE CLIENT OF HOWARTH & FISHER ASSOCIATES FOR THE PROJECT FOR WHICH IT WAS PROVIDED. | | | |
| 1 | FOR CLIENT REVIEW | DF | JF |
| | ISSUE | BY | APPROVED |
| | | | DATE |
| | | | 09/12/16 |

HOWARTH FISHER & ASSOCIATES
 Pty Limited ACN 119 043 051
 STRUCTURAL, CIVIL, TRAFFIC ENGINEERS
 AND PROJECT MANAGERS.
 13 WILLOWDENE AVENUE, SANDY BAY - 7005
 PH +61 (0)3 6225 0619
 FAX +61 (0)3 6225 0618
 EMAIL info@howarthfisher.com

MS. ENNIS-SHORT
 155 TRANMERE ROAD
 HOWRAH, 7018, TAS
PROPOSED PARKING & AUTOTRACK

| | |
|--------------------|--------------------------------|
| APPROVED BY:- | DATE: / / |
| SCALES 1:150 @ A3 | ISSUE: 1 |
| DRAWN DF | |
| DESIGN JF | |
| PROJECT NO. 16J344 | DOCUMENT IDENTIFICATION -D- P1 |



Window W41

Top of parapet 16.90

Lengths of shadow at :

9am - full sun

10am - 21.5m - full sun

11am - 16.8m - full sun

12pm - 15.3m - full sun

1pm - 16.8m - partial shading

2pm - 21.5m - partial shading

2.20pm - 20m - full sun

window clear from 9am-12pm, partially shaded

from 1pm-2.20pm, clear from 2.20pm to 3pm

= 3.70hours sunlight in total

the lengths of the red lines are the actual length of shadow and indicates where the shadow terminates at the surface.
eg - 11 am shadow terminates on the surface 1m before the window.
12pm shadow terminates just before the window

June 21 solstice

| Date | Rev. | Description |
|------|------|-------------|
| | | |
| | | |
| | | |
| | | |

Title: **Lot 148 P12491 - 1034m²**
Wind speed to AS4055 : **N**
Soil Class to AS 2870 : **-**
Energy: **- star**
BAL: **N/A > 100m from unmanaged vegetation**

**Sun shading
diagram - proposed**

R & M Jackson

Drafting Services
P. 03 62391019 E. jacksondrafting@gmail.com
Accredited Building Practitioner Licence No: CC340Y



A6a

Scale 1:400

Client : **E. ENNIS-SHORT**
155 Tranmere Road, Howrah

Drawn by : **RJ**
Issue : PLANNING
(not to be used for construction)

Date : **Sept. 2016**
Sheet size: **A3** Project No
Issue: **C** 16D0904

155 Tranmere Road, HOWRAH



Site viewed from Cambridge Road, looking southwest



Site viewed from Cambridge Road boundary, looking west



Site viewed from driveway to subject dwelling, looking south towards 157 Tranmere Road

11.3.3 DEVELOPMENT APPLICATION D-2018/55 - 7 PERCY STREET, RICHMOND - 4 MULTIPLE DWELLINGS (1 EXISTING + 3 NEW)
(File No D-2018/55)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for 4 Multiple Dwellings (1 existing and 3 new) at 7 Percy Street, Richmond.

RELATION TO PLANNING PROVISIONS

The land is zoned General Residential and subject to the Bushfire Prone Areas and Heritage Area Codes under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

LEGISLATIVE REQUIREMENTS

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which was extended with the consent of the applicant until 9 May 2018.

CONSULTATION

The proposal was advertised in accordance with statutory requirements and 2 representations were received raising the following issues:

- impact on the adjoining heritage listed property;
- impact on privacy; and
- removal of trees.

RECOMMENDATION:

- A. That the Development Application for 4 Multiple Dwellings (1 existing + 3 new) at 7 Percy Street, Richmond (CI Ref D-2018/55) be approved subject to the following conditions and advice.
1. GEN AP1 – ENDORSED PLANS.
 2. GEN AP3 – AMENDED PLAN [the roof pitch increased to a minimum of 25 degrees].

3. LAND 1B – LANDSCAPE PLAN – Replace the last sentence with “The landscape works must be completed prior to the issue of the Certificate of the Completion of any of the dwellings”, include additional paragraph after last sentence, “All landscape works must be maintained:

- in perpetuity by the existing and future owners/occupiers of the property;
- in a healthy state; and
- in accordance with the approved landscape plan.

If any of the vegetation comprising the landscaping dies or is removed, it is to be replaced with vegetation of the same species and, to the greatest extent practicable, the same maturity, as the vegetation which died or which was removed.

4. ENG A2 – CROSSOVER CHANGE [5.5m].
5. ENG A5 – SEALED CAR PARKING.
6. ENG A7 – REDUNDANT CROSSOVER.
7. ENG S1 – INFRASTRUCTURE REPAIR.
8. ENG S2 – SERVICES.
9. ENG S4 – STORMWATER CONNECTION.
10. ENG S10 – UNDERGROUND SERVICES.
11. ENG M1 – DESIGNS DA – remove last dot point.
12. Materials used in the crossover and driveway must be consistent with the Richmond Townscape Study (copy available from Council).
13. The development must meet all required Conditions of Approval specified by TasWater notice dated 13 March 2018 (TWDA 2018/00196-CCC).

ADVICE

An application for works in the Council road reserve must be submitted and approved by Council’s Group Manager Engineering Services prior to the commencement of any works and must be consistent with the Richmond Townscape Study.

- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council’s decision in respect of this matter.

**DEVELOPMENT APPLICATION D-2018/55 - 7 PERCY STREET, RICHMOND - 4
MULTIPLE DWELLINGS (1 EXISTING + 3 NEW) /contd...**

ASSOCIATED REPORT**1. BACKGROUND**

No relevant background.

2. STATUTORY IMPLICATIONS

2.1. The land is zoned General Residential under the Scheme.

2.2. The proposal is discretionary because it does not meet certain Acceptable Solutions under the Scheme and relies on an assessment against the corresponding Performance Criteria.

2.3. The relevant parts of the Planning Scheme are:

- Section 8.10 – Determining Applications;
- Section 10 – General Residential Zones; and
- Section E6.0 – Parking and Access Code;
- Section E7.0 – Stormwater Management Code; and
- Section E13.0 – Historic Heritage Code.

2.4. Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

3. PROPOSAL IN DETAIL

3.1. The Site

The site is a residential lot with an area of 2267m². The lot is generally flat and contains a Single Dwelling with access from Percy Street. The site is located within an established residential area of Richmond and adjoins a heritage listed property on its western elevation and located approximately 100m north of the Bridge Street commercial area. A drainage easement is located in the western part of the site.

3.2. The Proposal

The proposal is for 4 Multiple Dwellings (1 existing and 3 proposed) as shown in the attachments. The development includes an addition and alterations to the existing dwelling consisting of a bedroom and deck addition on the eastern side of the dwelling.

Both the existing and proposed dwellings are single storey and the proposed dwellings have a maximum height between 4.34m and 5.13m from natural ground level.

The proposed dwellings each contain 3 bedrooms, a single garage and 1 car parking space. The existing dwelling includes 2 car parking spaces and 2 visitor car parking spaces are proposed on-site. The existing crossover to the site is increased to 5.5m in width and a passing bay provided adjacent to the front boundary.

A landscaping plan has been proposed by the applicant that includes the provision of screen planting along the western boundary adjoining the heritage listed property.

4. PLANNING ASSESSMENT**4.1. Determining Applications [Section 8.10]**

“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.

Reference to these principles is contained in the discussion below.

4.2. Compliance with Zone and Codes

The proposal meets the Scheme’s relevant Acceptable Solutions of the General Residential Zone and Parking and Access, Historic Heritage and Stormwater Management Codes with the exception of the following.

General Residential Zone

| Clause | Standard | Acceptable Solution (Extract) | Proposed |
|---------------|--|--|-----------------|
| 10.4.3 A2 | Site coverage and private open space for all dwellings | <p>A dwelling must have an area of private open space that:</p> <ul style="list-style-type: none"> (a) is in one location and is at least: <ul style="list-style-type: none"> (i) 24m²; or (ii) 12m², if the dwelling is a Multiple Dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and | complies |

| | | | |
|--|--|--|--|
| | | <p>(b) has a minimum horizontal dimension of:</p> <p>(i) 4m; or</p> <p>(ii) 2m, if the dwelling is a Multiple Dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p> | complies |
| | | <p>(c) is directly accessible from, and adjacent to, a habitable room (other than a bedroom); and</p> | complies |
| | | <p>(d) is not located to the south, south-east or south-west of the dwelling, unless the area receives at least 3 hours of sunlight to 50% of the area between 9.00am and 3.00pm on 21 June; and</p> | complies |
| | | <p>(e) is located between the dwelling and the frontage, only if the frontage is orientated between 30 degrees west of north and 30 degrees east of north, excluding any dwelling located behind another on the same site; and</p> | Unit 2 does not comply as the private open space is located between the frontage and dwelling and is not orientated between 30 degrees west of north and 30 degrees east of north. |
| | | <p>(f) has a gradient not steeper than 1 in 10; and</p> | complies |
| | | <p>(g) is not used for vehicle access or parking.</p> | complies |

The proposed variation must be considered pursuant to the Performance Criteria P2 of the Clause 10.4.3 as follows.

| Performance Criteria | Proposal |
|---|--|
| <p><i>“A dwelling must have private open space that:</i></p> <p><i>(a) includes an area that is capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children’s play and that is:</i></p> <p><i>(i) conveniently located in relation to a living area of the dwelling; and</i></p> <p><i>(ii) orientated to take advantage of sunlight”.</i></p> | <p>Unit 2 contains a 102m² area of private open space located which is accessible from the living area and is orientated to obtain sunlight. This area has landscaping proposed along the front boundary which will provide privacy.</p> <p>Unit 2 also provides private outdoor space to the south of the dwelling which is also directly accessible from the living room.</p> |

General Residential Zone

| Clause | Standard | Acceptable Solution (Extract) | Proposed |
|---------------|--|--|---|
| 10.4.4 A1 | Sunlight and overshadowing for all dwellings | A dwelling must have at least one habitable room (other than a bedroom) in which there is a window that faces between 30 degrees west of north and 30 degrees east of north (see Diagram 10.4.4A). | The habitable rooms of all dwellings all contain windows to habitable room windows which are orientated 31 degrees west of north. |

The proposed variation must be considered pursuant to the Performance Criteria P2 of the Clause 10.4.3 as follows.

| Performance Criteria | Proposal |
|--|---|
| <p><i>“A dwelling must be sited and designed so as to allow sunlight to enter at least one habitable room (other than a bedroom)”.</i></p> | <p>The orientation of the dwellings and location of living areas will provide for adequate solar access to living rooms windows and therefore meets the Performance Criteria.</p> |

Historic Heritage Zone

| Clause | Standard | Acceptable Solution (Extract) | Proposed |
|------------------------------------|--|----------------------------------|--------------------------|
| E13.8.2 A1, A2, A3 and A5 | Buildings are works other than demolition | No Acceptable Solution. | As described previously. |

The proposed variation must be considered pursuant to the Performance Criteria P1, P2, P3 and P5 of the Clause E13.8.2 as follows.

| Performance Criteria | Proposal |
|---|--|
| <p><i>“Design and siting of buildings and works must not result in detriment to the historic cultural heritage significance of the precinct, as listed in Table E13.2.</i></p> <p><i>Table E13.2. provides design criteria/conservation policy for Richmond to ensure the historic integrity of the streetscape and buildings are enhanced and that the character of Richmond and its important views are retained.</i></p> | <p>The proposed dwellings are located a minimum of 10m from the boundary with the adjoining heritage listed property at 9 Percy Street. The separation between the buildings and the proposed landscaping along this boundary is considered to minimise the impact on the heritage listed property and therefore is satisfactory.</p> <p>The proposal has been assessed by Council’s Heritage Officer who is satisfied that the siting of the dwellings will not have a detrimental impact on the adjoining heritage listed property or the historic values of the surrounding area.</p> |
| <p><i>Design and siting of buildings and works must comply with any relevant design criteria/conservation policy listed in Table E13.2, except if a heritage place of an architectural style different from that characterising the precinct.</i></p> | <p>The proposed dwellings are single storey with a roof pitch of 22.5 degrees. Council’s Heritage Officer considers that in order to be consistent with the character of the area the roof pitch should be increased to a minimum of 25 degrees. This has been discussed with the applicant who is agreeable with this being imposed as a condition of approval. If approved, the permit should include a condition to this effect.</p> <p>It is considered that subject to this change, the proposal does not detract from the heritage values of the area and therefore is consistent with the design criteria/conservation policy in Table13.2.</p> |
| <p><i>Extensions to existing buildings must not detract from the historic cultural heritage significance of the precinct.</i></p> | <p>The addition to the existing dwelling is minor and will not detract from the heritage significance of the streetscape.</p> |

| | |
|--|--|
| <p><i>The design of new development must be sympathetic to the heritage locality in terms of bulk, setbacks, materials, colour scheme, form, and character of the place, streetscape and surrounding area. It therefore must:</i></p> <p><i>(a) not be confused with the original historic fabric associated with nearby historic places in the locality;</i></p> <p><i>(b) be compatible with the architectural design, colour and aesthetic characteristics of the historic places in the area;</i></p> <p><i>(c) not visually dominate an existing heritage place or street in terms of size, height and bulk when viewed from the street frontage or frontages;</i></p> <p><i>(d) adopt a contemporary architectural character of an understated appearance to minimise the visual dominance over adjacent contributory buildings, the heritage place or historic places in the locality, in terms of size, height or bulk;</i></p> <p><i>(e) repeats the particular rhythm, spatial characteristics and character of historic places and other contributory buildings in the area;</i></p> <p><i>(f) relates to and uses as reference points the materials, front and side setbacks, roof form, colours and details of adjacent buildings and the surrounding precinct;</i></p> | <p>The proposed dwellings will not be confused with the nearby heritage places due to adequate separation between the heritage listed building and proposed buildings.</p> <p>The design of the dwellings incorporates features such as a steeper roof pitch as recommended in the conditions and a window layout which is consistent with the characteristics of buildings in the area.</p> <p>The dwellings are single storey and the 2 storey heritage listed property will still be visible through and over the roofs of the proposed dwellings and therefore will not be visually dominant in the streetscape.</p> <p>The dwellings will be identifiable as contemporary as they use modern materials in their construction. The single storey nature of the dwellings and separation between dwellings on the site will not detract from the characteristics of the area.</p> <p>as discussed above</p> <p>The proposed dwellings use window layout and roof forms reflective of dwellings in the area.</p> |
|--|--|

| | |
|---|--|
| (g) <i>avoid blank walls at ground and upper floor levels when viewed from surrounding streets;</i> | The dwellings have windows in the walls fronting the street. |
| (h) <i>utilise landscaping, fencing or other techniques to enhance the property and to reduce conflict with historic streetscapes”.</i> | Landscaping is proposed along the western boundary and front boundary which will enhance the appearance of the property and minimise the visual impact on the heritage listed property. A condition requiring a landscape plan to be submitted for approval should be included on the permit, if approved. |

5. REPRESENTATION ISSUES

The proposal was advertised in accordance with statutory requirements and 2 representations were received. The following issues were raised by the representors.

5.1. Impact on the Adjoining Heritage Listed Property

Concern was raised that the proposal would impact on the adjoining heritage listed property.

- The proposal is not considered to have a detrimental impact on the adjoining heritage listed property at 9 Percy Street. Further, the increased roof pitch and landscaping discussed previously in the report will assist to ensure that the development is well presented and appropriately responds to the setting.

5.2. Impact on Privacy

Concern was raised that the proposed deck on the southern side of Unit 2 will impact on the privacy of the adjoining property and that the development will impact on the privacy of the heritage listed dwelling.

- The deck on Unit 2 is located between the southern elevation of this dwelling and the southern boundary and has a maximum height above natural ground level of 0.8m. The deck meets the Acceptable Solution in Clause 10.4.6 A1 (Privacy for all dwellings) and therefore there are no grounds under the Scheme to require modifications or screening of the deck.

In regards to the concern regarding loss of privacy from the heritage listed property at 9 Percy Street, it is considered that due to the dwellings being single storey, the separation of a minimum of 10m between the dwellings and the boundary of 9 Percy Street, and the proposed landscaping, there will not be an unreasonable loss of privacy for the occupants of 9 Percy Street.

5.3. Removal of Trees

Concern was raised that the existing gum trees would be removed to facilitate the development and a suggestion was made that native species should be used in the landscaping. The representor indicated that the large gum trees on the boundary between 7 and 9 Percy Street were part of the original driveway to the heritage house.

- The proposal plans indicate that the large gum tree at the rear of Unit 4 is to be removed and the 3 gums trees along the western boundary will be retained. As discussed above, it is considered appropriate that landscaping be provided along the western boundary of the site to reduce the visual impact of the development on the heritage listed property. A condition requiring a landscaping plan is recommended for inclusion on the permit and when submitted, will be assessed by Council's Landscape Officer to ensure that the species used are suitable to provide screening.

6. EXTERNAL REFERRALS

No external referrals were required or undertaken as part of this application.

7. STATE POLICIES AND ACT OBJECTIVES

7.1. The property is not subject to the State Coastal Policy or the State Policy of the Protection of Agricultural Land.

7.2. The proposal is consistent with the objectives of Schedule 1 of LUPAA.

8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

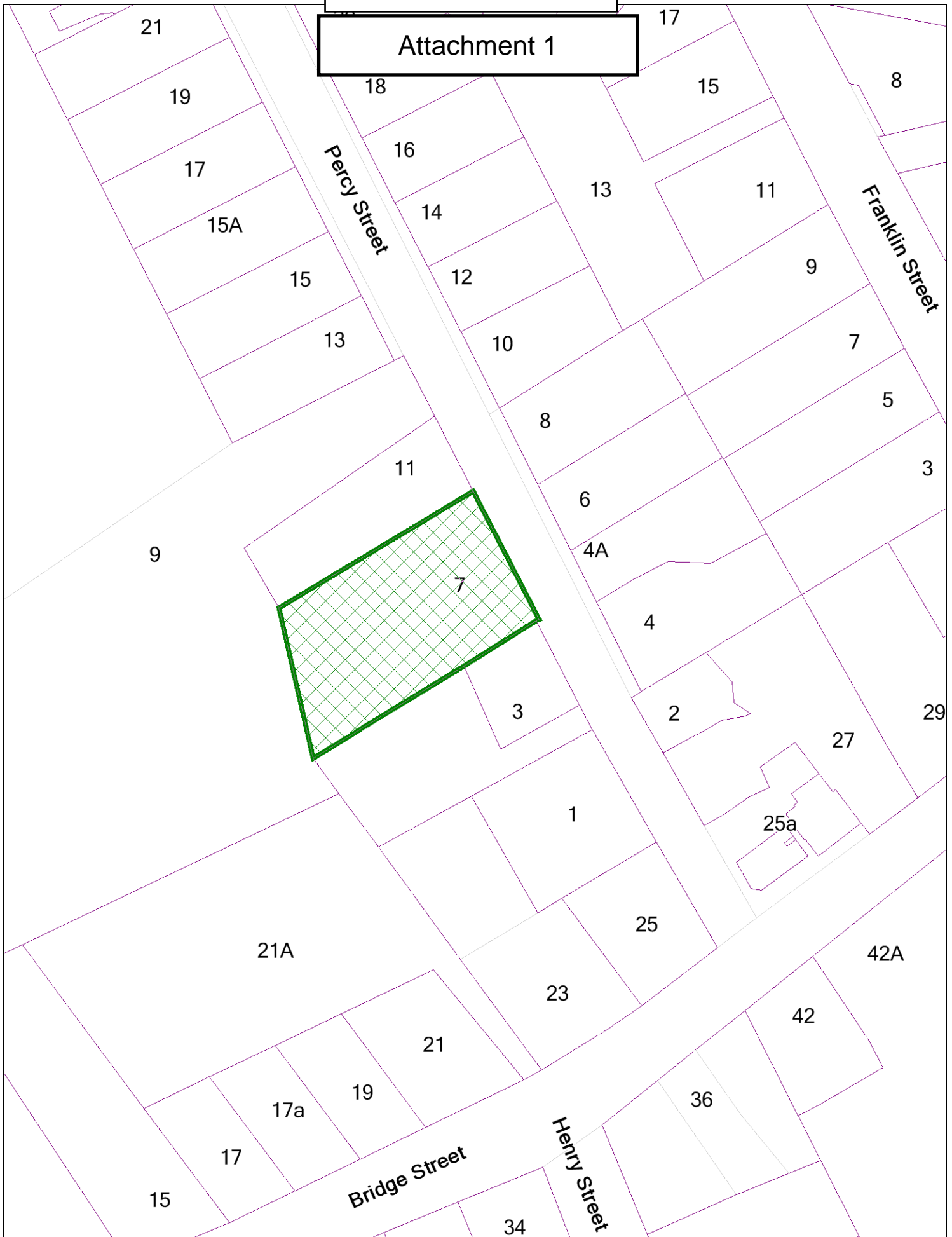
9. CONCLUSION

The proposal is for Multiple Dwellings (1 existing and 1 proposed).

Attachments: 1. Location Plan (1)
2. Proposal Plan (18)
3. Site Photo (1)

Ross Lovell
MANAGER CITY PLANNING

Attachment 1



Disclaimer: This map is a representation of the information currently held by Clarence City Council. While every effort has been made to ensure the accuracy of the product, Clarence City Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated. Copying or reproduction, without written consent is prohibited. **Date:** Friday, 27 April 2018 **Scale:** 1:1,212 @A4

DATE: 15/03/2018

Attachment 2

PROPOSED DEVELOPMENT

7 PERCY STREET, RICHMOND

FOR SCOTT DOBIE

DATE:- MARCH 2018

REFERENCE NUMBER:- 17100 DOBIE

MARCH 2018 UPDATE WINDOW CHANGES FOR HERITAGE CODE

| PAGE | DESCRIPTION |
|------|-----------------------------------|
| 01 | COVER PAGE |
| 02 | EXISTING SITE PLAN |
| 03 | PROPOSED SITE PLAN |
| 04 | EXISTING FLOOR PLANS & ELEVATIONS |
| 05 | UNIT 2 FLOOR PLANS & ELEVATIONS |
| 06 | UNIT 3 FLOOR PLANS & ELEVATIONS |
| 07 | UNIT 4 FLOOR PLANS & ELEVATIONS |
| 08 | UNIT 1 RENOVATED PLAN |
| 09 | LONGITUDINAL SECTION |
| 10 | VEHICULAR ACCESS & PARKING PLAN |
| 11 | LANDSCAPE PLAN |
| 12 | SHADOW PROJECTION |
| 13 | SEWER & WATER SERVICES |
| 14 | STORMWATER SERVICES |
| 15 | SEDIMENT CONTROL PLAN |
| 16 | WINDOW SCHEDULE & MATERIALS |
| 17 | DRAINAGE PLAN |
| 18 | TRAFFIC CONTROL |

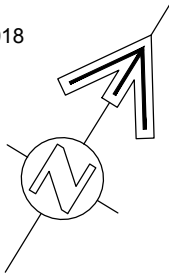
GENERAL INFORMATION

| | |
|---|---------------------------------------|
| C.T. | C.T. 119392-1 |
| EXISTING HOUSE | |
| FLOOR AREA | 135m²± OR 14.5SQ. |
| NEW UNITS | |
| COMBINED FOOTPRINT | 147m² + 152m² + 142m² + 142m² = 583m² |
| LAND AREA | 2267m² |
| PLOT RATIO | 25.7% |
| CLIMATE ZONE | 7 |
| BAL RATING | LOW |
| ALPINE AREA | NO |
| CORROSIVE ENVIRONMENT | NO |
| SITE HAZARDS | NONE |
| SITE AREA PER DWELLING EXCLUDING DRIVEWAY | 494m² AV. |
| ZONE | 10.0 GENERAL RESIDENTIAL |

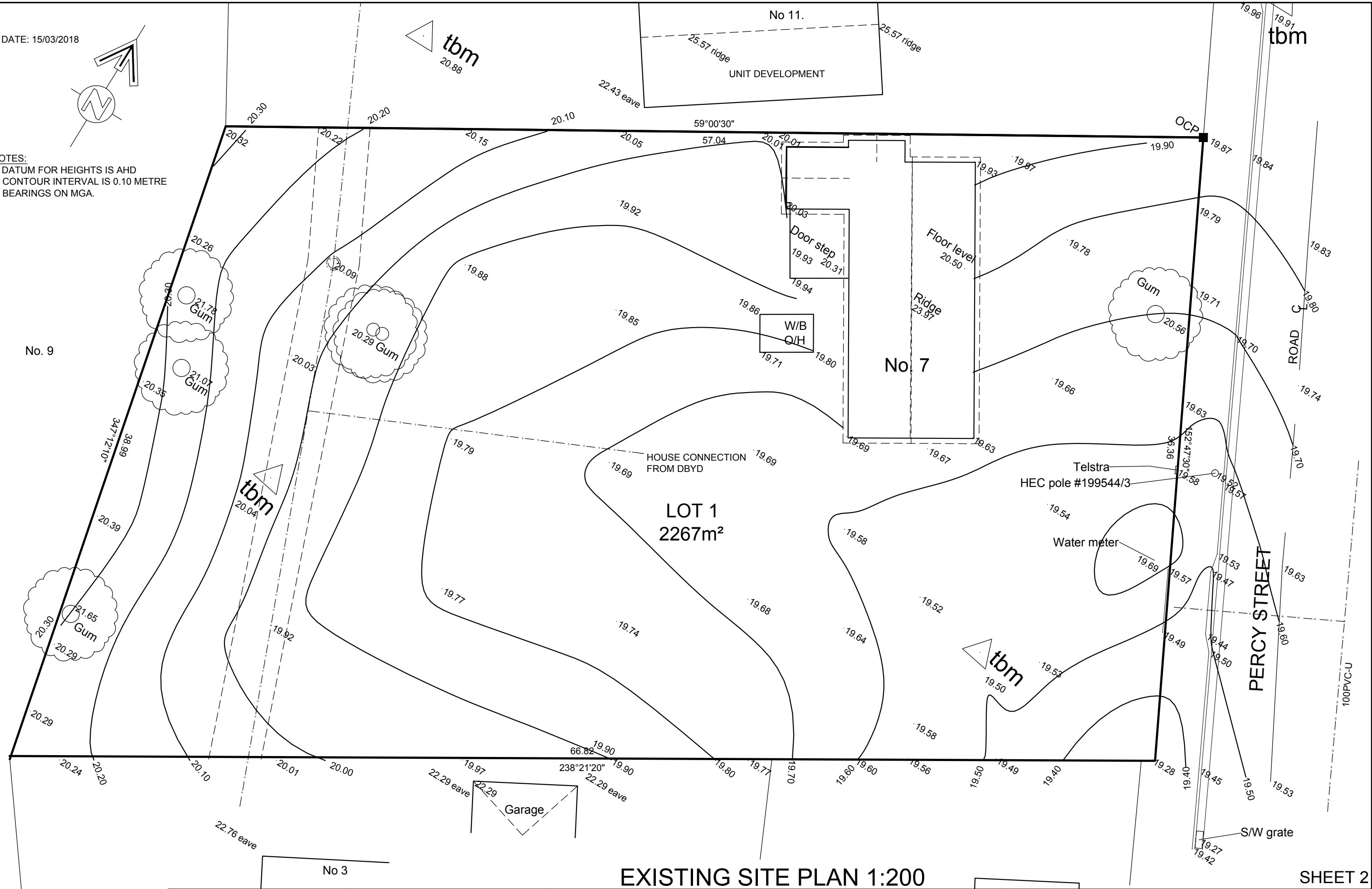
SITE



DATE: 15/03/2018



NOTES:
1. DATUM FOR HEIGHTS IS AHD
2. CONTOUR INTERVAL IS 0.10 METRE
3. BEARINGS ON MGA.



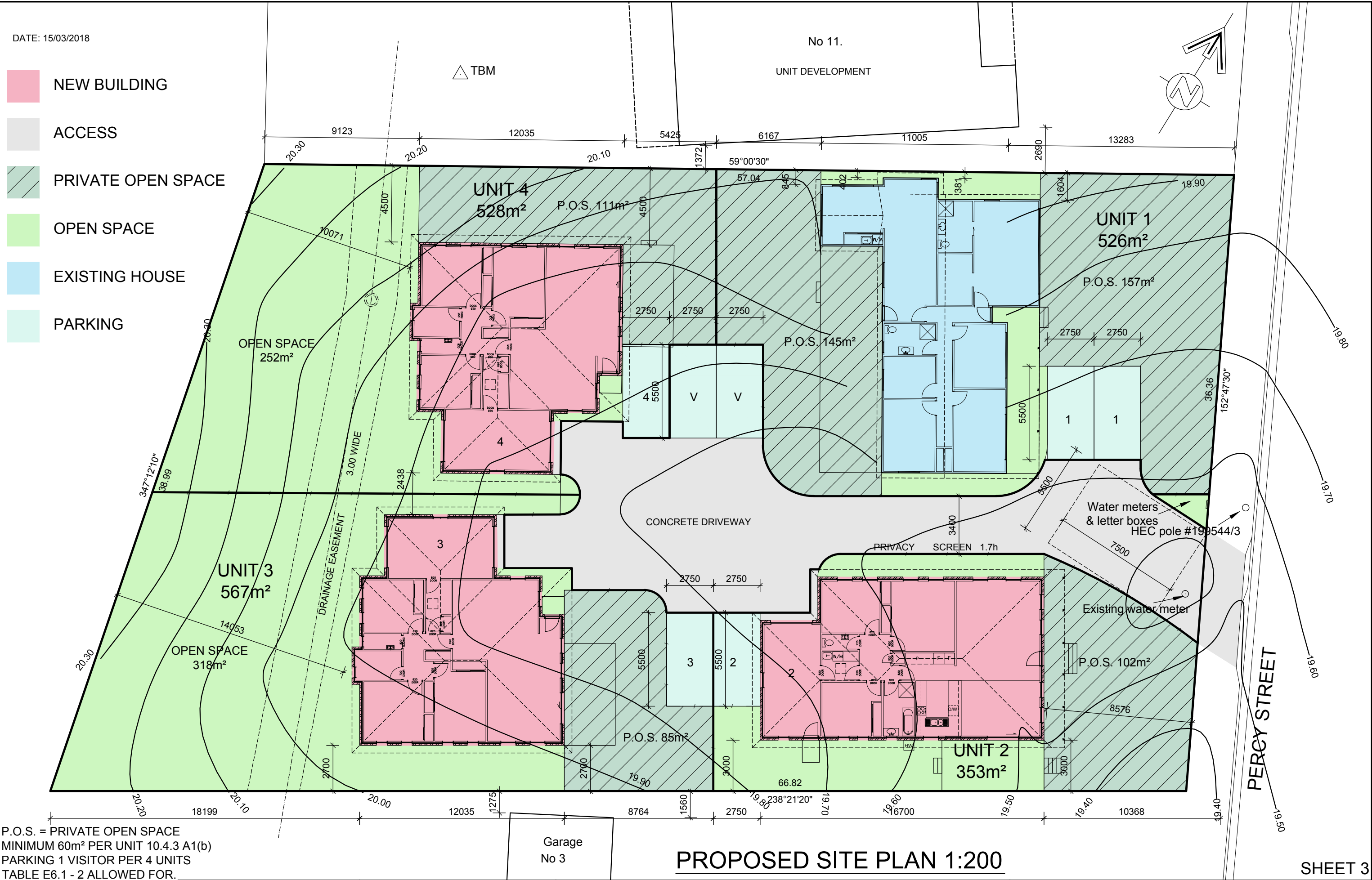
EXISTING SITE PLAN 1:200

SHEET 2

| | | | |
|---|---|---|---|
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|---|---|---|---|

DATE: 15/03/2018

- NEW BUILDING
- ACCESS
- PRIVATE OPEN SPACE
- OPEN SPACE
- EXISTING HOUSE
- PARKING



P.O.S. = PRIVATE OPEN SPACE
MINIMUM 60m² PER UNIT 10.4.3 A1(b)
PARKING 1 VISITOR PER 4 UNITS
TABLE E6.1 - 2 ALLOWED FOR.

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PROPOSED DEVELOPMENT REF: 17100 DOBIE
AT 7 PERCY STREET, RICHMOND
FOR SCOTT DOBIE

SCALE: 200 (A3) DATE: MARCH 2018 DRAWN: I. STEVEN

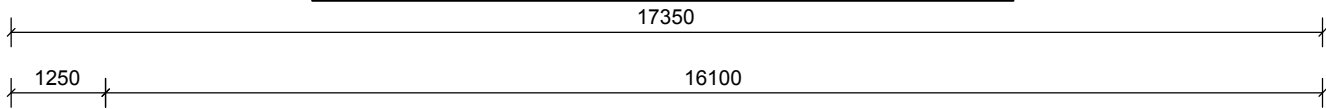
Ridge level 23.97
DATE: 15/03/2018

Floor level 20.50



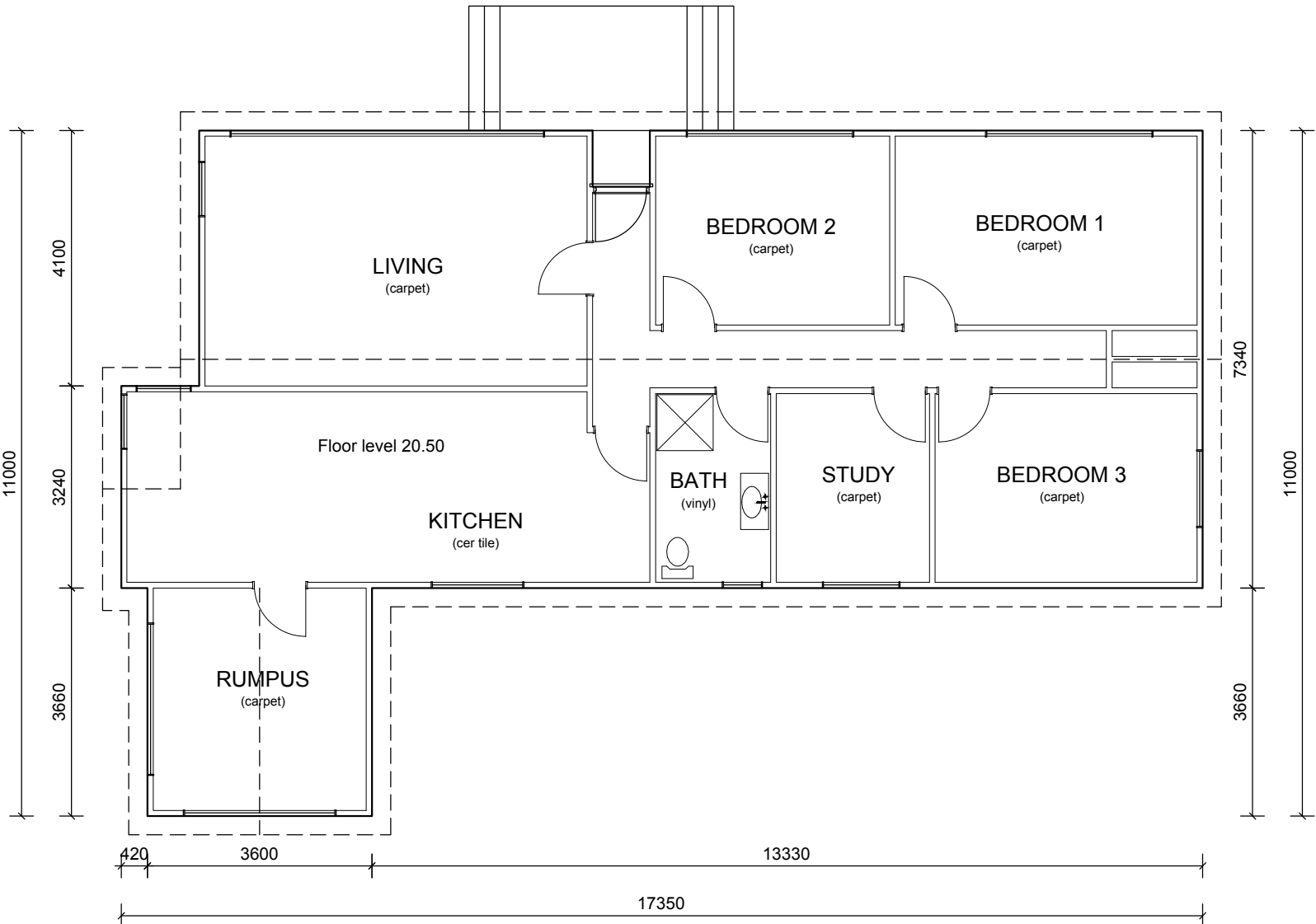
SOUTH WEST ELEVATION A
NORTH EAST ELEVATION B

NORTH EAST ELEVATION B



NORTH WEST ELEVATION C

SOUTH EAST ELEVATION D

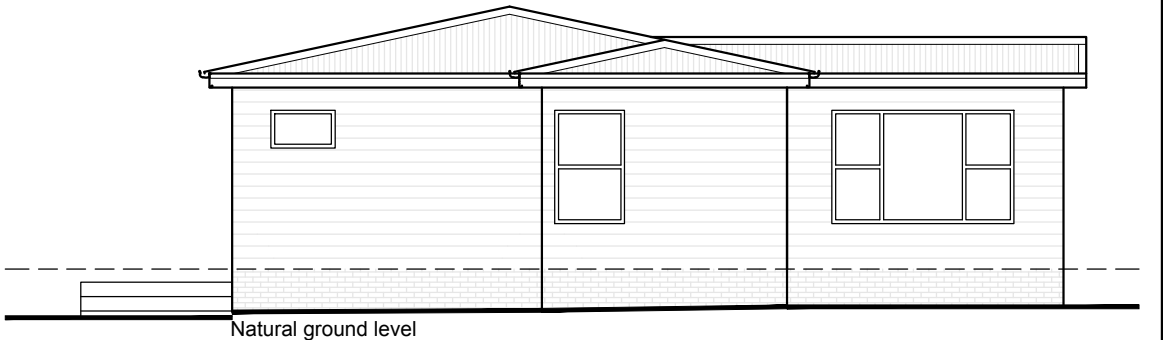


SOUTH WEST ELEVATION A

EXISTING UNIT 1 FLOOR PLAN 1:100

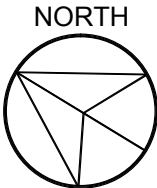


SOUTH EAST ELEVATION D



NORTH WEST ELEVATION C

SHEET 4



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PROPOSED DEVELOPMENT REF: 17100 DOBIE
AT 7 PERCY STREET, RICHMOND
FOR SCOTT DOBIE

SCALE: 100 (A3)

DATE: MARCH 2018

DRAWN: I. STEVEN
CHECKED:

W9
EA1006
DATE: 15/03/2018

W10
AE2108L

W11
EA1006

W12
EA1006

W13
EA1006

W14
EA1009

W15
EA1009

W16
DSD2118-2

W1
EA1809

W2
EA1809

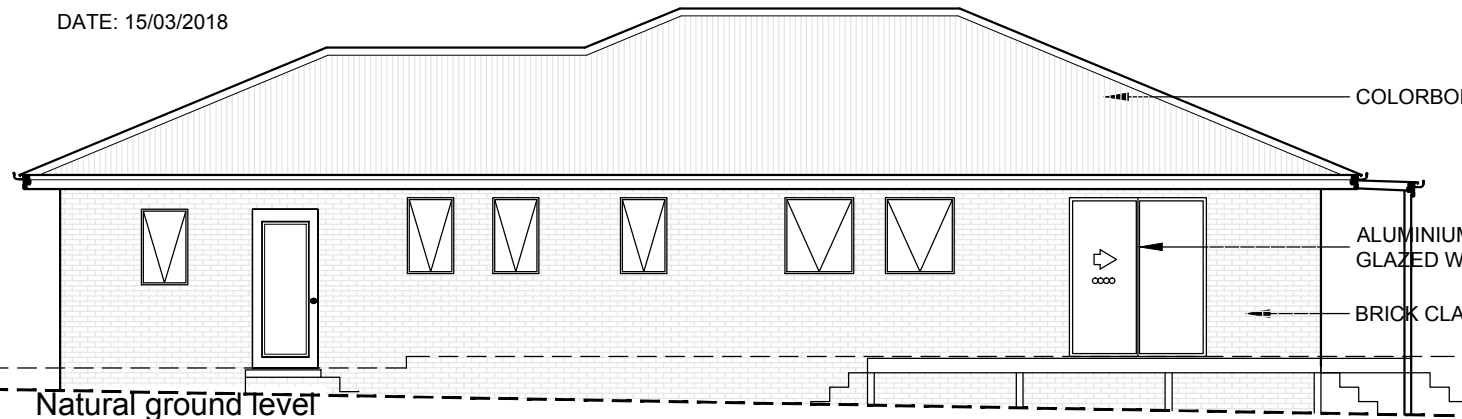
W3
EA1809

W4
EA1809

W5
EA1809

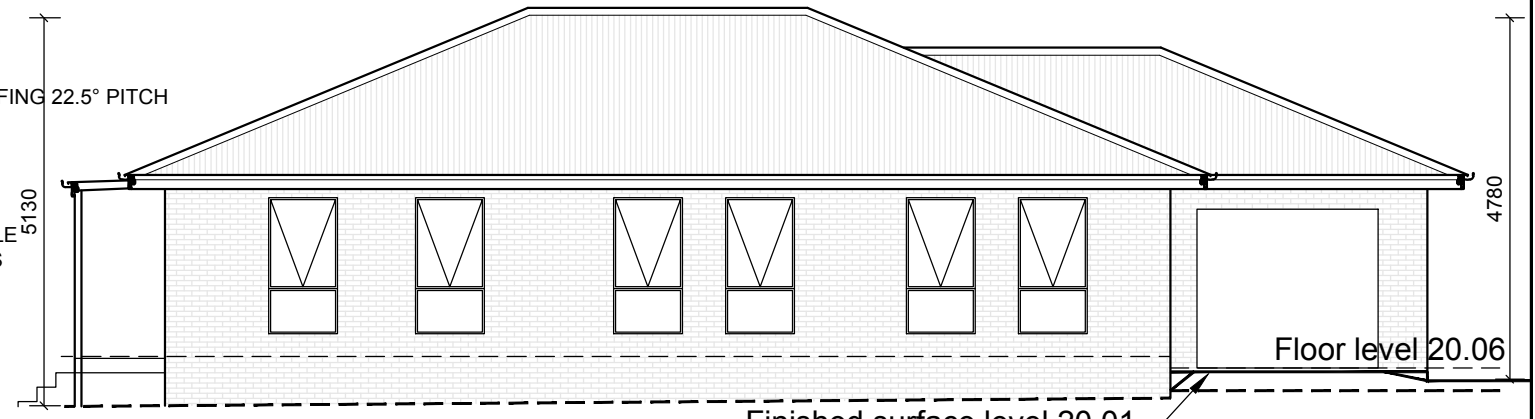
W6
EA1809

W7
ROLLER



UNIT 2 SOUTH EAST ELEVATION A 1:100

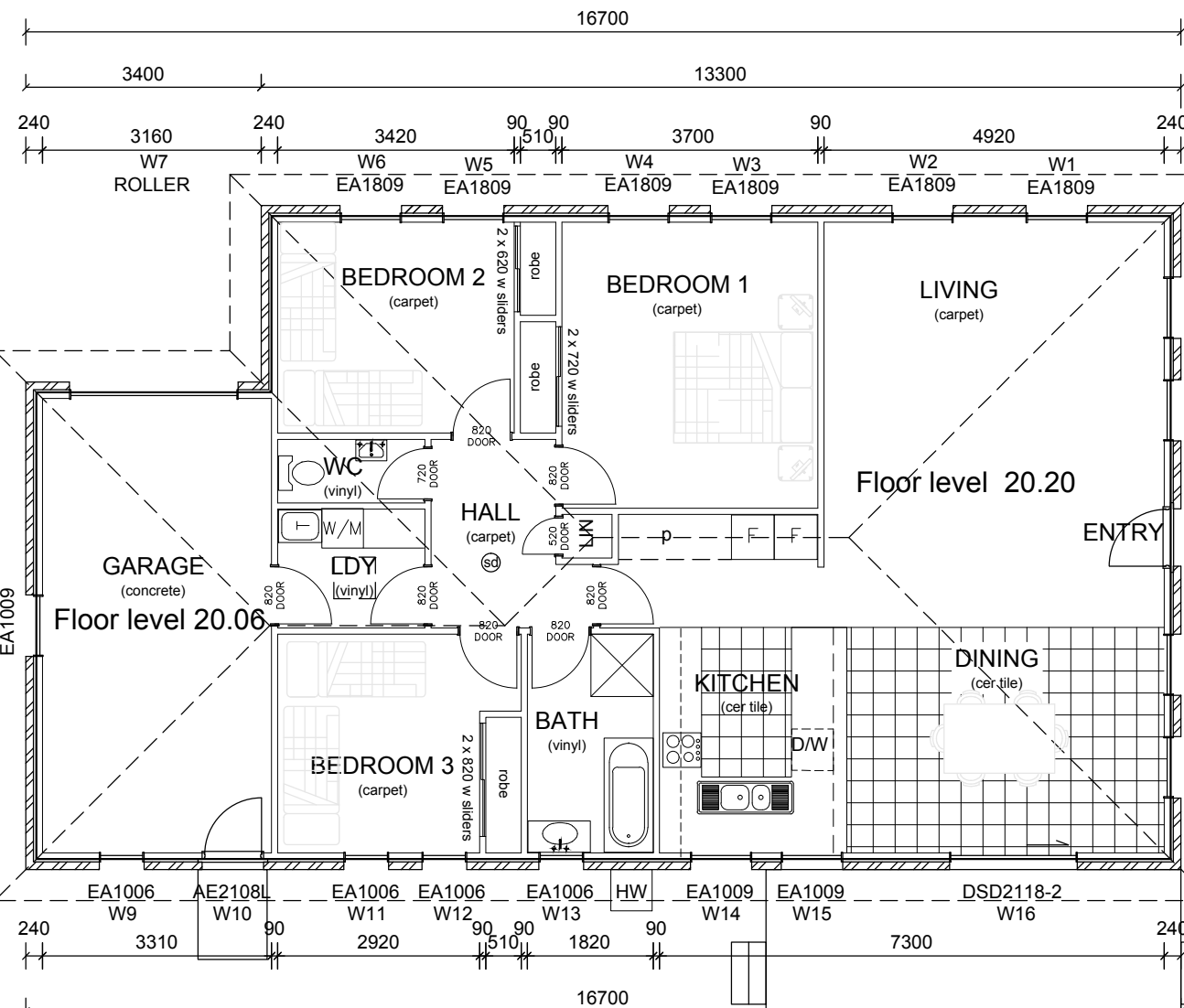
NORTH WEST ELEVATION B



Natural ground level

Finished surface level 20.01

UNIT 2 NORTH WEST ELEVATION B 1:100



SOUTH EAST ELEVATION A

UNIT 2 FLOOR PLAN 1:100

AREA 152m²

PLUMBER & BUILDERS NOTE:-
FINISHED FLOOR LEVEL TO BE ADJUSTED TO
SUIT MINIMUM GRADE TO SEWER OUTLET.

Roof level 24.81

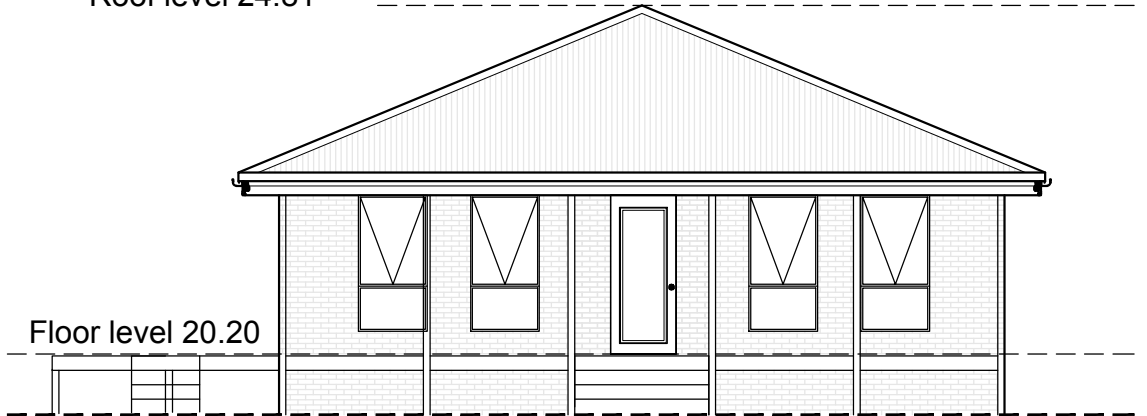
W17
EA1809

W18
EA1809

W19
AE2108L

W20
EA1809

W21
EA1809

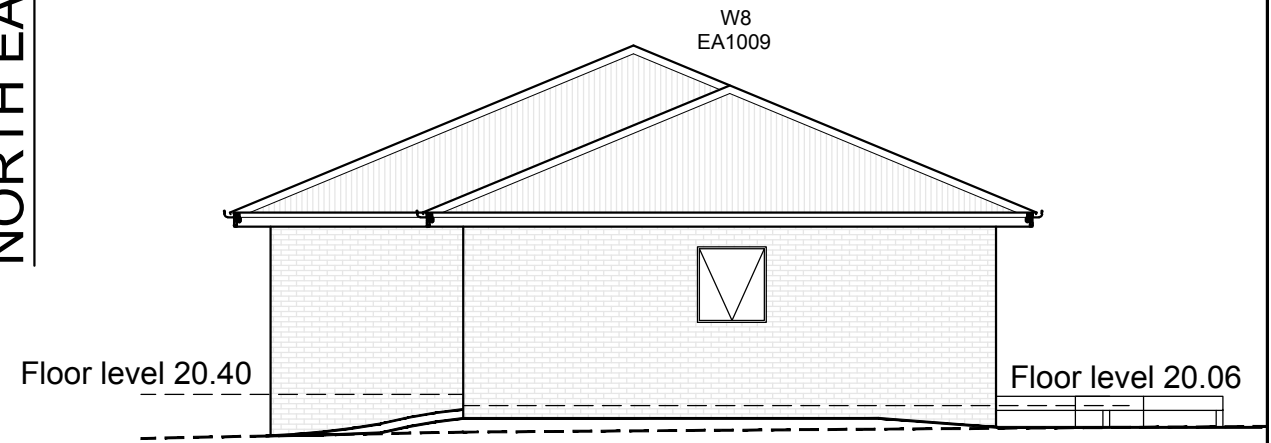


Floor level 20.20

Natural ground level

UNIT 2 NORTH EAST ELEVATION D 1:100

NORTH EAST ELEVATION D



Floor level 20.40

Natural ground level

UNIT 2 SOUTH WEST ELEVATION C 1:100



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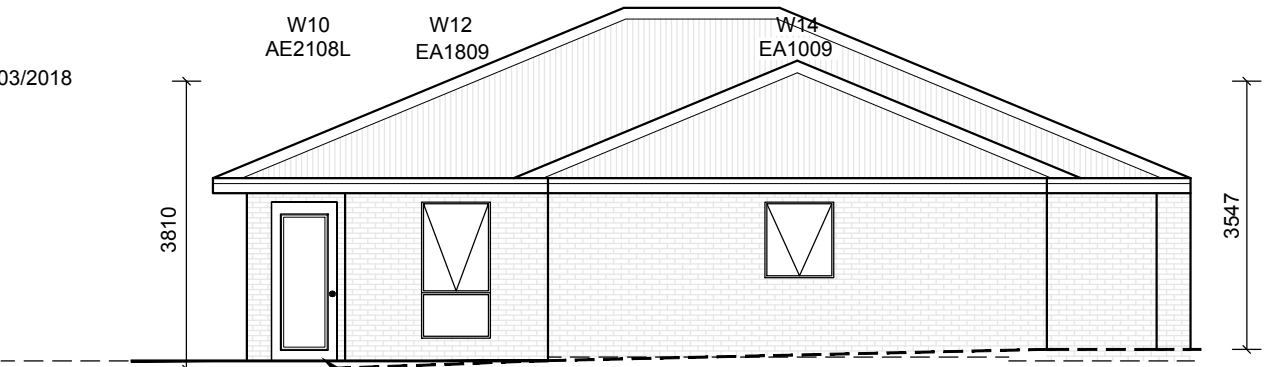
PROPOSED DEVELOPMENT REF: 17100 DOBIE
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FOR SCOTT DOBIE

SCALE: 100 (A3)

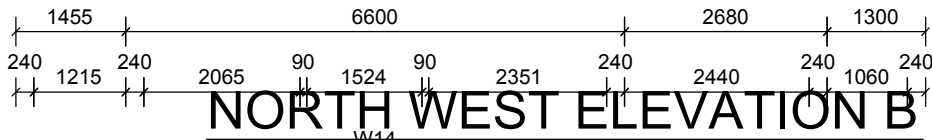
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DRAWN: I. STEVEN
CHECKED:

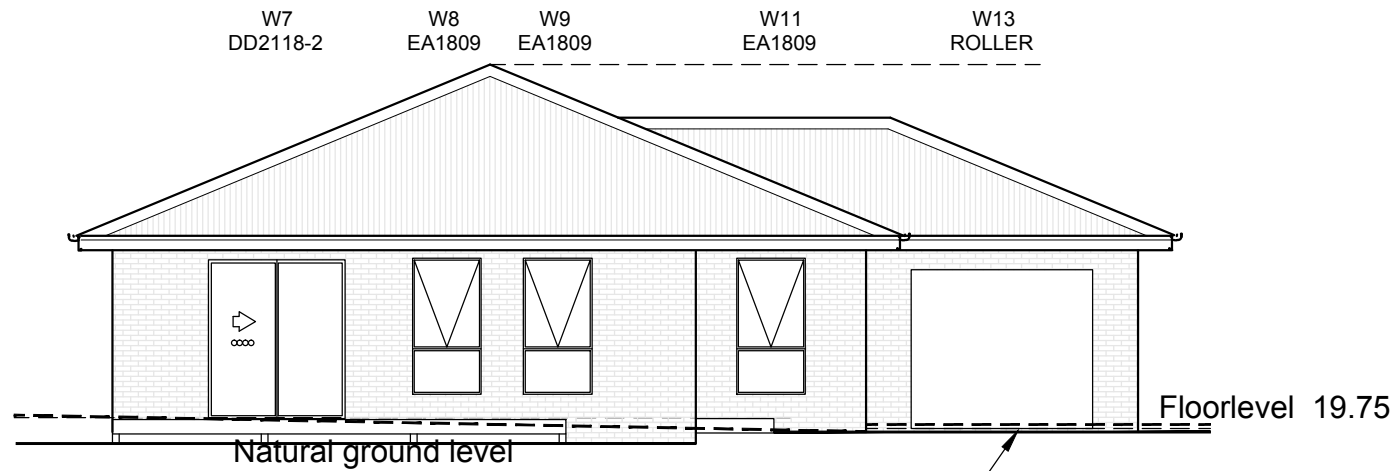
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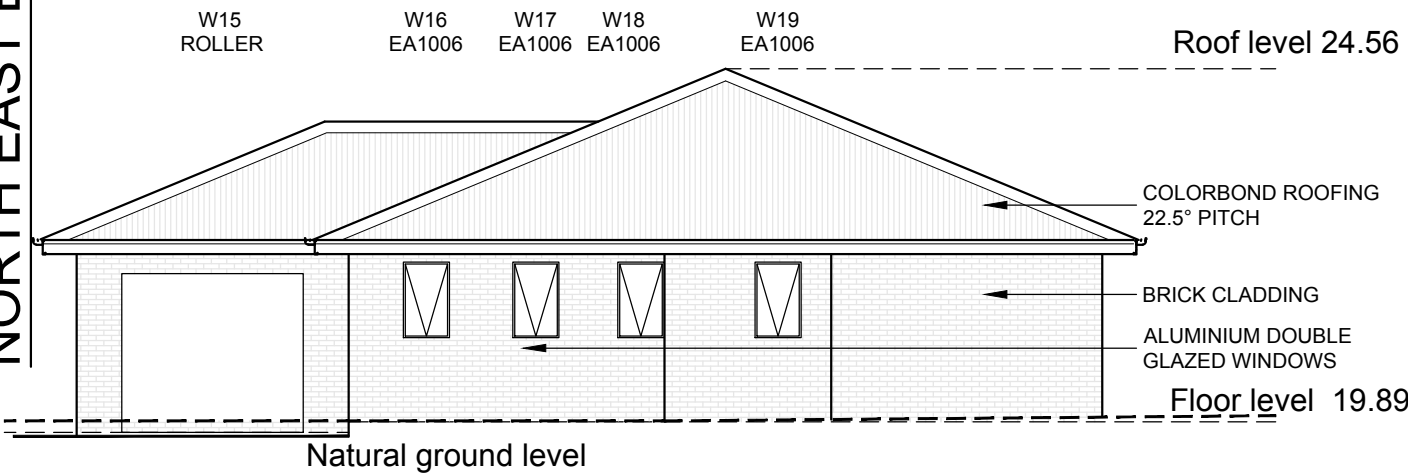
UNIT 3 NORTH WEST ELEVATION B 1:100



UNIT 3 SOUTH EAST ELEVATION A 1:100



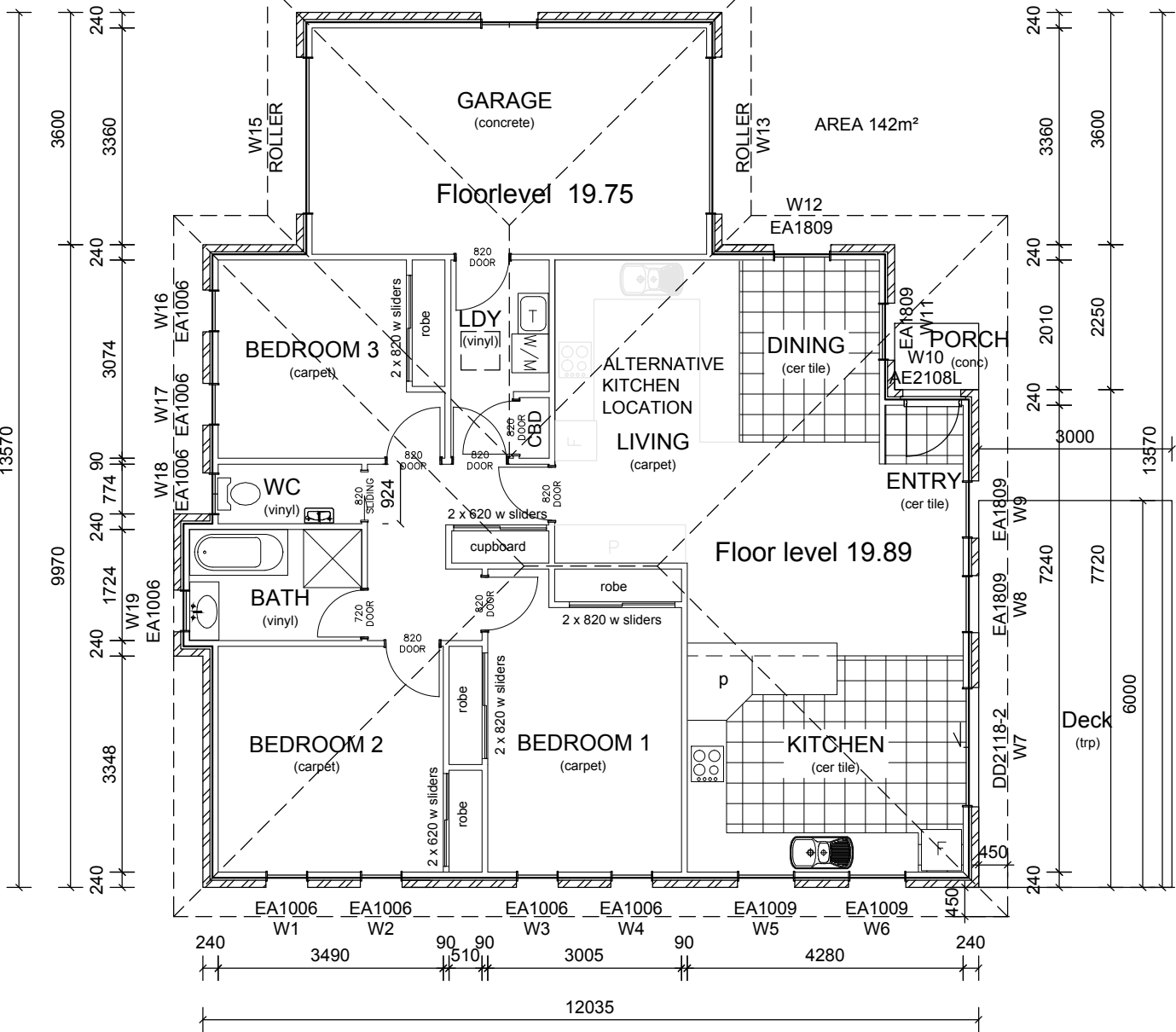
UNIT 3 NORTH EAST ELEVATION D 1:100



UNIT 3 SOUTH WEST ELEVATION C 1:100

SOUTH WEST ELEVATION C

NORTH EAST ELEVATION D



SOUTH EAST ELEVATION A

PROPOSED UNIT 3 FLOOR PLAN 1:100

SHEET 6



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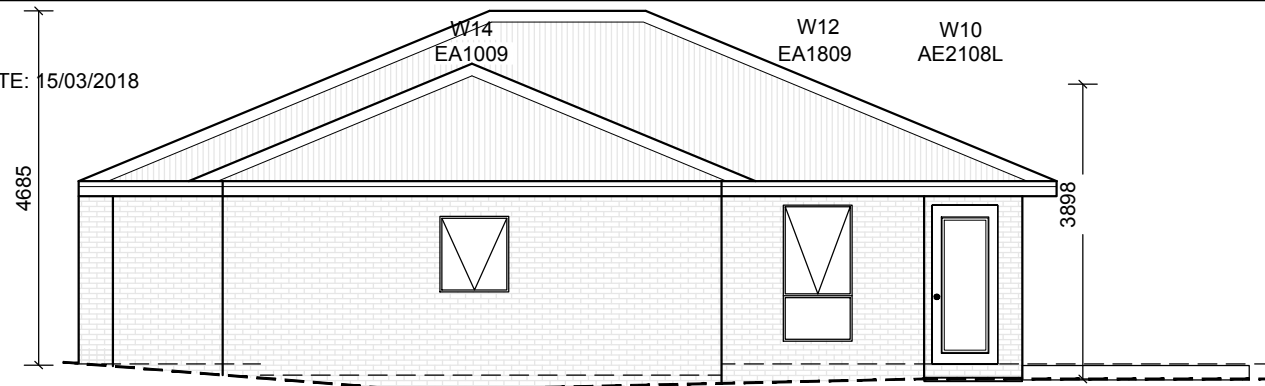
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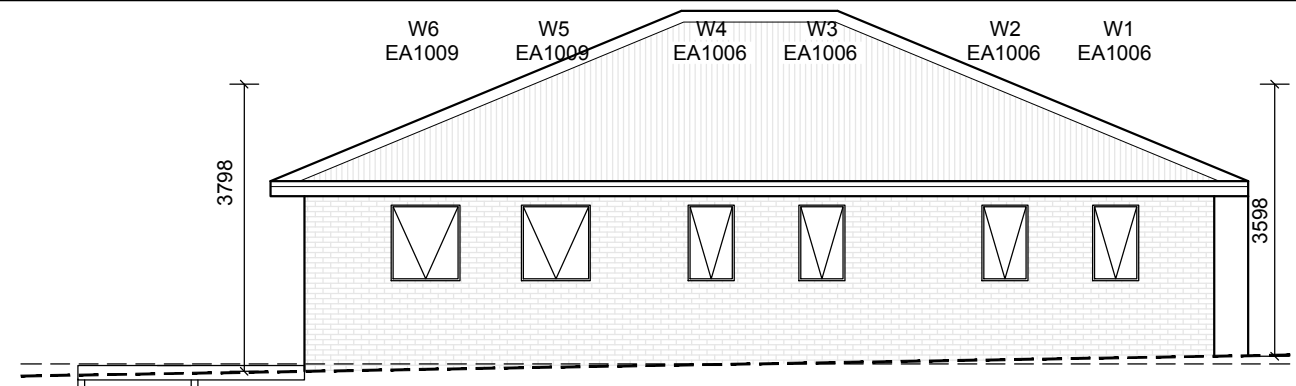
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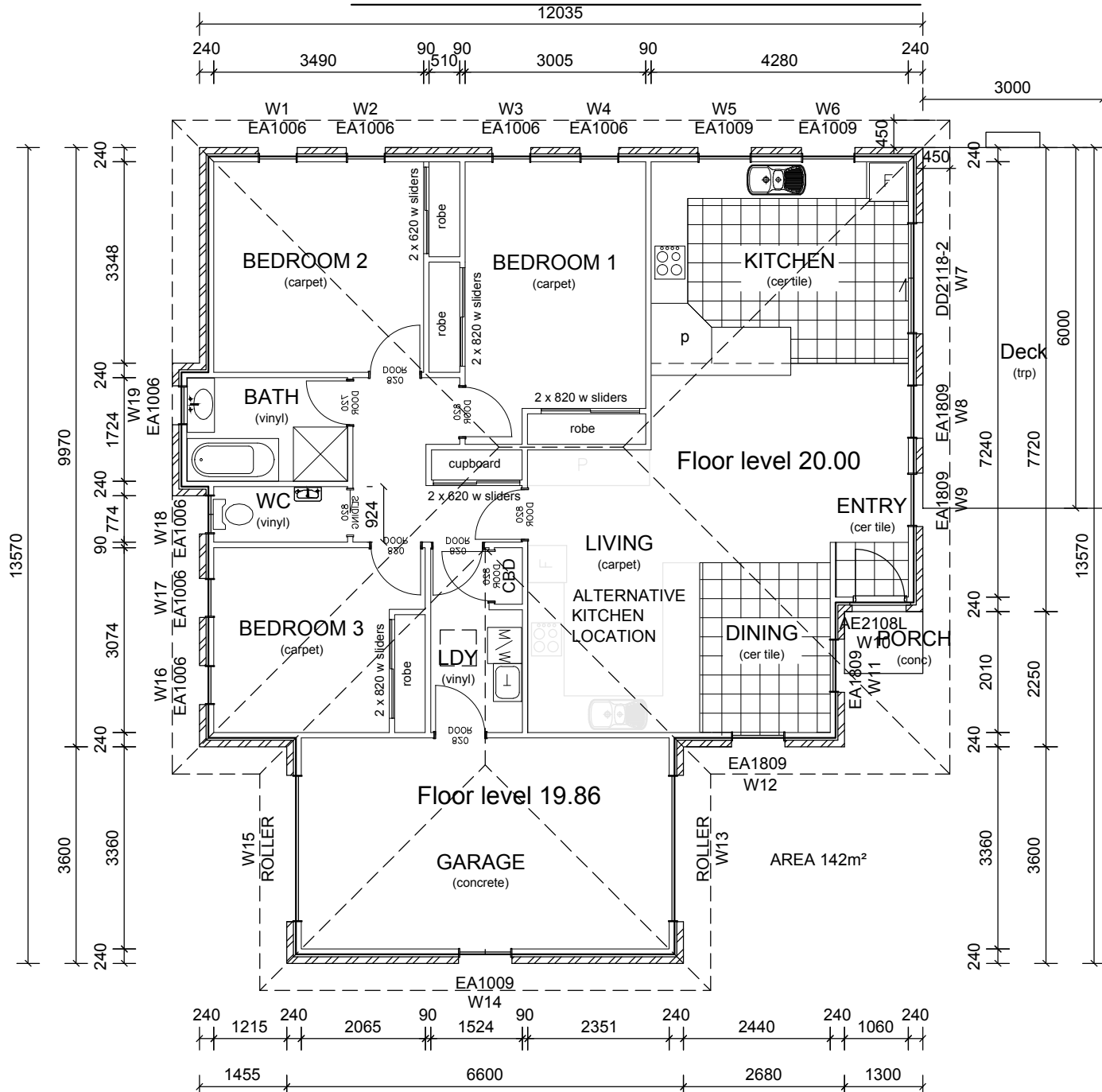


UNIT 4 SOUTH EAST ELEVATION A 1:100
NORTH WEST ELEVATION B



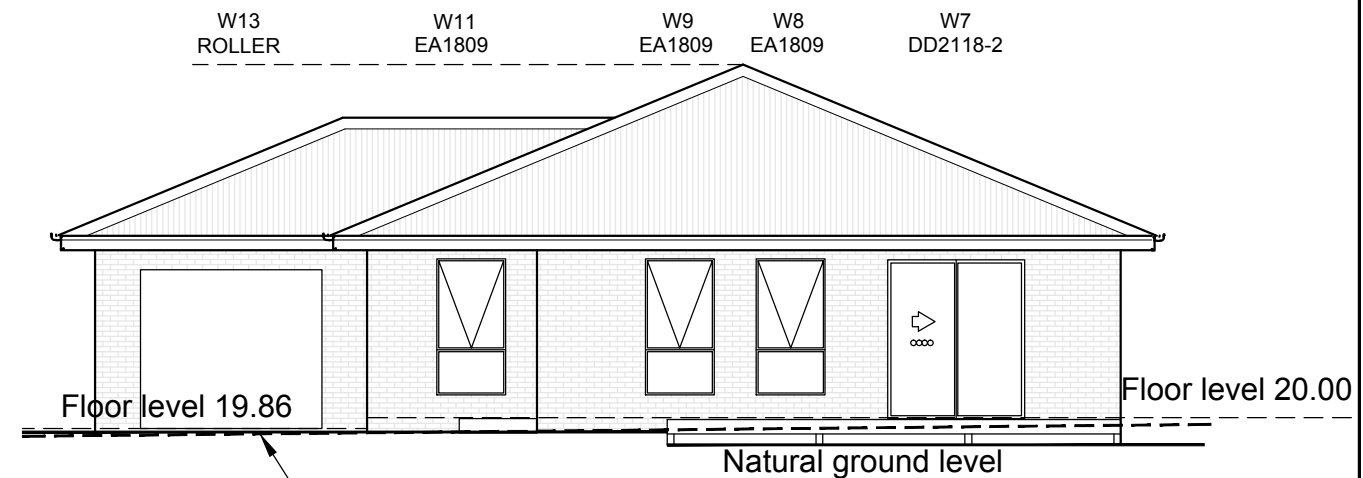
UNIT 4 NORTH WEST ELEVATION B 1:100

SOUTH WEST ELEVATION C

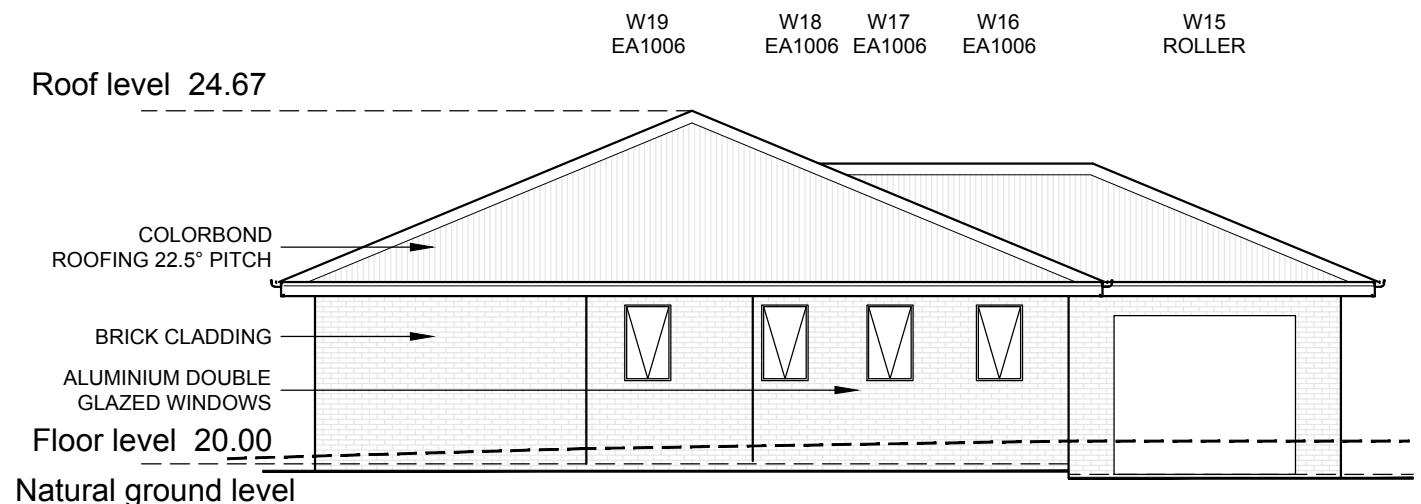


SOUTH EAST ELEVATION A

NORTH EAST ELEVATION D



UNIT 4 NORTH EAST ELEVATION D 1:100



UNIT 4 SOUTH WEST ELEVATION C 1:100

PROPOSED UNIT 4 FLOOR PLAN 1:100

SHEET 7



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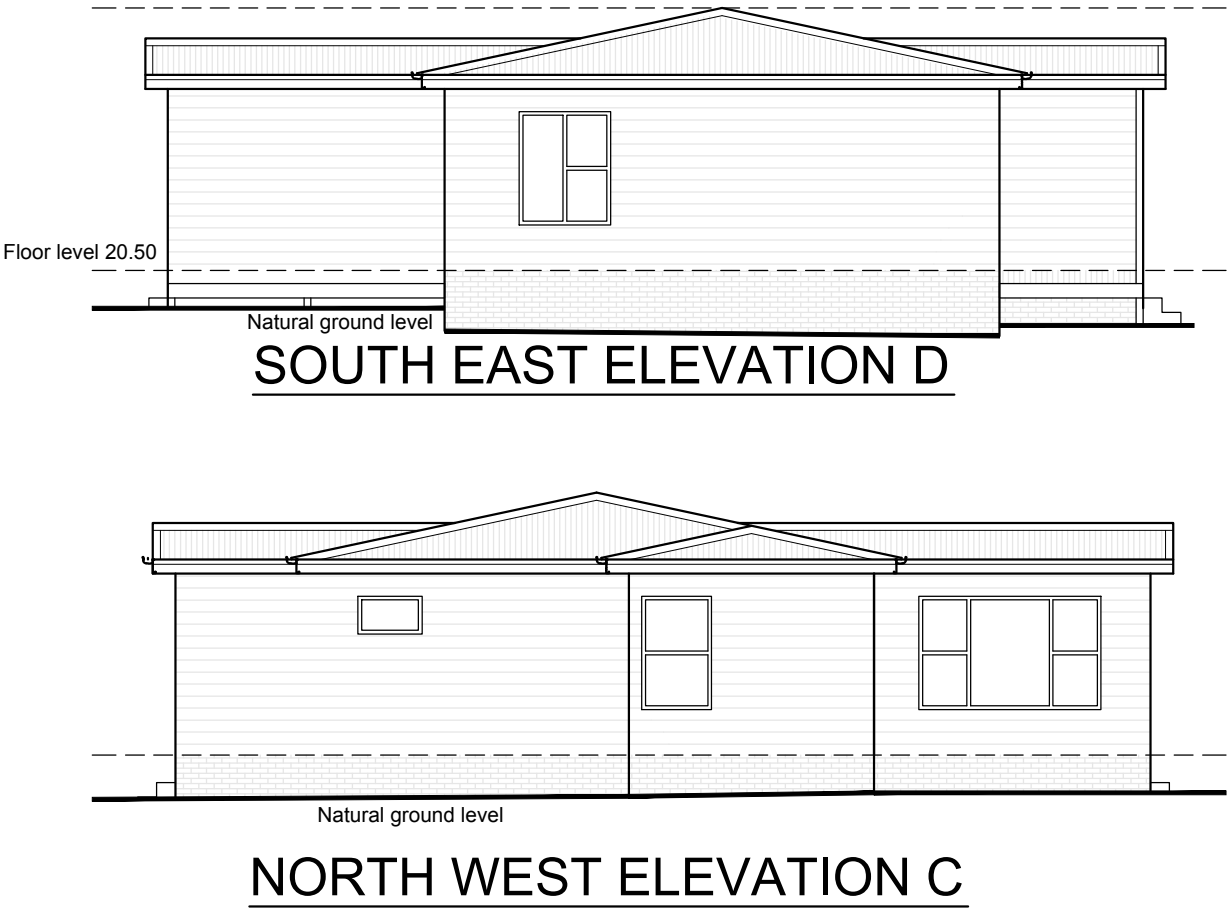
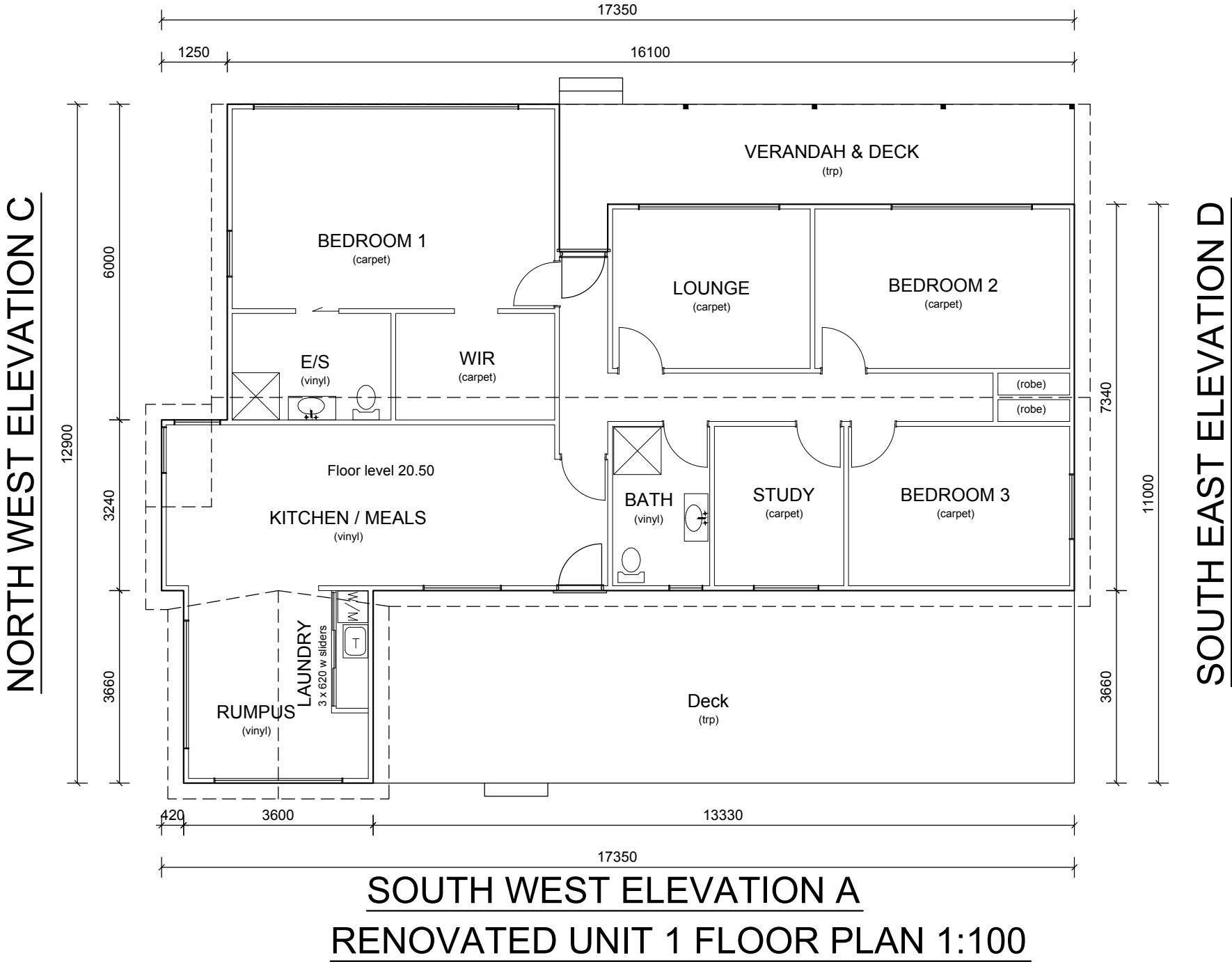
ABN No. 53 009 560 865 Lic No 227152675

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FOR SCOTT DOBIE

SCALE: 100 (A3)

DATE: MARCH 2018

DRAWN: I. STEVEN
CHECKED:



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DATE: MARCH 2018

DRAWN: I. STEVEN

CHECKED:

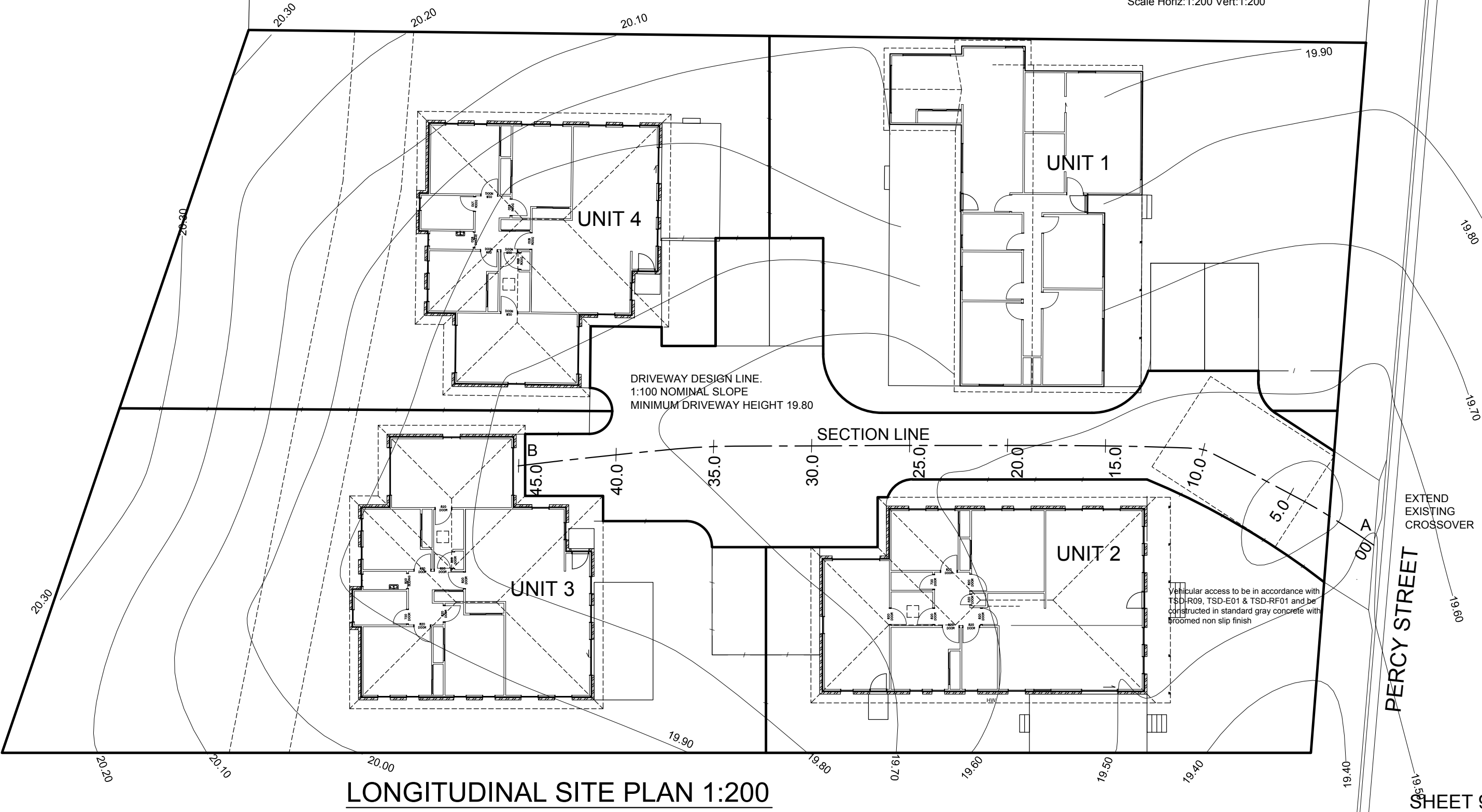
DATE: 15/03/2018

DRIVEWAY DESIGN LINE.
1:100 NOMINAL SLOPE
MINIMUM DRIVEWAY HEIGHT 19.80

LONGITUDINAL SECTION A-B 1:200

| | | | | | | | | | | | |
|-------|--|-------|-------|-------|-------|-------|-------|-------|-------|-------------|-----------|
| | | | | | | | | | | DATUM 19.00 | |
| 19.77 | | 19.73 | 19.69 | 19.66 | 19.64 | 19.61 | 19.58 | 19.55 | 19.65 | 19.47 | ELEVATION |
| 45.03 | | 40.00 | 35.00 | 30.00 | 25.00 | 20.00 | 15.00 | 10.00 | 5.00 | 0.00 | CHAINAGE |
| 45.00 | | | | | | | | | | | |

Scale Horiz:1:200 Vert:1:200



LONGITUDINAL SITE PLAN 1:200

SHEET 9

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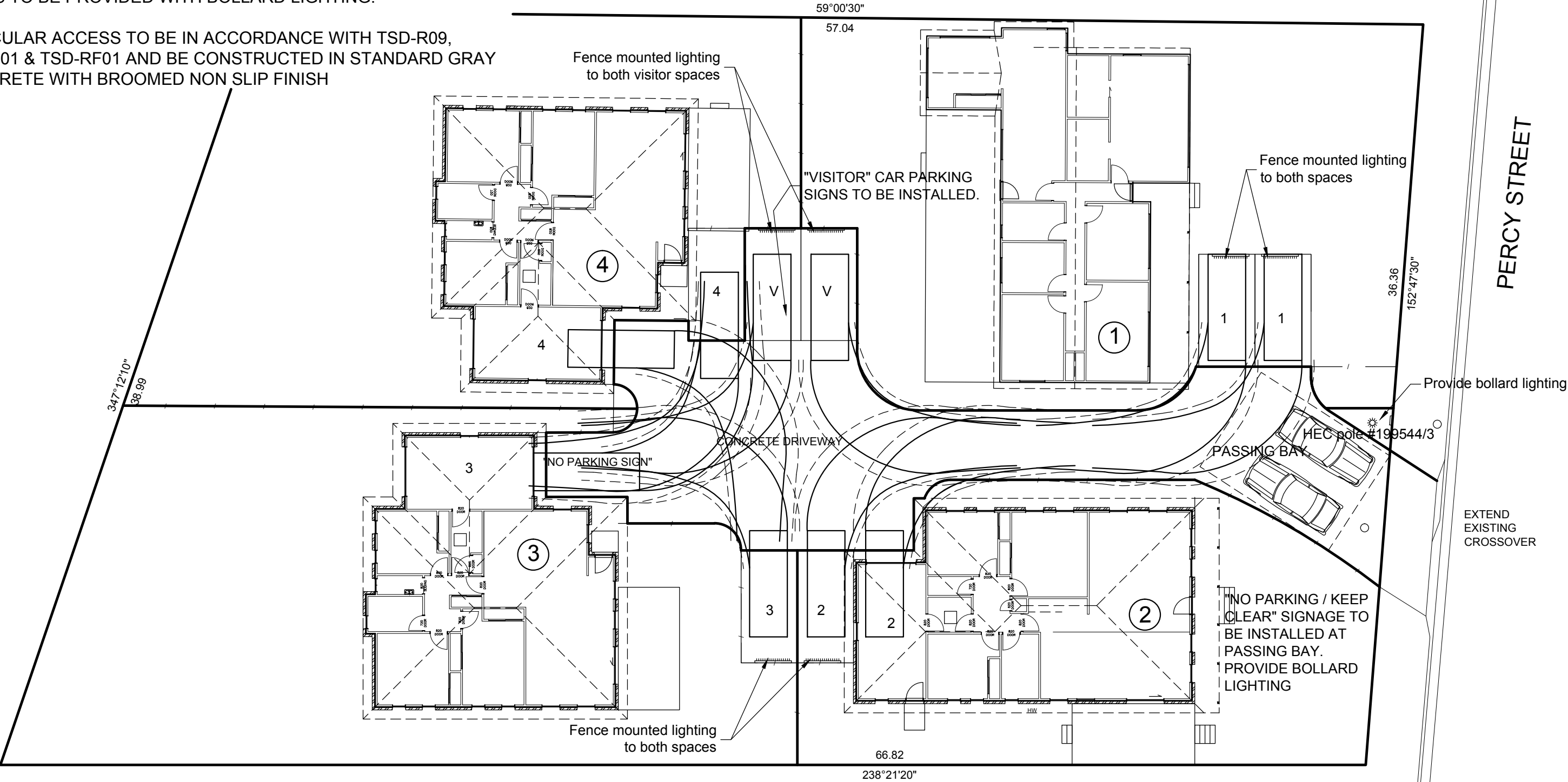
ABN No. 53 009 560 865 Lic No 227152675

PROPOSED DEVELOPMENT REF: 17100 DOBIE
AT 7 PERCY STREET, RICHMOND
FOR SCOTT DOBIE

SCALE: 200 (A3) DATE: MARCH 2018 DRAWN: I. STEVEN

NOTES:-
"NO PARKING / KEEP CLEAR" SIGNAGE TO BE INSTALLED AT
PASSING BAY.
"VISITOR" CAR PARKING SIGNS TO BE INSTALLED.
PARKING AND VEHICLE CIRCULATION ROADWAYS & PEDESTRIAN
PATHS TO BE PROVIDED WITH BOLLARD LIGHTING.

VEHICULAR ACCESS TO BE IN ACCORDANCE WITH TSD-R09,
TSD-E01 & TSD-RF01 AND BE CONSTRUCTED IN STANDARD GRAY
CONCRETE WITH BROOMED NON SLIP FINISH



VEHICULAR ACCESS & PARKING PLAN 1:200

SHEET 10

| | | | |
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|---|---|--|---|

DATE: 15/03/2018

LANDSCAPE PLAN

SMALL SHRUBS 0.5m TO 2.5m

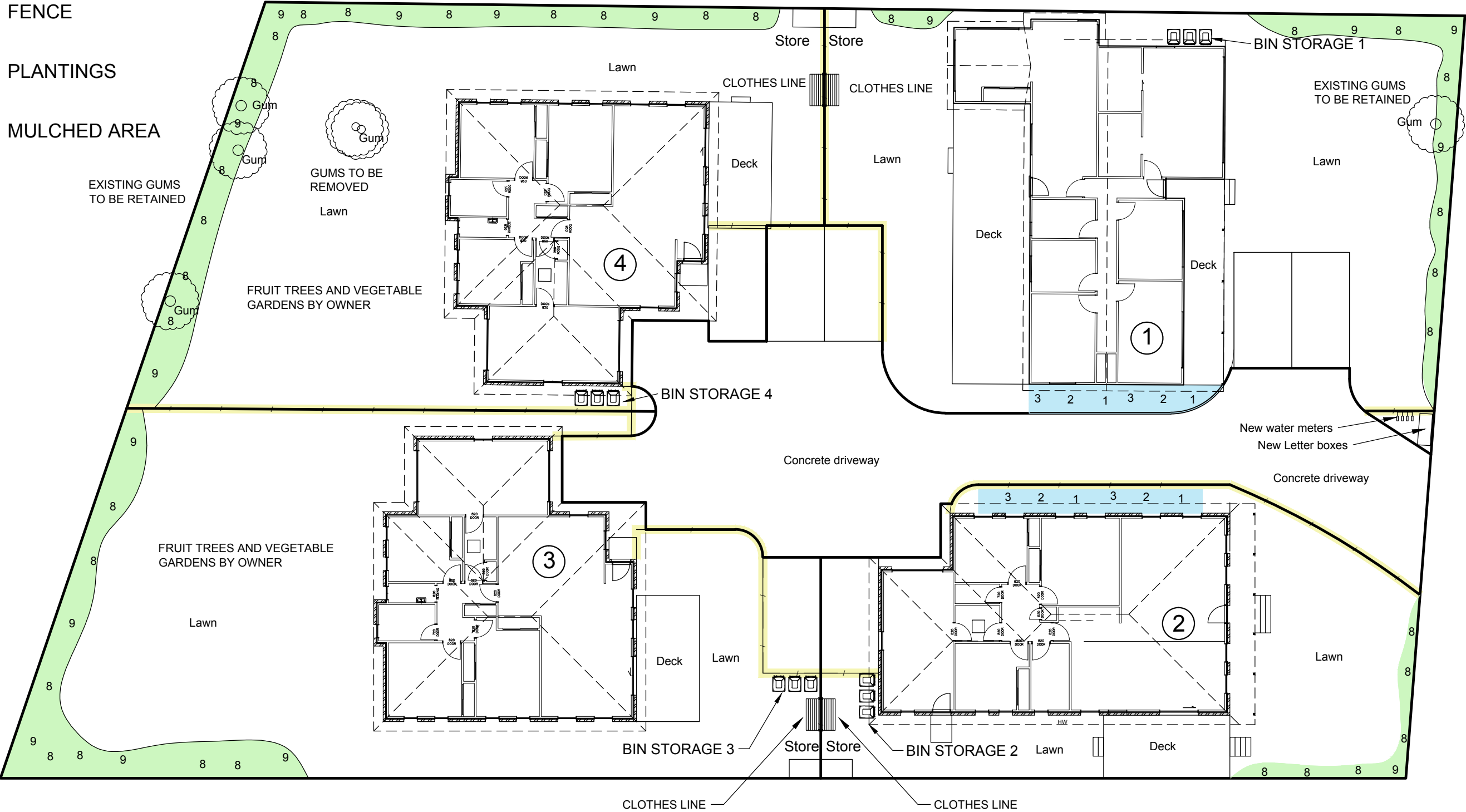
- | | |
|--|----------|
| 1. <i>Arenaria montana</i> 'Avalanche' | 15x80cm |
| 2. <i>Erica cerinthoides</i> 'Red Fire' | 1.0x1.0m |
| 3. <i>Azalea kuruma</i> (mix of varieties) | 0.6x1.0m |
| 4. <i>Dietes grandiflora</i> 'Mighty Tuff' | 75x75cm |
| 5. <i>Correa reflexa</i> 'Dusky Bells' | 1.0x1.0m |
| 6. <i>Adenanthos meisneri</i> 'Green carpet' | 1.0x2.5m |
| 7. <i>Grevillia juniperina</i> 'Pink Lady' | 0.3x1.5m |

OVER 2.5m

- | | |
|--|----------|
| 8. <i>Pittosporum tenuifolium</i> 'Screenmaster' | 5.0x3.0m |
| 9. <i>Thuja occidentalis</i> 'Smaragd' | 3.0x1.5m |

INTERNAL FENCE - VERTICAL 90X19 TREATED PINE
PALINGS & 'C' CHANNEL POSTS.

- CONCRETE PATH
- FENCE
- PLANTINGS
- MULCHED AREA

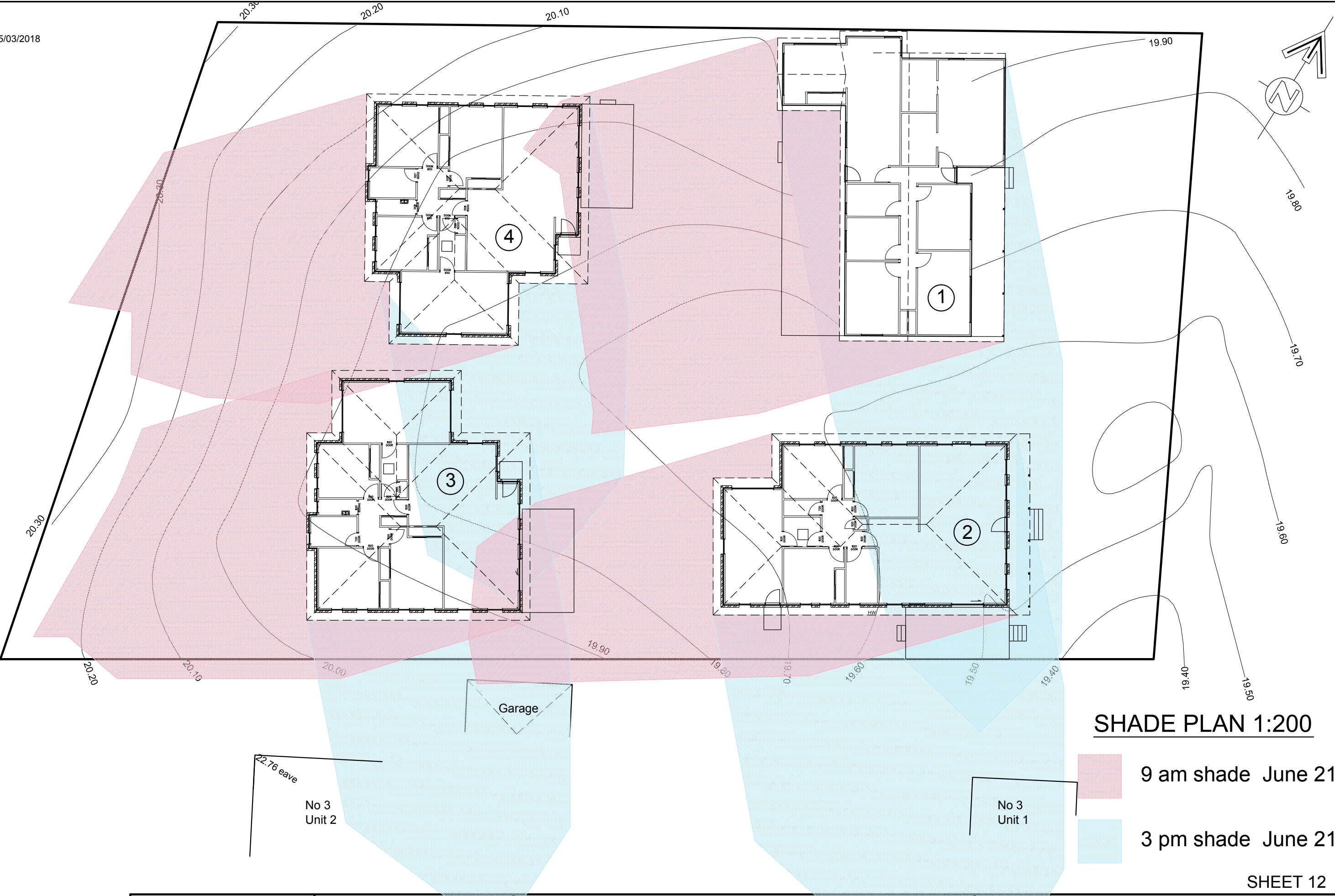


LANDSCAPE PLAN 1:200

SHEET 11

| | | | | |
|---|---|--|---|---|
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| | | | SCALE: 100 (A3) | DRAWN: I. STEVEN CHECKED: MARCH 2018 |

DATE: 15/03/2018



SHEET 12

| | | | |
|---|---|--|---|
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|---|---|--|---|

DATE: 15/03/2018

LEGEND

1. Closet
2. Urinal
3. Sink
4. Basin
5. Bath
6. Shower
7. Trough
8. Washing Machine

PLUMBING LEGEND

— S — S — 100mm Ø PVC SEWER
— SW — SW — 90mm Ø PVC STORM WATER

CONNECT NEW HOUSE SERVICES TO
COUNCIL MAINS TO LOCAL COUNCIL
REQUIREMENTS

WARNING

Beware underground services. Locate all existing services prior to construction. The location shown on plans are indicative only and precise location should be proven on site. No guarantee is given that all services are shown on plan.

SEWER NOTES:-

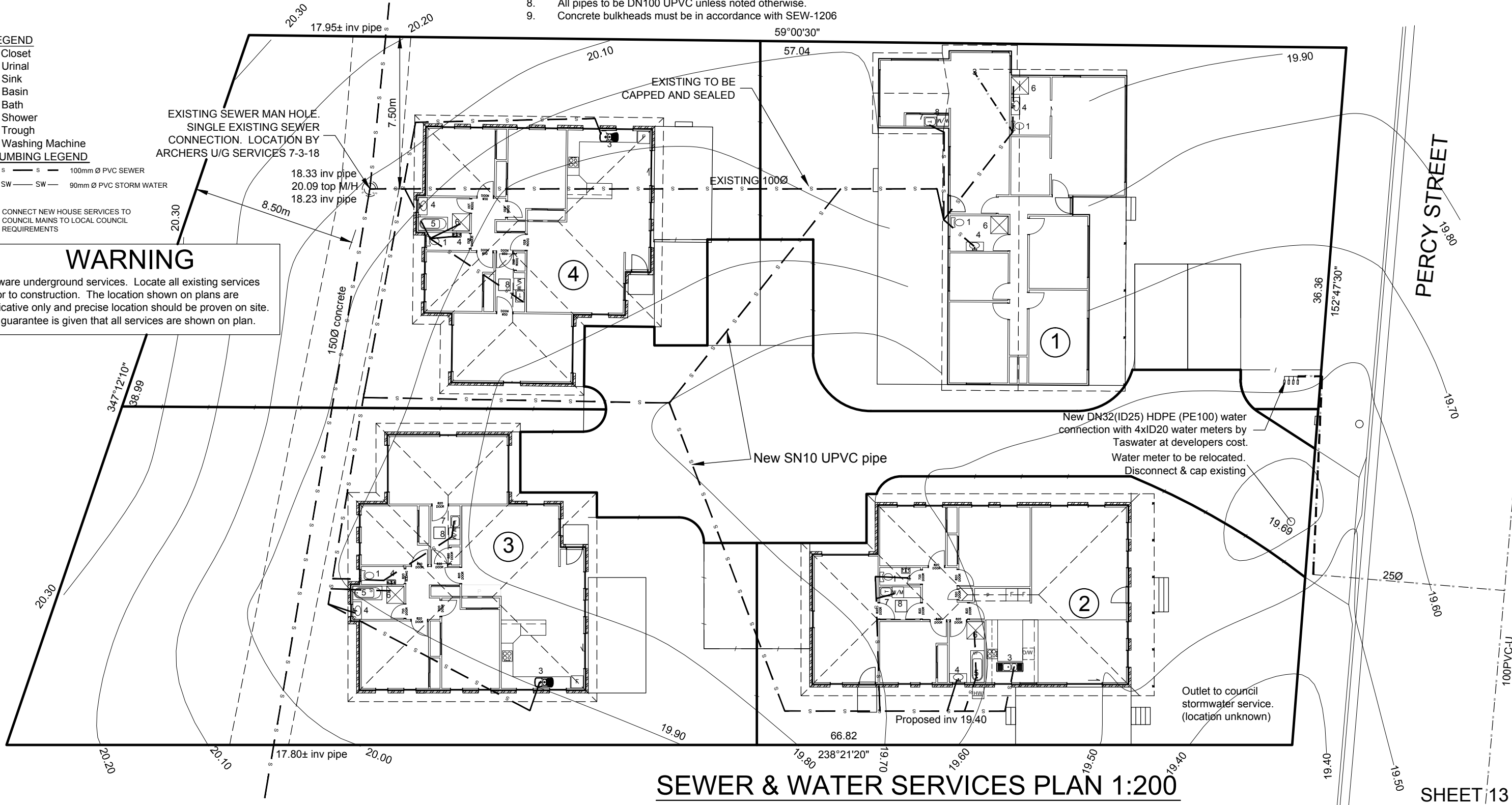
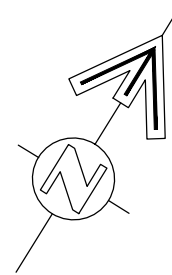
1. Locate all existing services and confirm invert levels prior to trenching for sewer.
2. Works shall be confirmed with "TASWATER" before commencement of construction.
3. All works shall be in accordance with water supply code of Australia WSA 03-2011-3.1 MRWA version 2 (for water), WSA 02-200202.3 MRWA edition V1.0 (for sewer) and Taswaters supplements to these codes, A.S. 3500, the Tasmanian plumbing code, and the local council requirements.
4. Construction shall be in accordance with the following standard drawings:
SEW-1106 (with I.O to surface) sewer connections, SEW-1300-V maintenance holes, DEW-1351-M assemblies-inspection shaft details.
5. Place compacted 20mm F.C.R. backfill to all pipe work at road & driveway crossings & under foot paths.
6. Minimum sewer grade 1:60
7. All connections to sewer to be installed by "Taswater" at developers cost.
8. All pipes to be DN100 UPVC unless noted otherwise.
9. Concrete bulkheads must be in accordance with SEW-1206

NOTES:-

1. Locate all existing services prior to the commencement of construction and advise the engineer of anything that appears not to have been considered in the design.
2. Batters in rock to be not > 8:1 and batters in soils to be not > 1:3 without engineering approval.
3. All work to be in accordance with council requirements, current IPWEA standard drawings & all relevant W. H. & S. standards.
4. All pits to be 450x450 with class "C" grates unless noted otherwise.

NOTE:

REDUNDANT CONNECTIONS TO BE CUT OFF AND SEALED.



SEWER & WATER SERVICES PLAN 1:200

SHEET 13

NOTES:

1. DATUM FOR HEIGHTS IS AHD
2. CONTOUR INTERVAL IS 0.10 METRE
3. BEARINGS ON MGA.

THIS PLAN IS TO BE BUILT IN
ACCORDANCE WITH THE GENERAL
SPECIFICATION AS PREPARED BY
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Building Designers
Land & Engineering Surveyors
57 Mt Rumney Road, Mt Rumney 7170
TELEPHONE 03 6248 5007 OR 6248 5006

ABN No. 53 009 560 865 Lic No 227152675

PROPOSED DEVELOPMENT REF: 17100 DOBIE

AT 7 PERCY STREET, RICHMOND
FOR SCOTT DOBIE

SCALE: 100 (A3)

DATE: MARCH 2018

DRAWN: I. STEVEN
CHECKED:

DATE: 15/03/2018

STORM WATER NOTES:-

1. All works shall be in accordance with A.S. 3500, the Tasmanian plumbing code, water services association of Australia & the local council requirements.
2. Locate existing services and confirm invert levels prior to trenching for storm water and sewer.
3. Works shall be confirmed with the council plumbing department before commencement of construction.
4. Construction shall be in accordance with (but not limited to) the following standard council drawings:
 - 4.1. TSD-G01v1 - Trench reinstatement
 - 4.2. TSD-SW25 v1 - Storm water connections
5. Place compacted 20mm F.C.R. back fill to all pipe work and road & driveway crossings and under foot paths.
6. Minimum storm water grade grade 1:100
7. All connections to storm water at developers cost.
8. All pipes to be DN100 UPVC unless noted otherwise.

NOTES:-

1. Locate all existing services prior to the commencement of construction and advise the engineer of anything that appears not to have been considered in the design.
2. Batters in rock to be not > 8:1 and batters in soils to be not > 1:3 without engineering approval.
3. All work to be in accordance with council requirements, current IPWEA standard drawings & all relevant W. H. & S. standards.
4. All pits to be 450x450 with class "C" grates unless noted otherwise.

NOTE:

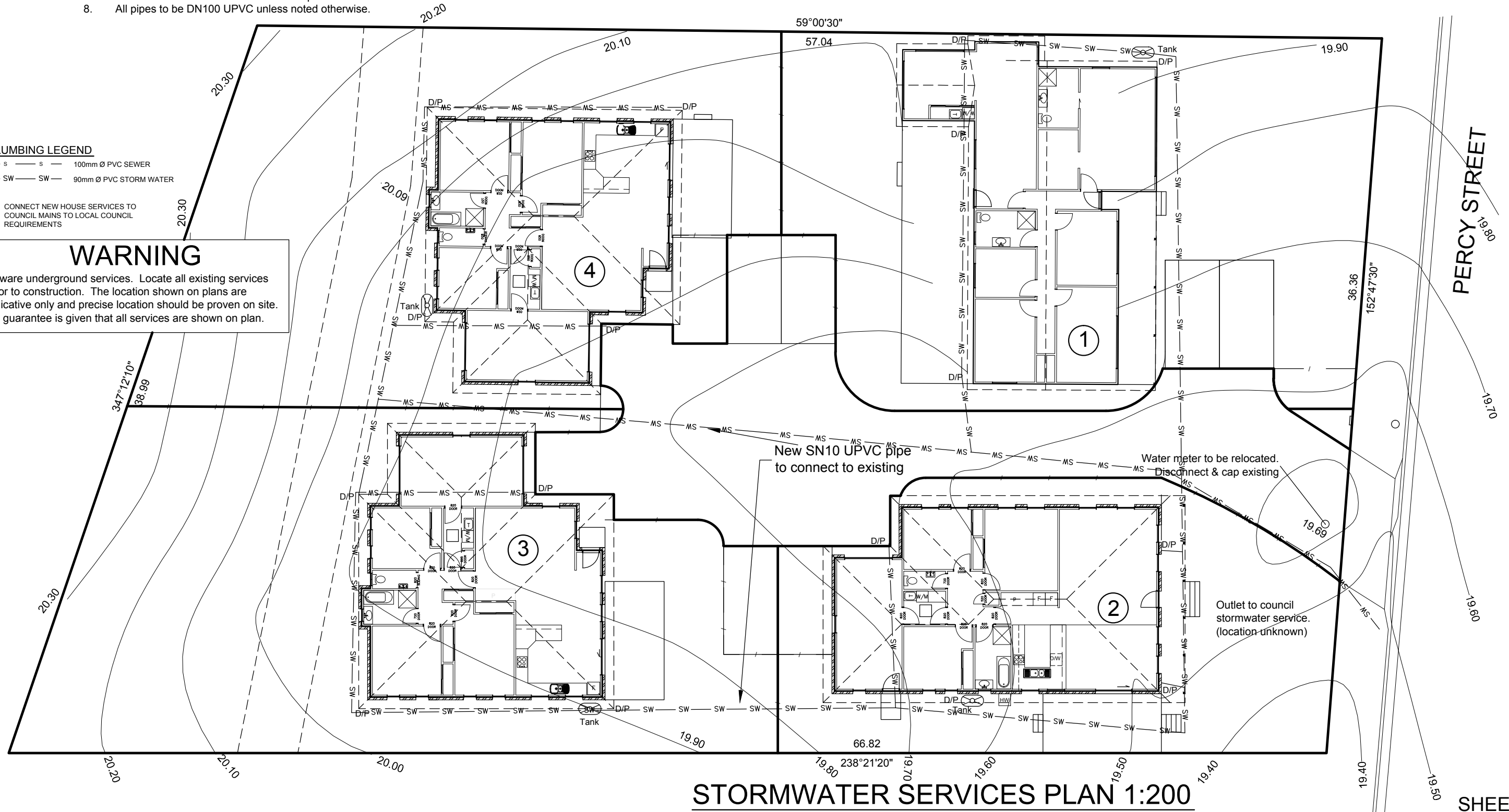
Tanks located in corner of new units to have a capacity of not less than 1000 litres storage and have proprietary slow discharge valve at their base and midway points.

PLUMBING LEGEND
— S — S — 100mm Ø PVC SEWER
— SW — SW — 90mm Ø PVC STORM WATER

CONNECT NEW HOUSE SERVICES TO COUNCIL MAINS TO LOCAL COUNCIL REQUIREMENTS

WARNING

Beware underground services. Locate all existing services prior to construction. The location shown on plans are indicative only and precise location should be proven on site. No guarantee is given that all services are shown on plan.



STORMWATER SERVICES PLAN 1:200

SHEET 14

NOTES:

1. DATUM FOR HEIGHTS IS AHD
2. CONTOUR INTERVAL IS 0.10 METRE
3. BEARINGS ON MGA.

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Building Designers
Land & Engineering Surveyors
57 Mt Rumney Road, Mt Rumney 7170

TELEPHONE 03 6248 5007 OR 6248 5006

ABN No. 53 009 560 865 Lic No 227152675

PROPOSED DEVELOPMENT REF: 17100 DOBIE

AT 7 PERCY STREET, RICHMOND

FOR SCOTT DOBIE

SCALE: 100 (A3)

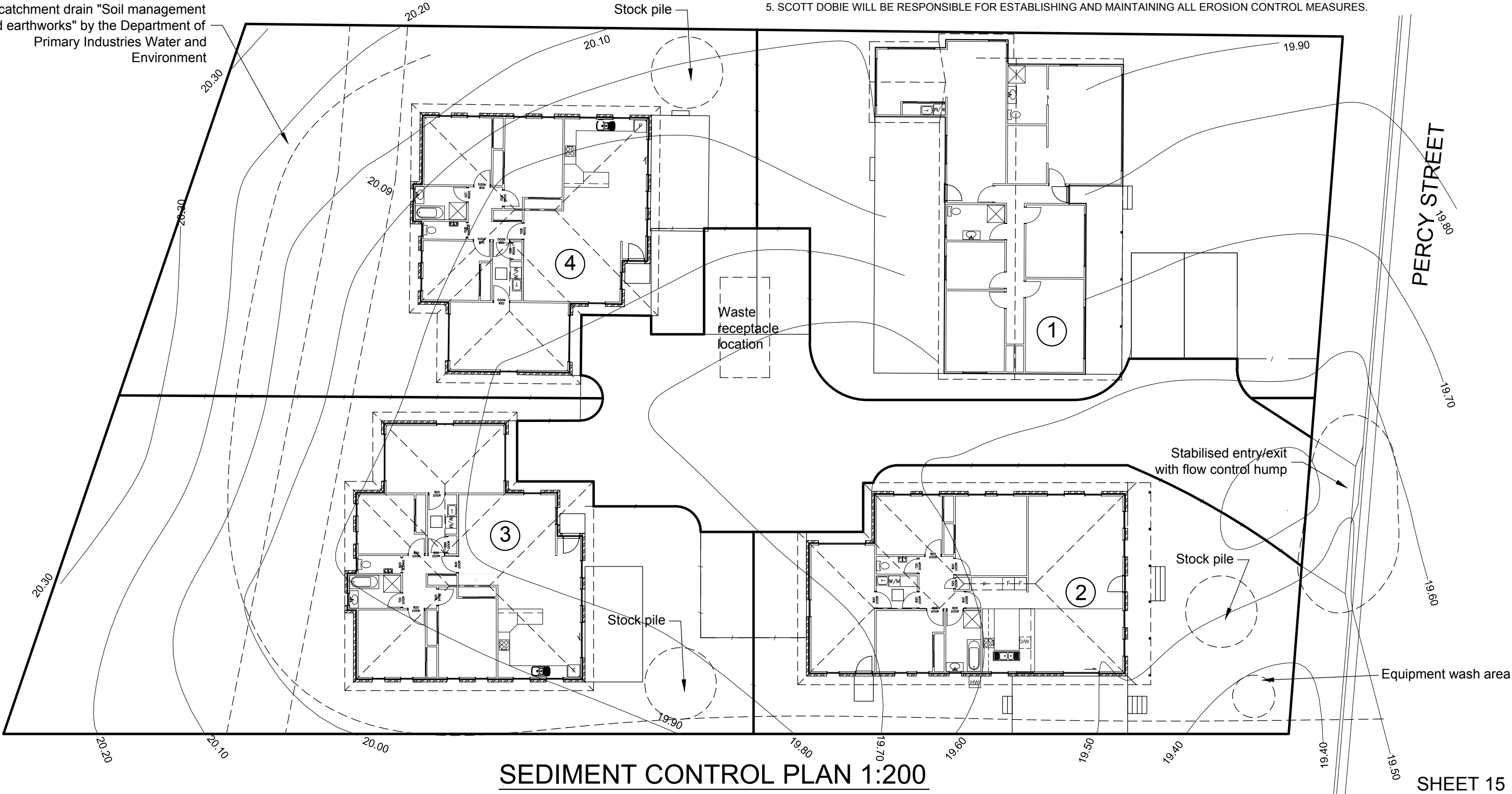
DATE: MARCH 2018

DRAWN: I. STEVEN
CHECKED:

DATE: 15/03/2018

- NOTES:-
1. CONTOURS SHOWN ARE FINAL. BENCH EXCAVATION TO LOWER LEVEL ONLY.DIVERSION DRAIN TO BE 150 DEEP AND CURVED IN SHAPE. EXCAVATED SOIL FROM DRAIN TO BE MOUNDED DOWN SLOPE OF DRAIN. DIVERSION DRAIN TO BE MAINTAINED AND KEPT CLEAR OF VEGETATION AND DEBRIS.
 2. PLACE SOIL FROM EXCAVATION UPHILL OF TRENCHES TO DIVERT WATER. TRENCHES TO BE OPEN FOR THE SHORTEST POSSIBLE TIME. BACKFILL TRENCHES AND COMPACT. REPLACE TOPSOIL. DISPOSE OF EXCESS SOIL IN SUCH A WAY AS TO NOT CREATE A WIND OR WATER EROSION HAZARD. STOCKPILES TO BE LOCATED 5m FROM STORMWATER FLOW PATHS AND ROADS. STOCKPILES TO BE LESS THAN 1.5m HIGH AND COVERED IN WINDY CONDITIONS OR WHEN UN ATTENDED.
 3. EXISTING ACCESS IS CONCRETE DRIVEWAY.
 4. RE VEGETATE SITE AS SOON AS PRACTICABLE.
 5. SCOTT DOBIE WILL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL EROSION CONTROL MEASURES.

Diversion of upslope water & catchment drain "Soil management and earthworks" by the Department of Primary Industries Water and Environment



SEDIMENT CONTROL PLAN 1:200

SHEET 15

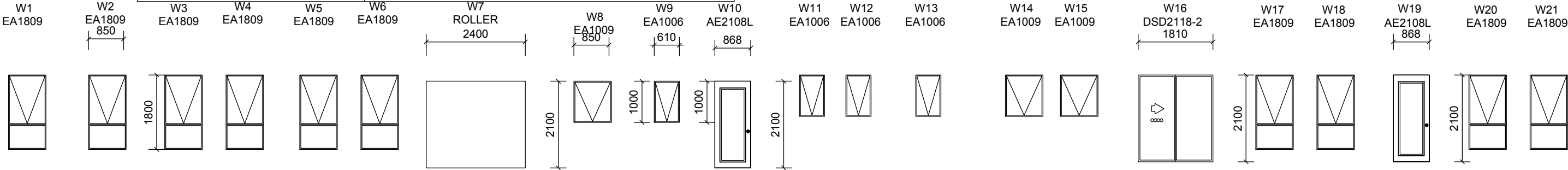
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DATE: 15/03/2018

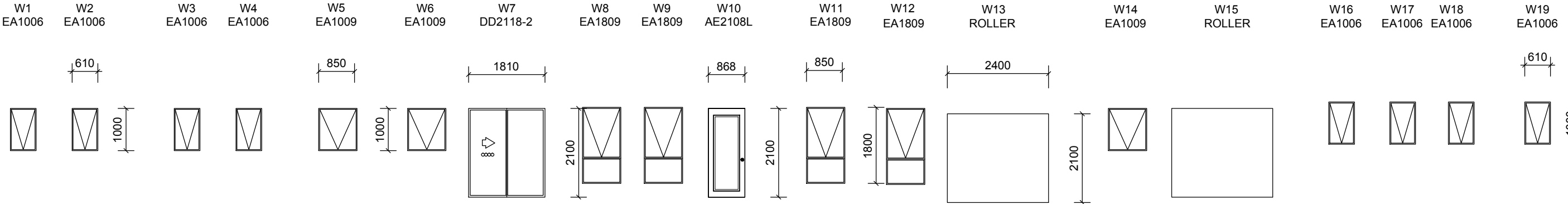
| | |
|--------------------------|--|
| CEILING LINING | 10mm PLASTER BOARD |
| INTERNAL WALL LINING | 10mm PLASTER BOARD TO ALL WALLS |
| FLOORING - GROUND FLOOR | CONCRETE SLAB |
| EXTERNAL CLADDING | BRICKWORK - UNITS 2 & 4 ASUTRAL RICHMOND BRICKWORK - UNIT 3 YARRA BURNLEY |
| WINDOWS | ALUMINIUM DOUBLE GLAZED AWNING; COLOR - WHITE |
| FLY SCREENS | NO |
| FLY SCREEN DOORS | NO |
| ROOFING IRON | COLORBOND CORRUGATED 762 COLOUR - 2 & 4 SHALE GREY UNIT 3 DUNE |
| GUTTERING | COLOUR - AS ABOVE |
| RIDGE CAPPING | COLOUR - AS ABOVE |
| VALLEY FLASHING | COLOUR - AS ABOVE |
| BARGE FLASHING | COLOUR - AS ABOVE |
| EXTERNAL DOOR | TBA |
| INTERNAL DOORS | REDICOTE |
| DOOR FURNITURE | CHROME HANDLES |
| FASCIA & BARGE BOARDS | COLORBOND FASCIA & SOFFIT LINING |
| SKIRTING | 65x12 SPLAYED MDF |
| ARCHITRAVE | 42x12 SPLAYED MDF |
| DOOR JAMB | 110x19 MDF |
| DOOR STOP | 40x12 MDF |
| EXTERNAL WALL INSULATION | R2.0 90mm BATTS |
| CEILING INSULATION | R5.0 BATTS |

NOTE:-
WINDOWS BASED ON DOWEL WINDOWS STANDARD SIZES.
PLEASE ADJUST AS NECESSARY FOR OTHER SUPPLIERS.

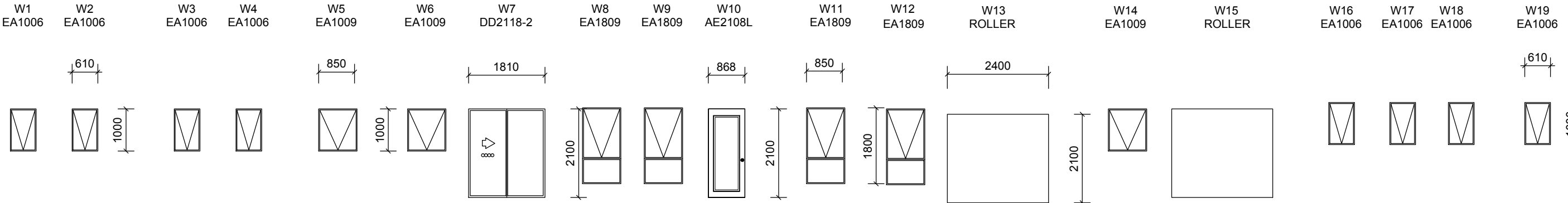
NOTE:-
ALL WINDOWS DOUBLE GLAZED ALUMINIUM AWNING.
ALL WINDOWS OPENING UNLESS OTHERWISE STATED.
135x19 HARDWOOD REVEALS TO ALL WINDOWS AND SLIDING DOORS.
ZONE 7.
WIND LOAD N3



UNIT 2



UNIT 3



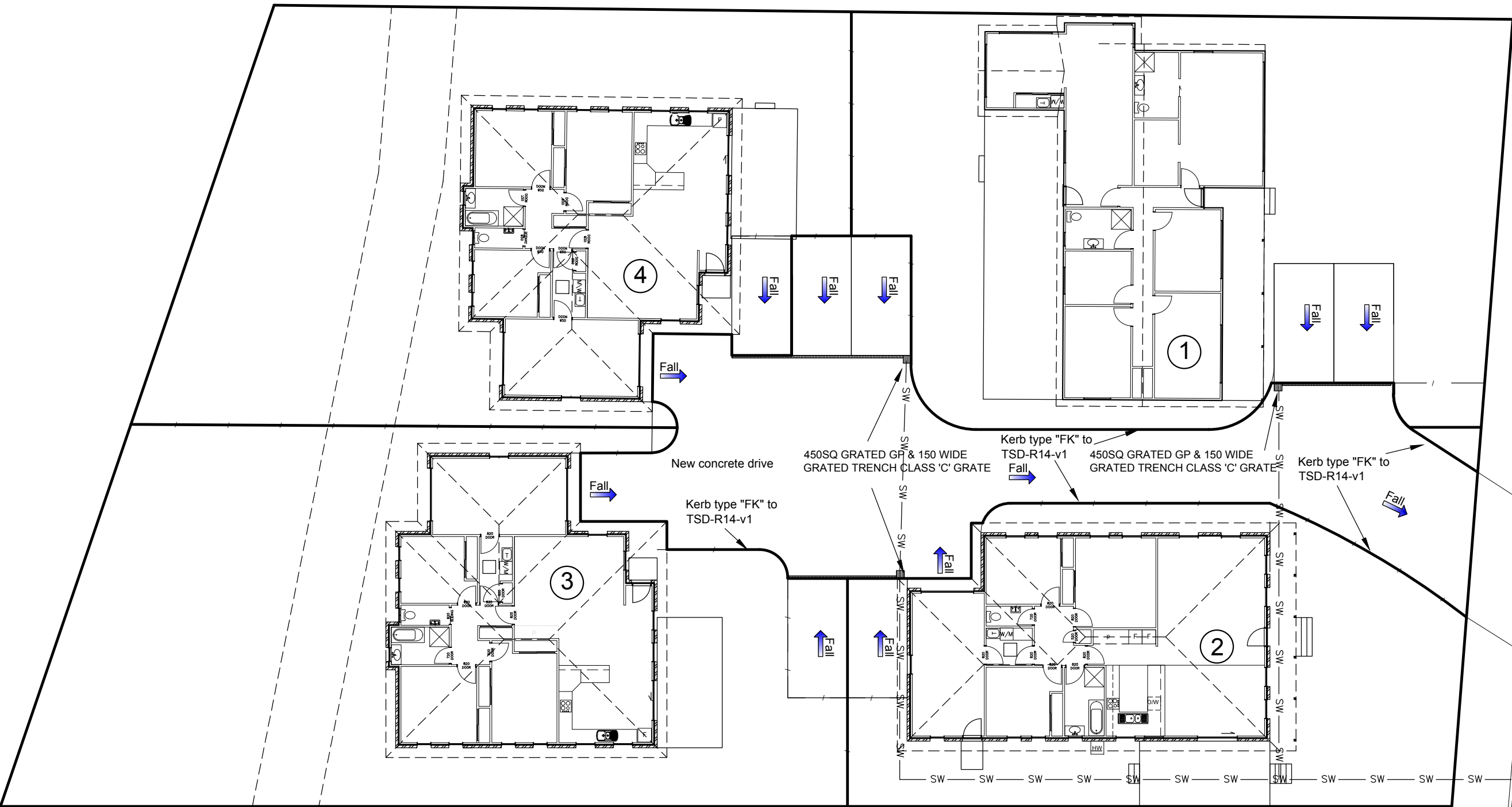
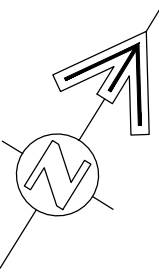
UNIT 4

WINDOW SCHEDULE AND MATERIALS

SHEET 16

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| | | | SCALE: 100 (A3) | DATE: MARCH 2018 |
| | | | DRAWN: I. STEVEN CHECKED: | |

- 300SQUARE GRATED GP CLASS 'C' GRATE
- 450 SQUARE GRATED GP CLASS 'C' GRATE
- 150 WIDE GRATED TRENCH CLASS 'C' GRATE

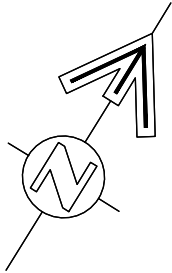


PERCY STREET

DRAINAGE PLAN 1:200

SHEET 17

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| | | | AT 7 PERCY STREET, RICHMOND | | |
| | | | FOR SCOTT DOBIE | | |
| | | | SCALE: 100 (A3) | DATE: MARCH 2018 | DRAWN: I. STEVEN |
| | | | | | CHECKED: |

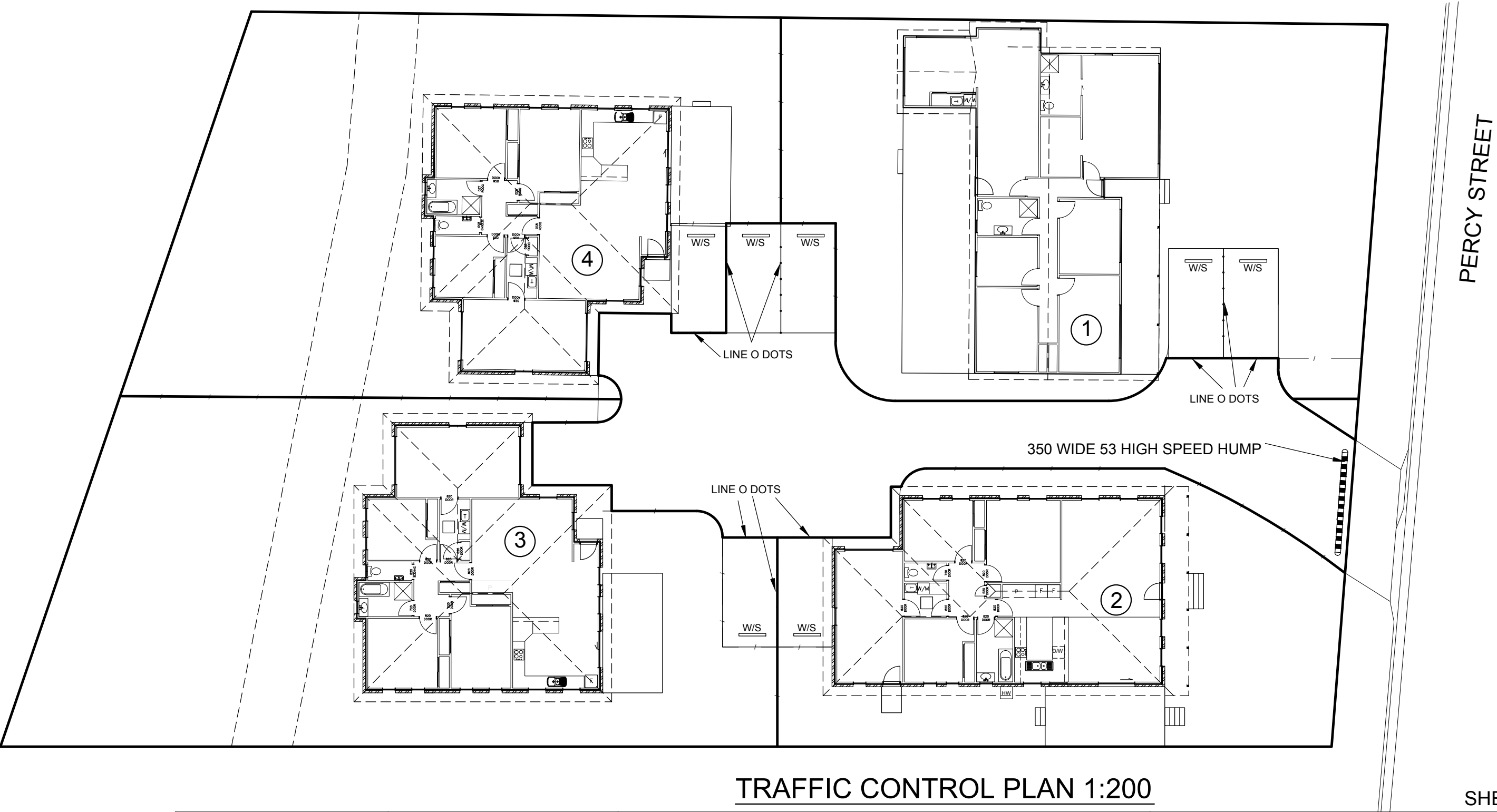


- TRAFFIC CONTROL

100Ø LINE O DOTS

100x160x1700 WHEEL STOP

SPEED HUMP
- W/S



TRAFFIC CONTROL PLAN 1:200

SHEET 18

| | | | | | |
|---|---|--|--|------------------|------------------|
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| | | | AT 7 PERCY STREET, RICHMOND FOR SCOTT DOBIE | | |
| | | | SCALE: 100 (A3) | DATE: MARCH 2018 | DRAWN: I. STEVEN |
| | | | | | CHECKED: |

7 Percy Street, RICHMOND



Site viewed from Percy Street.



View of the adjacent heritage listed property at 9 Percy Street.

11.3.4 CLARENCE DRAFT LOCAL PROVISIONS SCHEDULE – TASMANIAN PLANNING SCHEME

(File No 20-10-22)

EXECUTIVE SUMMARY**PURPOSE**

The purpose of this report is to endorse the draft Local Provisions Schedule (LPS) applying to the Clarence municipal area, for submission to the Tasmanian Planning Commission (Commission).

RELATION TO PLANNING PROVISIONS

The LPS makes up the local component of the future Tasmanian Planning Scheme (TPS). Submitting the LPS to the Commission commences the process of implementing the TPS. When the Clarence LPS is ultimately approved by the Commission, the TPS will replace the current Clarence Interim Planning Scheme 2015 (CIPS2015).

LEGISLATIVE REQUIREMENTS

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

CONSULTATION

The draft LPS, the subject of this report, has not been exhibited. When directed to do so by the Commission the LPS will be exhibited in accordance with the statutory requirements.

RECOMMENDATION:

- A. That Council resolves that it is satisfied that the Clarence Local Provisions Schedule meets the LPS Criteria of prescribed at Section 34 of the Land Use Planning and Approvals Act 1993.
- B. That Council endorses the Clarence Local Provisions Schedule and the Clarence Local Provisions Schedule Supporting Report at Attachments 1 and 2 of the Associated Report for submission to the Tasmanian Planning Commission under Section 35(1) of the Land Use Planning and Approvals Act 1993.
- C. That for the purposes of implementing the future Parking and Sustainable Transport Code, Council adopts the Clarence Parking Plan contained at Section 10.2.1 of the Clarence Local Provisions Schedule Supporting Report.
- D. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

CLARENCE DRAFT LOCAL PROVISIONS SCHEDULE – TASMANIAN PLANNING SCHEME /contd...

ASSOCIATED REPORT**1. BACKGROUND**

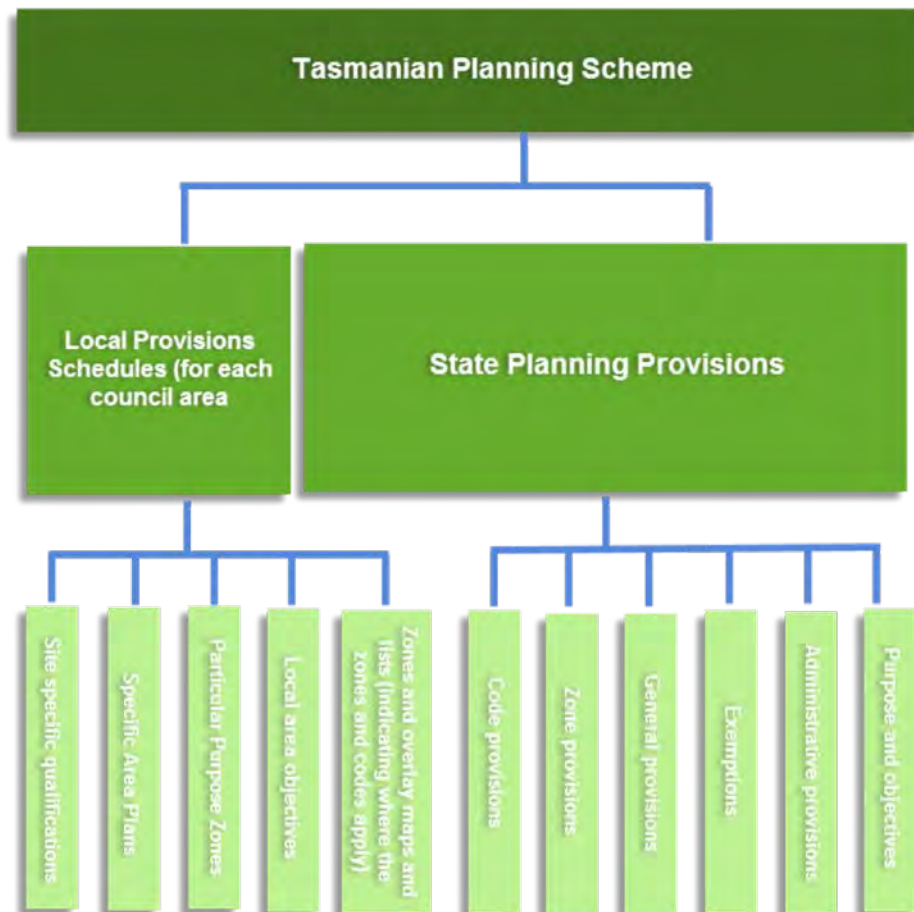
The government's desire to develop the Tasmanian Planning Scheme (TPS) was given effect through amendments to the Land Use Planning and Approvals Act 1993 gazetted on 17 December 2015.

The TPS is made up of 2 components; the State Planning Provisions (SPP's) and the Local Provisions Schedule (LPS) respectively.

The draft SPP's were approved for exhibition on 9 March 2016 and exhibited for a 60 day period between 12 March and 18 May 2016. Following the exhibition period, public hearings were held between July and October 2016.

On 22 February 2017, the Minister for Planning and Local Government finalised the SPP's. The approved SPPs include the administrative, zone and code provisions and the LPS's requirements incorporated in the TPS. The SPP's are the operational provisions of the planning scheme and will apply consistently across the State. Councils cannot amend those provisions.

The following diagram prepared by the Planning Policy Unit provides a useful overview of the TPS composition.



The SPP's also provide for local data to be mapped under a standard code, such as flood prone areas, or local lists, such as local heritage places.

The LPS is the component of the planning scheme, whereby councils apply the available SPP zones to land and can also include localised provisions that substitute, modify or are in addition to specific SPP's through:

- Local Area Objectives;
- Particular Purpose Zones;
- Specific Area Plans; or
- Site Specific Qualifications.

It is not possible to develop a localised Code as part of the LPS.

2. STATUTORY IMPLICATIONS

- 2.1.** Although the SPPs came into effect on 2 March 2017 as part of the Tasmanian Planning Scheme, they have no practical effect until an LPS is in effect in a municipal area.
- 2.2.** When the final Clarence LPS is ultimately approved by the Commission, the TPS will replace the current Clarence Interim Planning Scheme 2015 (CIPS2015).
- 2.3.** The SPP's and Draft LPS are not relevant to the assessment of any proposal required to be determined under the current CIPS2015.

3. STATUTORY REQUIREMENTS

- 3.1.** In preparing and submitting its LPS, Council must demonstrate that the LPS comply with the requirements of LUPAA. Council must determine the most appropriate zones to apply to land from the list of available zones in the SPP's and the application of relevant codes.

Council must also determine whether over-riding local provisions are to be included in Particular Purpose Zones, Specific Area Plans or Site Specific Qualifications.

When including local provisions that substitute, modify or add to the SPP's, Section 32(4) of the Act requires that Council demonstrate that the matter requires a tailored approach and provide justification that:

- the use or development to which the provision relates is of significant social, economic or environmental benefit to the State, region or municipal area; or
- that the area of land has particular environmental, economic, social or spatial qualities that require unique provisions.

3.2. Recent amendments have been made to LUPAA to clarify transitional arrangements for some existing provisions in Interim Planning Schemes that can be carried forward directly to the LPS, without the need for justification under Section 32(4). However, there are strict limitations on the degree to which transitional provisions can be altered. “Permitted alterations” are defined in Schedule 6 of LUPAA and are limited to:

- conforming to the requirements of the SPPs;
- reflecting terminology used in the SPPs;
- the LPS contains provisions that are appropriately numbered and correctly referenced; and
- ensuring the provisions achieve the effect intended.

These transitional arrangements were primarily aimed at transferring existing planning scheme lists such as heritage lists, however, also apply to some existing Specific Area Plans (SAP’s).

The transitional provisions for Clarence are identified in the supporting report (attached) and must be approved by the Minister upon submission of the LPS to the Commission.

3.3. In submitting its LPS to the Commission, Council must demonstrate that it meets the LPS Criteria prescribed in Section 34(2) of LUPAA.

Section 34(2) states:

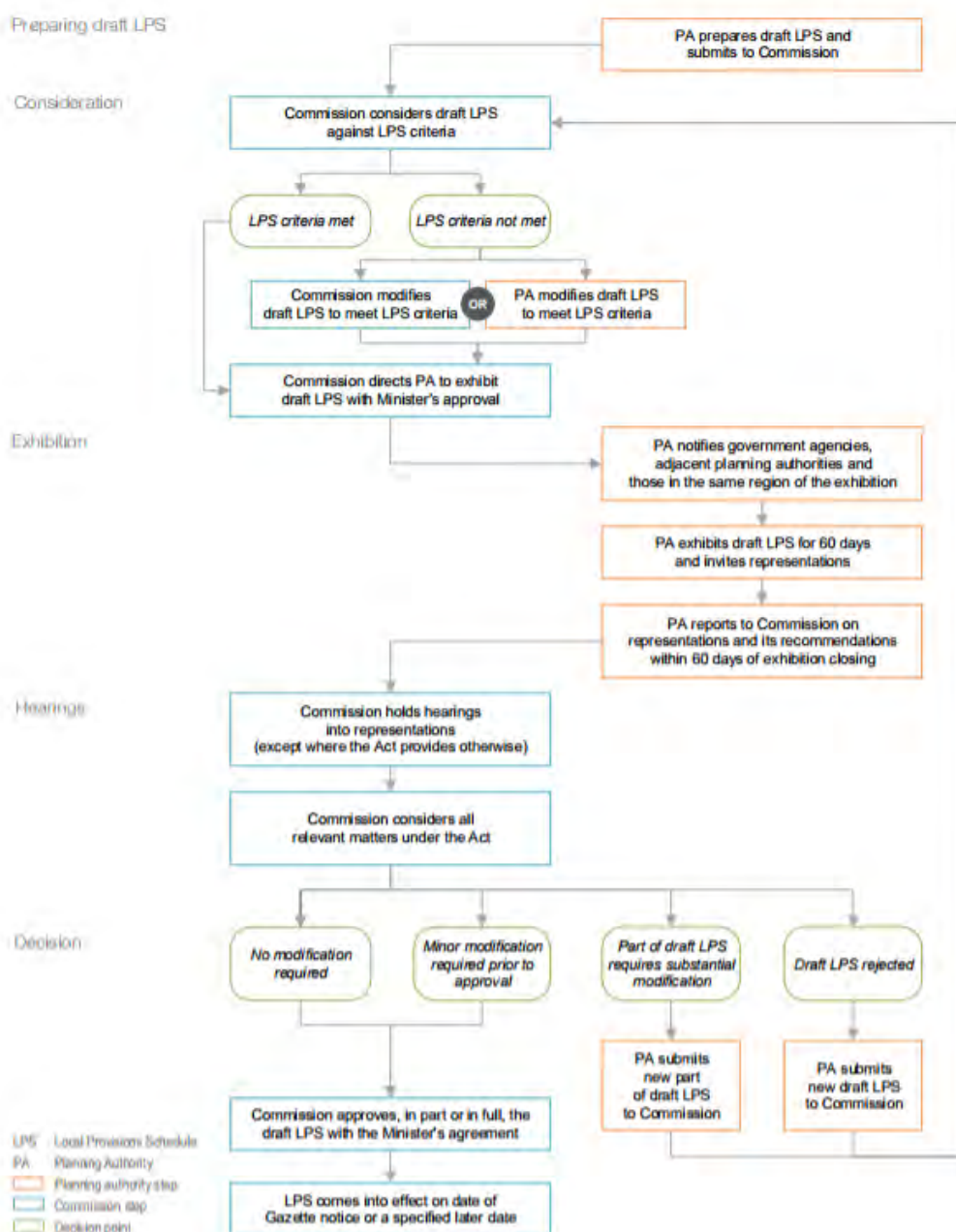
- “(a) contains all the provisions that the SPPs specify must be contained in an LPS; and*
- (b) is in accordance with section 32; and*
- (c) furthers the objectives set out in Schedule 1; and*
- (d) is consistent with each State policy; and*

- (e) *is consistent with the regional land use strategy, if any, for the regional area in which is situated the land to which the relevant planning instrument relates; and*
- (f) *is consistent with the strategic plan, prepared under section 66 of the Local Government Act 1993 , that applies in relation to the land to which the relevant planning instrument relates; and*
- (g) *as far as practicable, is consistent with and co-ordinated with any LPSs that apply to municipal areas that are adjacent to the municipal area to which the relevant planning instrument relates; and*
- (h) *has regard to the safety requirements set out in the standards prescribed under the Gas Pipelines Act 2000”.*

The above requirements are addressed in supporting report attached.

- 3.4.** The draft LPS has not been exhibited. When directed to do so by the Commission, the LPS will be exhibited in accordance with the statutory requirements. A useful overview of the assessment/approval process post submission is outlined in the flowchart prepared by the Commission below.

Draft Local Provisions Schedule Approval Process



4. EXTERNAL REFERRALS

No external referrals were required or undertaken as part of the development of the draft LPS. Following endorsement by Council, the draft LPS will be referred to relevant State agencies.

5. STATE POLICIES AND ACT OBJECTIVES

As detailed in the attached supporting report it is considered that the proposal is consistent with the outcomes of the State Policies and consistent with the objectives of Schedule 1 of LUPAA.

6. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS

The approval of the TPS will change the statutory provisions applicable to development in Clarence. The conversion of the CIPS2015 to applicable elements of the LPS has typically diluted the controls and limited the application of local considerations.

The SPP's do not have any Public Open Space (POS) standards applicable to subdivision assessment. Accordingly, the application of Council's POS Policy, Tracks and Trails and Recreation Strategies (as they relate to subdivision) will rely on the provisions of the Local Government and Miscellaneous Provisions Act 1993 rather than LUPAA (through the Planning Scheme).

In effect this means that whilst it will still be open to Council to require Public Open Space contributions, this will be done at the plan of subdivision sealing stage, rather than at the planning permit stage. Potentially this division of process will cause a level of uncertainty for Council, applicants and other interested parties. This is a weakness in the TPS and has previously been raised with the TPC and Planning Policy Unit.

7. FINANCIAL IMPLICATIONS

Council made an allocation for the development of the Planning Scheme in the 2017-2018 Budget.

Future budgets will need to provide for on-going development of the LPS through miscellaneous amendments and any new strategic projects.

8. CONCLUSION

The proposal for the purpose of this report is to endorse the draft Local Provisions Schedule (LPS) applying to the Clarence municipal area, for submission to the Tasmanian Planning Commission (Commission).

Attachments: 1. Clarence Local Provision Schedule Supporting Report [and associated LPS Ordinance] (Provided Under Separate Cover)
2. LPS Zone, Code, SAP and SSQ Mapping (Provided Under Separate Cover)

Ross Lovell
MANAGER CITY PLANNING

Council now concludes its deliberations as a Planning Authority under the Land Use Planning and Approvals Act, 1993.

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|------------------------------|
| 11.4 CUSTOMER SERVICE |
|------------------------------|

Nil Items.

11.5 ASSET MANAGEMENT

Nil Items.

11.6 FINANCIAL MANAGEMENT

Nil Items.

11.7 GOVERNANCE

11.7.1 QUARTERLY REPORT TO 31 MARCH 2018

(File No 10/02/05)

EXECUTIVE SUMMARY

PURPOSE

To consider the General Manager's Quarterly Report covering the period 1 January to 31 March 2018.

RELATION TO EXISTING POLICY/PLANS

The Report uses as its base the Annual Plan adopted by Council and is consistent with Council's previously adopted Strategic Plan 2016-2026.

LEGISLATIVE REQUIREMENTS

There is no specific legislative requirement associated with regular internal reporting.

CONSULTATION

Not applicable.

FINANCIAL IMPLICATIONS

The Quarterly Report provides details of Council's financial performance for the period.

RECOMMENDATION

That the Quarterly Report to 31 March 2018 be received.

ASSOCIATED REPORT

The Quarterly Report to 31 March 2018 has been provided under separate cover.

Andrew Paul

GENERAL MANAGER

11.7.2 COMMUNITY SUPPORT GRANTS

(File No 09-17-05A)

EXECUTIVE SUMMARY**PURPOSE**

To consider the Community Grants Assessment Panel's recommendations for the allocation of financial assistance in respect of the March 2018 round of Community Support Grants.

RELATION TO EXISTING POLICY/PLANS

- Community Grants Policy; and
- Social Plans including Youth Plan; Cultural Arts Plan; Positive Ageing Plan; Access Plan; Health and Wellbeing Plan; Cultural History Plan; Clarence Events Plan; and Community Safety Plan.

LEGISLATIVE REQUIREMENTS

Nil.

CONSULTATION

Nil.

FINANCIAL IMPLICATIONS

There is an annual budget for the Community Grants Program including the bi-annual Community Support Grants.

RECOMMENDATION:

That Council approves financial grants to community groups and organisations, as detailed in the schedule attached to the Associated Report, amounting to \$18,078.

ASSOCIATED REPORT**1. BACKGROUND**

- 1.1.** A funding round for bi-annual Community Support Grants closed on 15 March 2018 and 20 applications were received (refer to attachment 1 for more detail).
- 1.2.** The Community Grants Assessment Panel reviewed all applications and has recommended 14 projects be funded for varying amounts.

2. REPORT IN DETAIL

2.1. The Community Support Grants program was advertised in Council's Rates News and the Eastern Shore Sun and on Council's website. An email was sent to all non-profit groups listed in the Community Directory.

2.2. Applications for this round of the Community Support Grants closed on 15 March 2018 and a total of 20 applications were received for funding totalling \$27,745. Of those, 11 applications were recommended for full funding, 3 applications for partial funding and 6 were not supported. This amounts to funding of \$18,078 and within the budget allocated.

2.3. Eleven applications were recommended for full funding.

- **Geilston Bay Tennis Club** – Seating and Court Screening (\$1,500)
The funds requested to be used to purchase materials to upgrade the court seating and court screening.
- **Lindisfarne Community Activities Centre** – Computer purchase (\$1,317)
The funds requested will be used to purchase a laptop computer and Office 365.
- **Motor Yacht Club of Tasmania Inc** – Personal flotation Devices for ML Egeria (\$1,470)
The funds requested will be put towards the purchase of 33 flotation devices to meet new standards introduced by Marine and Safety Tasmania.
- **South Arm Peninsula Residents Association Inc** – South Arm Pontoon Rebuild (\$1,500)
The funds requested will be used to purchase materials to restore the floating pontoon at the South Arm Beach in time for the 2018/19 summer season. The work will be completed by volunteers.

- **South Arm Calverton Hall Inc** – Purchase of new folding tables (\$671)

The funds requested will be put towards the purchase of 8 new folding tables for use by groups and individuals who use the hall.

- **The Clarendon Vale Primary School Association** – 12 o'clock Rock, Wrap and Roll (\$1,500)

The funds requested will be put towards the hire of a DJ and dance instructor with the aim of the pilot program to facilitate a school disco per school term, along with a healthy communal luncheon.

- **Risdon Vale After School Dance Program (auspiced by Risdon Vale Neighbourhood Centre)** – Community Acrobatic Program (\$992)

The funding requested will be put towards the purchase of 2 EZIFlex mats to provide a community acrobatics program for young people and adults.

- **Eastern Shore Meals on Wheels** – New Meal Eskis (\$1,500)

The funds requested will be put towards the purchase of new eskis to use to assist with the delivery of approximately 20,000 meals per year to residents on the Eastern Shore.

Lindisfarne Memorial Tennis Club – Book-A-Court (\$1,500)

The funds requested will be put towards the cost of the installation of an online reservation system for court bookings known as “Book-A-Court” to improve security and provide greater flexibility for the use of the courts by the community.

- **University of the Third Age Clarence Inc** – 25th Anniversary Commemorative Publication (\$1,500)

The funds requested will go towards the printing costs to publish a 64 page commemorative booklet of poetry and prose compositions by members of U3A Clarence to mark the 25th anniversary of the organisation.

- **Lindisfarne Sailing Club** – Pacer Boat Covers (\$1,500)

The funds requested will be put towards the purchase of the boat covers for the Pacer sail boats used for learn to sail courses.

2.4. Three applications were recommended for partial funding:

- **Dominoes Basketball Club** – Uniform and Marquee with Logo

The Dominoes Basketball Club requested \$1,500 to purchase uniforms and a marquee with club logo. Uniforms are ineligible under the Community Support Grants criteria but the Grants Assessment Panel agreed to recommend partial funding of \$1,000 towards the purchase of the marquee with club logo.

- **Bellerive Primary School Association** – 175 year celebrations

The Bellerive Primary School Association requested \$1,500 to purchase 550 medallions to be distributed to students at the school. The Community Support Grants Assessment Panel agreed with the importance of marking the anniversary, however, the distribution of medallions did not represent a need or benefit for the community and therefore did not see this application as a higher priority against the other applicants. The panel agreed to make a recommendation to contribute part funding of \$708 towards the project.

- **Tangara Recreation Trails Inc** – Connecting the Tangara Trail (website upgrade)

The Tangara Recreation Trails Inc requested \$1,500 to commission a web designer to update their website (\$1,000), to purchase a 10 year licence (\$420) and purchase consumables (\$80). The Community Support grants assessment panel appreciated the benefits of the Tangara Trails website and supported the update of the website and the licence fees. However, consumables are not eligible for funding under the grants criteria. The panel agreed to make a recommendation to contribute part funding of \$1,420 towards this project.

2.5. Six applications were not supported:

- **Risdon Vale Neighbourhood Centre – Event Marquees**

The Risdon Vale Neighbourhood Centre requested \$1,500 to purchase 3 Marquees to be used at events. While supportive of the need for marquees, the Risdon Vale Neighbourhood Centre were successful in receiving a Community Support Grant in the September 2017 round and are therefore not eligible to apply for a further grant in this financial year.

- **Onesiumus Foundation – Intern Program**

The Onesiumus Foundation requested \$1,500 to purchase uniforms (\$1,000), business cards (\$400) and award recognition (\$100) for university students and graduates to gain experience in criminology related studies by volunteering for family engagement activities in Risdon Prison. While supportive of the projects, funding for uniforms and consumables are not eligible under the Community Support Grant criteria. The Community Support Grants Assessment Panel questioned whether this should be funded by the Justice Department or the University and not in the realm of Local Government to support.

- **Bayview Secondary College Association Inc – Clarence Plains Harvest Performance Video**

The Bayview Secondary College Association requested \$1,500 to hire a videographer to document student performances at the Clarence Palins Harvest Festival. The Community Support Grants Assessment Panel considered this application ineligible against the grant criteria, as the performance at Clarence Plains Festival occurred prior to funding being approved and it was considered a low priority against the other applications.

- **Howrah Men's Shed** – Hi-Vis Long Sleeved Polo Shirts

The Howrah Men's Shed committee have requested \$1,500 to purchase Hi-Vis long sleeve polo shirts monogrammed with Howrah Men's Shed logo. While supportive of the projects at the shed, the monogrammed shirts, which the committee mentioned are to be mandated over time, were considered uniforms which are not eligible under the Community Support Grant criteria.

- **Tasmanian Wildlife Rehabilitation Council** – Echidna Training Workshop

The Tasmanian Wildlife Rehabilitation Council requested \$795 to pay for the airfare, accommodation and car hire for a recognised wildlife researcher to present a workshop on caring for injured and orphaned echidnas for novice, intermediate and advanced carers as well as veterinary nurses and wildlife rescuers. While supportive of the project, the Community Support Grants Assessment Panel could not determine the benefit to the Clarence community and was therefore considered a low priority against the other applications.

- **Sunshine Tennis Club** – Defibrillator Purchase

The Sunshine Tennis Club requested \$1,500 to purchase a defibrillator to be located in the club house. There is currently a defibrillator available at the Howrah Community Centre which is open from 9am – 9pm daily. The tennis club play night tennis until 11pm. Although the proposal does meet the criteria the Grant Assessment Panel agreed that this application was considered a low priority against the other applications as a defibrillator is readily available at less than 100m away.

3. CONSULTATION

3.1. Community Consultation

Nil.

3.2. State/Local Government Protocol

Nil.

3.3. Other

Nil.

4. STRATEGIC PLAN/POLICY IMPLICATIONS

4.1. The Community Support Grants aim to support groups for amounts of up to \$1,500 for one-off activities or projects that benefit the Clarence Community.

4.2. The Grants Program is a strategic investment tool, assisting the community to meet and respond to Council's priorities and vision as outlined in the Strategic Plan 2016-2026. It enables Council to contribute to the community by:

- supporting local communities to build on existing capacity and progress their health and well-being;
- supporting local communities to sustainably manage and enhance the natural and built environments of the City;
- supporting local communities to work together for a vibrant, prosperous and sustainable city; and
- encouraging engagement and participation in the community.

4.3. It operates in the context of other related Council Policies, Plans and activities, for example: Youth Plan; Cultural Arts Plan; Positive Ageing Plan; Cultural History Plan; Access Plan; Health and Wellbeing Plan; Clarence Events Plan and Community Safety Plan.

5. EXTERNAL IMPACTS

Nil.

6. RISK AND LEGAL IMPLICATIONS

Nil.

7. FINANCIAL IMPLICATIONS

The Community Support Grant is a bi-annual grant and a budget of \$35,000 has been approved for the 2017/18 financial year for distribution in the September 2017 and March 2018 rounds. Funding of \$18,078 is available for distribution in this round and the total recommended by the panel is \$18,078.

8. ANY OTHER UNIQUE ISSUES

Nil.

9. CONCLUSION

The Community Grants Panel has assessed 20 applications and 14 are recommended to Council for approval for the amounts indicated as per the attached schedule.

Attachments: 1. Community Support Grants March 2018 Schedule (8)

Andrew Paul
GENERAL MANAGER

Community Support Grants – March 2018**Applications Supported for Consideration****Applicant:** Geilston Bay Tennis Club**Project:** Seating and Court Screening**Funds Requested:** \$1,500.00

Project Description: The current seating is very old and rough, uncomfortable to sit on and look terrible. The aim of the project is to remove the old seats and replacing them with long life mod wood. It is planned to have bench seating in all 6 courts to provide players somewhere to sit. The current screening is in a bad state of repair and needs to be replaced. The work will be carried out by club member volunteers.

Funds are requested to purchase materials for seating and screening.

Comments: Meets the criteria. Aligns with Council's Health and Wellbeing Plan. This application is supported by the Grants Assessment Panel as there is a social benefit for the community.

Recommendation: The application is supported for the amount of \$1,500.00.

Applicant: Lindisfarne Community Activities Centre**Project:** Computer Purchase**Funds Requested:** \$1,317.00

Project Description: The grant would allow the Lindisfarne Community Activities Centre to purchase a computer and software to assist with the accounts keeping, meeting minutes and for marketing and communication of activities and events within the centre to extend its reach to more people and better inform its users. The centre has an office manager to oversee the day to day running of the centre. Without a computer these duties are not able to be performed effectively or efficiently.

The purchase of a computer is vital to organise and promote such events including the annual Christmas Lights and Carols in Beltana Park and the bi-annual Community Expo.

Funds are requested to purchase a new computer and Office 365.

Comments: Meets the criteria and aligns with Council's Health and Wellbeing Plan by promoting programs and activities at the centre which will provide a community benefit.

Recommendation: This application is supported for the amount of \$1,317.00.

Applicant: Motor Yacht Club of Tasmania**Project:** Flotation Devices for ML Egeria**Funds Requested:** \$1,470.00

Project Description: The ML Egeria is made available for charter by any community group or organisation. In order to comply with Marine and Safety Tasmania (MAST) survey requirements the Egeria must carry safety equipment which meets current standards. Part of these standards is a requirement to have sufficient personal flotation devices (PFDs/life jackets) for each passenger and crew on board. New standards have been introduced by MAST which comes into effect shortly, which will necessitate the replacement of the current PFDs on board with new ones that comply. Funds are requested to purchase 21 PFDs at a cost of \$70 each.

Comments: Meets the criteria and aligns with Council's Health and Wellbeing Plan and Community Safety Plan and provides a benefit to the community. This application is supported by the Grants Assessment Panel.

Recommendation: This application is supported for the amount of \$1,470.00.

| | |
|---|---|
| Applicant: | Dominoes Basketball Club. |
| Project: | Uniforms and Marquee with Logo |
| Funds Requested: | \$1,500.00 |
| <p>Project Description: The Club has requested funds to purchase new uniforms to cater for teams of all age groups (\$500) and a covered pergola/marquee with club logo (\$1,000) to run BBQ's and for fundraising purposes and present the basketball club to the community professionally.</p> <p>Comments: Partly meets the criteria. This application is supported by the Grant Assessment Panel for the purchase of the marquee with club logo only. Uniforms are on the list of items that will not be funded under the Grants Guidelines and therefore cannot be supported.</p> <p>Recommendation: This application is supported for the partial amount of \$1,000.00.</p> | |
| Applicant: | Bellerive Primary School Association |
| Project: | 175 Year Celebrations |
| Funds Requested: | \$1,500.00 |
| <p>Project Description: Bellerive Primary School will celebrate its 175th anniversary in 2018. The school is having extensive activities involving over 400 students from prep to grade 6 including history books, year books, class projects, art works, reunions, time capsule opening and reset. Funds are requested to purchase medallions which will be handed out to each student.</p> <p>Comments: Meets the criteria. Aligns with Council's History Plan. Whilst supportive of the school celebrating its 175th anniversary the Grants Assessment Panel considered the giving of medallions a low priority against the other applications and questioned the benefit they will bring to the community. There was support for the project but not to the full amount; therefore this application is only partially supported to the value of \$700.00.</p> <p>Recommendation: This application is supported for the partial amount of \$708.00.</p> | |
| Applicant: | South Arm Peninsula Residents Association Inc. |
| Project: | South Arm Pontoon Rebuild |
| Funds Requested: | \$1,500.00 |
| <p>Project Description: This project aims to restore a much-loved and used community asset to the thriving coastal community of South Arm. The pontoon at South Arm beach has been a hugely popular summer activity for both locals and visitors alike for decades. A new and improved pontoon will continue this beachside tradition.</p> <p>The pontoon also provides a much safer alternative than the jetty for kids (and adults) to jump from given the boat traffic into and out of the adjacent ramp.</p> <p>Good swimming skills are important for those who live in a coastal community. For over 23, the swim pontoon has been located just offshore of the main South Arm beach in Half Moon Bay and used by children and adults as a safe target for swimming in medium depth water. It was a South Arm landmark that has been damaged in storms in recent years and is no longer serviceable. Its restoration and return to service is considered important to, and by, the community.</p> <p>Funds are requested to purchase materials and volunteer labour will see materials, parts and specialist services procured to rebuild/repair the pontoon and return it to the water. This will include provision of plastic flotation components, plastic welding, an access ladder, decking and mooring fittings. There is an extensive network amongst the residents and community spirit which is driving this project.</p> <p>The aim is to have the pontoon back on the water ahead of the summer 2018/19 swimming season to be enjoyed by locals and visitors.</p> | |

Comments: Meets the criteria. Aligns with Council's Health and Wellbeing Plan. This application is supported by the Grants Assessment Panel as it encourages participation of water sports and activities in the South Arm community.

Recommendation: This application is supported for the amount of \$1,500.00.

Applicant: South Arm Calverton Hall Inc.

Project: Purchase of Folding Tables

Funds Requested: \$671.00

Project Description: The Hall committee have requested funds to purchase 8 folding tables to replace the existing tables which are over 50 years old and damaged. The tables will be available for groups and individuals who use the hall for a variety of functions.

Comments: Meets the criteria. Aligns with Council's Health and Wellbeing Plan, Positive Ageing Plan and Access Plan. The grant assessment panel supported the purchasing of tables as they will be a benefit to the active community of South Arm.

Recommendation: This application is supported for the amount of \$671.00.

Applicant: The Clarendon Vale Primary School Association

Project: 12 o'clock Rock, Wrap and Roll

Funds Requested: \$1,500.00

Project Description: The 12 o'clock rock, wrap and roll pilot program developed as a result of the recent success of the Clarendon Vale Primary School's 40th Birthday celebration and disco that was featured as part of the event. The aim is to facilitate 1 whole of school disco each school term. The program will provide a healthy communal luncheon with fresh salad wraps and drinking water before each disco. The project will also provide a casually employed dance/drama facilitator to work alongside students and teaching staff to teach dance steps for the discos. The program will increase children's confidence, socialisation skills and self-esteem.

Funds are requested to go towards the hire of a DJ for each disco and to engage a dance/drama facilitator.

Comments: Meets the criteria. Aligns with Council's Health and Wellbeing Plan. This application is supported by the Grant Assessment Panel as it will increase the health and wellbeing and social outcomes of the Clarendon Vale school community.

Recommendation: This application is conditionally supported for the amount of \$1,500.00.

Applicant: Risdon Vale After School Dance Program (auspiced by Risdon Vale Neighbourhood Centre)

Project: Community Acrobatic Program

Funds Requested: \$992.00

Project Description: The Dance Program group is requesting funds to purchase EZI-Flex mats to provide a community acrobatics program. This will help develop acrobatic techniques through drills and strength training for young people and adults and also work towards developmental, social and personal outcomes. The Risdon Vale Neighbourhood Centre and Risdon Vale Primary School will partner to promote this training.

Comments: Meets the criteria and aligns with Council's Health and Wellbeing Plan. The application is supported by the Grants Assessment Panel as it will increase personal development and confidence, reduce social isolation and provide a healthy learning activity in Risdon Vale.

Recommendation: This application is supported for the partial amount of \$992.00.

| | |
|--|---|
| Applicant: | Eastern Shore Meals on Wheels |
| Project: | Purchasing New Meal Eskis |
| Funds Requested: | \$1,500.00 |
| <p>Project Description: The current eskis are about 8 years old and worse for wear. Funds are requested to put towards the purchase of 16 eskis and freezer sheets at approximately \$90 - \$100 each for the size required to comfortably pack main meals, soups, sweets and sandwiches for recipients.</p> <p>Eastern Shore Meals on Wheels volunteers deliver approximately 20,000 meals to people who are unable for various reasons to prepare their own meals. Meals are collected from Strathaven Nursing Home at Berriedale each morning, delivers them to the Meals on Wheels office in Mornington where volunteers go in pairs to deliver them to recipients in Mornington, Warrane, Geilston Bay, Rokeby, Risdon Vale, Roches Beach, Tranmere, Rosny, Howrah, Midway Point and Sorell. Eskis are then returned to Berriedale for the next day's orders.</p> <p>Comments: Meets the criteria and aligns with Positive Ageing Plan, Access Plan and Health and Wellbeing Plan. This application is supported by the Grant Assessment Panel as it provides the necessary equipment required for the volunteers to deliver meals to recipients.</p> <p>Recommendation: This application is conditionally supported for the amount of \$1,500.00.</p> | |
| Applicant: | Lindisfarne Memorial Tennis Club |
| Project: | Book-A-Court |
| Funds Requested: | \$1,500.00 |
| <p>Project Description: The club intends to install an online reservation system for court bookings known as "Book-A-Court". Book-A-Court is an online court booking and payment platform that connects with pin-pad technology placed at the club's gate. It is easy to use for club members and the public. The installation will reduce administration, increase revenue, provide a greater ability to promote the use of courts, attract members of the Clarence community, improve security and provide greater flexibility. Funds are requested to go towards equipment and installation costs.</p> <p>Comments: Meets the criteria and aligns with Council's Health and Wellbeing Plan. This application is supported by the Grant Assessment Panel as it will increase the health and wellbeing and social outcomes of the Clarence community.</p> <p>Recommendation: This application is supported for the amount of \$1,500.00.</p> | |
| Applicant: | Tangara Recreational Trails Inc. |
| Project: | Connecting the Tangara Trail (Website Upgrade) |
| Funds Requested: | \$1,500.00 |
| <p>Project Description: Funds are requested to commission a web designer to update the style and content - cost approximately \$1,000, purchase a 10 year licence on our domain name and registration - cost approximately \$420 and consumables - \$80.</p> <p>The Tangara Trail website was first established in 2012 and it is now in urgent need of an upgrade. Consequently, we are seeking resources to:</p> <ul style="list-style-type: none"> - refresh the website to align it more strongly with CCC online, new trail signage and Facebook site; - provide better information to our users on trail locations (current maps), events and activities; and - include important safety information such as trail use etiquette and what to do in an emergency. | |

This upgrade is important as it will not only enable us to communicate better with all trail users to promote the Tangara trail directly, but will also allow us to promote CCC and the numerous recreational amenities our municipality has to offer, for example; the natural assets offered by the various reserves along the trails (eg the Mortimer Bay wildlife reserve, Calvert's Lagoon Conservation Area, the Ralphs Bay RAMSAR site, Goats Bluff Lookout, Seven/Five Mile Beach Reserves) and the picnic spots and other amenities along the trails (eg Acton Court Hub, car parking, horse float parking, water, toilets, shops, fuel etc).

Comments: Meets the criteria and aligns with Council's Health and Wellbeing Plan and Tracks and Trails Action Plan for 2015-2020. This application is support by the Grant Assessment Panel for the computer upgrade and 10 year licence. Consumables are not eligible under the Grants criteria and were not supported.

Recommendation: This application is supported for the partial amount of \$1,420.00.

Applicant: University of the Third Age Clarence Inc.

Project: 25th Anniversary Commemorative Publication

Funds Requested: \$1,500.00

Project Description: This project is to prepare and publish a 4 page commemorative booklet of poetry and prose compositions contributed by members of U3A to mark the 25th anniversary of the organisation. A historical timeline and photographs will also be included. The booklet will be launched at the celebratory events for members and guests in October. Funds will be used for publication costs.

Comments: Meets the criteria. Aligns with Council's Health and Wellbeing Plan, Positive Ageing Plan and Access Plan. This application is supported by the Grant Assessment Panel as it will provide social outcomes of the U3A community.

Recommendation: This application is supported for the amount of \$1,500.00.

Applicant: Lindisfarne Sailing Club

Project: Pacer Boat Covers

Funds Requested: \$1,500.00

Project Description: The Lindisfarne Sailing Club's intention is to use the grant funds to commission the making of covers for the Pacer sail boats to protect them from the elements when not in use.

Comments: Meets the criteria. The grant assessment panel discussed and agreed to the benefits of the "learn to sail" program and therefore fully supported this application.

Recommendation: This application is supported for the amount of \$1,500.00.

14 Applications Supported

Total \$18,078.00

Community Support Grants – March 2018

Applications Not Supported For Consideration

Applicant: Risdon Vale Neighbourhood Centre

Project: Event Marquees

Funds Requested: \$1,500.00

Project Description: Purchase of 3 marquees to be used at the Risdon Vale Neighbourhood Centre and other events they attend. The marquees will provide shade and cover from the weather for staff, volunteers and participants. The marquees will also be a promotional tool as they will have a detachable printed logo and contact details to promote activities and programs at the centre.

Comments: While supportive of the request the Risdon Vale Neighbourhood Centre was successful in receiving a Community Support Grant in the September 2017 round and therefore ineligible in this round. The guidelines allow for one grant per financial year.

Recommendation: This application is not supported by the Grants Assessment Panel.

Applicant: Onesiumus Foundation

Project: Intern Program

Funds Requested: \$1,500.00

Project Description: Onesimus is developing an intern program for University Students and graduates to gain experience in criminology related studies by volunteering for Family Engagement activities in Risdon Prison. The program envisages interns working as project officers and developing new initiatives, conducting research and supporting existing programs.

Interns will gain a broad understanding of the Justice System in Tasmania by participating in information sessions and training opportunities with Government and Not for Profit organisations involved in the Justice system.

Funds are requested to purchase uniforms (\$1,000), business cards (\$400) and awards (\$100).

Comments: Whilst the panel was supportive of the benefits of the intern program, funding for uniforms and consumables are not eligible under the Community Support Grant criteria. The Community Support Grants Assessment Panel questioned whether this should be funded by the Justice Department or the University and not in the realm of Local Government to support.

Recommendation: This application is not supported by the Grants Assessment Panel.

Applicant: Bayview Secondary College Association

Project: Clarence Plains Harvest Performance Video

Funds Requested: \$1,500.00

Project Description: The project aims to provide a rich experience for young people in the areas of Rokeby, Clarendon Vale, Lauderdale and surrounds in the areas of dance and performing art. Over the years Bayview Secondary College's commitment to including the broader community and creating equity and access to performing arts has expanded in scope and popularity.

This year a video documentation of the project is being added to create a permanent record of the event. Footage will include that from school workshops, the school surrounds and communities, dance interactions, rehearsals, National Youth week performance and the Clarence Plains Festival. This will be produced by a professional videographer and made available to all involved.

Funds are requested to engage a professional videographer to the project.

Comments: Does not meet the eligibility criteria. This project has already commenced and will have been completed prior to funding being approved. Projects or activities commencing prior to funding being approved is on the list of items that will not be funded under the Grant Guidelines.

Recommendation: This application is not supported by the Grants Assessment Panel.

Applicant: Howrah Men's Shed

Project: Hi-Vis Long Sleeve Polo Shirts

Funds Requested: \$1,500.00

Project Description: The request is to purchase hi-vis long sleeved polo tops monogrammed with Howrah Men's Shed. Currently members provide their own vests which are put on over the top of other clothing. These can be ill-fitting and are prone to catch. Tidy monogrammed shirts will be helpful at community events and fund raising activities. Shirts in-lieu of vests will be mandated over time.

Comments: Does not meet the eligibility criteria as it was considered that the shirts will be mandated and so become a uniform. Under the guidelines, uniforms are on the list of items that will not be funded.

Recommendation: This application is not supported by the Grants Assessment Panel.

Applicant: Tasmanian Wildlife Rehabilitation Council

Project: Echidna Training Workshop

Funds Requested: \$795.00

Project Description: The project is an Echidna Training Workshop presented by internationally recognised wildlife researcher Dr Peggy Rismiller to be held at the Montagu Bay Primary School Hall. The course is open to all DPIPWE registered novice, intermediate and advanced carers as well as veterinary nurses and interested wildlife rescuers within the community. This type of training is crucial as all wildlife carers are volunteers and self-fund all rehabilitation undertaken. In 2017, TWRC focused on providing affordable training for novice carers with general training sessions covering semi-permit species. This year's aim is to target intermediate level rehabilitators caring for the more demanding permit species like monotremes. The goal is to enhance carer skills and improve the outcomes for echidnas which come into their care through high quality training and access to experts and information they would not normally be able to acquire. Very few carers have high-level competency with echidnas. The one day course will cover a wide range of topics in relation to echidnas. Funds are requested to cover the costs of airfares, accommodation and car hire for Dr Rismiller.

Comments: While being supportive of the benefits of the project, the Community Support Grants Assessment Panel could not determine the benefit to the Clarence community and not in the realm of Local Government to fund and was therefore considered a low priority against the other applications and not supported on this occasion.

Recommendation: This application is not supported by the Grants Assessment Panel.

Applicant: Sunshine Tennis Club

Project: Defibrillator Purchase

Funds Requested: \$1,500.00

Project Description: There is a defibrillator in the Howrah Community Centre which is available to the tennis club and this may be sufficient during open hours. However, many night time organised tennis games can continue up 11pm at night when the Community Centre is closed (usually around 9pm). By the time the key is found in the tennis clubhouse to access the defibrillator in the Community Centre some precious minutes could be lost. Following a presentation by a representative of St John Ambulance to the committee of the Sunshine Tennis Club, the committee agreed to commit to providing a defibrillator as soon as possible.

If approved the defibrillator will be available to all adult members of the club. The Club has a major program of junior coaching. The new model defibrillators are adaptable for children and babies. It is proposed that the defibrillator will be available to nearby members of the community if required as it will be registered with Ambulance Tasmania.

Comments: Although the proposal does meet the criteria the Grant Assessment Panel agreed that as there is currently a defibrillator already located at the Howrah Community Centre this application was considered a low priority against the other applications and was not supported on this occasion.

Recommendation: This application is not supported by the Grants Assessment Panel.

| | |
|-------------------------------------|-------------------------|
| 6 Applications Not Supported | Total \$8,295.00 |
|-------------------------------------|-------------------------|

| Community Support Grants – March 2018 | |
|--|--------------------|
| Funding Summary | |
| 2017-2018 budget allocation for Community Support Grants (September 2017 and March 2018 rounds) plus one unspent grant of \$1,500 was returned | \$36,500.00 |
| Total funds allocated for the September 2017 round | \$18,422.00 |
| Balance available for March 2018 | \$18,078.00 |

11.7.3 KANGAROO BAY DEVELOPMENT PRECINCT – REQUEST FOR PROPOSALS - STAGE 2 ASSESSMENT

(File Nos E1029-15; 20-15-01)

EXECUTIVE SUMMARY**PURPOSE**

To consider a recommendation of preferred developer status from the joint Kangaroo Bay Assessment Panel in regard to the Boulevard Site development proposal in the Kangaroo Bay precinct.

RELATION TO EXISTING POLICY/PLANS

Consistent with Council's Strategic Plan 2016-2026 and the objectives for the Kangaroo Bay Urban Design Strategy and Concept Plan, and the Land Use Planning Scheme.

LEGISLATIVE REQUIREMENTS

Any property related matters arising from the request for proposals process are required to be undertaken in accordance with the Local Government Act (1993) and the Crown Lands Act (1976).

CONSULTATION

Community consultation in regard to specific site development proposals will occur in the event that a proposal proceeds to assessment under the Land Use Planning and Approvals Act.

It is a proposed condition of preferred developer status that the proponents undertake community consultation prior to any development application being submitted. This community consultation must be approved by the General Manager on Council's behalf.

Extensive community and stakeholder consultation has occurred earlier through the processes leading to the adoption of the Kangaroo Bay Urban Design Masterplan, establishment of the Kangaroo Bay Particular Purpose Zone, and the granting of a precinct subdivision permit.

FINANCIAL IMPLICATIONS

Council is not responsible for any cost or expenses incurred by any respondent to the EOI process. Council has existing budgetary commitments to further the implementation of the Kangaroo Bay Urban Design Masterplan and associated projects.

RECOMMENDATION:

That based on the assessment undertaken of the Stage 2 proposal and additional information received from Hunter Developments P/L in response to request for proposals E1029-15 regarding the Boulevard site:

- A. Preferred developer status for the Boulevard site be awarded to Hunter Developments P/L through the establishment of a development agreement between Council and Hunter Developments P/L.
- B. That the General Manager be authorised to negotiate and execute the preferred developer agreement on Council's behalf.
- C. That as a condition of the preferred developer status, Hunter Development P/L be required to undertake a community consultation program, in a manner to be approved by the General Manager, prior to the submission of any development application.

ASSOCIATED REPORT

1. BACKGROUND

- 1.1.** On 20 March 2015, Council and the Tasmanian Government invited the submission of development proposals to activate the Kangaroo Bay development precinct.
- 1.2.** The total land area offered for private freehold development was approximately 2.2ha in 2 parcels: the Boulevard site (13400m²) and the Wharf site (8900m²), together with the opportunity for an adjacent marine water lease. Proponents were able to express an interest in one site or both.
- 1.3.** Under the expression of interest process, successful proponents are to be selected and progress through a 4 stage process comprising:
 - Stage 1: Proposal assessment, short-listing of proposals and the establishment of a precinct site development strategy.
 - Stage 2: Submission and assessment of detailed proposals from short-listed proponents.
 - Stage 3: Establishment of development agreement(s) with preferred developer(s).
 - Stage 4: Statutory approvals, land sales and development implementation.

- 1.4.** Following review of the Stage 1 submissions received, the joint assessment panel recommended that Hunter Developments P/L be invited to participate in Stage 2 of the expression of interest process. That recommendation was subsequently adopted by Council at its Meeting of 2 February 2016, and the Minister of the day.
- 1.5.** On 17 October 2016, Council awarded Hunter Developments preferred developer status for the Wharf site but deferred a decision for the Boulevard site pending further information on the proposal. That information has now been provided by Hunter Developments P/L, and the joint assessment panel has considered the information along with the previous information submitted and recommended to Council that Hunter Developments P/L be awarded preferred developer status to proceed with their proposal for the site.
- 1.6.** The recommendation from the joint assessment panel is now submitted to Council for consideration.

2. REPORT IN DETAIL

- 2.1.** Hunter Developments P/L lodged its Stage 2 response on 28 September 2016. The submission contained further resolved proposals for the 2 sites, the “Wharf” and the “Boulevard”.
- 2.2.** The Wharf site has now been finalised and construction is expected to start with early works in June/July 2018.
- 2.3.** The proposal for the Boulevard site comprised:
- residential apartments and townhouses;
 - a black box theatre;
 - commercial retail spaces at street level along Kangaroo Bay Drive; and
 - car parking for the use of residents, visitors and general public.

- 2.4.** The joint Assessment Panel reviewed the additional information, together with the original Stage 2 submission, and has determined to recommend to Council that preferred developer status be awarded. The independent probity adviser appointed to oversee the process has endorsed the approach to the finalisation of Stage 2 assessment and the assessment panel's consideration of the additional information.
- 2.5.** Council's City Planning Unit has provided a preliminary comment that there does not appear to be any fundamental impediment to the proponent proceeding to a more detailed design.
- 2.6.** The proposal does address both public and private parking requirements, providing approximately 280 parking lots over the site. Although Council and the proponent are yet to complete detail on proposed parking, it is expected that in excess of 90 of the car spaces will be public car parks.

3. CONSULTATION

3.1. Community Consultation

Community consultation in regard to specific site development proposal will occur in the event that a proposal proceeds to assessment under the Land Use Planning and Approvals Act.

It is recommended that prior to the lodgement of any Development Application, the proponent undertake community consultation in a format that is endorsed by the General Manager as a condition of the preferred developer status. The anticipated format is that the proponent, at least 30 days prior to the submission of any Development Application, will place on exhibition a model of the proposed development and to undertake at least 2 community information days to enable the public to view the proposal and to make enquiry of the proponents prior to the lodgement of any DA. It should be noted that this requirement would be in addition to the statutory advertising period following the lodgement of a development application.

Extensive community and stakeholder consultation has occurred earlier through the processes leading to the adoption of the Kangaroo Bay Urban Design Masterplan, establishment of the Kangaroo Bay Particular Purpose Zone, and the granting of a precinct subdivision permit.

3.2. State/Local Government Protocol

The Kangaroo Bay expression of interest process was a joint initiative of Council and the Tasmanian Government (through the Department of State Growth).

3.3. Other

Stakeholder consultation can occur in the event the proponent is awarded preferred developer status.

4. STRATEGIC PLAN/POLICY IMPLICATIONS

The Kangaroo Bay Community and Economic Development Project is a longstanding strategic initiative of Council aimed at creating a focal point for the City by providing an integrated range of tourism, recreational, commercial and residential uses and developments. The request for development proposals component of the project advanced the intent of Council's Strategic Plan 2010-2015 and continues to advance the Council Strategic Plan 2016-2026, which includes the following strategic goal areas:

- a people city;
- a well-planned liveable city;
- a prosperous city;
- an environmentally responsible city; and
- a creative and innovative city.

5. EXTERNAL IMPACTS

In addition to the involvement of the Tasmanian Government, the broader Kangaroo Bay enhancement project is also subject to a funding agreement with the Australian Government under the Tasmanian Jobs and Growth Plan.

6. RISK AND LEGAL IMPLICATIONS

- 6.1.** Under the terms of the expression of interest process, submissions are to be treated as commercial in confidence until such time as a particular proposal and proponent is awarded preferred developer status at the end of Stage 2.
- 6.2.** That confidentiality may be subject to exceptions where the information:
- (a) is required, or authorised, to be disclosed by law;
 - (b) is disclosed by the Auditor-General, in the public interest, in a report to the Tasmanian Parliament; or
 - (c) is reasonably necessary for the enforcement of the criminal law or for the protection of the public revenue.
- 6.3.** The proponent has provided written confirmation that they accept that matters relating to the assessment of preferred developer status for the Boulevard site will be discussed publically.

7. FINANCIAL IMPLICATIONS

Council is not responsible for any cost or expenses incurred by any respondent in preparing and lodging a submission, or for a respondent carrying out any investigation or lodging an application for approval in relation to a proposal set out in a submission to the EOI process.

8. ANY OTHER UNIQUE ISSUES

Nil.

9. CONCLUSION

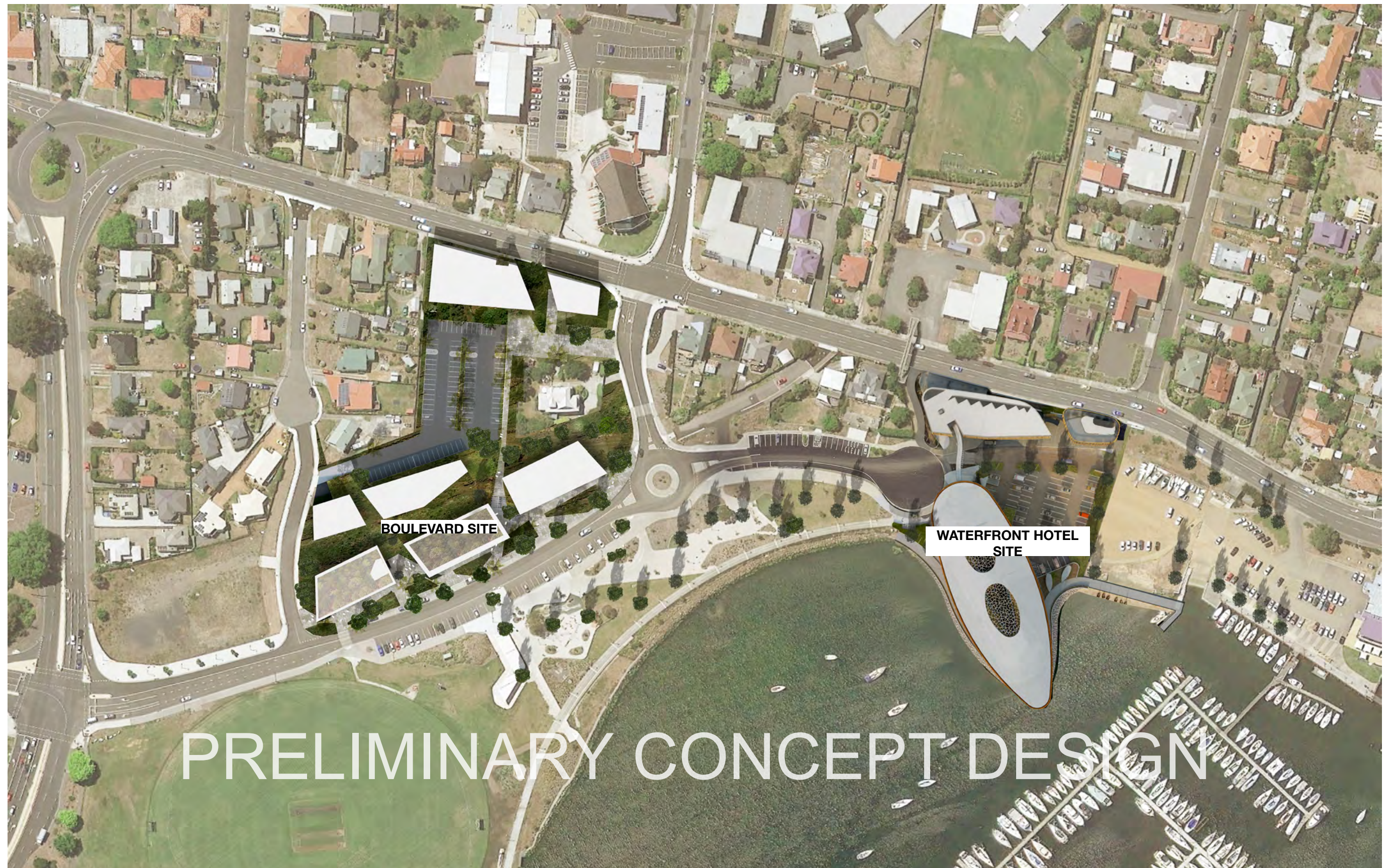
- 9.1.** The Hunter Developments P/L Stage 2 submission for the Boulevard site and the additional information has been assessed as providing enough information to justify the awarding of preferred developer status for that development site.

- 9.2.** However, the preferred developer agreement should confirm investment partners and outline community consultation requirements of Council.

Attachments: 1. Concept Plans (5)

Andrew Paul
GENERAL MANAGER

KANGAROO BAY BOULEVARD SITE



* NOT TO SCALE

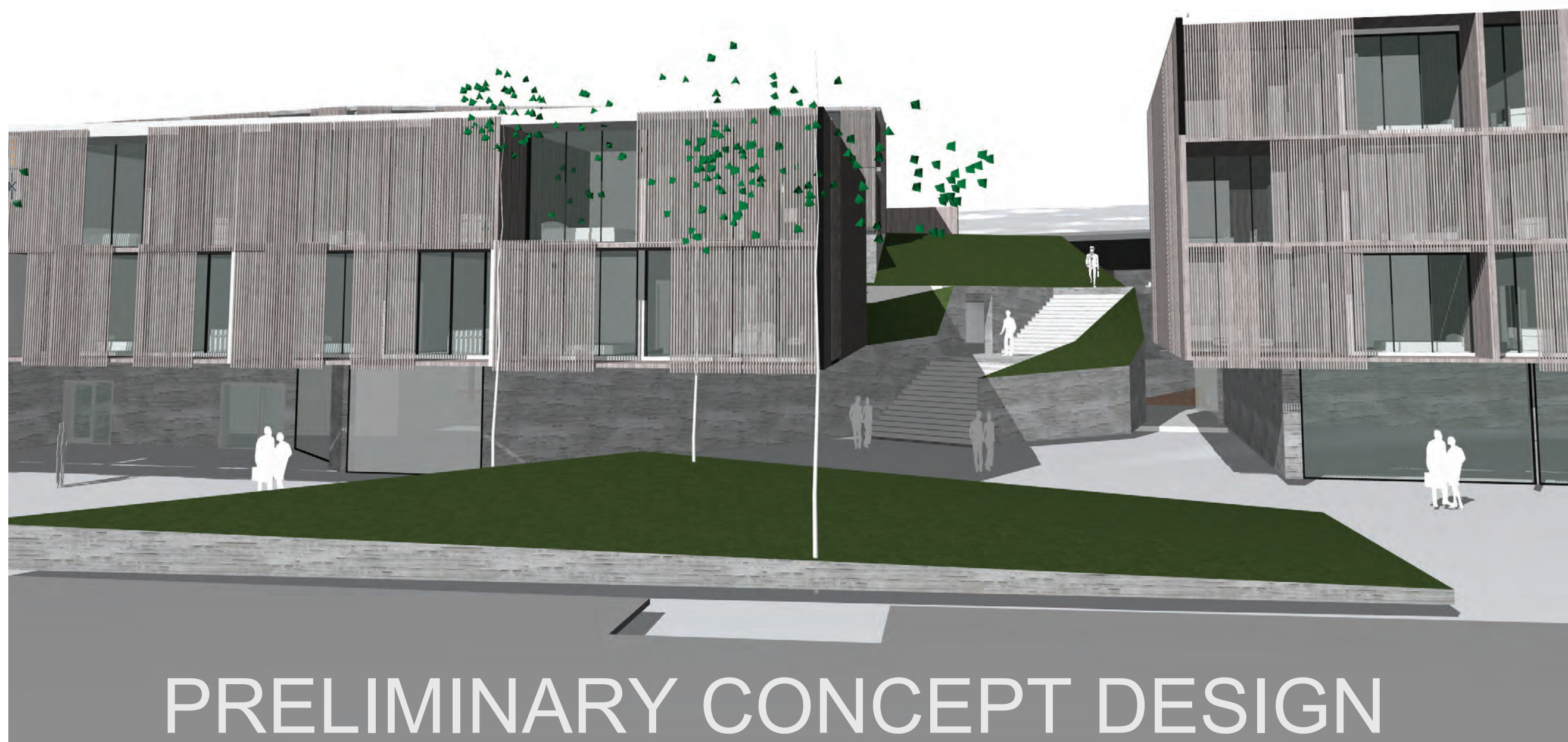
KANGAROO BAY BOULEVARD SITE



* NOT TO SCALE



black box theatre & activated ground level on kangaroo bay drive



public access through site from foreshore to car parking



view corridor from cambridge road

12. ALDERMEN'S QUESTION TIME

An Alderman may ask a question with or without notice at Council Meetings. No debate is permitted on any questions or answers.

12.1 QUESTIONS ON NOTICE

(Seven days before an ordinary Meeting, an Alderman may give written notice to the General Manager of a question in respect of which the Alderman seeks an answer at the meeting).

Nil.

12.2 ANSWERS TO QUESTIONS ON NOTICE

Nil.

12.3 ANSWERS TO PREVIOUS QUESTIONS TAKEN ON NOTICE

Nil.

12.4 QUESTIONS WITHOUT NOTICE

An Alderman may ask a Question without Notice of the Chairman or another Alderman or the General Manager. Note: the Chairman may refuse to accept a Question without Notice if it does not relate to the activities of the Council. A person who is asked a Question without Notice may decline to answer the question.

Questions without notice and their answers will not be recorded in the minutes.

The Chairman may refuse to accept a question if it does not relate to Council's activities.

The Chairman may require a question without notice to be put in writing. The Chairman, an Alderman or the General Manager may decline to answer a question without notice.

13. CLOSED MEETING

Regulation 15 of the Local Government (Meetings Procedures) Regulations 2015 provides that Council may consider certain sensitive matters in Closed Meeting.

The following matters have been listed in the Closed Meeting section of the Council Agenda in accordance with Regulation 15 of the Local Government (Meeting Procedures) Regulations 2015.

13.1 APPLICATIONS FOR LEAVE OF ABSENCE

13.2 KERBSIDE RECYCLING CONTRACT

13.3 POTENTIAL LEGAL ACTION

13.4 DEED OF SETTLEMENT

These reports have been listed in the Closed Meeting section of the Council agenda in accordance with Regulation 15 of the Local Government (Meeting Procedures) Regulation 2015 as the detail covered in the report relates to:

- contracts and tenders for the supply of goods and services;
- applications by Aldermen for a Leave of Absence;
- matters relating to actual or possible litigation taken, or to be taken, by or involving the council.

Note: The decision to move into Closed Meeting requires an absolute majority of Council.

The content of reports and details of the Council decisions in respect to items listed in “Closed Meeting” are to be kept “confidential” and are not to be communicated, reproduced or published unless authorised by the Council.

PROCEDURAL MOTION

“That the Meeting be closed to the public to consider Regulation 15 matters, and that members of the public be required to leave the meeting room”.