

Prior to the commencement of the meeting, the Mayor will make the following declaration:

“I acknowledge the Tasmanian Aboriginal Community as the traditional custodians of the land on which we meet today, and pay respect to elders, past and present”.

The Mayor also to advise the Meeting and members of the public that Council Meetings, not including Closed Meeting, are audio-visually recorded and published to Council’s website.

COUNCIL MEETING
MONDAY 4 SEPTEMBER

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BUSINESS TO BE CONDUCTED AT THIS MEETING IS TO BE CONDUCTED IN THE ORDER IN WHICH IT IS SET OUT IN THIS AGENDA UNLESS THE COUNCIL BY ABSOLUTE MAJORITY DETERMINES OTHERWISE

COUNCIL MEETINGS, NOT INCLUDING CLOSED MEETING, ARE AUDIO-VISUALLY RECORDED AND PUBLISHED TO COUNCIL’S WEBSITE

1. APOLOGIES

Ald Chipman (Leave of Absence)
Ald Hulme (Leave of Absence)

2. CONFIRMATION OF MINUTES

(File No. 10/03/01)

RECOMMENDATION:

That the Minutes of the Council Meeting held on 14 August 2017, as circulated, be taken as read and confirmed.

3. MAYOR'S COMMUNICATION**4. COUNCIL WORKSHOPS**

In addition to the Aldermen's Meeting Briefing (workshop) conducted on Friday immediately preceding the Council Meeting the following workshops were conducted by Council since its last ordinary Council Meeting:

PURPOSE**DATE**

Community Hubs and Healthy Food Access Project
Bellerive Public Pier Proposal
Flagstaff Gully Road
3 Clarence Street
Consultation – Amalgamations and Shared Services
Vacancy – State Grants Commission

21 August

Council's Direction in regard to Business East
Seven Mile Beach Sport Precinct Master Plan
New Car Parking Strategy
Priority Election Wish List

28 August

COUNCIL WORKSHOPS /contd...

RECOMMENDATION:

That Council notes the workshops conducted.

5. DECLARATIONS OF INTERESTS OF ALDERMAN OR CLOSE ASSOCIATE

(File No)

In accordance with Regulation 8 of the Local Government (Meeting Procedures) Regulations 2015 and Council's adopted Code of Conduct, the Mayor requests Aldermen to indicate whether they have, or are likely to have a pecuniary interest (any pecuniary benefits or pecuniary detriment) or conflict of interest in any item on the Agenda.

6. TABLING OF PETITIONS

(File No 10/03/12)

(Petitions received by Aldermen may be tabled at the next ordinary Meeting of the Council or forwarded to the General Manager within seven (7) days after receiving the petition.

Petitions are not to be tabled if they do not comply with Section 57(2) of the Local Government Act, or are defamatory, or the proposed actions are unlawful.

The General Manager will table the following petitions which comply with the Act requirements:

7. PUBLIC QUESTION TIME

Public question time at ordinary Council meetings will not exceed 15 minutes. An individual may ask questions at the meeting. Questions may be submitted to Council in writing on the Friday 10 days before the meeting or may be raised from the Public Gallery during this segment of the meeting.

The Chairman may request an Alderman or Council officer to answer a question. No debate is permitted on any questions or answers. Questions and answers are to be kept as brief as possible.

7.1 PUBLIC QUESTIONS ON NOTICE

(Seven days before an ordinary Meeting, a member of the public may give written notice to the General Manager of a question to be asked at the meeting). A maximum of two questions may be submitted in writing before the meeting.

Questions on notice and their answers will be included in the minutes.

Nil.

7.2 ANSWERS TO QUESTIONS ON NOTICE

The Mayor may address Questions on Notice submitted by members of the public.

Nil.

7.3 ANSWERS TO PREVIOUS QUESTIONS TAKEN ON NOTICE

Nil.

7.4 QUESTIONS WITHOUT NOTICE

Bellerive Kangaroo Bay Area

Question without Notice (Submitted by Mr Michael Geard at Council's Meeting of 14 August 2017)

Mr Michael Geard of Bellerive sought clarification as to whether the Boulevard land at Kangaroo Bay was currently on the market.

The Answer provided by the Mayor to the 14 August Council Meeting is further clarified as follows:

“The explanation is qualified to the extent that Hunter Developments was still being considered for Preferred Developer status as a result of the Expressions of Interest process - but it certainly has not been awarded”.

8. DEPUTATIONS BY MEMBERS OF THE PUBLIC

(File No 10/03/04)

(In accordance with Regulation 38 of the Local Government (Meeting Procedures) Regulations 2015 and in accordance with Council Policy, deputation requests are invited to address the Meeting and make statements or deliver reports to Council)

9. MOTIONS ON NOTICE

Nil

10. REPORTS FROM OUTSIDE BODIES

This agenda item is listed to facilitate the receipt of both informal and formal reporting from various outside bodies upon which Council has a representative involvement.

10.1 REPORTS FROM SINGLE AND JOINT AUTHORITIES

Provision is made for reports from Single and Joint Authorities if required

Council is a participant in the following Single and Joint Authorities. These Authorities are required to provide quarterly reports to participating Councils, and these will be listed under this segment as and when received.

- **SOUTHERN TASMANIAN COUNCILS AUTHORITY**

Representative: Ald Doug Chipman, Mayor or nominee

Quarterly Reports

Not required.

Representative Reporting

- **COPPING REFUSE DISPOSAL SITE JOINT AUTHORITY**

Representatives: Ald Jock Campbell
(Ald James Walker, Deputy Representative)

Quarterly Reports

June Quarterly Report pending.

Representative Reporting

- **TASWATER CORPORATION**

10.2 REPORTS FROM COUNCIL AND SPECIAL COMMITTEES AND OTHER REPRESENTATIVE BODIES

11. REPORTS OF OFFICERS

11.1 WEEKLY BRIEFING REPORTS

(File No 10/02/02)

The Weekly Briefing Reports of 14 and 21 August 2017 have been circulated to Aldermen.

RECOMMENDATION:

That the information contained in the Weekly Briefing Reports of 14 and 21 August 2017 be noted.

11.2 DETERMINATION ON PETITIONS TABLED AT PREVIOUS COUNCIL MEETINGS

Nil.

11.3 PLANNING AUTHORITY MATTERS

In accordance with Regulation 25 (1) of the Local Government (Meeting Procedures) Regulations 2015, the Mayor advises that the Council intends to act as a Planning Authority under the Land Use Planning and Approvals Act 1993, to deal with the following items:

11.3.1 DEVELOPMENT APPLICATION D-2017/297 - 30 WOODHURST ROAD, SEVEN MILE BEACH - ALTERATIONS AND ADDITIONS TO DWELLING
(File No D-2017/297)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for alterations and additions to dwelling at 30 Woodhurst Road, Seven Mile Beach.

RELATION TO PLANNING PROVISIONS

The land is zoned Village and subject to the Inundation Prone Areas, Airport Buffer, On-site Wastewater Management, and Parking and Access Codes under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

LEGISLATIVE REQUIREMENTS

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 8 September 2017.

CONSULTATION

The proposal was advertised in accordance with statutory requirements and 1 representation was received raising the following issues:

- privacy;
- overshadowing; and
- inconsistency with character of area.

RECOMMENDATION:

A. That the Development Application for alterations and additions to Dwelling at 30 Woodhurst Road, Seven Mile Beach (Cl Ref D-2017/297) be approved subject to the following conditions and advice.

1. GEN AP1 – ENDORSED PLANS.

- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

ASSOCIATED REPORT

1. BACKGROUND

The subject lot was created by subdivision SD-2007/49, sealed by Council on 14 January 2009 and registered by the Land Titles Office on 23 January 2009.

2. STATUTORY IMPLICATIONS

- 2.1.** The land is zoned Village under the Scheme.
- 2.2.** The proposal is discretionary because it does not meet certain Acceptable Solutions under the Scheme.
- 2.3.** The relevant parts of the Planning Scheme are:
- Section 8.10 – Determining Applications;
 - Section 16.0 – Village Zone;
 - Section E6.0 – Parking and Access Code;
 - Section E15.0 – Inundation Prone Areas Code;
 - Section E23.0 – On-site Wastewater Management Code; and
 - Section E25.0 – Airport Buffer Code.
- 2.4.** Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

3. PROPOSAL IN DETAIL

3.1. The Site

The site is a 1002m² lot with 28.60m frontage to Woodhurst Road that supports an existing single-storey Single Dwelling and associated landscaped gardens, which includes a landscaped hedge adjoining the south-western property boundary, to a height of approximately 3.7m. The existing dwelling is 2 bedroom and includes shared living/kitchen/dining areas, amenities and a double car garage.

The lot is generally level and located at the north-western fringe of the established residential area at Seven Mile Beach. It adjoins the Royal Hobart Golf Course to the north-west and established residential lots to the north-east and south-west, at 32 and 28 Woodhurst Road respectively.

3.2. The Proposal

The proposal is for the development of ground floor and upper level additions as part of the existing dwelling and an outbuilding.

The upper level dwelling addition would have a floor area of 80m², would be 7.3m at its highest point above natural ground level, and would be setback 5.3m from the south-western boundary. It would incorporate 3 upper level bedrooms, associated ensuite and amenities and stair access and would be clad using a combination of vertical weatherboard, a feature textured cement sheet panel and Colorbond.

The dwelling additions would also incorporate an additional ground floor area of 35m² at the north-eastern part of the dwelling, contained between the existing master bedroom and living areas of the dwelling. The addition would be contained by the existing roofline and would be setback in excess of 9m from the north-eastern property boundary.

The proposed outbuilding would be a single car garage, 3.37m in height at its highest point above natural ground level. It would have a footprint of 30.24m², would be constructed using Colorbond (and vertical weatherboard) wall and roof cladding and would be accessed via a roller door on the south-eastern building elevation. It would be located 4.0m from the north-western (rear) boundary, and 500m from the south-western (side) boundary.

4. PLANNING ASSESSMENT

4.1. Determining Applications [Section 8.10]

“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.

Reference to these principles is contained in the discussion below.

4.2. Compliance with Zone and Codes

The proposal meets the Scheme’s relevant Acceptable Solutions of the Village Zone and Parking and Access, Inundation Prone Areas, Airport Buffer and On-Site Wastewater Management Codes with the exception of the following.

Village Zone

Clause	Standard	Acceptable Solution	Proposed
16.4.2 A2	Setback	Building setback from side and rear boundaries must be no less than: (a) 2m; (b) half the height of the wall; whichever is the greater.	Does not comply – outbuilding setback of 500mm proposed from south-western boundary. Dwelling addition complies

The proposed variation must be considered pursuant to the Performance Criteria P2 of the Clause 16.4.2 as follows.

Performance Criteria	Proposal
<i>“Building setback from side and rear boundaries must satisfy all of the following:</i>	see below
<i>(a) be sufficient to prevent unreasonable adverse impacts on residential amenity on adjoining lots by:</i> <i>(i) overlooking and loss of privacy;</i>	<p>The proposed outbuilding would be a non-habitable structure, meaning that neighbouring residential amenity would not be compromised by overlooking, or loss of privacy. It is noted that there is a substantial hedge with an approximate height of 3.7m adjacent the south-western boundary of the site that would further minimise any potential privacy impacts caused by use of the outbuilding.</p>
<i>(ii) overshadowing and reduction of sunlight to habitable rooms and private open space on adjoining lots to less than 3 hours between 9.00am and 5.00pm on 21 June or further decrease sunlight hours if already less than 3 hours;</i>	<p>The proposed garage would have a height of 3.67m at the highest point of the skillion, at a distance of 500mm from the south-western boundary. It would be separated from the nearest point of the neighbouring dwelling at 28 Woodhurst Avenue to the south by a distance in excess of 9m, which itself has an area of private open space at the rear (north-west) in excess of 390m².</p> <p>Analysis of the shadows likely to be cast by the proposed outbuilding concludes that there would be some impact on the north-eastern part of the open space at 28 Woodhurst Avenue from 9am until before 12pm, and no impact from 12pm onwards. There would be no shadows cast upon any parts of the dwelling at 28 Woodhurst Avenue, thus satisfying this part of the performance criterion.</p>
<i>(iii) visual impact, when viewed from adjoining lots, through building bulk and massing;</i> <i>taking into account aspect and slope”. </i>	<p>The proposed outbuilding would be 3.67m in height and setback 500mm from the side boundary from which the setback variation is sought. The site is level and an existing hedge with a height of approximately 3.7m separates (and screens) the proposed building from the side boundary – meaning that the visual impact of the structure from the neighbouring property would be low.</p>

Inundation Prone Areas Code

Clause	Standard	Acceptable Solution	Proposed
E15.7.2 A2	Coastal inundation medium hazard areas	<p>Except for new rooms associated with habitable buildings other than dwellings, for which there is no acceptable solution, an extension to an existing habitable building must comply with one of the following:</p> <p>(a) new habitable rooms must comply with both of the following:</p> <p>i. floor level no lower than the Minimum Level for the Coastal Inundation Low Hazard Area in Table E15.1;</p> <p>ii. floor area of the extension no more than 40m² from the date of commencement of this planning scheme;</p> <p>(b) new habitable rooms must be above ground floor.</p>	<p>does not comply</p> <p>complies</p> <p>complies</p>

The proposed variation must be considered pursuant to the Performance Criteria P2 of the Clause E15.7.2 as follows.

Performance Criteria	Proposal
<i>“An extension to an existing habitable building must satisfy all of the following:</i>	See below
<i>(a) new habitable rooms, and rooms associated with habitable buildings (other than a dwelling) that are either publically accessible, used frequently or used for extended periods, must satisfy one of the following:</i> <p>i. <i>floor level no lower than the Minimum Level for the Coastal Inundation Low Hazard Area in Table E15.1;</i></p>	not applicable – as meets (ii)

<i>ii. floor level no lower than the existing floor level and a floor area of the extension no more than 40m² as at the date of commencement of this planning scheme;</i>	The floor area of the proposed ground level addition would be 25m ² , and would be constructed to the same level as the finished floor level of existing parts of the dwelling.
<i>(b) risk to users of the site, adjoining or nearby land is not increased;</i>	Council's Engineers are satisfied that there would be no increase to either the users of the site, or surrounding land as a result of the proposed development.
<i>(c) risk to adjoining or nearby property or public infrastructure is not increased;</i>	The proposal would similarly not have an adverse impact upon any public infrastructure, within proximity of the site.
<i>(d) provision of any developer contribution required pursuant to policy adopted by Council for coastal protection works; except if it is development dependent on a coastal location".</i>	There are no works required as a result of the proposal that would necessitate any coastal protection works (or developer contributions), in that the site is sufficiently separated from high water mark.

5. REPRESENTATION ISSUES

The proposal was advertised in accordance with statutory requirements and 1 representation was received. The following issues were raised by the representor.

5.1. Privacy

The representation raises concern in relation to the impact of the proposed upper level addition upon the privacy of nearby residential development.

- **Comment**

The proposed dwelling addition meets the relevant acceptable solutions in relation to building setback and height, for development within the Village Zone. The variation to setback relates to the proposed outbuilding only, which is a non-habitable building and would not compromise privacy.

That said, there would be no windows proposed for the south-western elevation of the upper level addition, which itself would be setback 5.3m from the south-western boundary and in excess of 9m from the north-eastern boundary. Privacy for the adjacent properties would therefore not be compromised by the compliant addition.

5.2. Overshadowing

Concerns in relation to the impact of the proposed upper level addition upon sunlight available to neighbouring residential development were also raised by the representation.

- **Comment**

The proposed upper level dwelling addition meets the relevant acceptable solutions in relation to the setback and height, meaning that overshadowing of that part of the proposal is not a relevant consideration.

The proposed outbuilding would be 3.67m in height, would be screened from the neighbouring property by an existing hedge, which itself would cast a similar shadow to that likely as a result of the proposed structure. This issue is therefore not of determining weight.

5.3. Inconsistency with Character of Area

The representation submits that the proposed second storey addition would not be consistent with “the current trend of houses in this immediate area”.

- **Comment**

The performance criterion relied upon by the proposed development relates to boundary setback from the south-western (side) property boundary for the proposed outbuilding only – the dwelling complies with the applicable acceptable solutions of the Scheme. The character of the area in relation to the proposed second storey is therefore not a relevant consideration.

6. EXTERNAL REFERRALS

The proposal was referred to the Hobart Airport, which provided advice that the proposed development is not a “controlled activity” as defined in the Airport’s (Protection of Airspace) Regulations, and that it does not object to this proposal.

7. STATE POLICIES AND ACT OBJECTIVES

7.1. The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

7.2. The proposal is consistent with the objectives of Schedule 1 of LUPAA.

8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS

There are no inconsistencies with Council’s adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

9. CONCLUSION

The proposal seeks approval for alterations and additions to dwelling at 30 Woodhurst Road, Seven Mile Beach. The application meets the relevant Acceptable Solutions and Performance Criteria of the Scheme.

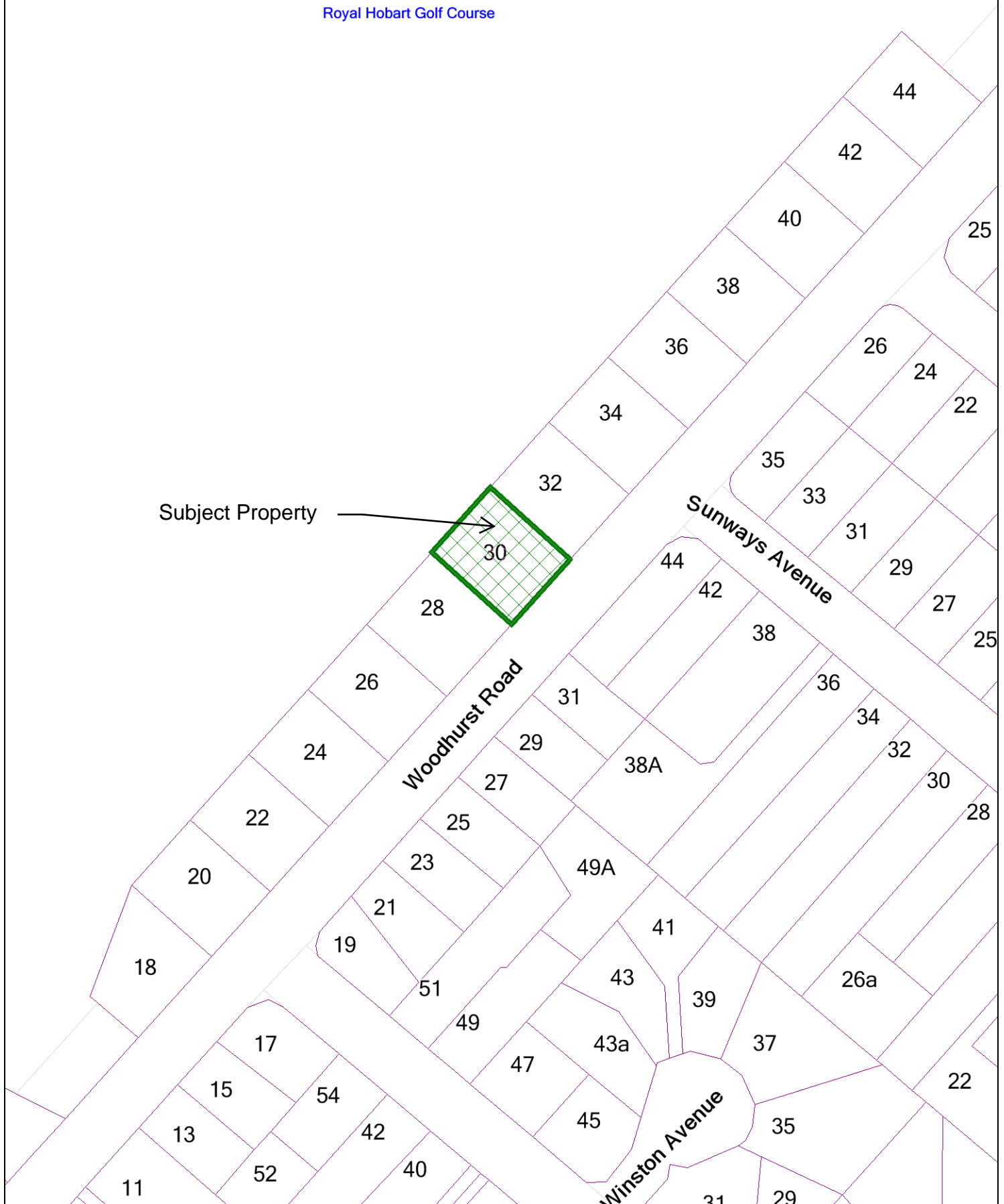
The proposal is recommended for approval subject to conditions.

Attachments: 1. Location Plan (1)
2. Proposal Plan (12)
3. Site Photo (1)

Ross Lovell
MANAGER CITY PLANNING

Attachment 1

Royal Hobart Golf Course



Disclaimer: This map is a representation of the information currently held by Clarence City Council. While every effort has been made to ensure the accuracy of the product, Clarence City Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated. Copying or reproduction, without written consent is prohibited. **Date:** Wednesday, 23 August 2017 **Scale:** 1:1,652 @A4

REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	17.07.17	DEVELOPMENT APPLICATION	mb	mb

NOTE:
- ALL WINDOW DIMENSIONS TO ALUMINIUM TO BE CONFIRMED ON SITE.
- ALL GLAZING TO COMPLY WITH NCC 3.6 AND AS1288 & AS2047
- ALL WET AREAS TO COMPLY WITH NCC 3.8.1 AND AS3740
- ALL TIMBER FRAMING TO COMPLY WITH NCC 3.4.3 AND AS1684
- ALL WINDOW LOCATION DIMENSIONS TAKEN FROM EXTERNAL STUD FRAME WORK

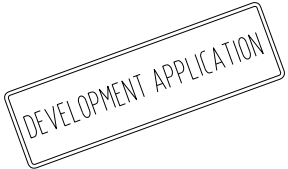
NOTE:

ALL ERRORS OR ANOMALIES ARE TO BE REPORTED TO HONED ARCHITECTURE + DESIGN.

DO NOT SCALE OF DRAWINGS.

CONFIRM ALL SIZES AND HEIGHTS ON SITE.

ALL CONSTRUCTION IS TO COMPLY WITH NCC AND AUSTRALIAN STANDARDS.



PO BOX 147, LAUNCESTON,
TASMANIA 7250 Ph: 0417541646
DIMENSIONS ARE SUBJECT TO SITE
MEASUREMENT & VERIFICATION DO
NOT SCALE OFF THIS DRAWING
ALL DESIGNS ARE COPYRIGHT AND
REMAIN PROPERTY OF
HONED ARCHITECTURE + DESIGN.

PROJECT NAME:
ALTERATIONS AND ADDITIONS
30 WOODHURST ROAD
SEVEN MILE BEACH

DRAWING TITLE:
COVER SHEET

DRAWN:

MB

CHECKED:

MB

SCALE:

NTS @ A3

DATE:

FEBRUARY 2016

PROJECT NO.

1626

DRAWING NO.

A-DA-01

A

DEVELOPMENT APPLICATION
FOR
ALTERATIONS AND ADDITIONS AT
(30 WOODHURST ROAD)
SEVEN MILE BEACH, TASMANIA

NOTE:
ARCHITECT: MICHAEL BERNACKI (929)
ACCREDITATION NUMBER: CC6490
LAND TITLE REF NUMBER: VOL 156278 FOLIO 8 EDITION 5
FLOOR AREA: 295M2
SOIL CLASSIFICATION: H1
CLIMATE ZONE: 7
BAL: 12.5
ALPINE AREA: N/A
CORROSION ENVIRONMENT: N/A
FLOODING: NO
LANDSLIP: NO
DISPERSIVE SOILS: UNKNOWN
SALINE SOILS: UNKNOWN
SAND DUNES: NO
MINE SUBSIDENCE: NO
LANDFILL: NO
GROUND LEVELS: REFER PLAN
WIND CLASSIFICATION: N2

DRAWING No.	DRAWING TITLE	
A-DA-01	Cover Sheet	
A-DA-02	Site Plan	
A-DA-03	Existing Level 1 Plan	
A-DA-04	Existing Roof Plan	
A-DA-05	Existing Elevations	
A-DA-06	Demolition Plan	
A-DA-07	Proposed Lower Level Plan	
A-DA-08	Proposed Upper Level Plan	
A-DA-09	Roof Plan	
A-DA-10	Residence – Northern & Eastern Elevations	
A-DA-11	Residence – Southern & Western Elevations	
A-DA-12	Shed – Elevations	

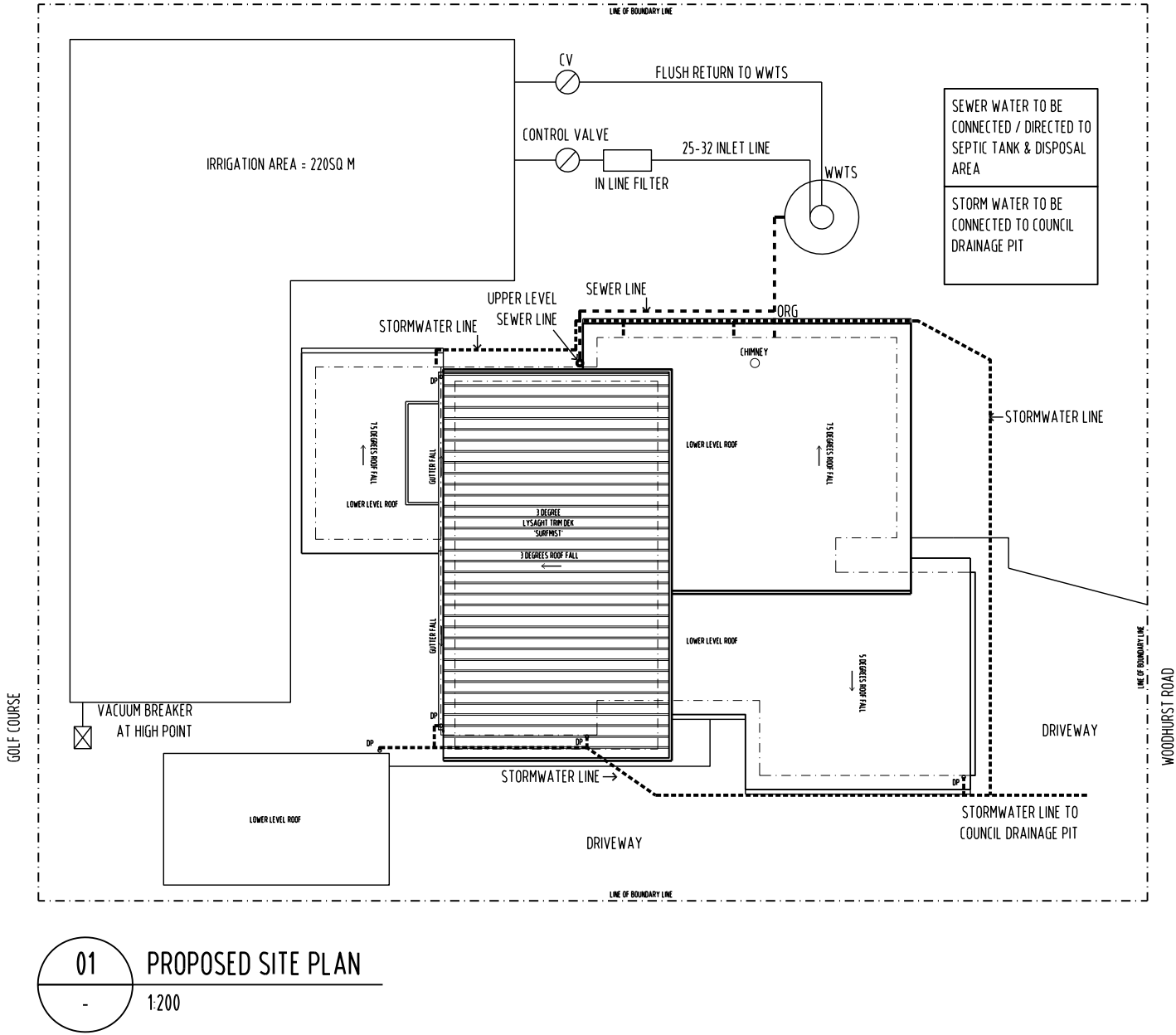
SITE AREA = 1012M2

EXISTING BUILDING FOOTPRINT = 157M2

PROPOSED ADDITIONAL LEVEL 1 AREA = 36M2
PROPOSED ADDITIONAL LEVEL 2 AREA = 72M2
PROPOSED SHED AREA = 30M2

TOTAL BUILDING AREA = 295 M2

SITE COVERAGE 22= %



GENERAL

- DO NOT SCALE FROM DRAWINGS.
- IF IN THE SETOUT OF THE WORKS OR DURING CONSTRUCTION ANY DISCREPANCIES ARISE IN DIMENSIONS OR LOGIC THE ARCHITECT SHOULD BE CONTACTED FOR CLARIFICATION & DIRECTION BEFORE ANY FIXED WORK CONTINUES.
- ALL CONSTRUCTION TO COMPLY WITH AND MEET AT LEAST THE MINIMUM STANDARD SET IN THE LATEST NATIONAL CONSTRUCTION CODE (NCC)

SAFETY – OHS

- THE BUILDERS ATTENTION IS DRAWN TO THE NEED TO ASSESS AND COMPLY WITH ALL RELEVANT RULES OF THE OHS ACT WHICH PERTAIN TO THIS SPECIFIC CONSTRUCTION SITE.

SITE WORKS & FINISHED GROUND LEVELS

- EXCAVATION AND FILLING OF THE SITE TO BE IAW NCC PART 3.1 AND AS2870 AND ANY SPECIAL DETAILS OR INSTRUCTIONS ON THE ENGINEERING DWGS SHALL TAKE PRECEDENCE.
- SURFACE DRAINAGE, FINISHED GROUND FALL AWAY FROM THE BUILDING 1 IN 100mm.
- FINISHED GROUND PREVENT PONDING OF WATER UNDER SUSPENDED FLOORS.

ENVIRONMENT

THE BUILDER IS SOLELY RESPONSIBLE FOR MANAGING THE SITE AND AND COUNCIL EPA OR OTHER RELEVANT AUTHORITY CONDITIONS RELATING TO ENVIRONMENTAL CONTROLS SHALL BE ADHERED TO.

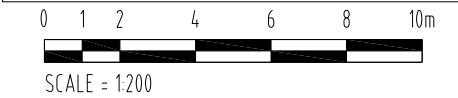
FOUNDATIONS

- REFER TO SOIL REPORT FOR THE SITE CLASSIFICATION TO AS2870 GUIDELINES. SHOULD ANY SOFT SPOTS OR PATCHES OF GROUND FOUND TO BE DIFFERENT FROM THAT OF THE SOIL REPORT, THIS IS TO BE REPORTED TO THE BUILDING SURVEYOR FOR INSTRUCTIONS. SUCH CONDITIONS OR PATCHES OF POOR GROUND ARISING FROM TREE REMOVAL OR OTHER LATENT CONDITION SHALL NOT BE COVERED OVER UNLESS SPECIAL TREATMENT HAVE BEEN SPECIFIED ELSEWHERE, GEO-TECH OR ENGINEERING DRAWINGS.

SLABS & FOOTINGS

- ALL PREPARATION OF EXCAVATION & FILL, PLUMBING AND REINFORCEMENT IN PLACE SHALL BE INSPECTED, IS TO BE SEEN AND APPROVED BY COUNCIL BUILDING INSPECTOR AND/ OR ENGINEER AND /OR THE BUILDING SURVEYOR UNDER INSTRUCTION BEFORE CONCRETE IS POURED.
- REFER TO SOIL REPORT FOR CLASSIFICATION & SITE MAINTENANCE REQUIREMENTS.

All works are to be in accordance with the Water Supply Code of Australia WSA 03–2011–3. Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02 –2002 Version 2.3 MRWA Edition 1.0 and TasWater's supplements to these codes



ARCHITECTS • INTERIORS • LANDSCAPE • PLANNING

REVISION

No	DATE	DESCRIPTION	BY	CHECK
A	17.07.17	DEVELOPMENT APPLICATION	mb	mb

NOTE:

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- ALL GLAZING TO COMPLY WITH NCC 3.6 AND AS1288 & AS2047
- ALL WET AREAS TO COMPLY WITH NCC 3.8.1 AND AS3740
- ALL TIMBER FRAMING TO COMPLY WITH NCC 3.4.3 AND AS1684
- ALL WINDOW LOCATION DIMENSIONS TAKEN FROM EXTERNAL STUD FRAME WORK

NOTE:

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DEVELOPMENT APPLICATION



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PROJECT NAME:

ALTERATIONS AND ADDITIONS
30 WOODHURST ROAD
SEVEN MILE BEACH

DRAWING TITLE:

SITE PLAN

DRAWN: MB

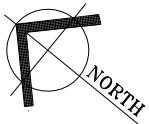
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DATE: FEBRUARY 2016

PROJECT NO. 1626

DRAWING NO. A-DA-02 A



REVISION				
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A	17.07.17	DEVELOPMENT APPLICATION	mb	mb

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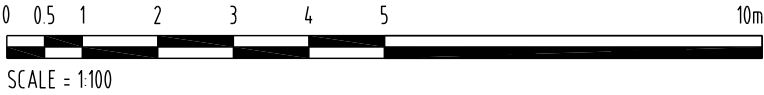
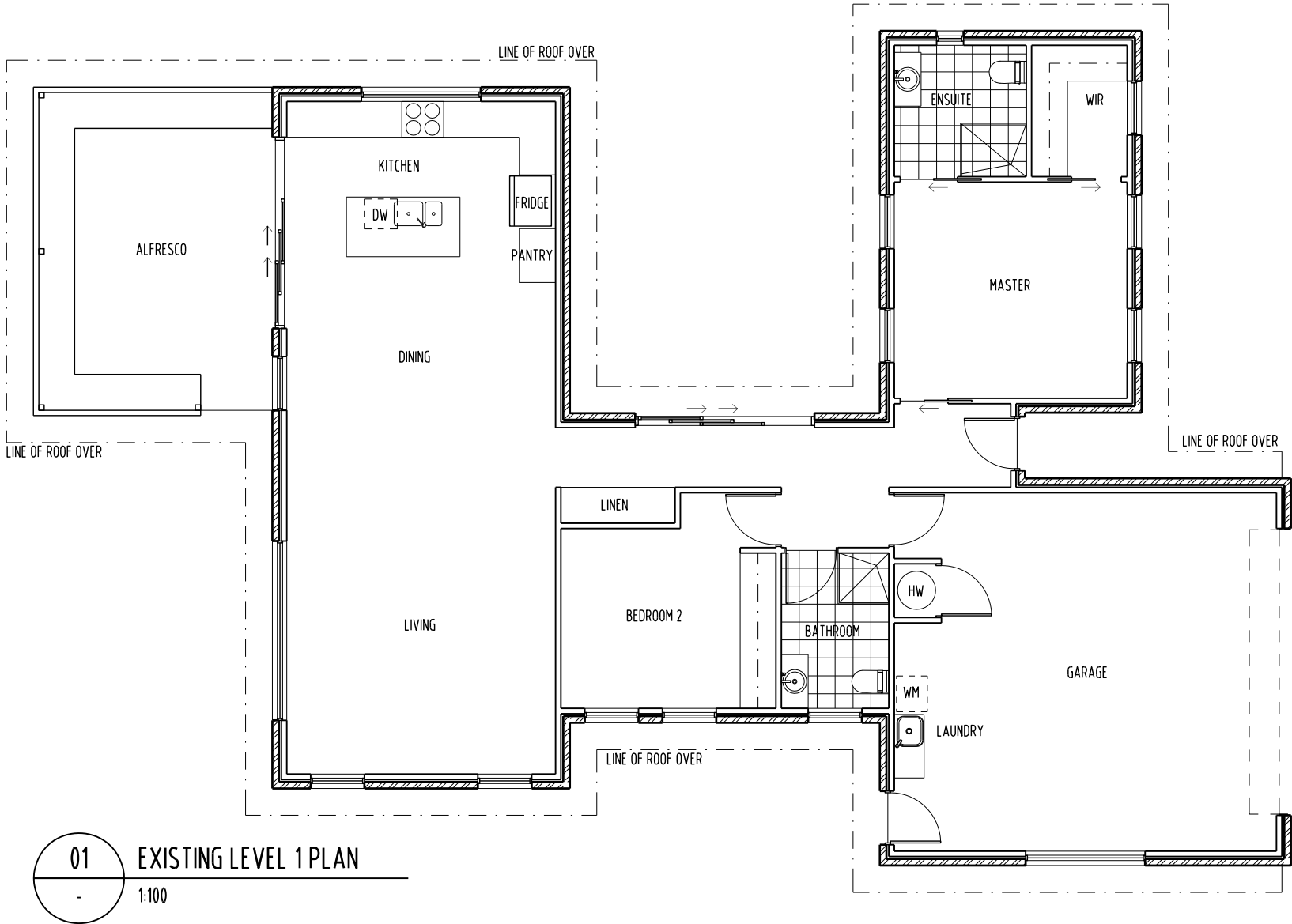
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PROJECT NAME:
ALTERATIONS AND ADDITIONS
30 WOODHURST ROAD
SEVEN MILE BEACH

DRAWING TITLE:
EXISTING
LEVEL 1 PLAN

DRAWN: MB
CHECKED: MB

SCALE: 1:100 @ A3
DATE: FEBRUARY 2016
PROJECT NO. 1626
DRAWING NO. A-DA-03 A





REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	17.07.17	DEVELOPMENT APPLICATION	mb	mb

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PROJECT NAME:

ALTERATIONS AND ADDITIONS
30 WOODHURST ROAD
SEVEN MILE BEACH

DRAWING TITLE:

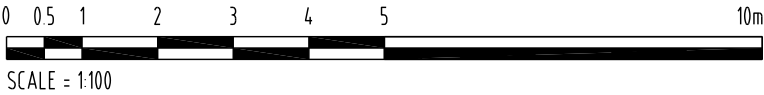
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ROOF PLAN

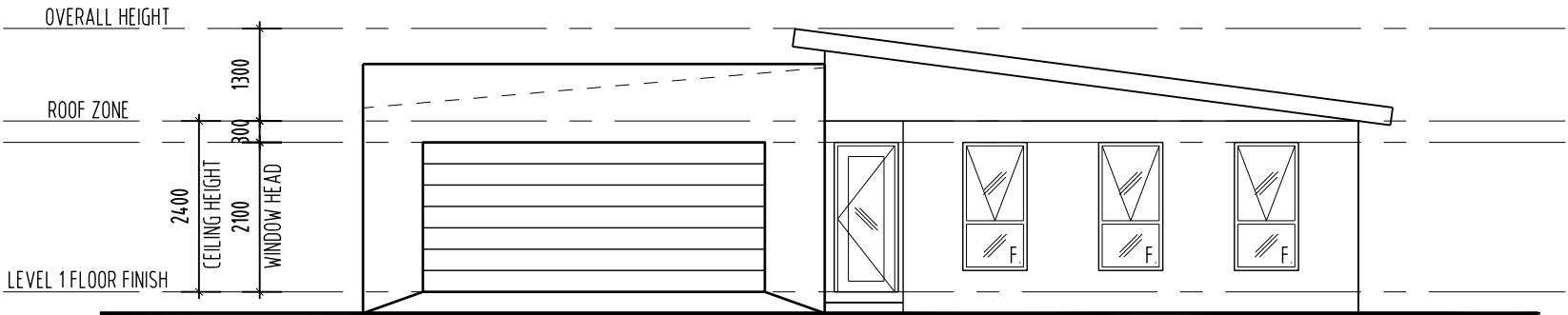
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DATE:	FEBRUARY 2016
PROJECT NO.	1626
DRAWING NO.	A-DA-04 A



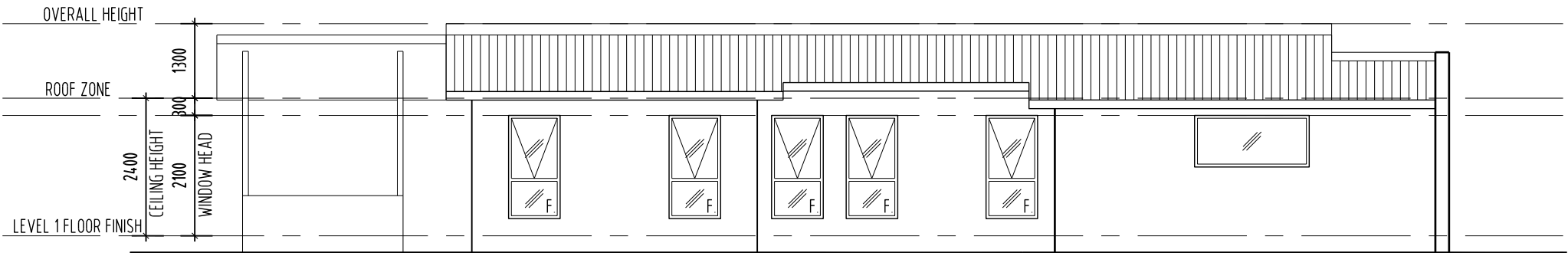
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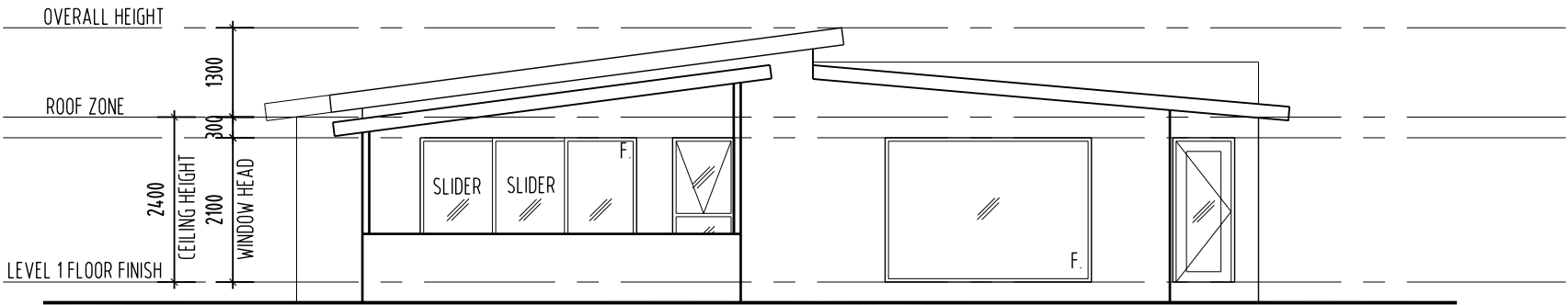




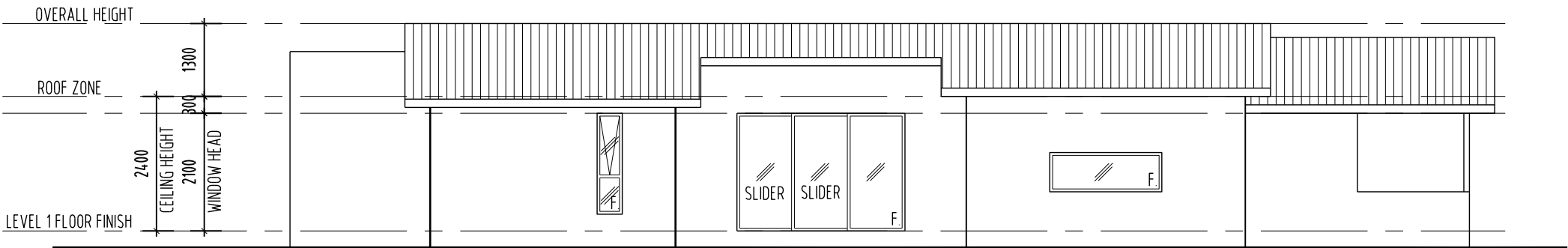
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- 1:100



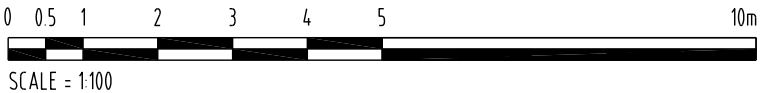
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- 1:100



01 NORTH WEST ELEVATION
- 1:100



01 NORTH EAST ELEVATION
- 1:100



REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	17.07.17	DEVELOPMENT APPLICATION	mb	mb

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PROJECT NAME:

ALTERATIONS AND ADDITIONS
30 WOODHURST ROAD
SEVEN MILE BEACH

DRAWING TITLE:

EXISTING ELEVATIONS

DRAWN: MB

CHECKED: MB

SCALE: 1:100 @ A3

DATE: FEBRUARY_2016

PROJECT NO. 1626

DRAWING NO. A-DA-05 A



REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	17.07.17	DEVELOPMENT APPLICATION	mb	mb

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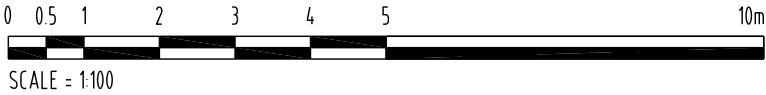
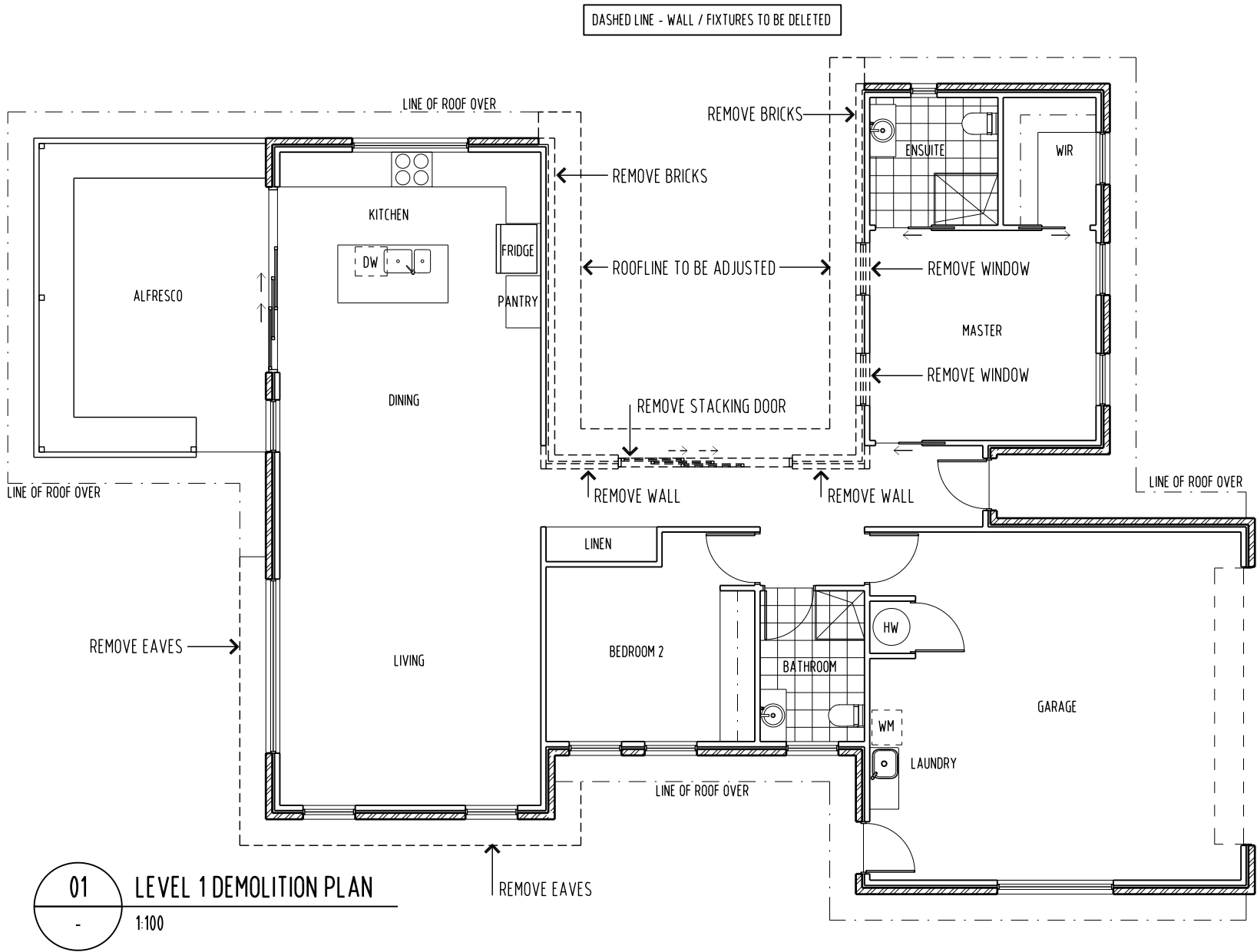
PROJECT NAME:

ALTERATIONS AND ADDITIONS
30 WOODHURST ROAD
SEVEN MILE BEACH

DRAWING TITLE:

DEMOLITION PLAN

DRAWN:	MB
CHECKED:	MB
SCALE:	1:100 @ A3
DATE:	FEBRUARY 2016
PROJECT NO.	1626
DRAWING NO.	A-DA-06





REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	17.07.17	DEVELOPMENT APPLICATION	mb	mb

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DEVELOPMENT APPLICATION



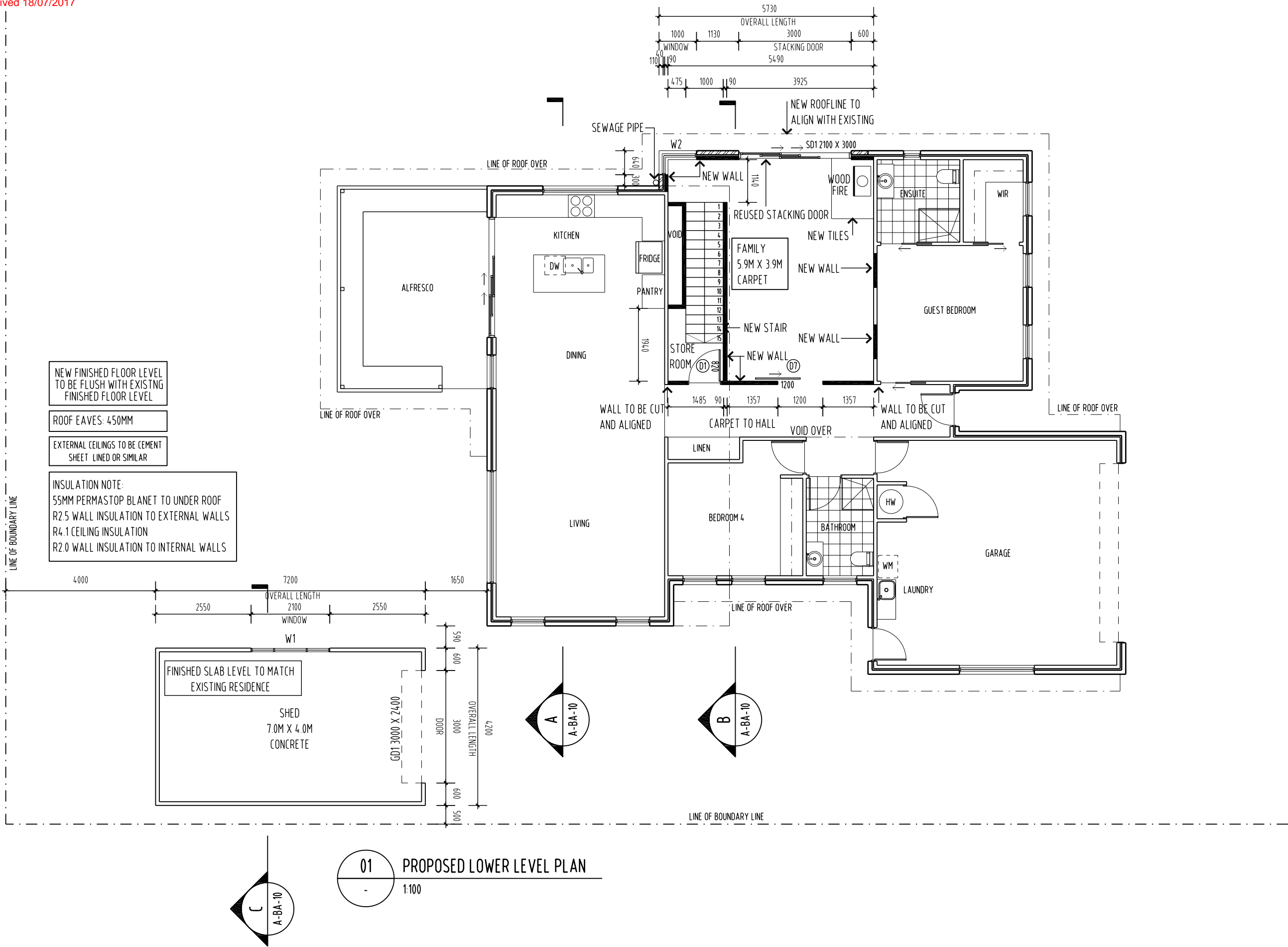
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PROJECT NAME:
ALTERATIONS AND ADDITIONS
30 WOODHURST ROAD
SEVEN MILE BEACH

DRAWING TITLE:
PROPOSED
LOWER LEVEL PLAN

DRAWN: MB
CHECKED: MB

SCALE: 1:100 @ A3
DATE: FEBRUARY_2016
PROJECT NO. 1626
DRAWING NO. A-DA-07 A





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DEVELOPMENT APPLICATION



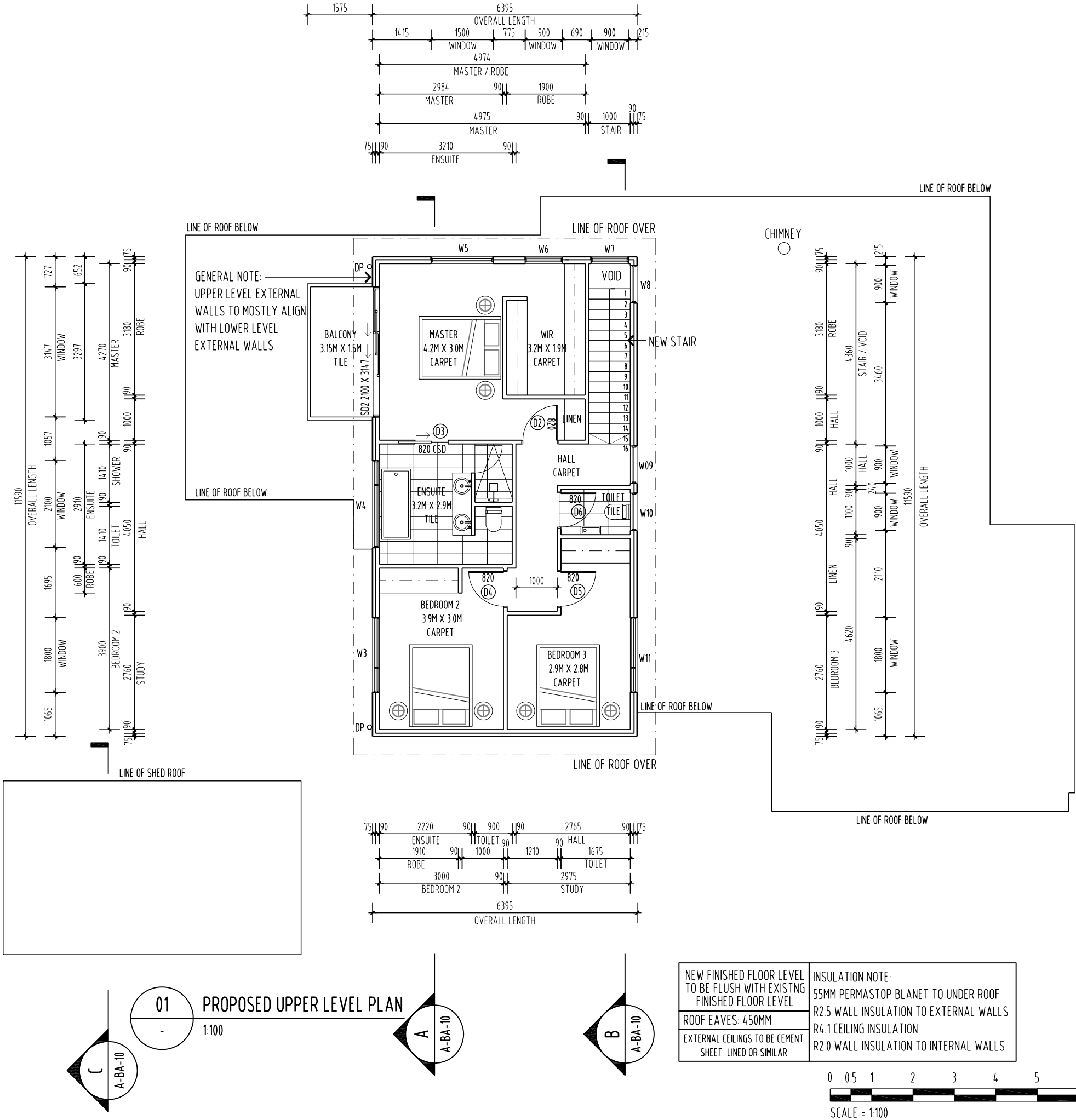
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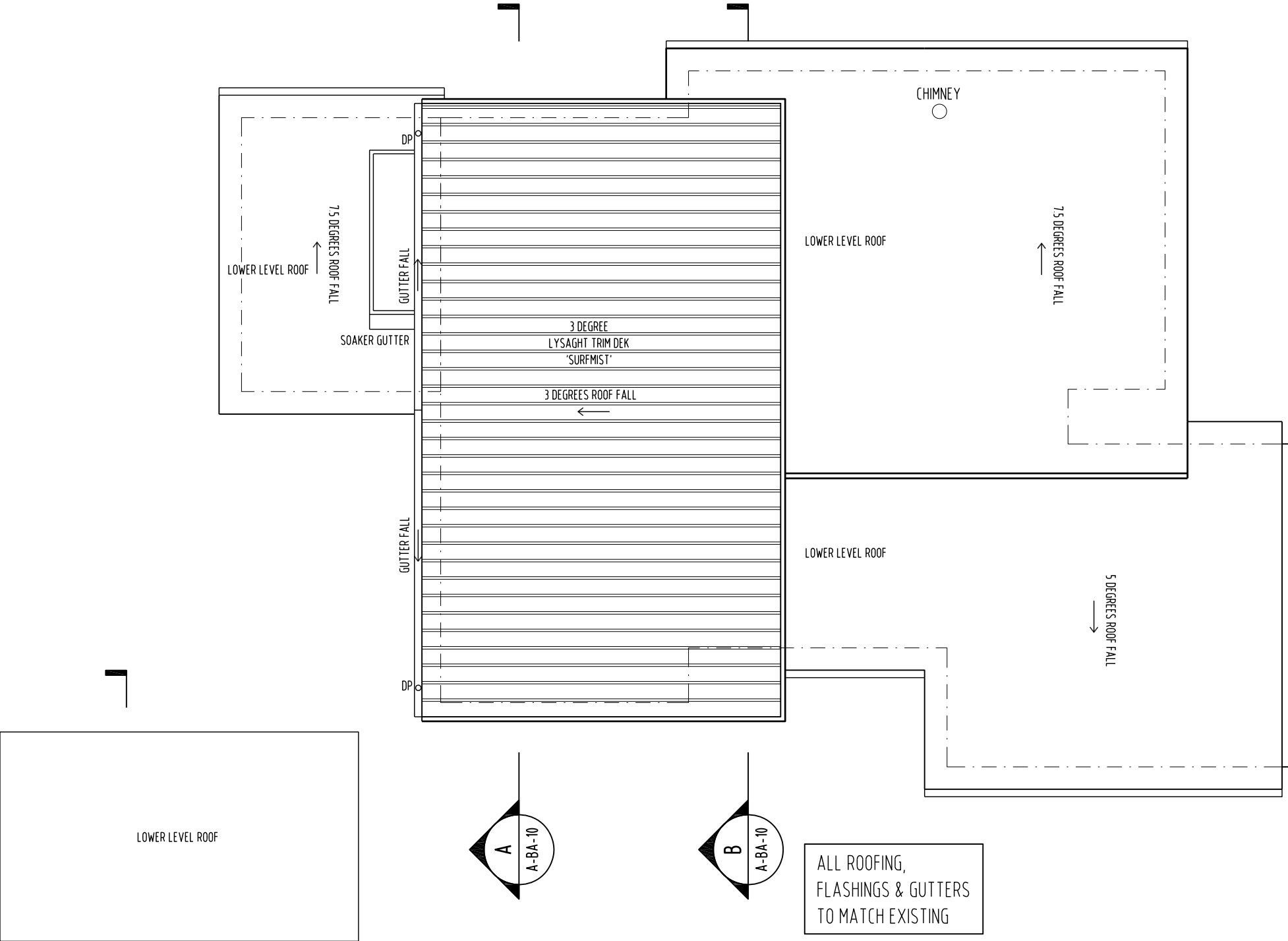
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PROJECT NAME:
ALTERATIONS AND ADDITIONS
30 WOODHURST ROAD
SEVEN MILE BEACH

DRAWING TITLE:
PROPOSED
UPPER LEVEL PLAN

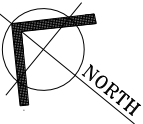
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SCALE:	1:100 @ A3
DATE:	FEBRUARY 2016
PROJECT NO.	1626
DRAWING NO.	A-DA-08





01
-
1:100
PROPOSED UPPER LEVEL ROOF PLAN

- ROOF & WALL CLADDING
- (VARIOUS TYPES)
 - GENERALLY TO BE IAW WITH NCC PART 3.5
 - ROOF CLADDING TO BE IAW NCC PART 3.5.1
 - METAL SHEET ROOFING TO BE AS1562.1
 - WALL CLADDING: COLORBOND & RENDERED BLUEBOARD, SEE MANUFACTURERS SPECIFICATION.
 - FLASHINGS TO BE NCC PART 3.5.3.6.
- FASCIA, GUTTER & DOWN PIPES
- COLORBOND METAL FASCIA, GUTTERING, FLASHINGS AND RIDGE CAPPING INSTALLED IAW MANUFACTURERS SPECIFICATIONS.
 - ALLOW FOR PERFORMED CAPPINGS & FLASHINGS NECESSARY TO ENSURE THE INTEGRITY OF THE ROOF STRUCTURE AGAINST WATER PENETRATION.
 - INSTALL FLASHINGS TO ROOF VENTS, FLUES ETC.
 - GUTTERS AND DOWN PIPES GENERALLY TO BE IAW NCC PART 3.5.2 & AS/NZS 3500.3.2 & TASMANIA PLUMBING CODE.
 - EAVES, INTERNAL AND VALLEY GUTTERING TO HAVE CROSS SECTIONAL AREA OF 6500mm².
 - EAVES OVERHANG ROOFS 450mm WHERE ROOFS OVERHANG LINE WITH FLEX BOARD SHEETING UNLESS STATED OTHERWISE.
 - DOWNPIPES TO BE 90MM DIA OR 100 X 50 RECTANGULAR SECTION PVE PAINTED TO CLIENTS REQUIREMENTS AND CLAMP FIXED TO WALL BRACKETS AT 1200crs.
 - LAP GUTTERING 75MM IN DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED ROOF & GUTTER SILICONE SEALANT.
 - MAXIMUM CENTRES FOR GUTTER SPOUTS TO BE 12 METRES AND LOCATED AS TO COMPLY WITH NCC 2016 PART 3.5.2.5



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No	DATE	DESCRIPTION	BY CHECK
A	17.07.17	DEVELOPMENT APPLICATION	mb mb

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DEVELOPMENT APPLICATION



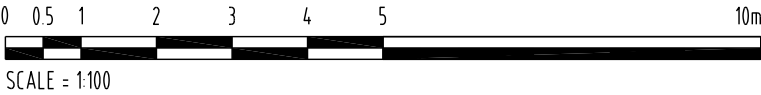
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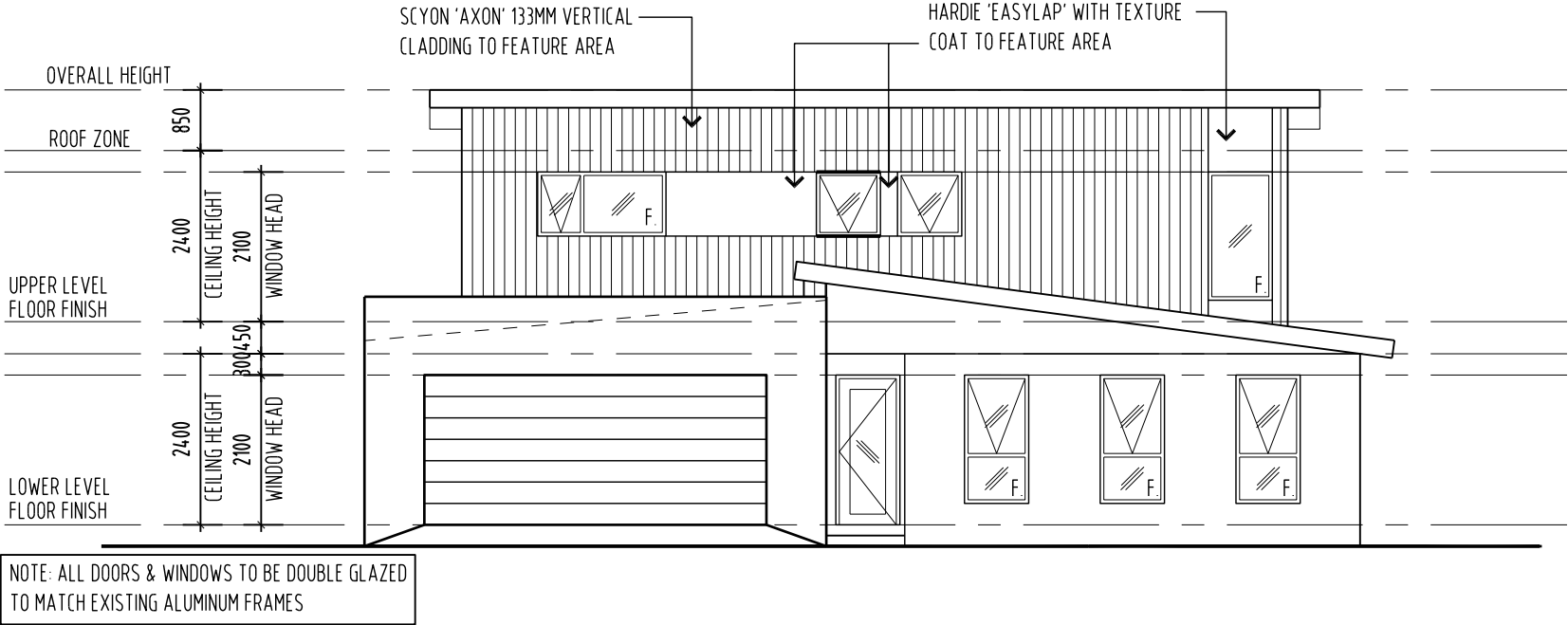
PROJECT NAME:
ALTERATIONS AND ADDITIONS
30 WOODHURST ROAD
SEVEN MILE BEACH

DRAWING TITLE:
ROOF PLAN

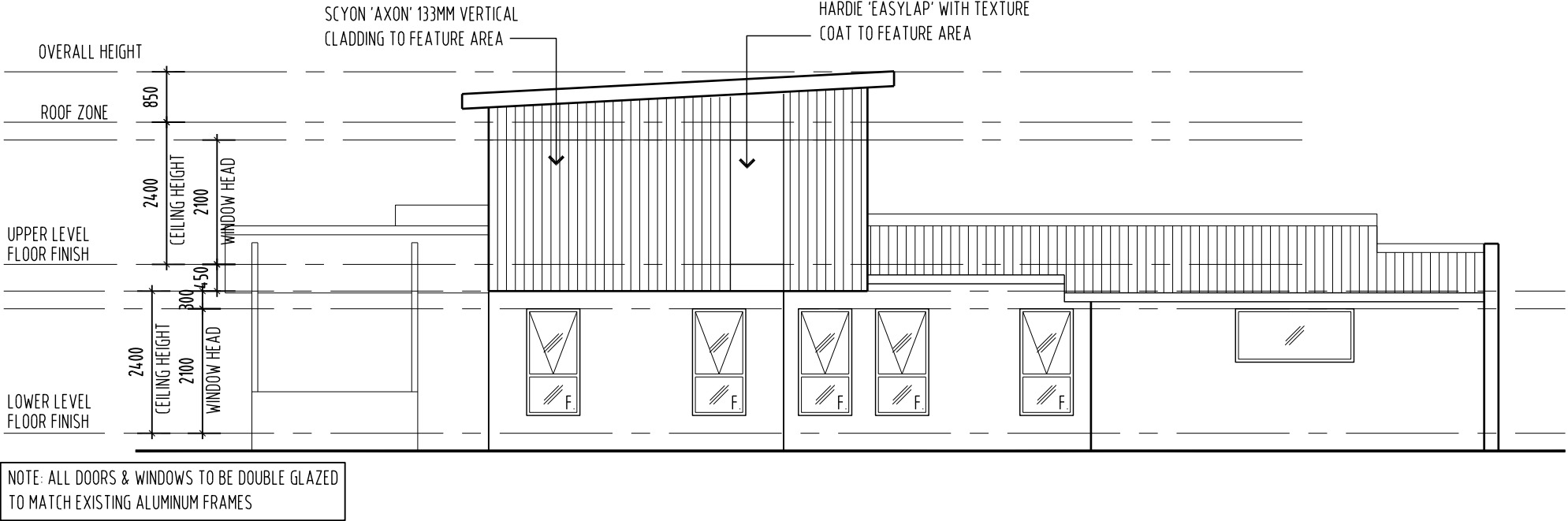
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SCALE:	1:100 @ A3
DATE:	FEBRUARY 2016
PROJECT NO.	1626
DRAWING NO.	A-DA-09 A



01 SOUTH EAST ELEVATION
- 1:100



01 SOUTH WEST ELEVATION
- 1:100



REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	17.07.17	DEVELOPMENT APPLICATION	mb	mb

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DEVELOPMENT APPLICATION



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PROJECT NAME:
ALTERATIONS AND ADDITIONS
30 WOODHURST ROAD
SEVEN MILE BEACH

DRAWING TITLE:
RESIDENCE -
NORTHERN &
EASTERN ELEVATIONS

DRAWN: MB

CHECKED: MB

SCALE: 1:100 @ A3

DATE: FEBRUARY 2016

PROJECT NO. 1626

DRAWING NO. A-DA-10 A

GLAZING

- GENERALLY GLAZING TO BE IAW AS2047 AND CURRENT NCC STANDARDS, REFER TO DOOR AND WINDOW SCHEDULE FOR DETAILS.
- COLOURED ALUMINUM WINDOW FRAMES.
- AWNING & HORIZONTAL SLIDING SASHES, REVEALS AND TRIMS TO OWNERS SPECIFICATION.
- ALL FIXINGS AND FLASHING TO MANUFACTURERS RECOMMENDATIONS.

WINDOW / EXTERNAL DOOR NOTES:

- ALL ALUMINUM AWNING WINDOWS TO BE DOUBLE GLAZED COMPLETE WITH FLY SCREENS.
- ALL EXTERNAL DOORS TO BE ALUMINUM WITH DOUBLE GLAZING.
- ALL WINDOW AND EXTERNAL DOOR MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

BRICKWORK

- SELECTED FIRED CLAY FACE BRICKS
- RAKED JOINTS, STRETCHER BOND REFER TO ENGINEER FOR ARTICULATION JOINTS.
- ALL MASONRY TO COMPLY WITH PART 3.3 OF THE NCC
- BRICK TIE SPACES FOR 450MM STUD SPACING, TYPICAL 600 X 450MM SPACING, 300 X 225MM AT OPENINGS AND WITH CONTROL JOINTS.
- FOR DETAILS REFER TO NCC 2016 PART 3.3.3 / AS 3700 & AS 4773.

MASONRY

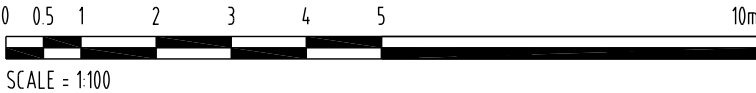
- GENERAL MASONRY WALLS TO BE CONSTRUCTED IN ACCORDANCE WITH NCC 3.3 & AS3700.
- UN-REINFORCED MASONRY TO NCC 3.3.1
- REINFORCED MASONRY TO NCC 3.3.2
- MASONRY ACCESSORIES TO NCC 3.3.3
- WEATHERPROOFING TO MASONRY TO NCC 3.3.4
- EARTH WALL CONSTRUCTION TO NCC 3.3.5

ROOF & WALL CLADDING

- (VARIOUS TYPES)
- GENERALLY TO BE IAW WITH NCC PART 3.5
- ROOF CLADDING TO BE IAW NCC PART 3.5.1
- METAL SHEET ROOFING TO BE AS1562.1
- WALL CLADDING: COLORBOND & RENDERED BLUEBOARD, SEE MANUFACTURERS SPECIFICATION.
- FLASHINGS TO BE NCC PART 3.5.3.6.

FASCIA, GUTTER & DOWN PIPES

- COLORBOND METAL FASCIA, GUTTERING, FLASHINGS AND RIDGE CAPPING INSTALLED IN ACCORDANCE WITH (IAW) MANUFACTURERS SPECIFICATIONS.
- ALLOW FOR CAPPINGS & FLASHINGS NECESSARY TO ENSURE THE INTEGRITY OF THE ROOF STRUCTURE AGAINST WATER PENETRATION.
- INSTALL FLASHINGS TO ROOF VENTS, FLUES ETC.
- GUTTERS AND DOWN PIPES GENERALLY TO BE IAW NCC PART 3.5.2 & AS/NZS 3500.3.2 & TASMANIA PLUMBING CODE.
- EAVES, INTERNAL AND VALLEY GUTTERING TO HAVE CROSS SECTIONAL AREA OF 6500mm².
- EAVES OVERHANG ROOFS 450mm WHERE ROOFS OVERHANG LINE WITH FLEX BOARD SHEETING UNLESS STATED OTHERWISE.
- DOWNPIPES TO BE 90MM DIA OR 100 X 50 RECTANGULAR SECTION PVE PAINTED TO CLIENTS REQUIREMENTS AND CLAMP FIXED TO WALL BRACKETS AT 1200crs.
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REVISION				
No	DATE	DESCRIPTION	BY	CHECK
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DEVELOPMENT APPLICATION



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PROJECT NAME:

ALTERATIONS AND ADDITIONS
30 WOODHURST ROAD
SEVEN MILE BEACH

DRAWING TITLE:

RESIDENCE -
SOUTHERN &
WESTERN ELEVATIONS

DRAWN: MB

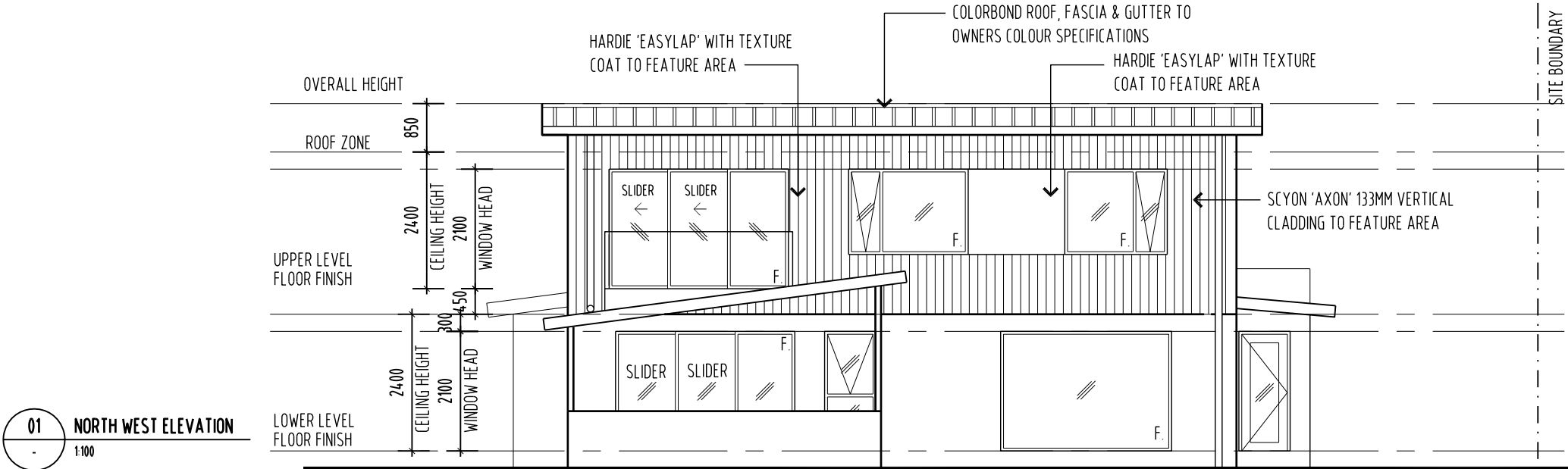
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DATE: FEBRUARY 2016

PROJECT NO. 1626

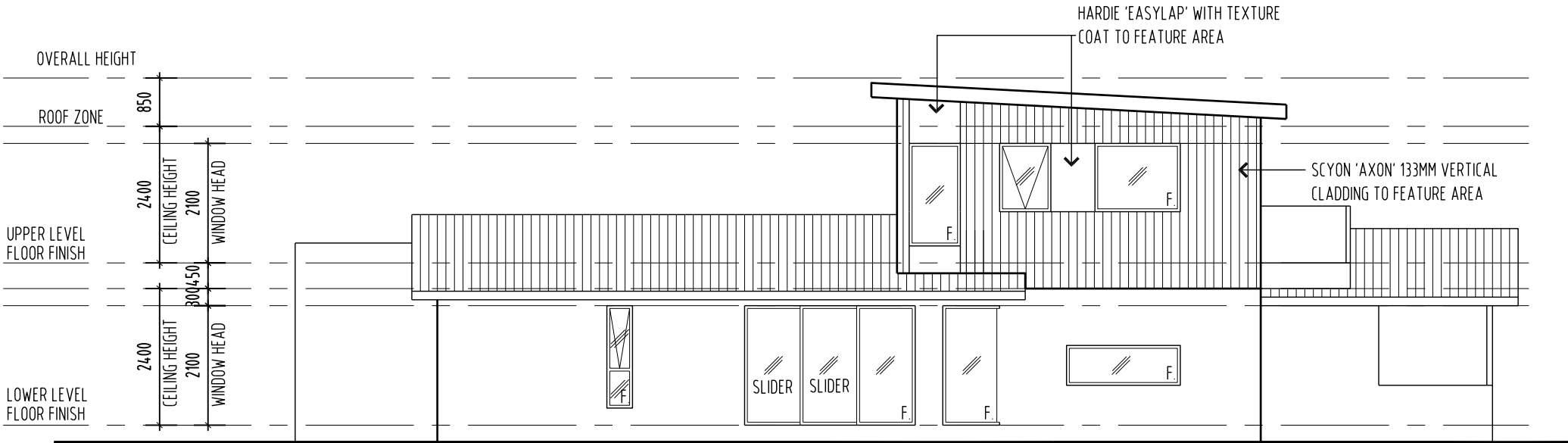
DRAWING NO. A-DA-11 A



NOTE: ALL DOORS & WINDOWS TO BE DOUBLE GLAZED TO MATCH EXISTING ALUMINUM FRAMES

01 NORTH WEST ELEVATION

1:100



NOTE: ALL DOORS & WINDOWS TO BE DOUBLE GLAZED TO MATCH EXISTING ALUMINUM FRAMES

01 NORTH EAST ELEVATION

1:100

GLAZING

- GENERALLY GLAZING TO BE IAW AS2047 AND CURRENT NCC STANDARDS, REFER TO DOOR AND WINDOW SCHEDULE FOR DETAILS.
- COLOURED ALUMINUM WINDOW FRAMES.
- AWNING & HORIZONTAL SLIDING SASHES, REVEALS AND TRIMS TO OWNERS SPECIFICATION.
- ALL FIXINGS AND FLASHING TO MANUFACTURERS RECOMMENDATIONS.

WINDOW / EXTERNAL DOOR NOTES:

- ALL ALUMINUM AWNING WINDOWS TO BE DOUBLE GLAZED COMPLETE WITH FLY SCREENS.
- ALL EXTERNAL DOORS TO BE ALUMINUM WITH DOUBLE GLAZING.
- ALL WINDOW AND EXTERNAL DOOR MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

BRICKWORK

- SELECTED FIRED CLAY FACE BRICKS
- RAKED JOINTS, STRETCHER BOND REFER TO ENGINEER FOR ARTICULATION JOINTS.
- ALL MASONRY TO COMPLY WITH PART 3.3 OF THE NCC
- BRICK TIE SPACES FOR 450MM STUD SPACING, TYPICAL 600 X 450MM SPACING, 300 X 225MM AT OPENINGS AND WITH CONTROL JOINTS.
- FOR DETAILS REFER TO NCC 2016 PART 3.3.3 / AS 3700 & AS 4773.

MASONRY

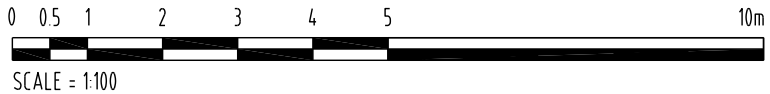
- GENERAL MASONRY WALLS TO BE CONSTRUCTED IN ACCORDANCE WITH NCC 3.3 & AS3700.
- UN-REINFORCED MASONRY TO NCC 3.3.1
- REINFORCED MASONRY TO NCC 3.3.2
- MASONRY ACCESSORIES TO NCC 3.3.3
- WEATHERPROOFING TO MASONRY TO NCC 3.3.4
- EARTH WALL CONSTRUCTION TO NCC 3.3.5

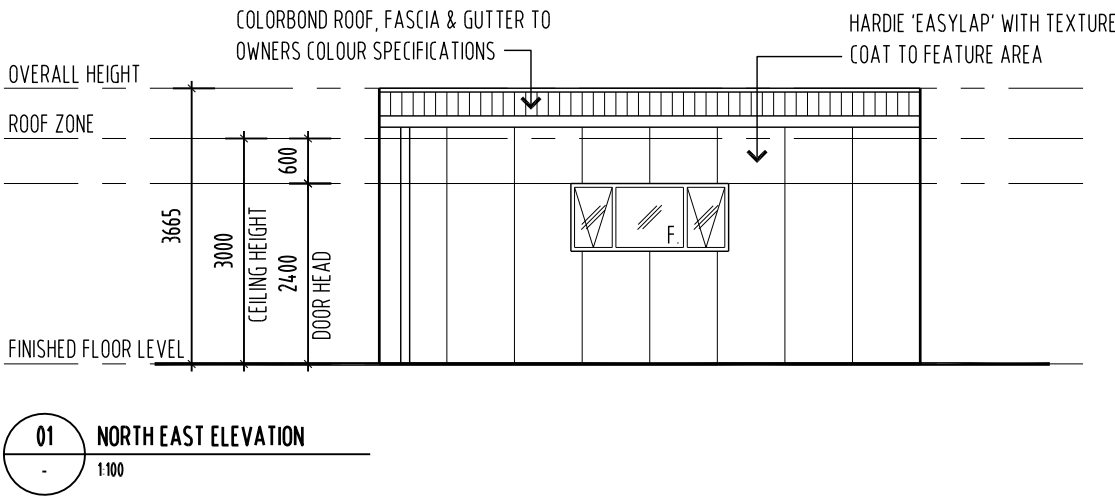
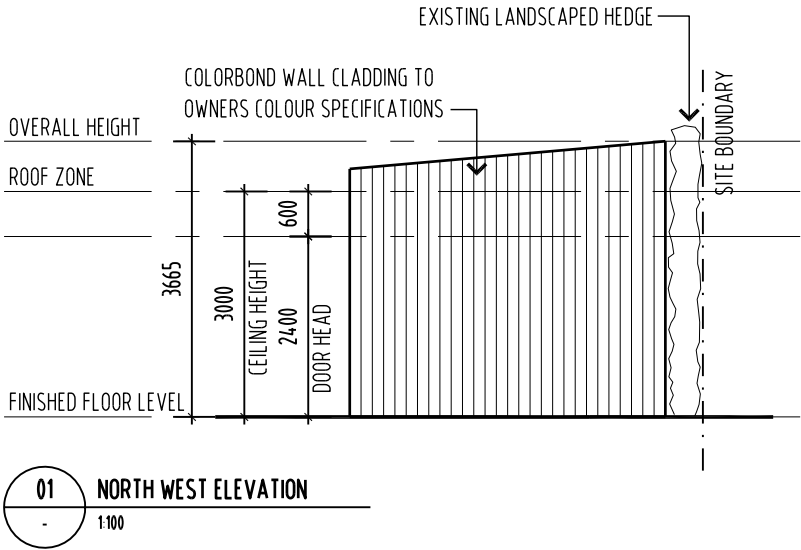
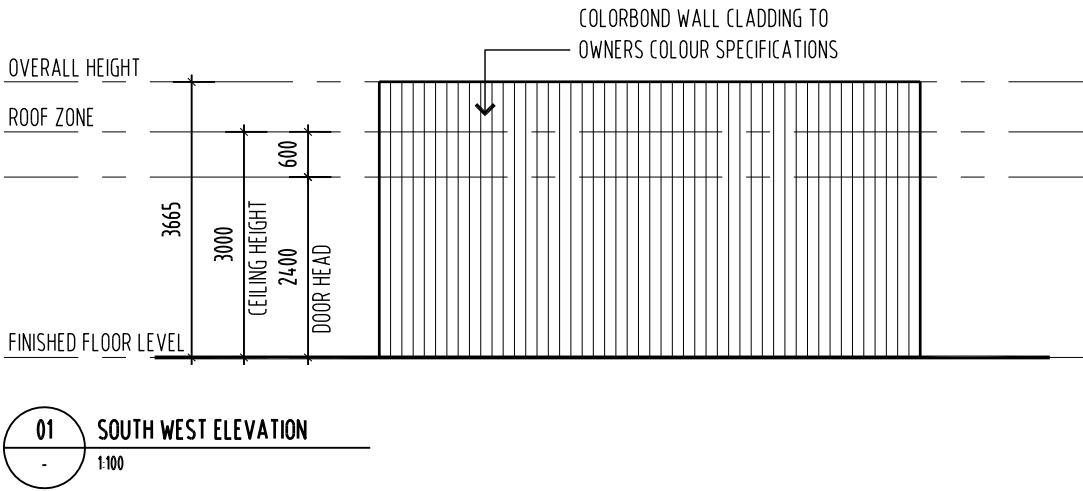
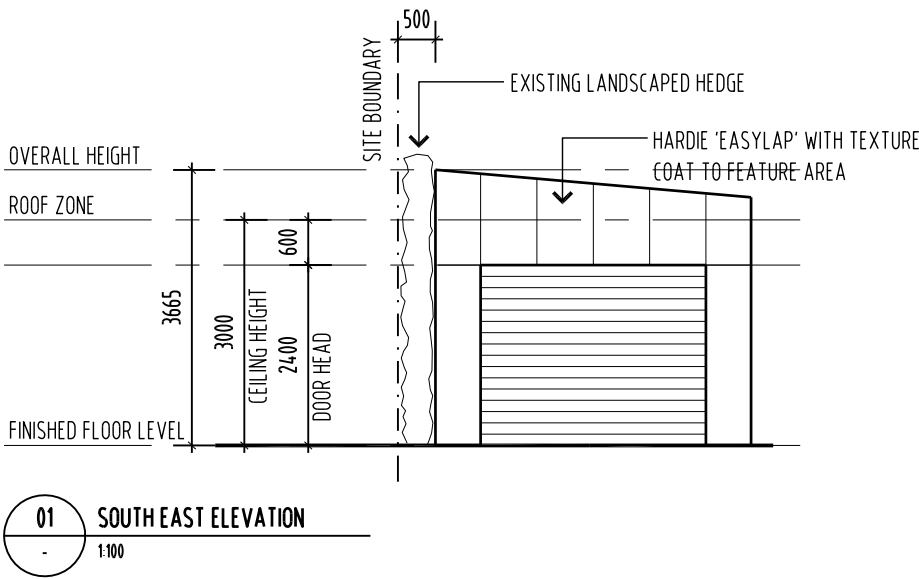
ROOF & WALL CLADDING

- (VARIOUS TYPES)
- GENERALLY TO BE IAW WITH NCC PART 3.5
- ROOF CLADDING TO BE IAW NCC PART 3.5.1
- METAL SHEET ROOFING TO BE AS1562.1
- WALL CLADDING: COLORBOND & RENDERED BLUEBOARD, SEE MANUFACTURERS SPECIFICATION.
- FLASHINGS TO BE NCC PART 3.5.3.6.

FASCIA, GUTTER & DOWN PIPES

- COLORBOND METAL FASCIA, GUTTERING, FLASHINGS AND RIDGE CAPPING INSTALLED IN ACCORDANCE WITH (IAW) MANUFACTURERS SPECIFICATIONS.
- ALLOW FOR CAPPINGS & FLASHINGS NECESSARY TO ENSURE THE INTEGRITY OF THE ROOF STRUCTURE AGAINST WATER PENETRATION.
 - INSTALL FLASHINGS TO ROOF VENTS, FLUES ETC.
 - GUTTERS AND DOWN PIPES GENERALLY TO BE IAW NCC PART 3.5.2 & AS/NZS 3500.3.2 & TASMANIA PLUMBING CODE.
 - EAVES, INTERNAL AND VALLEY GUTTERING TO HAVE CROSS SECTIONAL AREA OF 6500mm².
 - EAVES OVERHANG ROOFS 450mm WHERE ROOFS OVERHANG LINE WITH FLEX BOARD SHEETING UNLESS STATED OTHERWISE.
 - DOWNPIPES TO BE 90MM DIA OR 100 X 50 RECTANGULAR SECTION PVE PAINTED TO CLIENTS REQUIREMENTS AND CLAMP FIXED TO WALL BRACKETS AT 1200crs.
 - LAP GUTTERING 75MM IN DIRECTION OF FLOW, RIVET & SEAL WITH AN APPROVED ROOF & GUTTER SILICONE SEALANT.
 - MAXIMUM CENTRES FOR GUTTER SPOUTS TO BE 12 METRES AND LOCATED AS TO COMPLY WITH NCC 2016 PART 3.5.2.5





REVISION				
No	DATE	DESCRIPTION	BY	CHECK
A	17.07.17	DEVELOPMENT APPLICATION	mb	mb

NOTE:
- ALL WINDOW DIMENSIONS TO ALUMINIUM TO BE CONFIRMED ON SITE.
- ALL GLAZING TO COMPLY WITH NCC 3.6 AND AS1288 & AS2047
- ALL WET AREAS TO COMPLY WITH NCC 3.8.1 AND AS3740
- ALL TIMBER FRAMING TO COMPLY WITH NCC 3.4.3 AND AS1684
- ALL WINDOW LOCATION DIMENSIONS TAKEN FROM EXTERNAL STUD FRAME WORK

NOTE:
ALL ERRORS OR ANOMALIES ARE TO BE REPORTED TO HONED ARCHITECTURE + DESIGN

DO NOT SCALE OF DRAWINGS

CONFIRM ALL SIZES AND HEIGHTS ON SITE.

ALL CONSTRUCTION IS TO COMPLY WITH NCC AND AUSTRALIAN STANDARDS.

DEVELOPMENT APPLICATION



PO BOX 147, LAUNCESTON,
TASMANIA 7250 Ph:0417541646

DIMENSIONS ARE SUBJECT TO SITE
MEASUREMENT & VERIFICATION DO
NOT SCALE OFF THIS DRAWING
ALL DESIGNS ARE COPYRIGHT AND
REMAIN PROPERTY OF
HONED ARCHITECTURE + DESIGN.

PROJECT NAME:
ALTERATIONS AND ADDITIONS
30 WOODHURST ROAD
SEVEN MILE BEACH

DRAWING TITLE:
SHED ELEVATIONS

DRAWN: MB
CHECKED: MB

SCALE: 1:100 @ A3
DATE: FEBRUARY 2016
PROJECT NO. 1626
DRAWING NO. A-DA-12 A

GLAZING

- GENERALLY GLAZING TO BE IAW AS2047 AND CURRENT NCC STANDARDS, REFER TO DOOR AND WINDOW SCHEDULE FOR DETAILS.
- COLOURED ALUMINIUM WINDOW FRAMES.
- AWNING & HORIZONTAL SLIDING SASHES, REVEALS AND TRIMS TO OWNERS SPECIFICATION.
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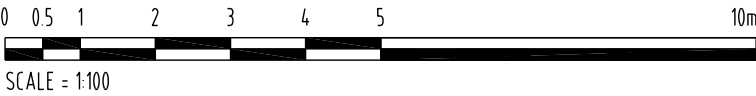
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- MASONRY ACCESSORIES TO NCC 3.3.3
- WEATHERPROOFING TO MASONRY TO NCC 3.3.4
- EARTH WALL CONSTRUCTION TO NCC 3.3.5

ROOF & WALL CLADDING

- (VARIOUS TYPES)
- GENERALLY TO BE IAW WITH NCC PART 3.5
- ROOF CLADDING TO BE IAW NCC PART 3.5.1
- METAL SHEET ROOFING TO BE AS1562.1
- WALL CLADDING: COLORBOND & RENDERED BLUEBOARD, SEE MANUFACTURERS SPECIFICATION.
- FLASHINGS TO BE NCC PART 3.5.3.6.

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 - EAVES, INTERNAL AND VALLEY GUTTERING TO HAVE CROSS SECTIONAL AREA OF 6500mm².
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 - MAXIMUM CENTRES FOR GUTTER SPOUTS TO BE 12 METRES AND LOCATED AS TO COMPLY WITH NCC 2016 PART 3.5.2.5



Attachment 3

30 Woodhurst Road, SEVEN MILE BEACH



Site viewed from Woodhurst Road, looking northwest



Site or proposed outbuilding, viewed from driveway of site looking northwest

11.3.2 DEVELOPMENT APPLICATION D-2017/261 - 218 PROSSERS ROAD, RICHMOND (PART OF 326 PROSSERS ROAD) - DWELLING
(File No D-2017/261)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for a dwelling at 218 Prossers Road, Richmond (part of 326 Prossers Road).

RELATION TO PLANNING PROVISIONS

The land is zoned Rural Resource and subject to the Parking and Access and On-site Wastewater Management Codes under the Clarence Interim Planning Scheme 2015 (the Scheme). The site is also covered by the Landslide, Natural Assets and Natural Assets Codes but the development does not require assessment under these codes. In accordance with the Scheme the proposal is a Discretionary development.

LEGISLATIVE REQUIREMENTS

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which was extended with the consent of the applicant until 6 September 2017.

CONSULTATION

The proposal was advertised in accordance with statutory requirements and 1 representation was received raising the following issues:

- safety concerns; and
- suggestions for road modifications.

RECOMMENDATION:

A. That the Development Application for Dwelling at 218 Prossers Road, Richmond (part of 326 Prossers Road) (CI Ref D-2017/261) be approved subject to the following conditions and advice.

1. GEN AP1 – ENDORSED PLANS.

B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

**DEVELOPMENT APPLICATION D-2017/261 - 218 PROSSERS ROAD,
RICHMOND (PART OF 326 PROSSERS ROAD) – DWELLING /contd...**

ASSOCIATED REPORT**1. BACKGROUND**

The lot was created as Stage 1 of a 11 lot subdivision approved by SD-2015/118 on 22 June 2015.

2. STATUTORY IMPLICATIONS

2.1. The land is zoned Rural Resource under the Scheme.

2.2. The proposal is discretionary because of the use and it does not meet certain Acceptable Solutions under the Scheme.

2.3. The relevant parts of the Planning Scheme are:

- Section 8.10 – Determining Applications;
- Section 10 – Rural Resource Zone;
- Section E6.0 – Parking and Access Code; and
- Section E23.0 – On-site Wastewater Management Code.

2.4. Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

3. PROPOSAL IN DETAIL

3.1. The Site

The site is a 20ha vacant rural lot located on the outskirts of Richmond and accessed from Prossers Road. The site is bound by large rural lots approved by SD-2015/18 to the north and rural residential development to the south, approximately 2ha in area. To the west, on the opposite of Prossers Road, is land zoned Significant Agriculture.

3.2. The Proposal

The proposal is for a single storey, 4 bedroom dwelling and separate garage. The dwelling will be located 122m from the front boundary to Prossers Road and 40m from the northern boundary. The garage is to be located behind the dwelling and 43m from the northern boundary.

4. PLANNING ASSESSMENT

4.1. Determining Applications [Section 8.10]

“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.

Reference to these principles is contained in the discussion below.

4.2. Compliance with Zone and Codes

The proposal meets the Scheme’s relevant Acceptable Solutions of the Rural Resource Zone and Parking and Access and On-Site Wastewater Management Codes with the exception of the following.

Rural Resource Zone

Clause	Standard	Acceptable Solution (Extract)	Proposed
26.3.1 A1	Sensitive Use (including residential use)	A sensitive use is for a home based business or an extension or replacement of an existing dwelling or existing ancillary dwelling, or for home-based child care in accordance with a licence under the Child Care Act 2001.	Does not comply

The proposed variation must be considered pursuant to the Performance Criteria P1 of the Clause 26.3.1 as follows.

Performance Criteria	Proposal
<i>“A sensitive use must not unreasonably convert agricultural land or conflict with or fetter non-sensitive use on adjoining land having regard to all of the following:</i>	
<i>(a) the characteristics of the proposed sensitive use;</i>	The dwelling will be located in the north-western corner of the site and the remaining area within the lot would be available for agricultural uses.
<i>(b) the characteristics of the existing or likely non-sensitive use on adjoining land;</i>	The adjoining lots to the south have been developed for rural residential use and the adjoining lot to the north is a large rural lot. The proposed dwelling is not considered to conflict the uses on adjoining lots.
<i>(c) setback to site boundaries and separation distance between the proposed sensitive use and existing or likely non-sensitive use on adjoining land;</i>	The setback of 40m from the northern boundary is a rural lot used currently for grazing. It is considered that the setback is sufficient as it will not fetter the potential agricultural use of this land.
<i>(d) any characteristics of the site and adjoining land that would buffer the proposed sensitive use from the adverse impacts on residential amenity from existing or likely non-sensitive use”.</i>	The setback of 40m to the north is considered sufficient to provide a buffer between the dwelling and any future agricultural uses on this property.

Rural Resource

Clause	Standard	Acceptable Solution (Extract)	Proposed
26.4.1 A2	Building Setback from a Side Boundary	Building setback from side and rear boundaries must be no less than 50m.	The proposed dwelling and garage are located 40m and 43m from the northern boundary and respectively.

The proposed variation can be supported pursuant to the Performance Criteria P2 of Clause 26.4.1 for the following reasons.

Performance Criteria	Comment
<i>“P1 - Building setback from side and rear boundaries must maintain the character of the surrounding rural landscape, having regard to all of the following:</i>	
<i>(a) the topography of the site;</i>	The dwelling is located on the lower slopes of the lot and maintains a similar setback to Prossers Road as the dwellings to the south.
<i>(b) the size and shape of the site;</i>	The lot is regular in size and shape.
<i>(c) the location of existing buildings on the site;</i>	There are no existing buildings on the site.
<i>(d) the proposed colours and external materials of the building;</i>	The dwelling is proposed to be clad in timber and masonry and the garage in dark grey which are compatible with the natural environment.
<i>(e) visual impact on skylines and prominent ridgelines;</i>	The dwelling is located on the lower slopes of the lot and therefore will not impact on the skyline or ridgeline.
<i>(f) impact on native vegetation;</i>	The dwelling is to be located in a cleared part of the site.
<i>(g) be no less than:</i> <i>(i) 10m; or</i> <i>(iii) 5m for lots below the minimum lot size specified in the acceptable solution; or</i> <i>(iii) the setback of an existing roofed building (other than an exempt building) from that boundary.</i> <i>unless the lot is narrower than 40m at the location of the proposed building site”.</i>	complies

Rural Resource

Clause	Standard	Acceptable Solution (Extract)	Proposed
26.3.3 A1	Discretionary use	No Acceptable Solution	Non-agricultural use

The proposed variation must be considered pursuant to the Performance Criteria P1 of the Clause 26.3.3 as follows.

Performance Criteria	Proposal
<i>“A discretionary non-agricultural use must not conflict with or fetter agricultural use on the site or adjoining land having regard to all of the following:</i>	
<i>(a) the characteristics of the proposed non-agricultural use;</i>	The location of the dwelling in the north-west corner of the site will not fetter the potential to use the site for agricultural uses.
<i>(b) the characteristics of the existing or likely agricultural use;</i>	The site is currently used for grazing but has potential to be used for a range of agricultural uses which will not be fettered by the dwelling.
<i>(c) setback to site boundaries and separation distance between the proposed non-agricultural use and existing or likely agricultural use;</i>	The setback of 40m to the nearest boundary is considered to provide an adequate separation distance between the dwelling and existing and future agricultural uses on the property to the north.
<i>(d) any characteristics of the site and adjoining land that would buffer the proposed non-agricultural use from the adverse impacts on amenity from existing or likely agricultural use”.</i>	The surrounding area is generally rural residential with the land zoned immediately south consisting of rural residential lots. The setback of 40m to the north is considered sufficient to provide a buffer between the dwelling and any future agricultural uses on this property.

5. REPRESENTATION ISSUES

The proposal was advertised in accordance with statutory requirements and 1 representation was received. The following issues were raised by the representor.

5.1. Safety Concerns

Concern was raised that the safety of pedestrians, bicycles and road traffic will be adversely affected by subdivision and development of a dwelling on the site as it will increase traffic on Prossers Road.

- **Comment**

The lot is accessed by an existing access approved by SD-2015/18 and Prossers Road is considered a satisfactory standard to cope with the additional traffic from the dwelling and the other lots approved as part of subdivision. On this basis, the dwelling will not result on a loss of safety to road users.

5.2. Suggestions for Road Modifications

The representor has suggested a number of modifications to Prossers Road, particularly in regards to the gravel section of the road. The suggestions include installing a footpath along Prossers Road, widen the road, and request that Council consider sealing the remainder of the road.

- **Comment**

Council's Engineers have advised that Prossers Road is a rural road with low traffic volumes. The suitability of the road to cope with additional lots was assessed as part of the subdivision and the volumes of traffic generated by the subdivision did not require the road to be sealed.

6. EXTERNAL REFERRALS

No external referrals were required or undertaken as part of this application.

7. STATE POLICIES AND ACT OBJECTIVES

7.1. The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

7.2. The proposal is consistent with the objectives of Schedule 1 of LUPAA.

8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

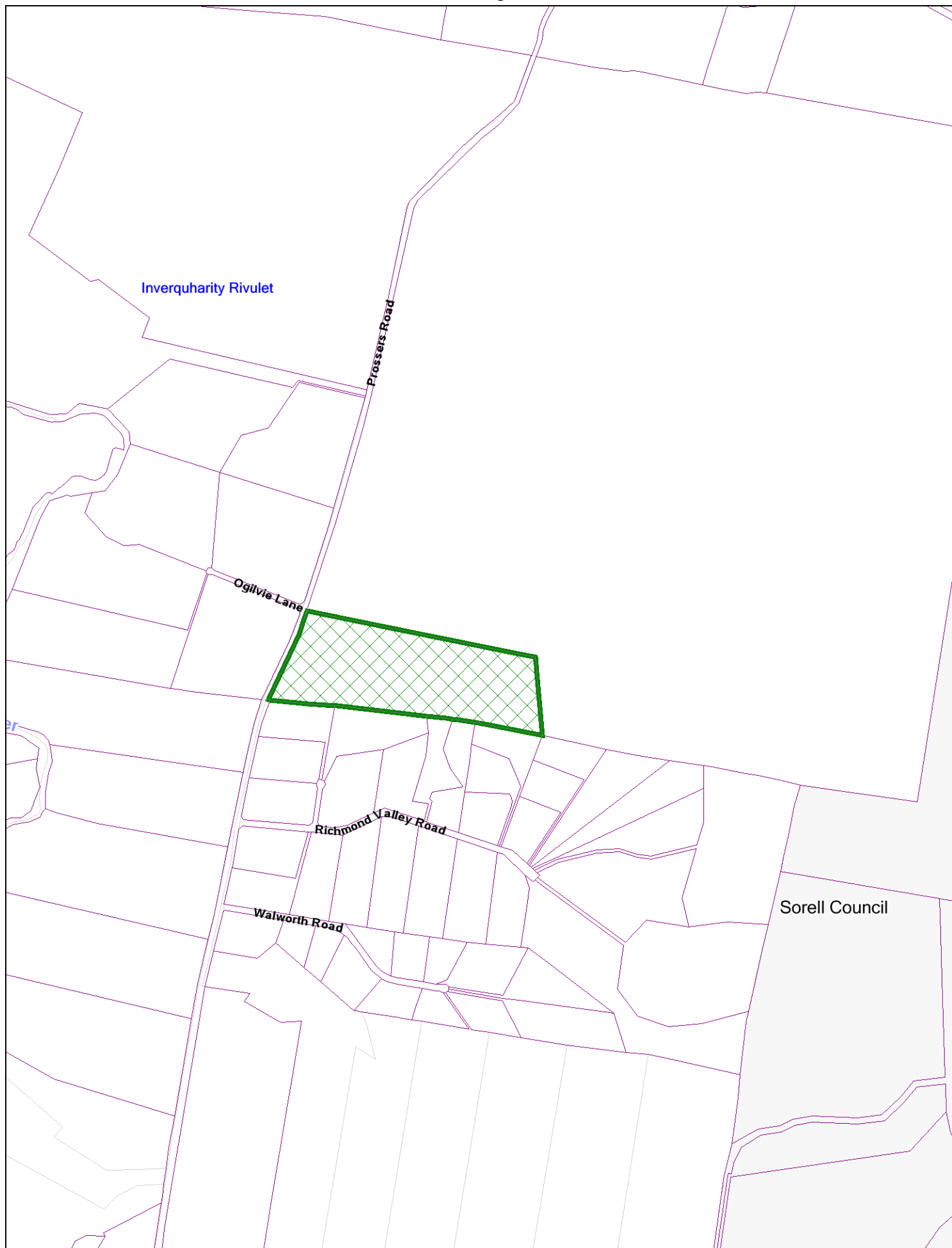
9. CONCLUSION

The proposal is for a dwelling and outbuilding which requires assessment under the standards of zone. The proposal is considered to meet the Performance Criteria of the Scheme and is recommended for approval.

Attachments: 1. Location Plan (1)
2. Proposal Plan (6)
3. Site Photo (1)

Ross Lovell
MANAGER CITY PLANNING

Clarence City Council



Disclaimer: This map is a representation of the information currently held by Clarence City Council. While every effort has been made to ensure the accuracy of the product, Clarence City Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated. Copying or reproduction, without written consent is prohibited. **Date:** Friday, 25 August 2017 **Scale:** 1:15,040 @A4

DRAWING SCHEDULE - ARCHITECTURAL		
DRAWING NO.	DRAWING	REVISION
A01-01	Location Plan and Cover sheet	B
A01-02	Site Plan	B
A02-00	Floor Plan - Lower	B
A03-01	Roof Plan	B
A04-00	Elevations	B
A04-01	Elevations	B

DESIGN DETAILS	
TITLE REFERENCE	
CERTIFICATE FOLIO	1
VOLUME	172560

FLOOR AREAS	
PROPOSED HOUSE	305.76 m2
PROPOSED CARPORT	45 m2
PROPOSED SHED	157.5 m2



**Preston
Lane**

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AOC OC1017P

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The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

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Proprietor TODD AND NATALIA BOOTH
Project 218 PROSSERS ROAD
RICHMOND

Drawing

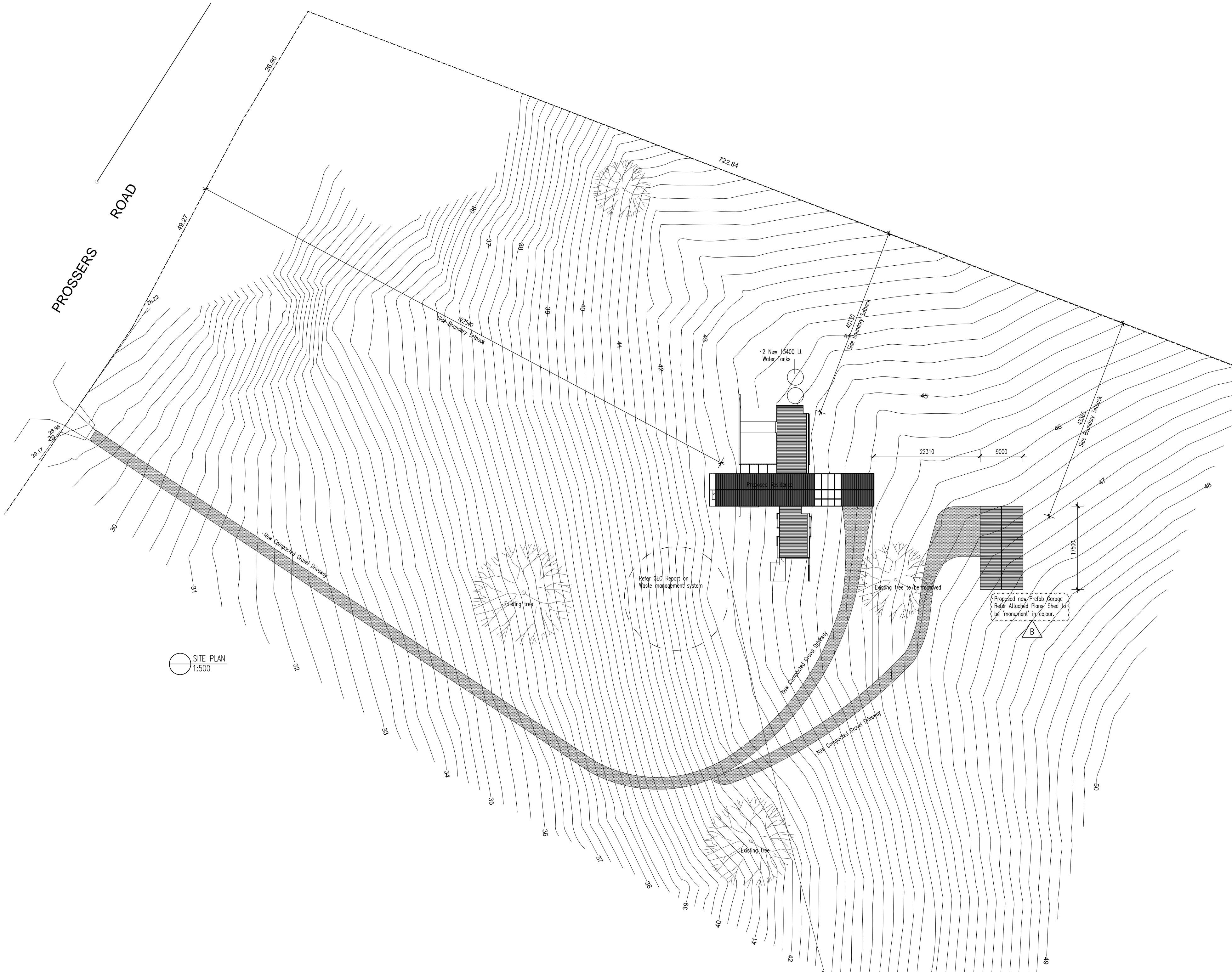
LOCATION PLAN
AND COVER SHEET

Scale 1:2000 @ A2

Revision				
A	04/07/17	Issued for DA	PN	DL
B	28/07/17	Minor Amendment	NM	DL

Project No 16022

Drawing Number **A01-01**



SITE PLAN
1:500

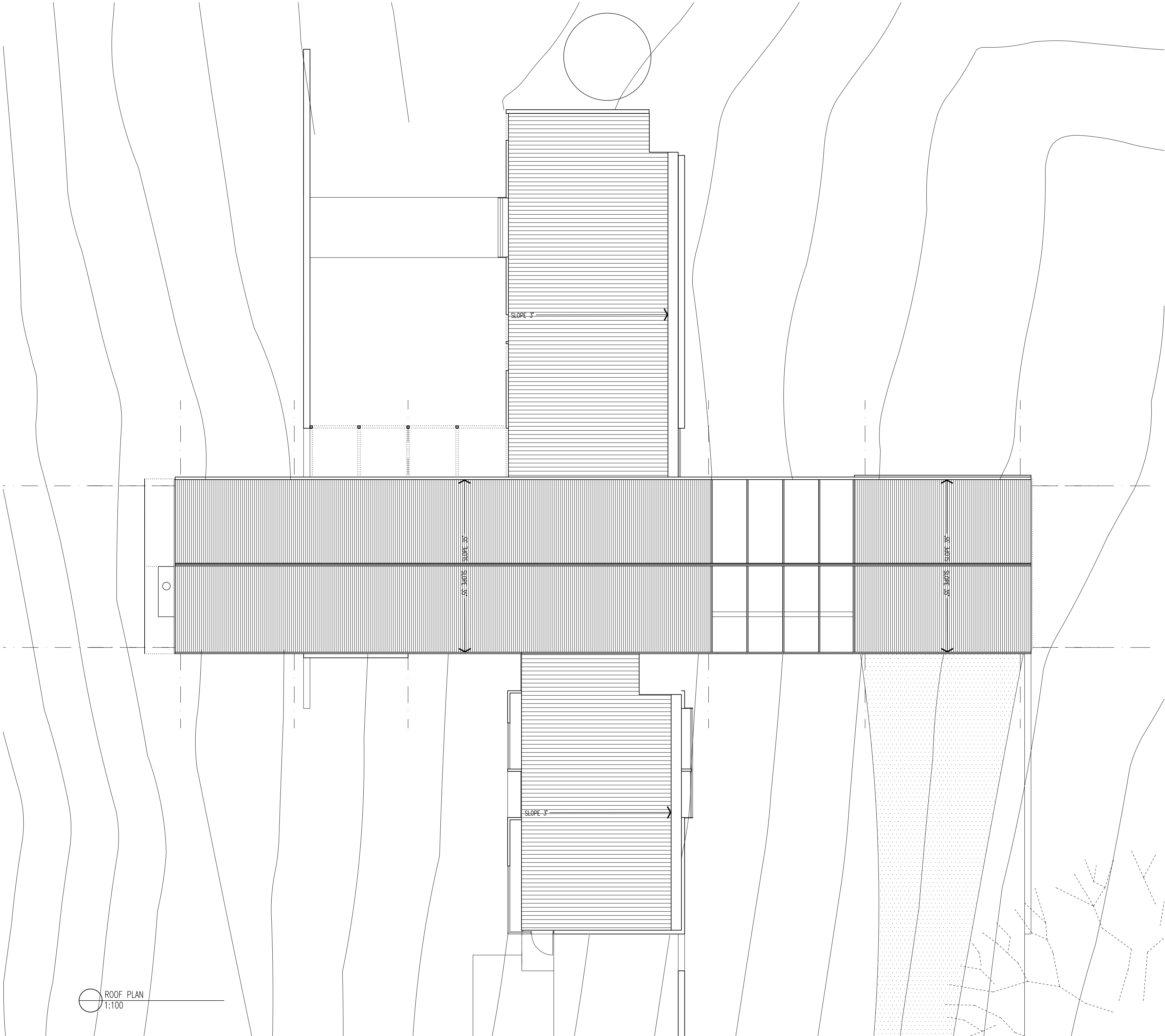


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Proprietor	TODD AND NATALIA BOOTH		
Project	218 PROSSERS ROAD RICHMOND		
Drawing	SITE PLAN		
Scale	1:500 @ A2		
Revision			
A 04/07/17	Issued for DA	PN	DL
B 28/07/17	Minor Amendment	NM	DL
Project No	16022		
Drawing Number	A01-02		



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Proprietor
TODD AND NATALIE BOOTH

Project
326 PROSSERS ROAD
RICHMOND

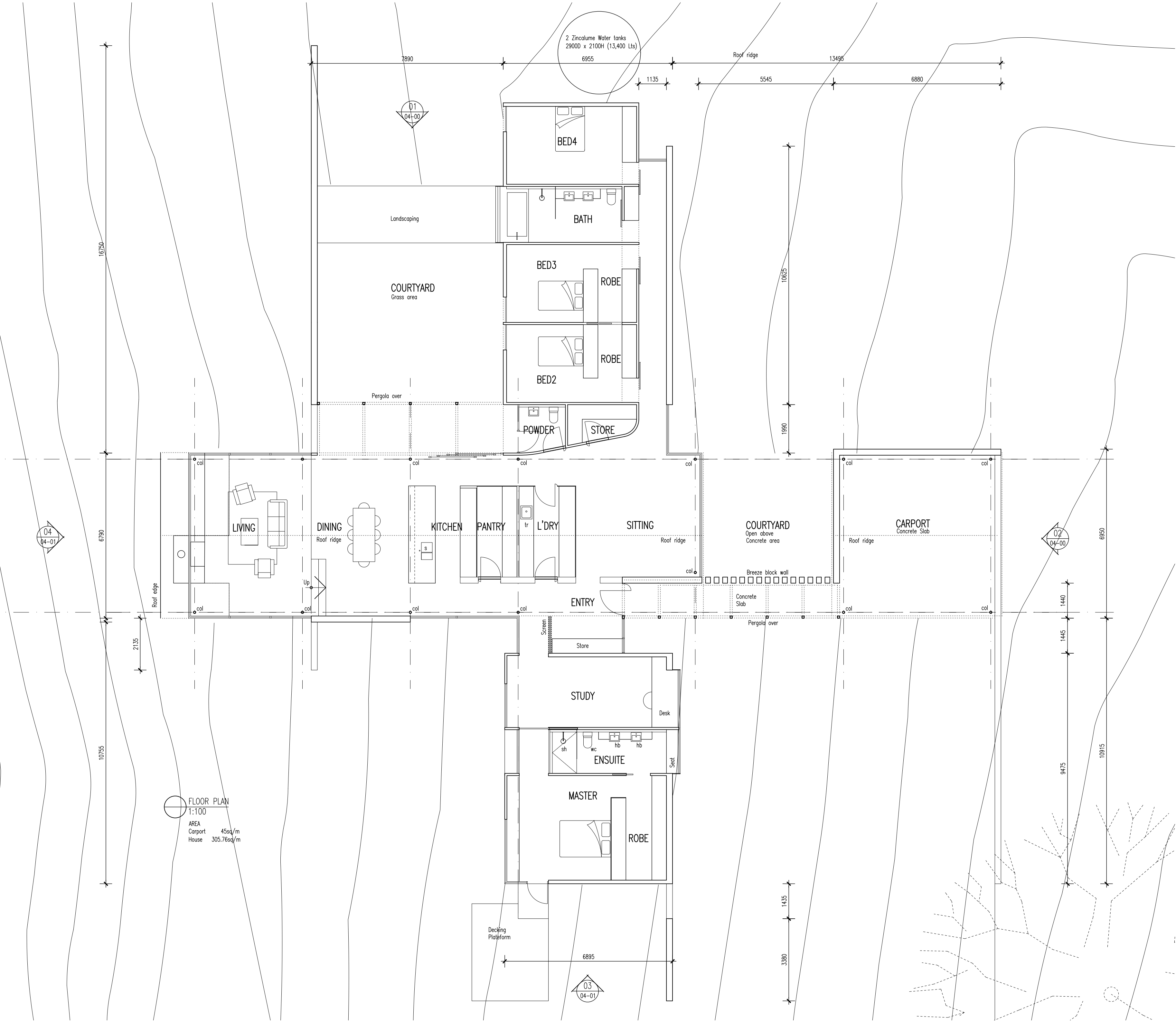
Drawing
ROOF PLAN

Scale
1:100 @ A2

Revision			
A	04/07/17	Issued for DA	PN DL
B	28/07/17	Minor Amendment	NM DL

Project No
16022

Drawing Number
A03-01 8



GENERAL NOTES

These drawings are to be read in conjunction with the specifications, structural engineers drawings and computations, geotechnical site investigation report and any other written instructions and drawings by other consultants.

All work carried out is to comply with the BCA, Australian Standards, Local Authority and all Relevant Authorities Regulations, Statutory Requirements and By-laws.

Exterior materials to comply with BAL 12.5 & GEO Solutions Bush Fire Management Plan

GLAZING

FG Fixed glazing
AW Operable awning sash

ROOF FINISHES

(CBT) Colorbond roofing, Colour monument

FINISHES

- (TM1) Vertical timber boards, ship lap, clear finish. Species to Spotted Gum
- (BR1) Blockwork, Natural Finish "Steel grey" in colour
- (CS1) Cement sheet cladding. Butt joint silicone seal. Paint finish. Colour monument
- (CONC) Concrete. exposed aggregate finish. 14mm bluestone aggregate
- (TD1) Timber decking, clear finish. Species to future selection.
- (ZN1) Zincume metal sheeting.
- w. New window aluminium Colour monument.
- d. New door aluminium Colour monument
- (ST) Steelwork colour monument



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The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

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Proprietor TODD AND NATALIE BOOTH
Project 218 PROSSERS ROAD
RICHMOND

Drawing FLOOR PLAN

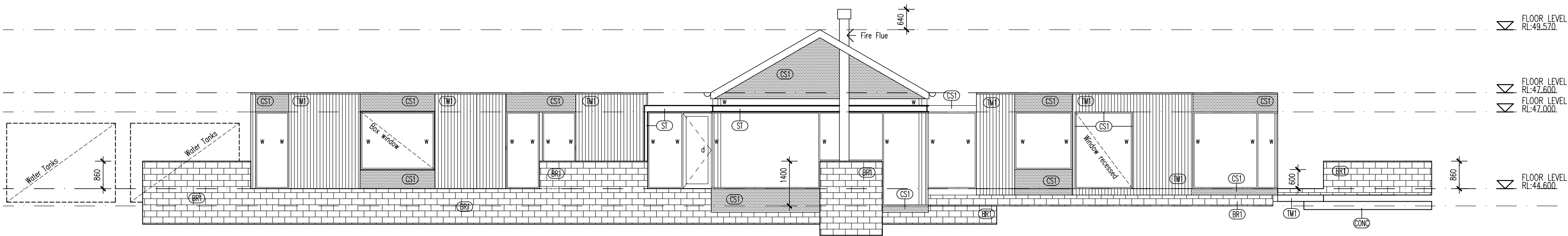
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Revision

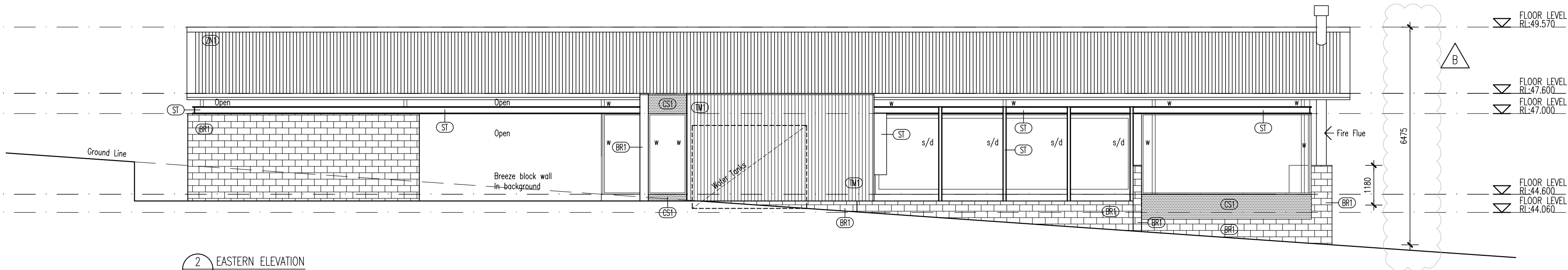
A	04/07/17	Issued for DA	PN	DL
B	28/07/17	Minor Amendment	NM	DL

Project No 16022

Drawing Number A02-00 B



1 NORTHERN ELEVATION
1:100



2 EASTERN ELEVATION
1:100

GENERAL NOTES

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FINISHES

TM1 Vertical timber boards, ship lap, clear finish. Species to Spotted Gum
BR1 Blockwork, Natural Finish 'Steel grey' in colour
CS1 Cement sheet cladding. Butt joint silicone seal. Paint finish. Colour monument
CONC Concrete. exposed aggregate finish. 14mm bluestone aggregate
TD1 Timber decking, clear finish. Species to future selection.
ZM1 Zincume metal sheeting.
w. New window aluminium Colour monument.
d. New door aluminium Colour monument
ST Steelwork colour monument



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The Builder/Contractor shall verify job dimensions prior to any work commencing. Figured dimensions shall take precedence over scaled work.

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Proprietor
Project
Drawing
ELEVATIONS

Scale
1:100 @ A2
Revision
A 04/07/17 Issued for DA PN DL
B 28/07/17 Minor Amendment NM DL

Project No
Drawing Number
16022
A04-00

GENERAL NOTES

These drawings are to be read in conjunction with the specifications, structural engineers drawings and computations, geotechnical site investigation report and any other written instructions and drawings by other consultants.

All work carried out is to comply with the BCA, Australian Standards, Local Authority and all Relevant Authorities Regulations, Statutory Requirements and By-laws.

Exterior materials to comply with BAL 12.5 & GEO Solutions Bush Fire Management Plan

GLAZING

FG Fixed glazing
AW Openable awning sash

ROOF FINISHES

(CBT) Colorbond roofing, Colour monument

FINISHES

- (TM1) Vertical timber boards, ship lap, clear finish. Species to Spotted Gum
- (BR1) Blockwork, Natural Finish "Steel grey" in colour
- (CS1) Cement sheet cladding. Butt joint silicone seal. Paint finish. Colour monument
- (CON) Concrete. exposed aggregate finish. 14mm bluestone aggregate
- (TD1) Timber decking, clear finish. Species to future selection.
- (ZNI) Zincalume metal sheeting.
- w. New window aluminium Colour monument.
- d. New door aluminium Colour monument
- (ST) Steelwork colour monument

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Proprietor
TODD AND NATALIE BOOTH

Project
218 PROSSERS ROAD
RICHMOND

Drawing
ELEVATIONS

Scale
1:100 @ A2

Revision
A 04/07/17 Issued for DA PN DL
B 28/07/17 Minor Amendment NM DL

Project No
16022

Drawing Number
A04-01

3 SOUTHERN ELEVATION
1:100

4 WESTERN ELEVATION
1:100

218 Prossers Road, RICHMOND (part of 326 Prossers Road)



Site viewed from the access from Prossers Road.

**11.3.3 DEVELOPMENT APPLICATION D-2017/241 AND SD-2017/19 - 171
TRANMERE ROAD, HOWRAH - 1 LOT SUBDIVISION AND 2 MULTIPLE
DWELLINGS (1 EXISTING + 1 NEW)**
(File Nos D-2017/241; SD-2017/19)

EXECUTIVE SUMMARY

PURPOSE

The purpose of this report is to consider the application made for a 1 lot subdivision and 2 Multiple Dwellings (1 existing + 1 new) at 171 Tranmere Road, Howrah.

RELATION TO PLANNING PROVISIONS

The land is zoned General Residential and is subject to the Parking and Access Code, Stormwater Management Code and Waterway and Coastal Protection Code under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

LEGISLATIVE REQUIREMENTS

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on the 8 September 2017.

CONSULTATION

The proposal was advertised in accordance with statutory requirements and 1 representation was received raising the issue of visual impact including loss of views.

RECOMMENDATION:

- A. That the Development Application for a 1 lot Subdivision and 2 Multiple Dwellings (1 existing + 1 new) at 171 Tranmere Road, Howrah (CI Ref D-2017/241 and SD-2017/19) be approved subject to the following conditions and advice.
1. GEN AP1 – ENDORSED PLANS.
 2. GEN POS1 – POS CONTRIBUTION [5% of Lot 2].

3. GEN AP3 – AMENDED PLANS [the inclusion of a 1.2m high screen along the full length of the south-western elevation of the deck associated with Unit 2 (existing dwelling) with a uniform transparency of no more than 25%].
 4. ENG A2 – CROSSOVER CHANGE [5.5M].
 5. ENG A5 – SEALED CAR PARKING.
 6. ENG S1 – INFRASTRUCTURE REPAIR.
 7. ENG M1 – DESIGNS DA [ACCESS, CARPARK AND DRIVEWAYS, SERVICE UPGRADES OR RELOCATIONS].
 8. ENG M5 – EROSION CONTROL.
 9. ENG S4 – STORMWATER CONNECTION.
 10. The subdivision and development must meet all required Conditions of Approval specified by TasWater notice dated 25 August 2017 (TWDA 2017/01349-CCC).
- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council’s decision in respect of this matter.

ASSOCIATED REPORT

1. BACKGROUND

No relevant background.

2. STATUTORY IMPLICATIONS

2.1. The land is zoned General Residential under the Scheme.

2.2. The proposal is discretionary because it is a subdivision and it does not meet the Acceptable Solutions under the Scheme.

2.3. The relevant parts of the Planning Scheme are:

- Section 8.10 – Determining Applications;
- Section 10.4 – General Residential Zone;

- Section E6.0 – Parking and Access Code;
- Section E7.0 – Stormwater Management Code.

Given the property is serviced with reticulated services, the proposal is exempt from the requirements of the Waterway and Coastal Protection Code.

Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

3. PROPOSAL IN DETAIL

3.1. The Site

The subject site is a 1,442m² regular shaped lot situated between Tranmere Road to the east and the Clarence Foreshore Trail (Derwent River foreshore reserve) to the west. The site slopes from Tranmere Road to the western boundary with the foreshore reservation with an average gradient of 10%. The site is developed with a 2 storey brick and tile dwelling located centrally within the lot. Access to the site is provided via a single driveway extending from the northern end of the property frontage onto Tranmere Road. A turning circle is located in the front yard providing for the parking of vehicles.

The site is located within an established residential environment with a single storey dwelling located directly to the south and a Multiple Dwelling development to the north.

3.2. The Proposal

The application has 2 parts being a subdivision and Multiple Dwelling development.

The first part would entail the subdivision of the existing lot to create a new vacant lot abutting the foreshore reservation (Lot 2). Proposed Lot 2 would have an area of 552m². The boundary of Lot 2 with Lot 1 would be located 2m to the south-west of the existing dwelling and would rely on access to Tranmere Road via a 3.6m wide right-of-way over proposed Lot 1.

A 10m x 15m building area has been accommodated within the body of Lot 1 which is oriented 30 degrees west of north to facilitate a future dwelling incorporating passive solar design principles.

Proposed Lot 1 would contain the existing dwelling and would retain a land area of 889m². In order to facilitate the required right-of-way width in favour of Lot 2, a portion of the north-western elevation of the existing dwelling will be required to be demolished. Lot 2 would be accessed via a 3.6m wide right-of-way located parallel with the northern side property boundary.

The second component of the application involves the construction of an additional Multiple Dwelling within Lot 1 between the existing dwelling and the street. The additional dwelling would maintain a 4.5m setback from Tranmere Road and would consist of a 2 storey design presenting as a single storey development when viewed from the road in response to the slope. The lower level would contain 3 bedrooms, bathroom, laundry and a double garage. The upper level would contain an open plan living area and toilet. The total floor area of the additional dwelling would be 200.75m². The dwelling would reach a maximum height of 5.9m above natural ground level.

The additional dwelling would be clad with a range of external cladding materials including cement sheet wall cladding, brick work in a rendered finish and vertical timber cladding. A 12.36m² deck is proposed to extend from the north-western elevation of the upper level of the additional dwelling.

The existing dwelling is proposed to be modified by way of demolishing a 0.8m wide section of the north-western elevation of the dwelling encroaching into the required driveway area servicing proposed Lot 2 and the existing dwelling. The existing deck located on the south-western elevation of the dwelling is proposed to be retained with screening proposed the full length of the south-eastern elevation facing the adjoining residential property to the south-east.

In terms of parking provision, 2 car parks are proposed to service the additional dwelling in the proposed garage and 2 uncovered car parking spaces would be located between the 2 dwellings to service the existing dwelling. One visitor space has been allocated alongside the existing dwelling.

Private open space has been allocated to the additional dwelling between the dwelling and the street, and to the south-west of the existing dwelling.

4. PLANNING ASSESSMENT

4.1. Determining Applications [Section 8.10]

“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.

Reference to these principles is contained in the discussion below.

4.2. Compliance with Zone and Codes

The proposal meets the Scheme’s relevant Acceptable Solutions of the General Residential Zone, Parking and Access Code and Stormwater Management Code with the exception of the following.

Subdivision**General Residential Zone – Development Standards**

Clause	Standard	Acceptable Solution (Extract)	Proposed
10.4.2 A3	Setbacks and building envelope for all dwellings	<p>A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:</p> <p>(a) be contained within a building envelope (refer to Diagrams 10.4.2A, 10.4.2B, 10.4.2C and 10.4.2D) determined by:</p> <p>(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and</p> <p>(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and</p> <p>(b) only have a setback within 1.5m of a side boundary if the dwelling:</p>	<p>Does not comply. The deck located on the south-western elevation of the existing dwelling would be located within 2m of the new boundary separating proposed Lot 1 and 2.</p> <p>complies</p>

		(i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining lot; or	complies
		(ii) does not exceed a total length of 9m or one-third the length of the side boundary (whichever is the lesser).	complies

The proposed variation must be considered pursuant to the Performance Criteria (P3) of the Clause 10.4.2 as follows.

Performance Criteria	Comment
"P3 <i>The siting and scale of a dwelling must:</i> <i>(a) not cause unreasonable loss of amenity:</i>	see below
<i>(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or</i>	Proposed Lot 2 adjoining the deck would form a new vacant lot. Clause 10.4.2 P1(a) (i) and (ii) are therefore not relevant to the assessment of the building envelope variation.
<i>(ii) overshadowing the private open space of a dwelling on an adjoining lot; or</i>	see above
<i>(iii) overshadowing of an adjoining vacant lot; or</i>	Shadow diagrams have been submitted with the application demonstrating that the most significant shading effect would occur at 9am on 21 June (Winter Solstice) whereby 85% of Lot 2 would be in shadow as a result of the existing dwelling located on proposed Lot 1. The shadow diagrams demonstrate that from 10am onwards on 21 June, 95% of Lot 2 would receive full sun until 3pm. Proposed Lot 2 will therefore have access to nearly all day sun therefore the proximity of the existing dwelling to this new vacant lot would not inflict any unreasonable sunlight loss.

	The orientation of proposed Lot 2, being generally north facing, will also allow for a future dwelling to incorporate passive solar design principles into the building design.
(iv) <i>visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and</i>	The proposed deck would be located 2m from the boundary with Lot 2. The deck would form an open structure and would be screened to minimise direct overlooking into this adjoining vacant lot. The location of Lot 2 on the Derwent River foreshore means it is strategically positioned to take advantage of the westerly views over the river to Hobart. The location of the deck upslope to the east will have no bearing upon this outlook, subsequently lessening the visual impact.
(b) <i>provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area”.</i>	The setback of the existing deck from the boundary with Lot 2 would be consistent with the rear setback of dwellings located to the north at 1/167a and 2/167A Tranmere Road.

Clause	Standard	Acceptable Solution (Extract)	Proposed
10.4.6 A1	Privacy for all dwellings	<p>A balcony, deck, roof terrace, parking space, or carport (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above natural ground level must have a permanently fixed screen to a height of at least 1.7m above the finished surface or floor level, with a uniform transparency of no more than 25%, along the sides facing a:</p> <p>(a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 3m from the side boundary; and</p>	complies

		<p>(b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 4m from the rear boundary; and</p> <p>(c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is at least 6m:</p> <p>(i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or</p> <p>(ii) from a balcony, deck, roof terrace or the private open space, of the other dwelling on the same site.</p>	<p>Does not comply. The deck located on the south-western elevation of the existing dwelling on Lot 1 would be located 2m from the boundary with proposed Lot 2 and would have a finished surface level of 2.1m above natural ground level. No screening is proposed along the south-western boundary of the deck therefore does not comply with the Acceptable Solution.</p> <p>complies</p>
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The proposed variation must be considered pursuant to the Performance Criteria (P1) of the Clause 10.4.6 as follows.

Performance Criteria	Comment
<i>“P1 – A balcony, deck, roof terrace, parking space or carport (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above natural ground level, must be screened, or otherwise designed, to minimise overlooking of:</i>	see below

(a) <i>a dwelling on an adjoining lot or its private open space; or</i>	Proposed Lot 2 adjoining the deck would form a new vacant lot. Clause 10.4.6 P1(a) and (b) are therefore not relevant to the assessment of the building envelope variation.
(b) <i>another dwelling on the same site or its private open space; or</i>	see above
(c) <i>an adjoining vacant residential lot”.</i>	<p>The Performance Criteria requires a deck with a finished surface level of more than 1m above natural ground level to be screened, or otherwise designed, to minimise overlooking of an adjoining vacant residential lot.</p> <p>When considering the elevated nature of the proposed deck in relation to the adjoining vacant lot together with the proximity of the deck to the boundary, it is considered necessary for screening treatment along the south-western elevation of the deck.</p> <p>It is recognised that the installation of a 1.7m high screen to comply with the Acceptable Solution would have a negative impact upon the extensive views enjoyed from this deck. A reduction in the screening height to 1.2m will offer privacy protection of the vacant lot downslope whilst users of the deck are seated without significantly compromising views.</p> <p>It is therefore recommended that a condition be included requiring the installation of a 1.2m high screen along the full length of the south-western elevation of the deck.</p>

Clause	Standard	Acceptable Solution (Extract)	Proposed
10.6.1 A4	Lot design	No lot is an internal lot.	Lot 2 forms an internal lot in that it would be situated to the rear of Lot 1.

The proposed variation must be considered pursuant to the Performance Criteria (P4) of the Clause 10.6.1 as follows.

Performance Criterion	Comment
<i>“P4 – An internal lot must satisfy all of the following:</i>	see below
<i>(a) the lot gains access from a road existing prior to the planning scheme coming into effect, unless site constraints make an internal lot configuration the only reasonable option to efficiently utilise land;</i>	The proposed subdivision would be accessed from Tranmere Road, which existed prior to 1 July 2015.
<i>(b) it is not reasonably possible to provide a new road to create a standard frontage lot;</i>	It would not be reasonably possible to construct a new road from Tranmere Road for a single internal residential lot.
<i>(c) the lot constitutes the only reasonable way to subdivide the rear of an existing lot;</i>	The proposal is the only reasonable way to separate the land to the rear of the existing dwelling, in that the site is entirely constrained by residential development.
<i>(d) the lot will contribute to the more efficient utilisation of residential land and infrastructure;</i>	The proposed subdivision would increase the density within an area identified by the Scheme as appropriate and would also contribute to the more efficient utilisation of residential land and infrastructure.
<i>(e) the amenity of neighbouring land is unlikely to be unreasonably affected by subsequent development and use;</i>	The proposed development is for a subdivision only, with no development proposed for Lot 2. The only physical works proposed at this time for Lot 2 would be the construction of the sealed right-of-way and service connection – both of which would be in accordance with required engineering designs, and would therefore not compromise amenity.
<i>(f) the lot has access to a road via an access strip, which is part of the lot, or a right-of-way, with a width of no less than 3.6m;</i>	Lot 2 would have the required 3.6m wide access via a right-of-way over Lot 1, and a condition has been included above requiring the sealing of this section of land.
<i>(g) passing bays are provided at appropriate distances to service the likely future use of the lot;</i>	Two passing bays have been incorporated into the right-of-way design at appropriate intervals to service the likely future residential use on Lot 2.

<i>(h) the access strip is adjacent to or combined with no more than 3 other internal lot access strips and it is not appropriate to provide access via a public road;</i>	No fee simple access strip is proposed in this case.
<i>(i) a sealed driveway is provided on the access strip prior to the sealing of the final plan.</i>	A condition must be included on any permit granted that the right-of-way is to be sealed prior to the sealing of the Final Plan of Survey.
<i>(j) the lot addresses and provides for passive surveillance of public open space and public rights-of-way if it fronts such public spaces”.</i>	The proposed lot would not front any public open space or rights-of-way.

Clause	Standard	Acceptable Solution (Extract)	Proposed
10.6.3 A1	Public open space	No acceptable solution.	Payment of cash-in-lieu of the provision of physical open space is proposed.

The proposed variation can be supported pursuant to the Performance Criteria (P1) of the Clause 10.6.3 for the following reasons.

Performance Criteria	Comment
<i>“P1 The arrangement of ways and public open space within a subdivision must satisfy all of the following:</i>	see below
<i>(a) connections with any adjoining ways are provided through the provision of ways to the common boundary, as appropriate;</i>	The provision of physical open space is not proposed, meaning that (a) to (g) inclusive and (i) are not relevant; and
<i>(b) connections with any neighbouring land with subdivision potential is provided through the provision of ways to the common boundary, as appropriate;</i>	not applicable
<i>(c) connections with the neighbourhood road network are provided through the provision of ways to those roads, as appropriate;</i>	not applicable.
<i>(d) convenient access to local shops, community facilities, public open space and public transport routes is provided;</i>	not applicable

<i>(e) new ways are designed so that adequate passive surveillance will be provided from development on neighbouring land and public roads as appropriate;</i>	not applicable
<i>(f) provides for a legible movement network;</i>	not applicable
<i>(g) the route of new ways has regard to any pedestrian and cycle way or public open space plan adopted by the Planning Authority;</i>	not applicable
<i>(h) Public Open Space must be provided as land or cash-in-lieu, in accordance with the relevant Council Policy.</i>	Proposed Lot 2 would adjoin a foreshore reserve containing the Clarence Foreshore Trail. There is therefore no requirement for the subdivision to include public open space in a land form. A condition has been included above, requiring the payment of cash-in-lieu for 5% of the value of the proposed vacant lot, being Lot 2.
<i>(i) new ways or extensions to existing ways must be designed to minimise opportunities for entrapment or other criminal behaviour including, but not limited to, having regard to the following:</i> <i>(i) the width of the way;</i> <i>(ii) the length of the way;</i> <i>(iii) landscaping within the way;</i> <i>(iv) lighting;</i> <i>(v) provision of opportunities for 'loitering';</i> <i>(vi) the shape of the way (avoiding bends, corners or other opportunities for concealment)".</i>	not applicable

Multiple Dwelling Development**General Residential Zone – Development Standards**

Clause	Standard	Acceptable Solution (Extract)	Proposed
10.4.2 A2	Site coverage and private open space for all dwellings	<p>A dwelling must have an area of private open space that:</p> <p>(a) is in one location and is at least:</p> <p>(i) 24m²; or</p> <p>(ii) 12m², if the dwelling is a Multiple Dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(b) has a minimum horizontal dimension of:</p> <p>(i) 4m; or</p> <p>(ii) 2m, if the dwelling is a Multiple Dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(c) is directly accessible from, and adjacent to, a habitable room (other than a bedroom); and</p> <p>(d) is not located to the south, south-east or south-west of the dwelling, unless the area receives at least 3 hours of sunlight to 50% of the area between 9.00am and 3.00pm on 21 June; and</p>	<p>Does not comply. The private open space allocated to the existing dwelling on Lot 1 (Unit 2) is intended to form the deck. The deck is located to the south-west of the dwelling and does not maintain a minimum horizontal dimension of 4m or a minimum area of 24m² as required by A2 (a), (b) and (d).</p> <p>Does not comply. As per above.</p> <p>complies</p> <p>Does not comply. As per above.</p>

		(e) is located between the dwelling and the frontage, only if the frontage is orientated between 30 degrees west of north and 30 degrees east of north, excluding any dwelling located behind another on the same site; and	Does not comply. The private open space allocated to the additional unit (Unit 1) would be located between the dwelling and the street with the street being oriented 48 degrees east of west.
		(f) has a gradient not steeper than 1 in 10; and	complies
		(g) is not used for vehicle access or parking.	complies

The proposed variation can be supported pursuant to the Performance Criteria (P2) of the Clause 10.4.2 for the following reasons.

Performance Criteria	Comment
<i>“P2 – A dwelling must have private open space that:</i>	see below
<i>(a) Includes an area that is capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children’s play and that is:</i>	<p>The deck allocated to the existing dwelling represents an existing scenario. The deck falls 4m² short of the area required under A1 (a) and would have a minimum horizontal dimension of 3.889m² which is marginally short of the minimum dimension required under A1(b).</p> <p>The deck is accessed directly from the living room. The existing deck is considered to be of reasonable proportions to facilitate outdoor relaxation, dining, entertaining and children’s play that takes advantage of river views and afternoon sunlight.</p>
<i>(i) conveniently located in relation to a living area of the dwelling; and</i>	see above

(ii) <i>Oriented to take advantage of sunlight</i> ".	<p>The allocation of the private open space for Unit 1 between the dwelling and the street is considered a reasonable design response in this case given it optimises solar access. The Acceptable Solution encourages this design response at the expense of the streetscape values being compromised through the inclusion of front fencing to screen the private open space where good solar access outcomes are achieved. The proposal represents such a case.</p> <p>The private open space is also considered conveniently accessible from a living space being the ground level rumpus room.</p>
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Clause	Standard	Acceptable Solution (Extract)	Proposed
10.4.4 A1	Sunlight and overshadowing for all dwellings	A dwelling must have at least 1 habitable room (other than a bedroom) in which there is a window that faces between 30 degrees west of north and 30 degrees east of north.	Proposed Unit 1 would contain 3 living room windows of varying widths which are oriented 41 degrees west of north.

The proposed variation can be supported pursuant to the Performance Criteria (P1) of the Clause 10.4.4 for the following reasons.

Performance Criteria	Comment
<i>"P1 – A dwelling must be sited and designed so as to allow sunlight to enter at least one habitable room (other than a bedroom)".</i>	<p>The orientation of the window 10 degrees beyond the 30 degree range required by the Acceptable Solution is considered a minor deviation and will be of a satisfactory orientation to allow for late morning and afternoon sunlight to directly enter the living room window during winter.</p> <p>In addition, living room windows would be located on the south-western elevation of the dwelling. Whilst these windows may not receive direct sun throughout the winter months, they will increase the amount of light into the living space.</p>

5. REPRESENTATION ISSUES

The proposal was advertised in accordance with statutory requirements and 1 representation was received. The following issues were raised by the representor.

5.1. Visual Impact Including Loss of Views

The representor has raised concern that the proposed new dwelling (Unit 1) will have an unreasonable visual impact upon the outlook currently enjoyed from the eastern (upper) side of Tranmere Road.

- **Comment**

Proposed Unit 1 is located entirely within the building envelope as prescribed under Acceptable Solution 10.4.2 A3 of the Scheme. It is, however, noted that Unit 1 would present as a single storey dwelling with a maximum visible height of 4.6m above natural ground level when viewed from the street frontage (Tranmere Road). Unit 1 would be located adjacent to a 2 storey dwelling located to the north at 169 Tranmere Road. The adjoining dwelling is located on the same contour level and has a maximum height of 7.6m. When compared against the adjoining dwelling, proposed Unit 1 would have far less visual prominence.

Although the impact on views is not a relevant planning consideration under the Scheme, proposed Unit 1 would be approximately 0.5m higher than the top of the roof associated with the existing dwelling. The impact on views would therefore be marginal given the expansive views currently enjoyed by the existing properties located on the eastern side of Tranmere Road.

6. EXTERNAL REFERRALS

The proposal was referred to TasWater, which has provided a number of conditions to be included on the planning permit if granted.

7. STATE POLICIES AND ACT OBJECTIVES

7.1. The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

7.2. The proposal is consistent with the objectives of Schedule 1 of LUPAA.

8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

In respect of Council's Public Open Space Policy 2013, the subject site is zoned General Residential, is located within an established urban area and will be afforded the highest level of access to both local and regional recreational opportunities. It is considered that the development resulting from an approval of this subdivision application will, or is likely to, increase residential density creating further demand on Council's POS network and associated facilities.

No land is proposed to be provided to Council as part of this application and nor is it considered desirable to require it on this occasion. Notwithstanding, it is appropriate that the proposal contributes to the enhancement of Council's POS network and associated facilities. In this instance there are no discounting factors that ought to be taken into consideration that would warrant a reduction of the maximum POS contribution.

While Section 117 of the Local Government (Building and Miscellaneous Provisions) Act 1993 (LGBMP) provides for a maximum of up to 5% of the value of the entire site to be taken as cash-in-lieu of POS, it is considered appropriate to limit the contribution only to each additional lot created, representing the increased demand for POS generated by the proposal and not the entire site the subject of this application (ie proposed Lot 2). A condition of approval has been recommended to this effect.

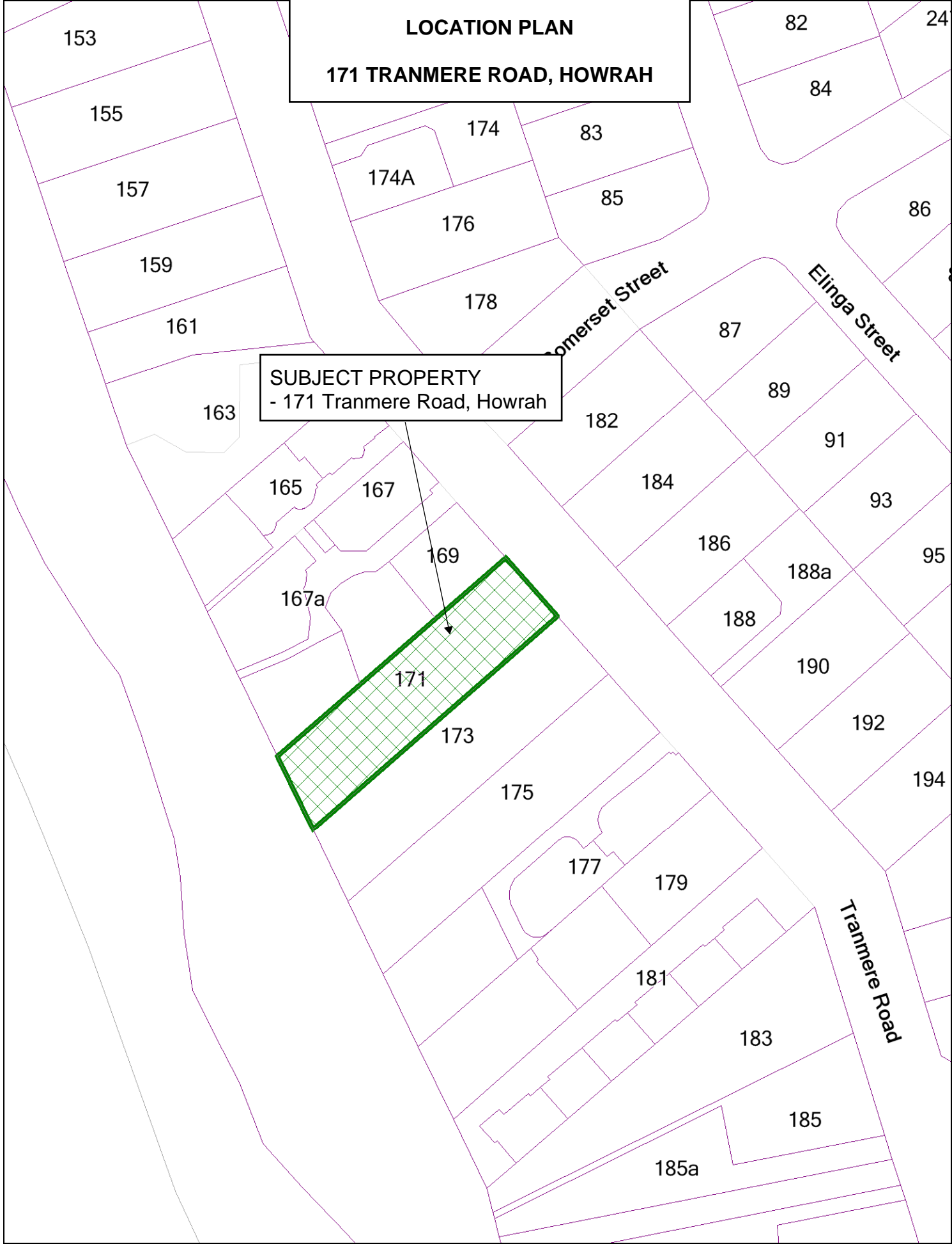
9. CONCLUSION

The proposal is for a 1 lot subdivision and 2 Multiple Dwellings (1 existing and 1 new) at 171 Tranmere Road, Howrah. The proposal satisfies the relevant requirements of the Scheme and with the inclusion of appropriate conditions is recommended for approval.

Attachments: 1. Location Plan (1)
2. Proposal Plan (12)
3. Site Photo (1)

Ross Lovell
MANAGER CITY PLANNING

ATTACHMENT 1
LOCATION PLAN
171 TRANMERE ROAD, HOWRAH



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A5-Complies. 2 Lot subdivision.

TRANMERE ROAD

18.86

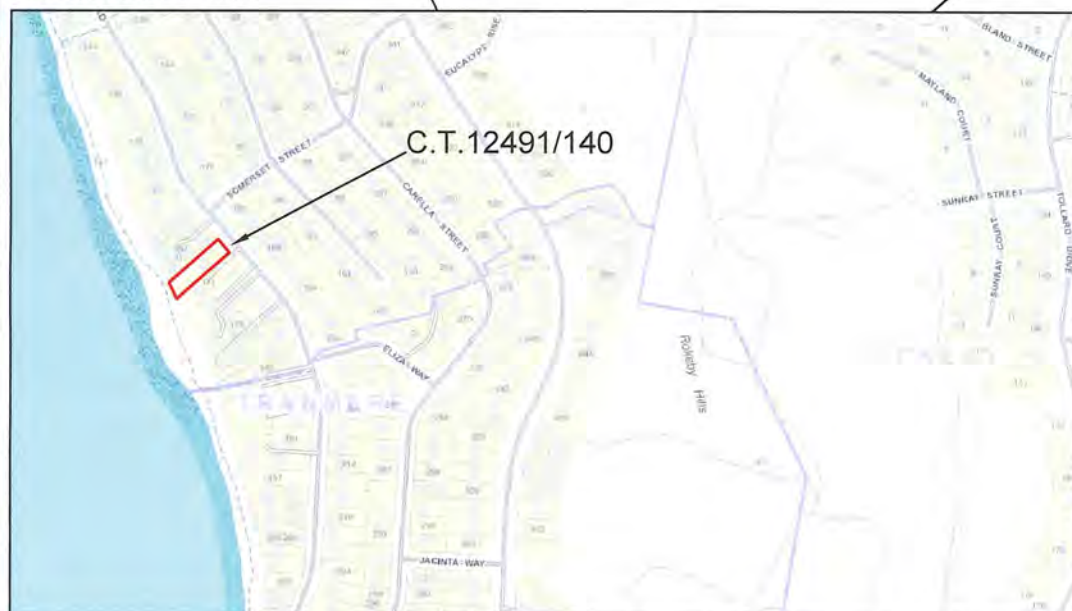
Bl

15m x 10m
minimum building area

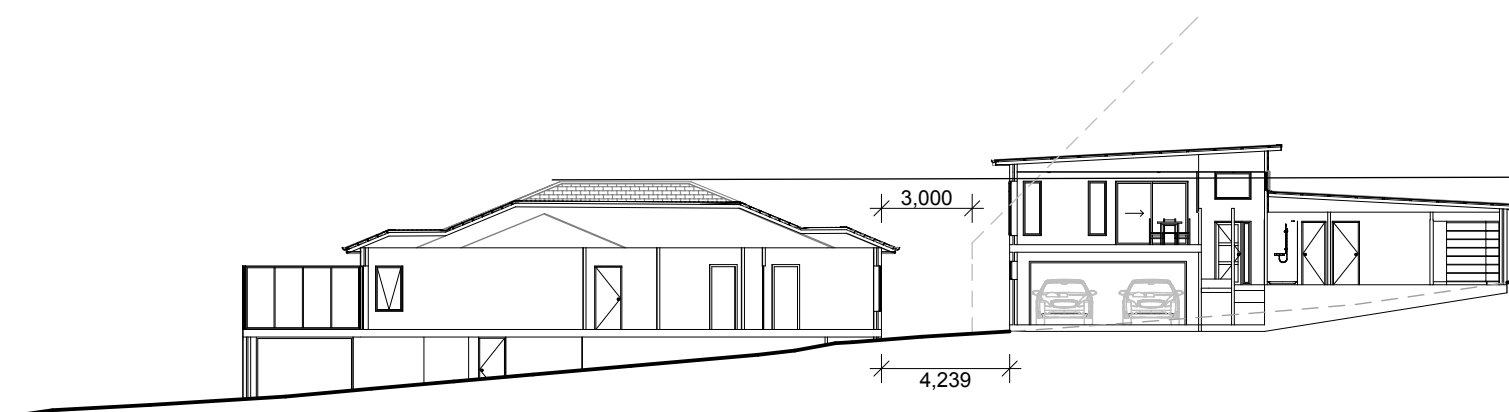
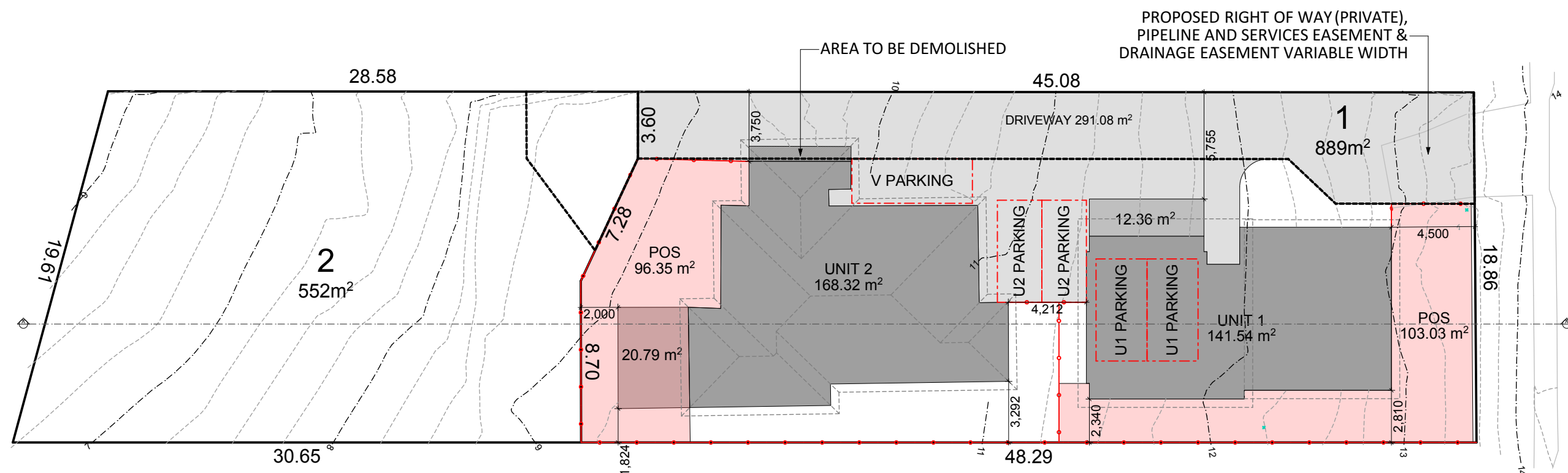
TO BE DEMOLISHED

15mx10m
minimum building area

OVERLAY PLAN



Municipality: CLARENCE



CROSS SECTION AA

SCALE: 1:250

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Site Areas	
Site area	889 sqm
Total Building Area	343.01 sqm
Total Impervious Surfaces	643.09 sqm
Total Site Coverage	72.34%

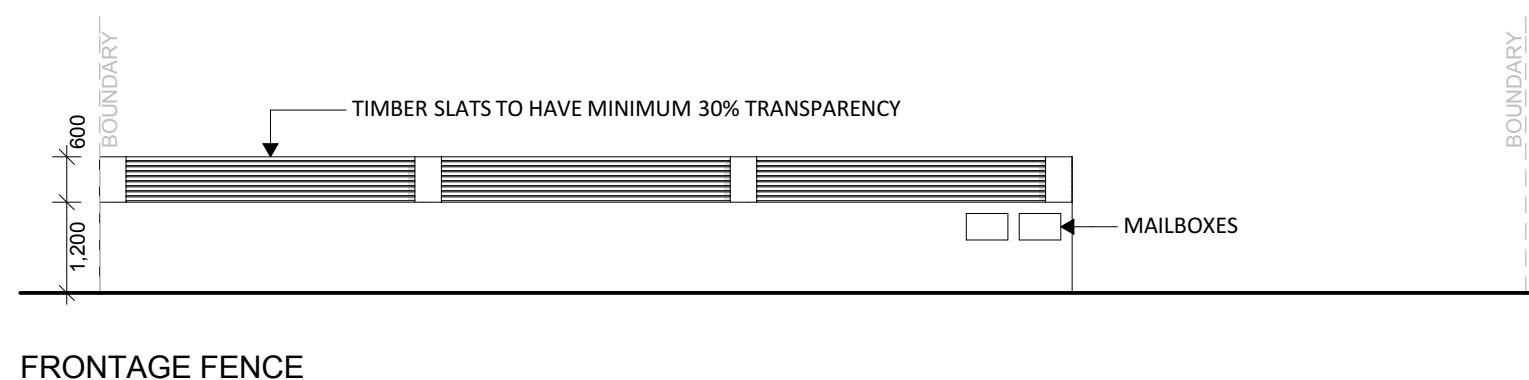
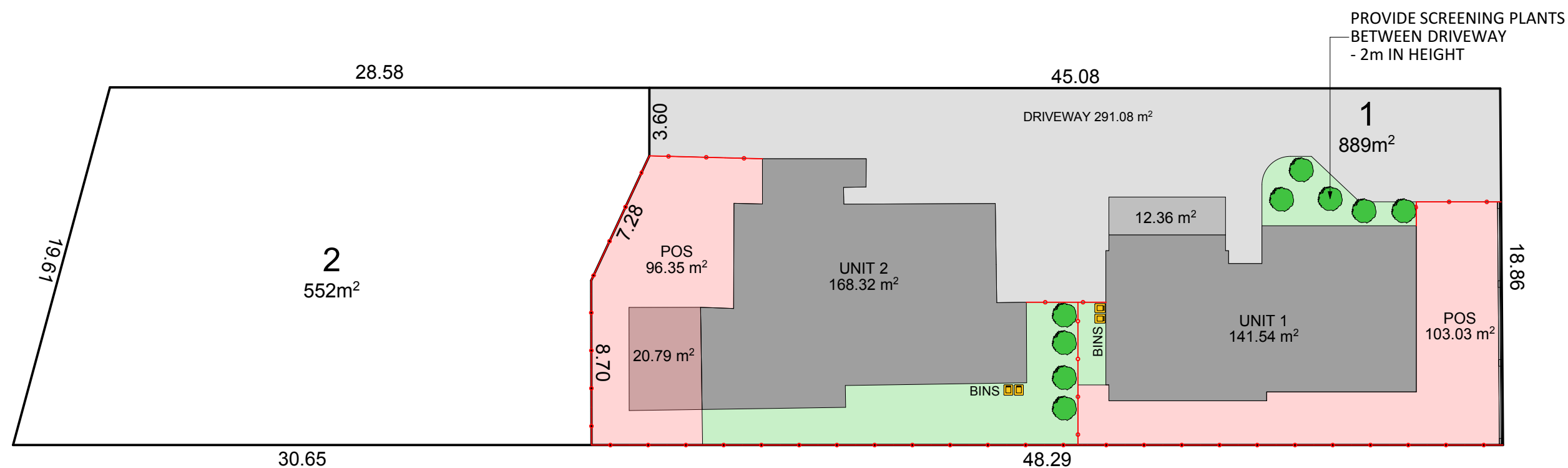
Amendments	
Date	Description
26/07/17	COUNCIL RFI



Site Plan

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Proposal:	Unit Development	Scale: 1:250	Job No: 87-2017	Pg No: 1
Client:	Lyden Builders	Date: 05/06/17	Engineer: Engineering Edge	
Address:	171 Tranmere Road Tranmere	Drawn: James	Building Surveyor: L.T.B.S	
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Date	Description
26/07/17	COUNCIL RFI

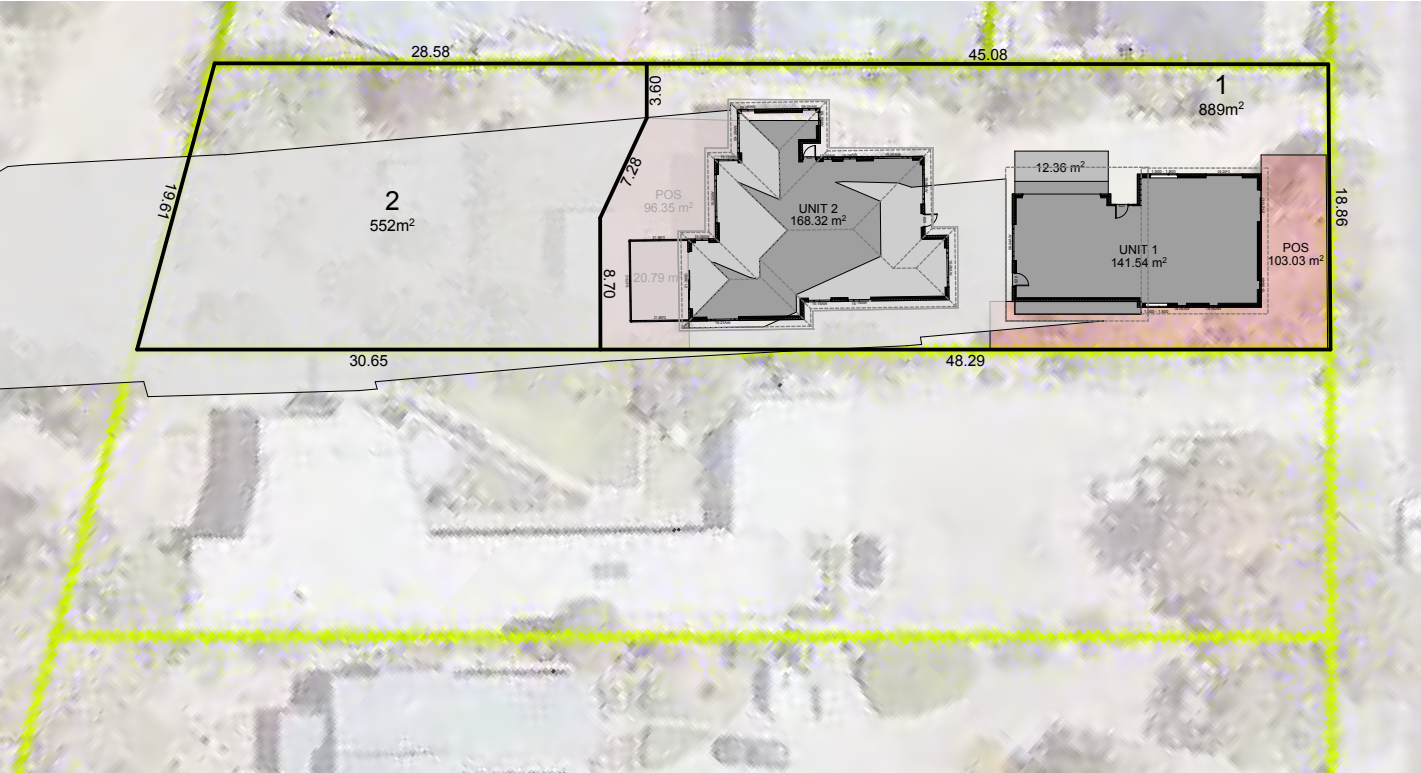


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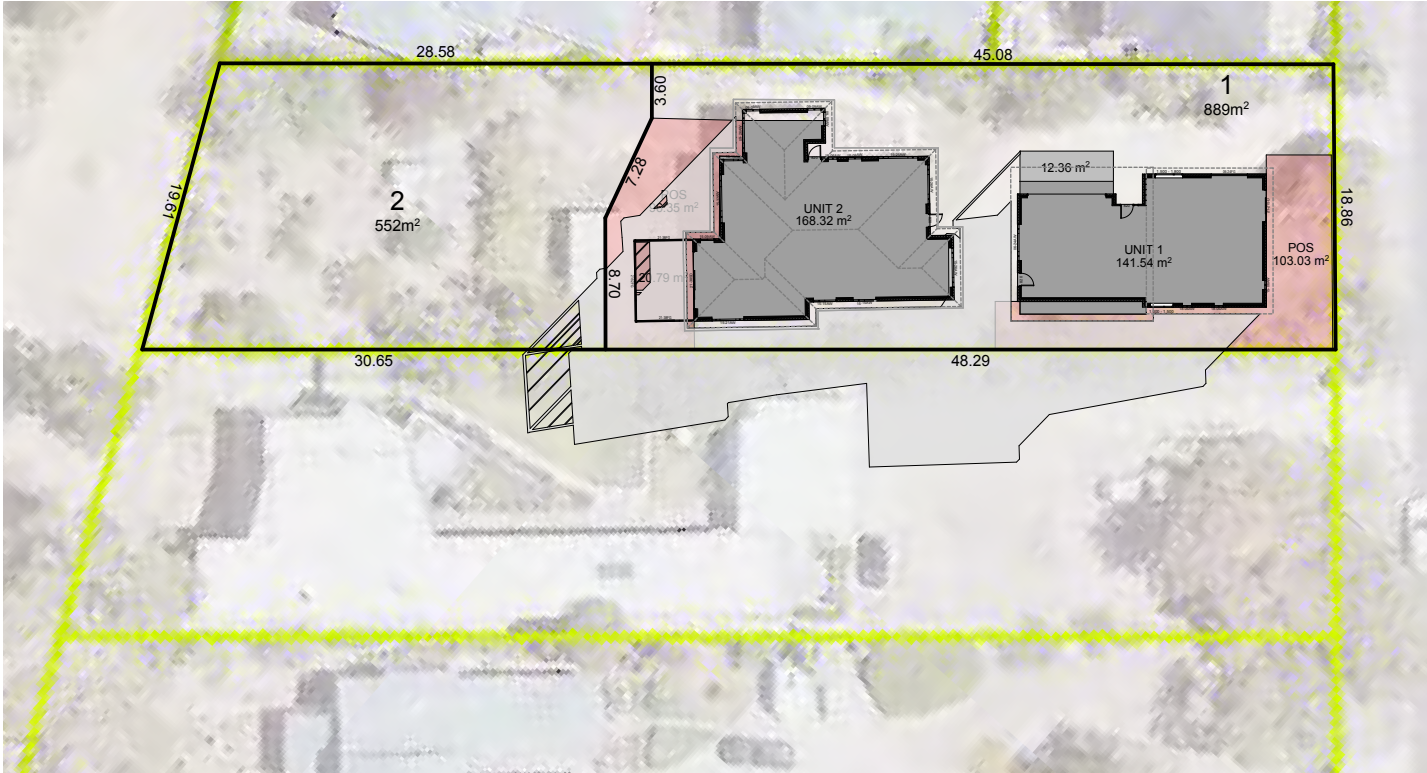
Proposal:	Unit Development	Scale: 1:250	Job No: 87-2017	Pg No: 2
Client:	Lyden Builders	Date: 05/06/17	Engineer: Engineering Edge	
Address:	171 Tranmere Road Tranmere	Drawn: James	Building Surveyor: L.T.B.S	

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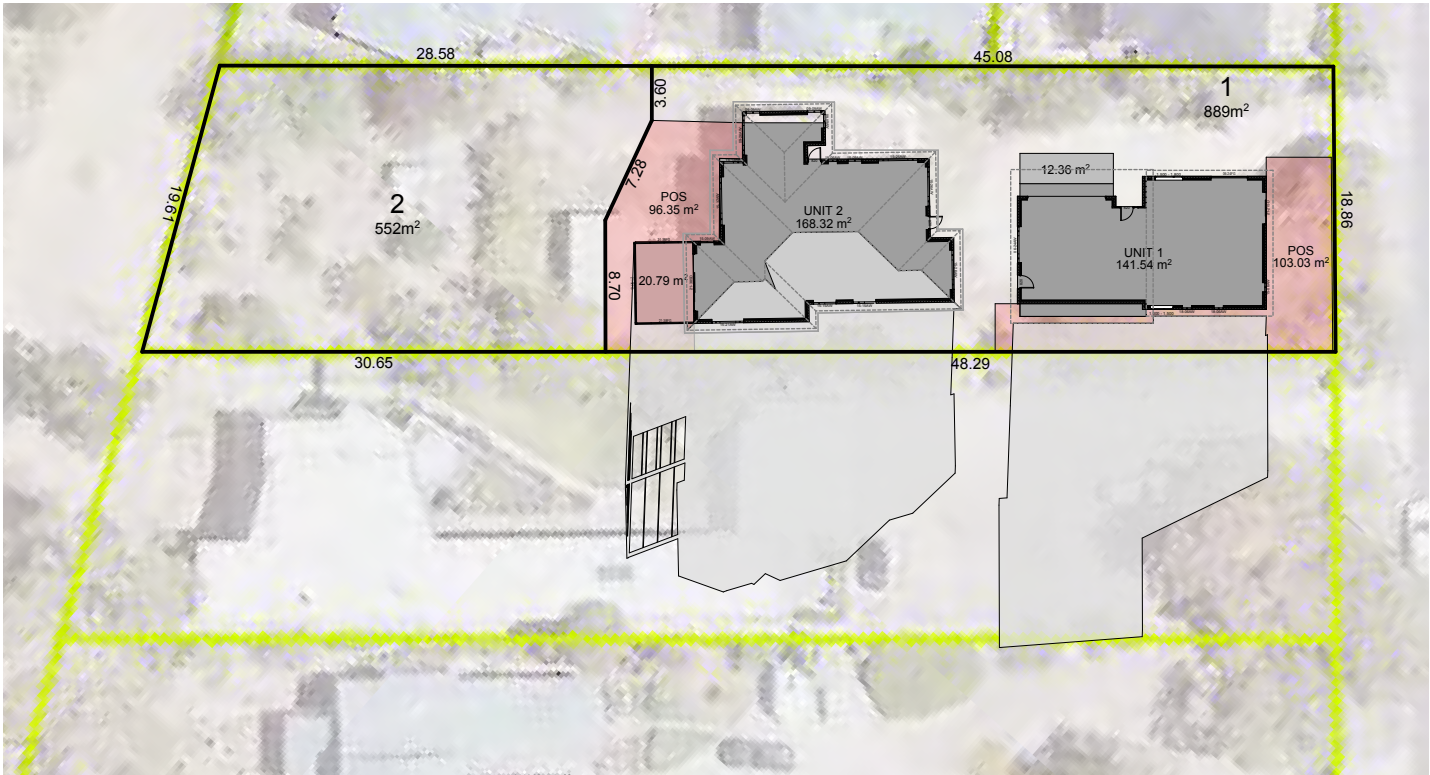
Landscaping Plan



SHADOWS 9AM

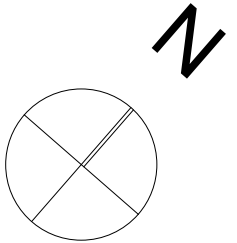


SHADOWS 12PM



SHADOWS 3PM

Shadows June 21st



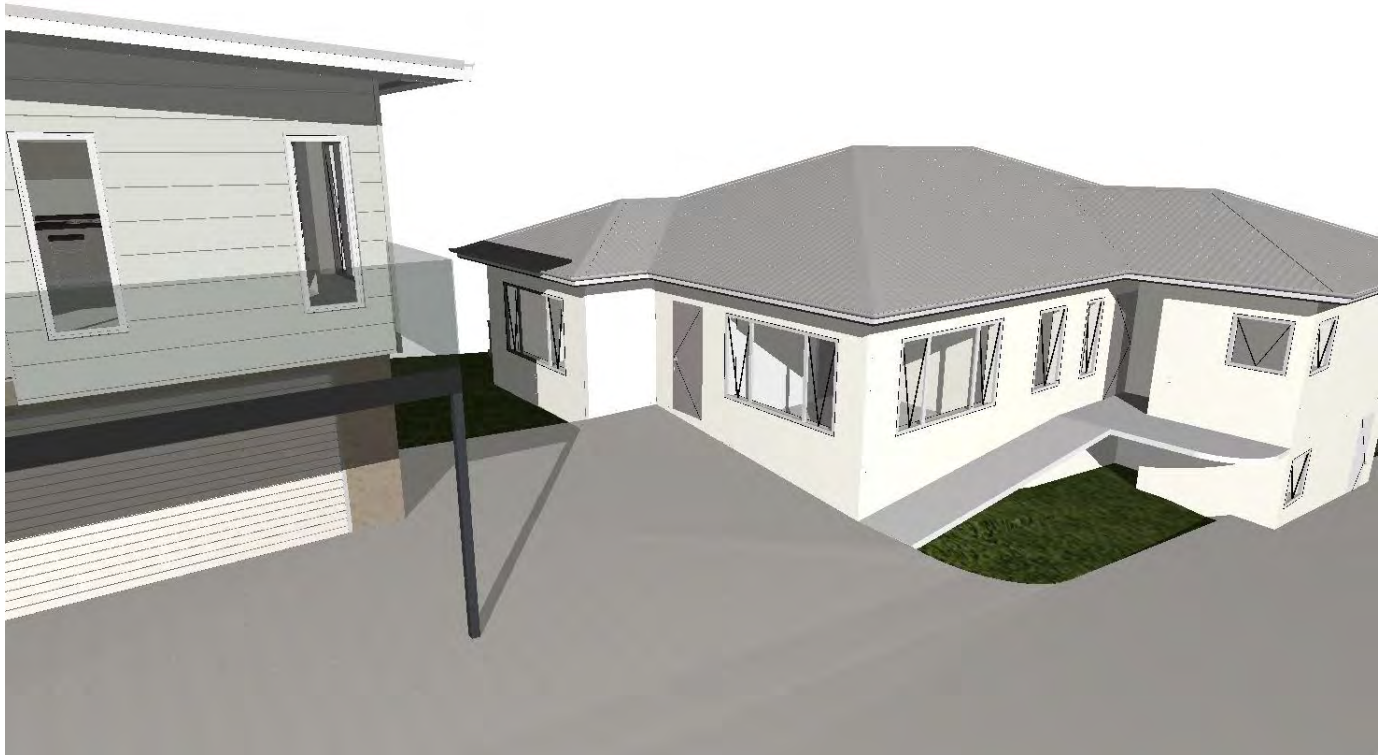
Amendments	
Date	Description
26/07/17	COUNCIL RFI



Proposal:	Unit Development	Scale: 1:500	Job No: 87-2017	Pg No: 3
Client:	Lyden Builders	Date: 05/06/17	Engineer: Engineering Edge	
Address:	171 Tranmere Road Tranmere	Drawn: James	Building Surveyor: L.T.B.S	
PINNACLE DRAFTING & DESIGN. CC6073Y 2 Kennedy Drv, Cambridge 7170 P: 03 6248 4743 F: 03 6248 4745 E: jnickerson@pinnacledrafting.com.au				



SHADOWS 9AM



SHADOWS 12PM



SHADOWS 3PM

Amendments	
Date	Description
26/07/17	COUNCIL RFI

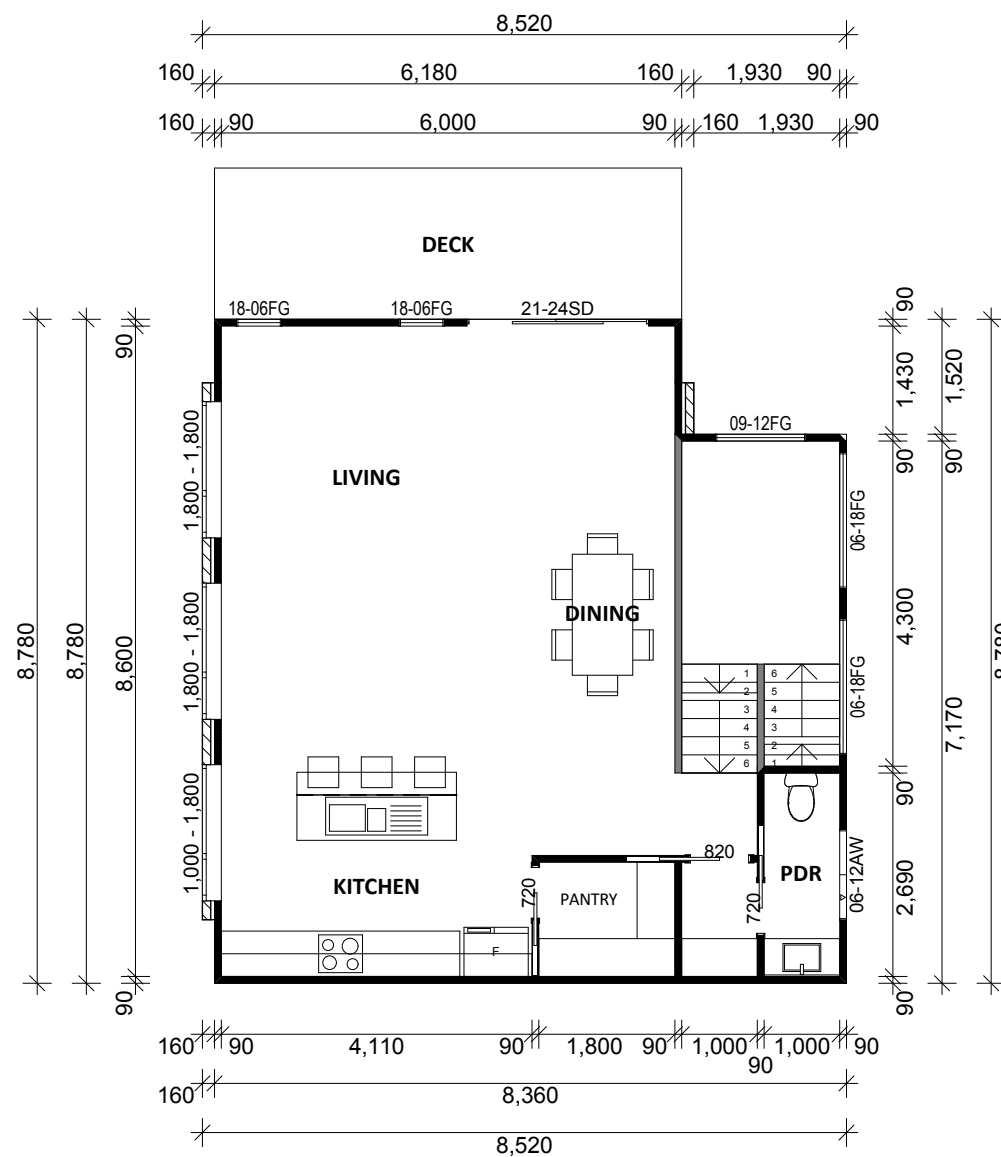


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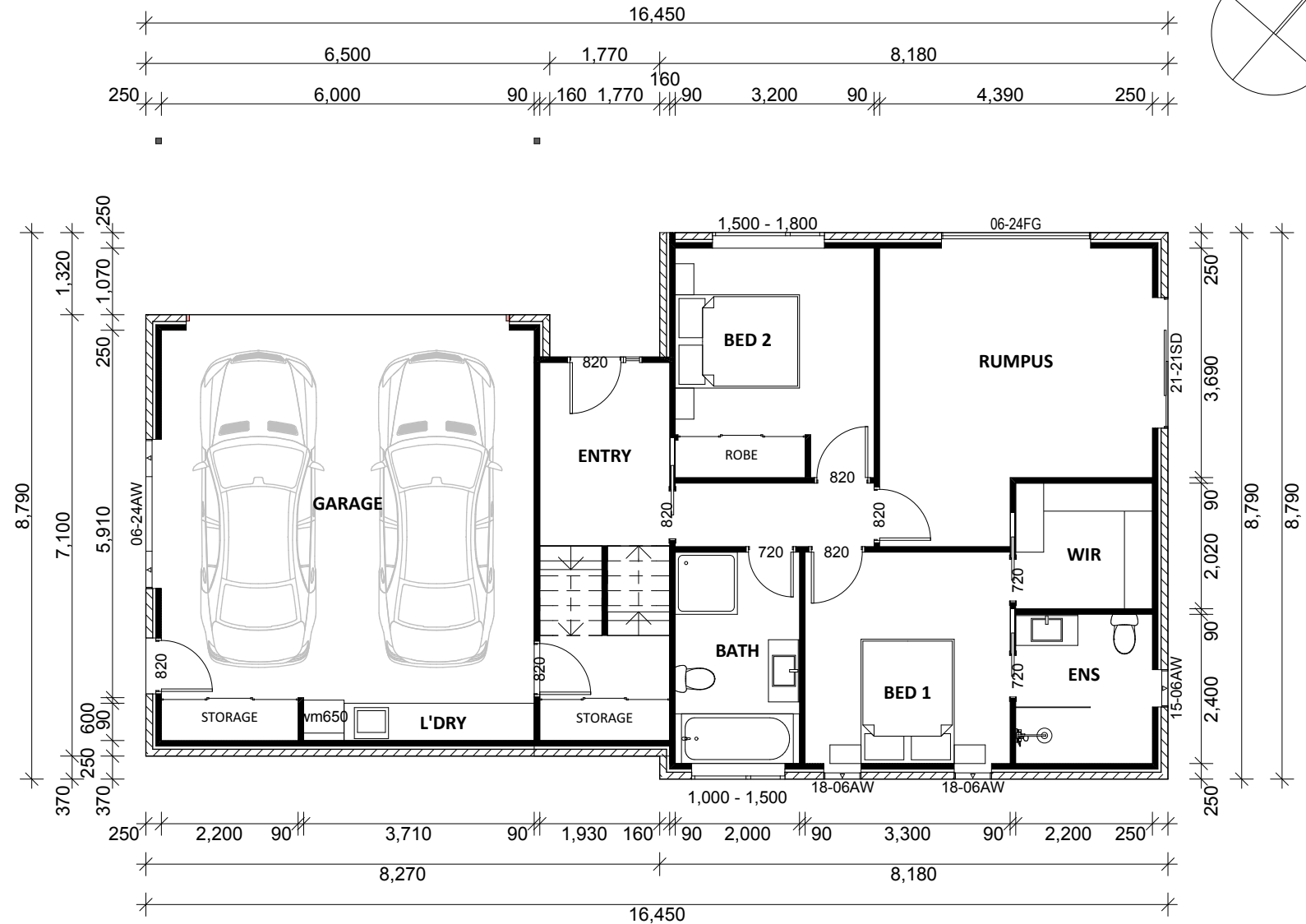
Proposal:	Unit Development	Scale: 1:285.71	Job No: 87-2017	Pg No: 4
Client:	Lyden Builders	Date: 05/06/17	Engineer: Engineering Edge	
Address:	171 Tranmere Road Tranmere	Drawn: James	Building Surveyor: L.T.B.S	

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Shadows June 21st



UPPER FLOOR PLAN



LOWER FLOOR PLAN

Floor Areas	
Lower Floor	129.42 sqm
Upper Floor	71.33 sqm
Total	200.75 sqm
Deck	12.36 sqm

Unit 1 Floor Plan

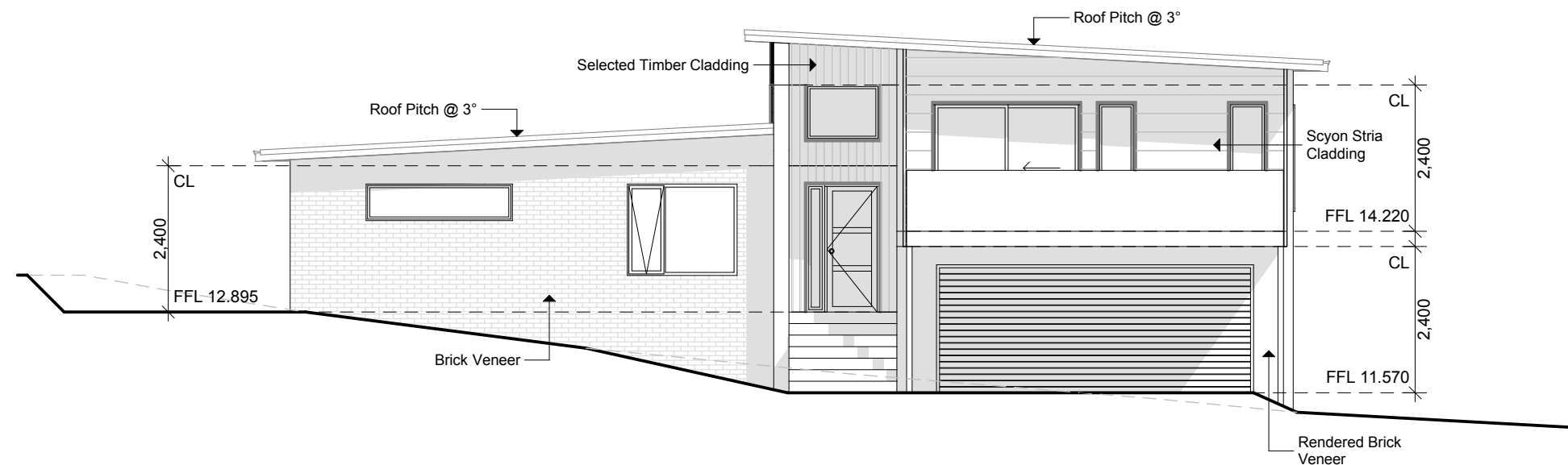
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Proposal:	Unit Development	Scale: 1:100	Job No: 87-2017	Pg No: 5
Client:	Lyden Builders	Date: 05/06/17	Engineer: Engineering Edge	
Address:	171 Tranmere Road Tranmere	Drawn: James	Building Surveyor: L.T.B.S	

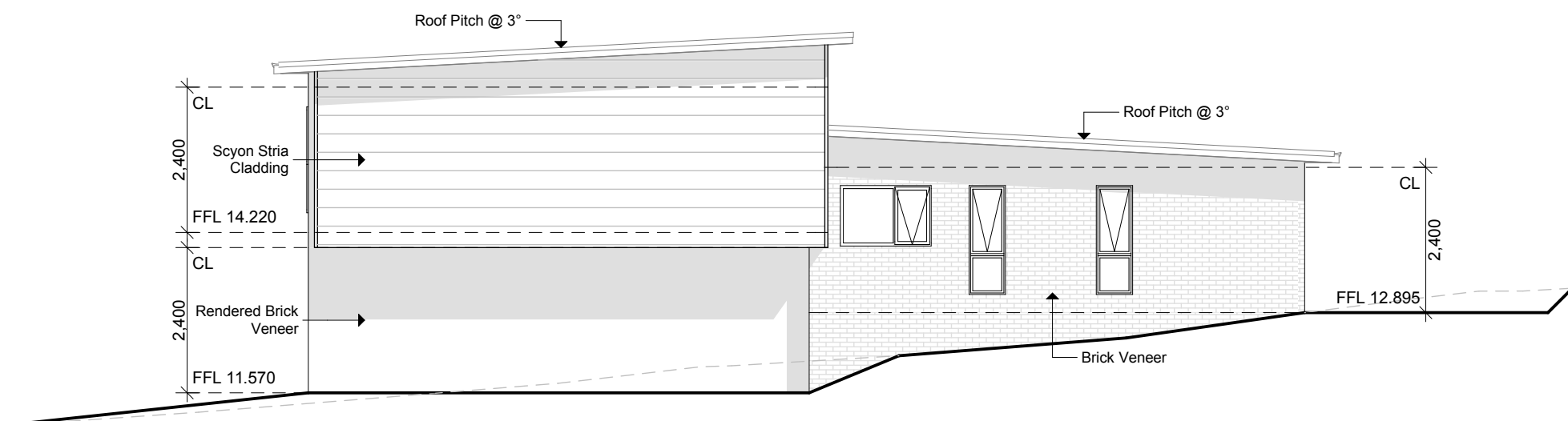
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Amendments	
Date	Description
26/07/17	COUNCIL RFI





North West Elevation



South East Elevation

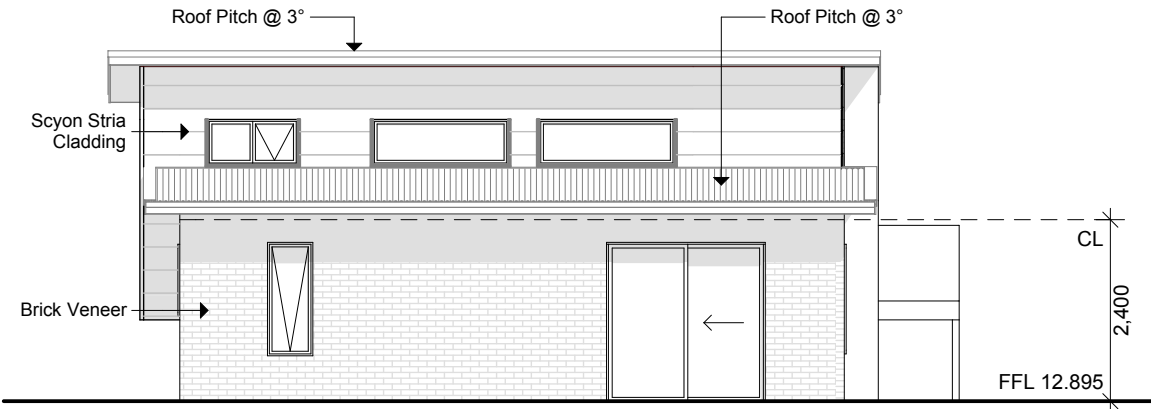
Amendments	
Date	Description
26/07/17	COUNCIL RFI



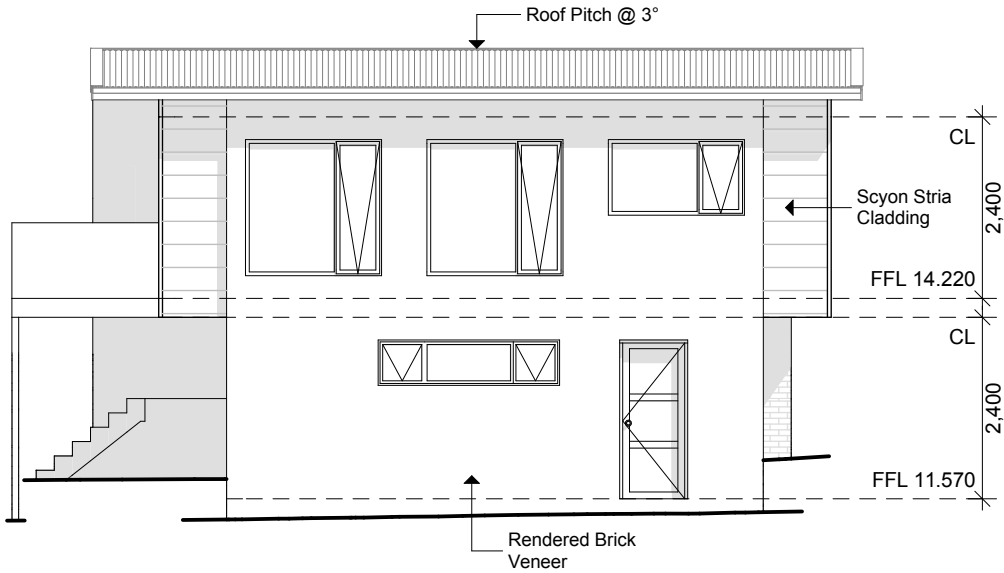
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Proposal:	Unit Development	Scale: 1:100	Job No: 87-2017	Pg No: 6
Client:	Lyden Builders	Date: 05/06/17	Engineer: Engineering Edge	
Address:	171 Tranmere Road Tranmere	Drawn: James	Building Surveyor: L.T.B.S	
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Unit 1 Elevations



North East Elevation



South West Elevation

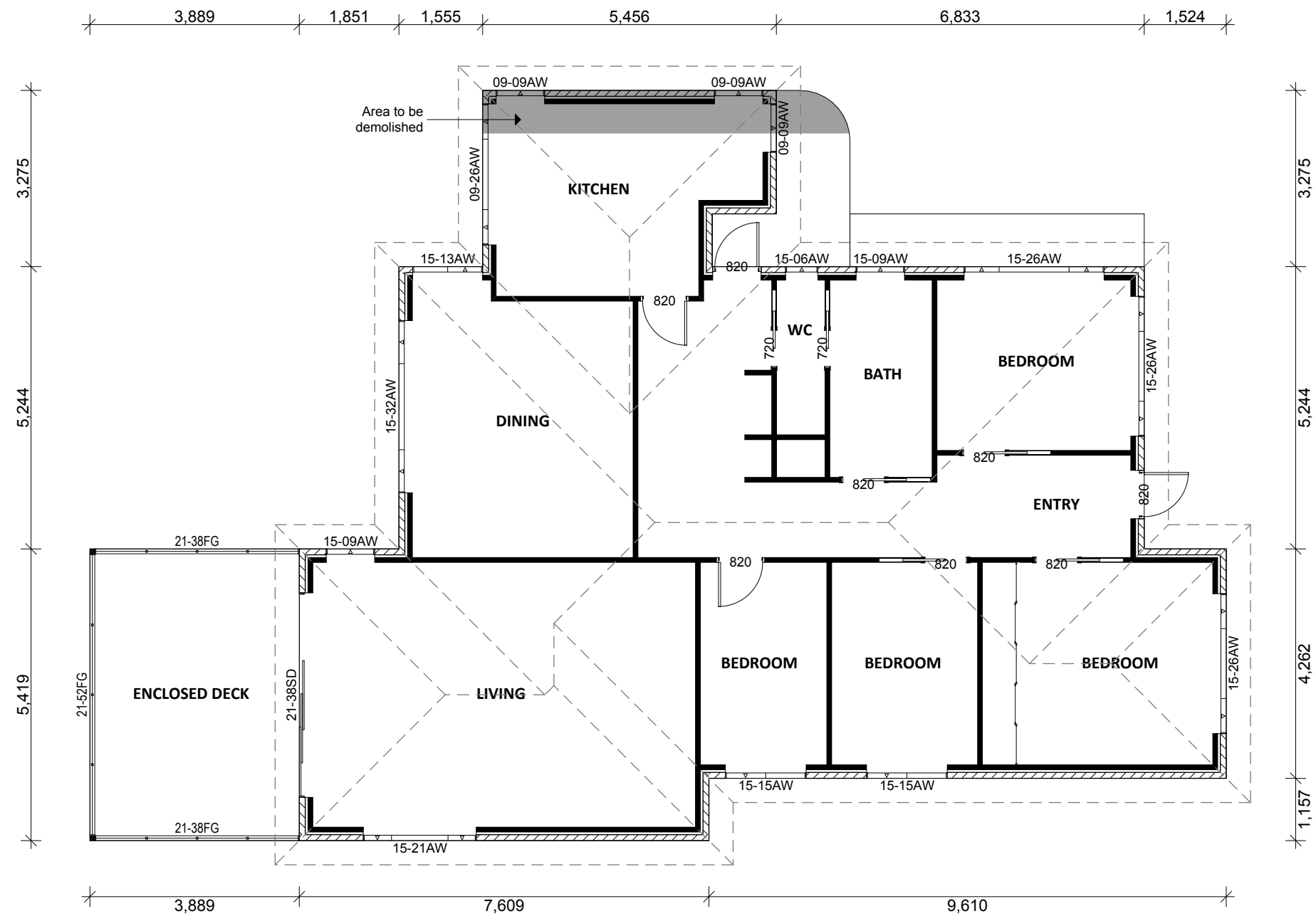
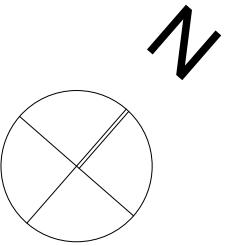
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Proposal:	Unit Development	Scale: 1:100	Job No: 87-2017	Pg No: 7
Client:	Lyden Builders	Date: 05/06/17	Engineer: Engineering Edge	
Address:	171 Tranmere Road Tranmere	Drawn: James	Building Surveyor: L.T.B.S	

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Amendments	
Date	Description
26/07/17	COUNCIL RFI





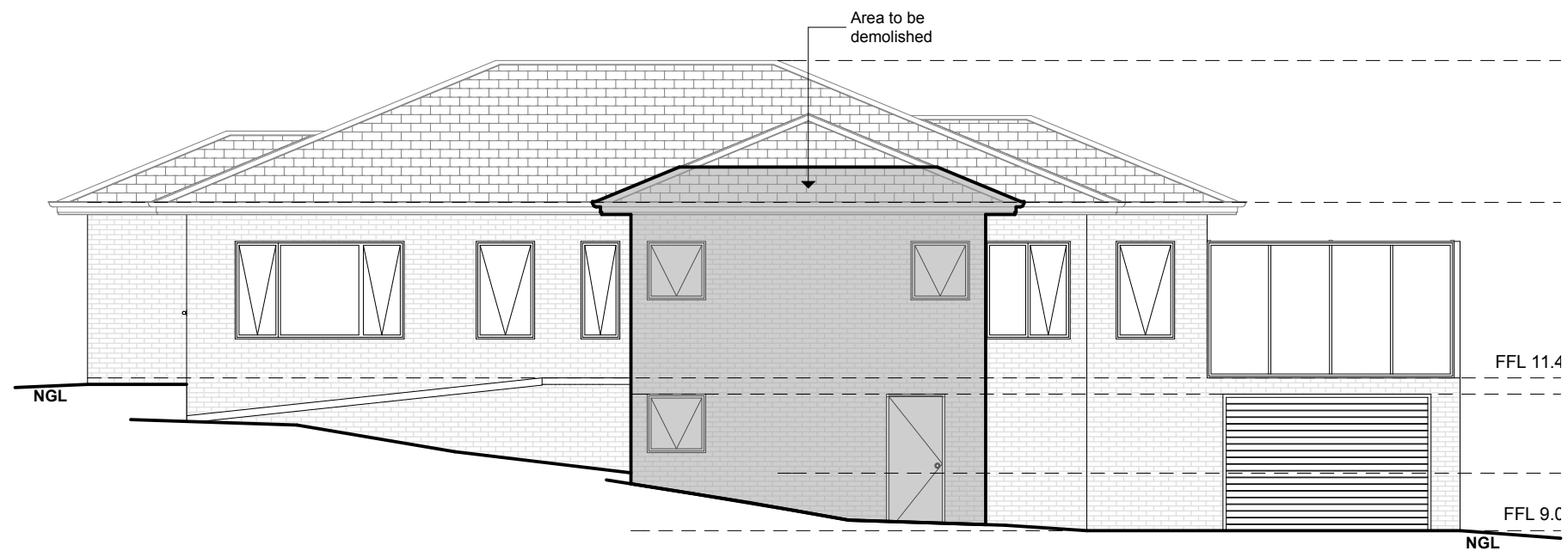
Amendments	
Date	Description
26/07/17	COUNCIL RFI



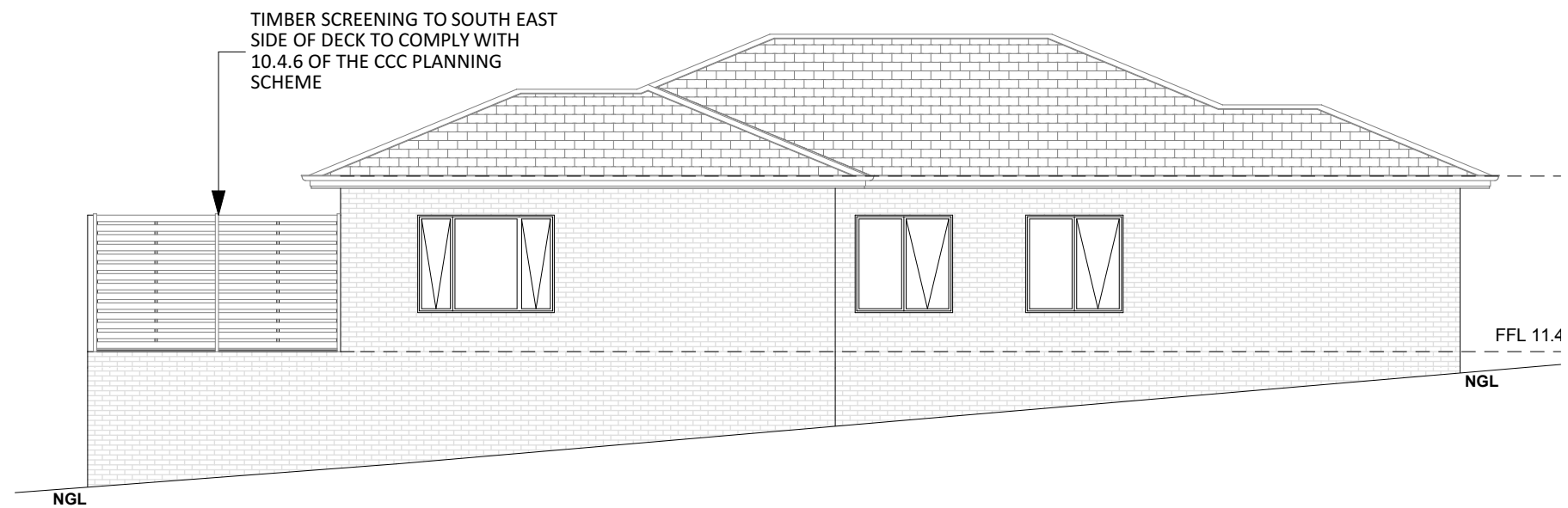
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Proposal:	Unit Development	Scale: 1:100	Job No: 87-2017	Pg No: 8
Client:	Lyden Builders	Date: 05/06/17	Engineer: Engineering Edge	
Address:	171 Tranmere Road Tranmere	Drawn: James	Building Surveyor: L.T.B.S	
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Unit 2 Floor Plan (Existing)



North West Elevation



South East Elevation

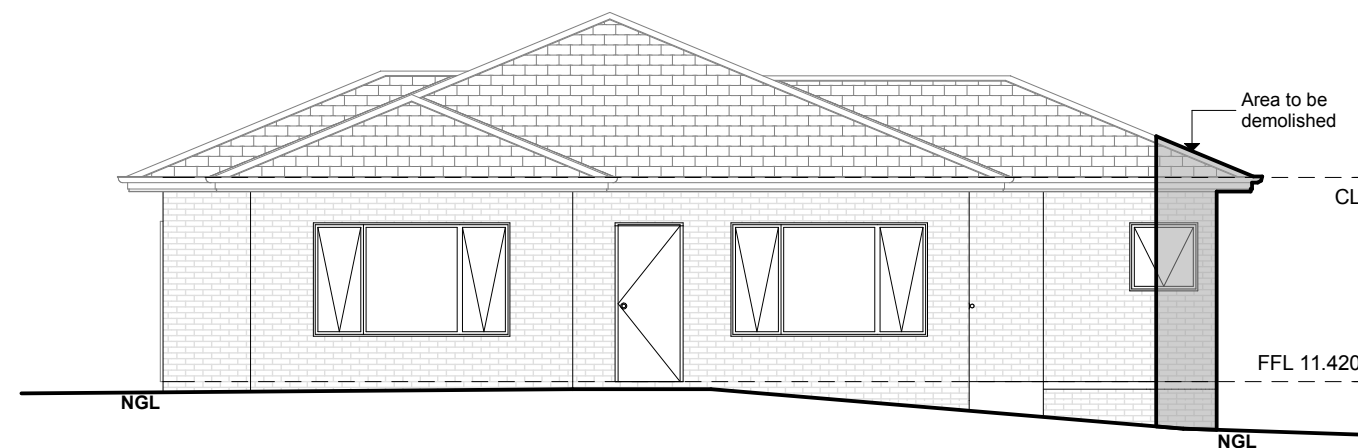
Amendments	
Date	Description
26/07/17	COUNCIL RFI



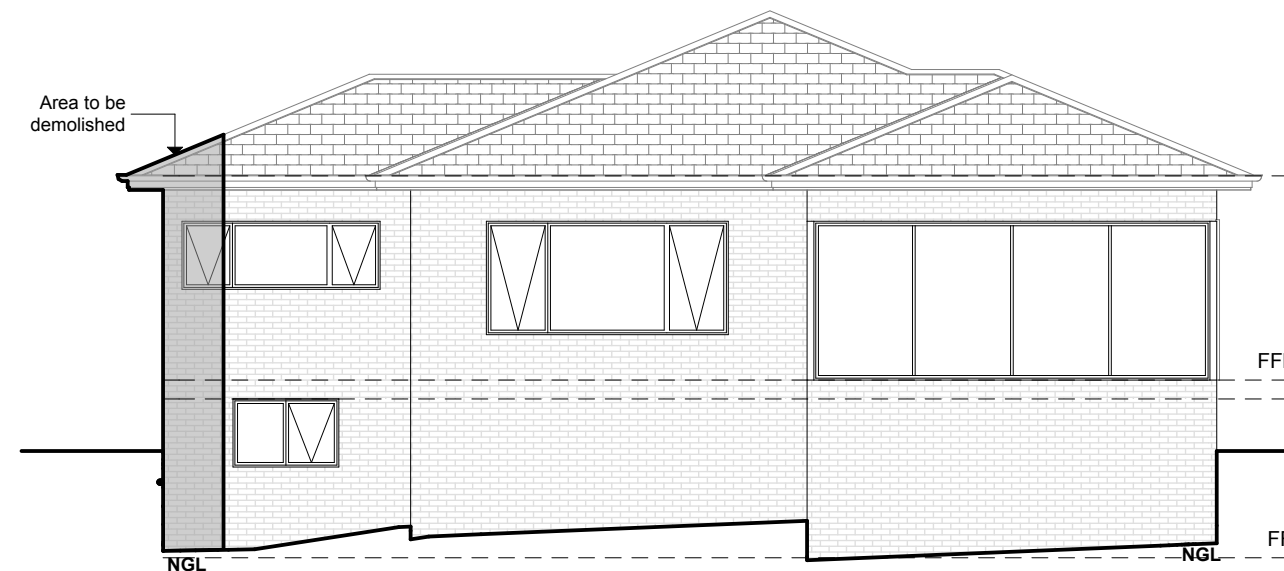
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Proposal:	Unit Development	Scale: 1:100	Job No: 87-2017	Pg No: 9
Client:	Lyden Builders	Date: 05/06/17	Engineer: Engineering Edge	
Address:	171 Tranmere Road Tranmere	Drawn: James	Building Surveyor: L.T.B.S	
PINNACLE DRAFTING & DESIGN. CC6073Y 2 Kennedy Drv, Cambridge 7170 P: 03 6248 4743 F: 03 6248 4745 E: jnickerson@pinnacledrafting.com.au				

Unit 2 Elevations (Existing)



North East Elevation



South West Elevation

Amendments	
Date	Description
26/07/17	COUNCIL RFI

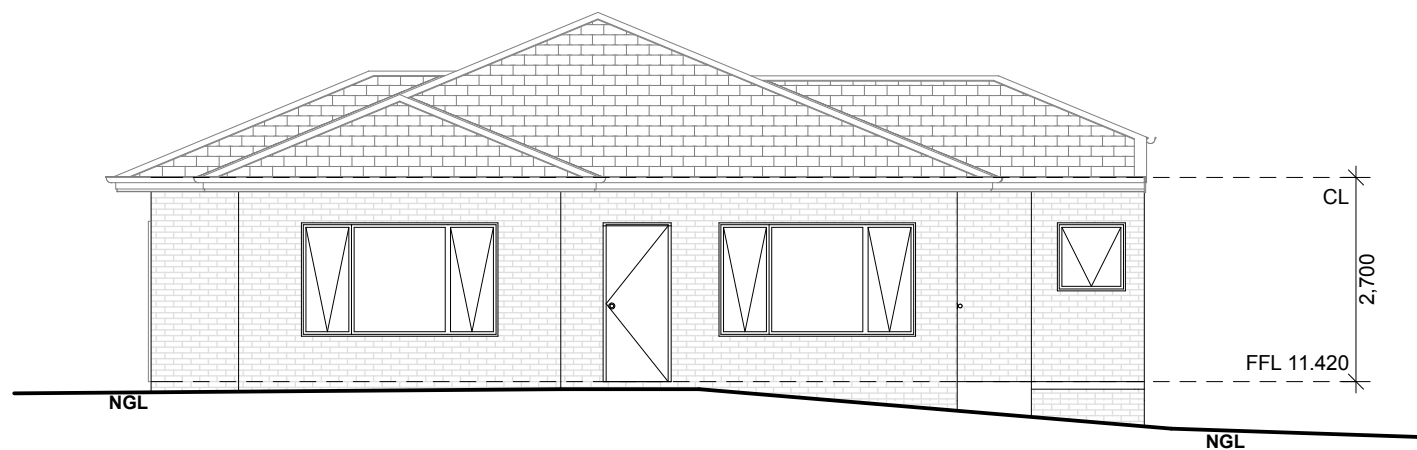


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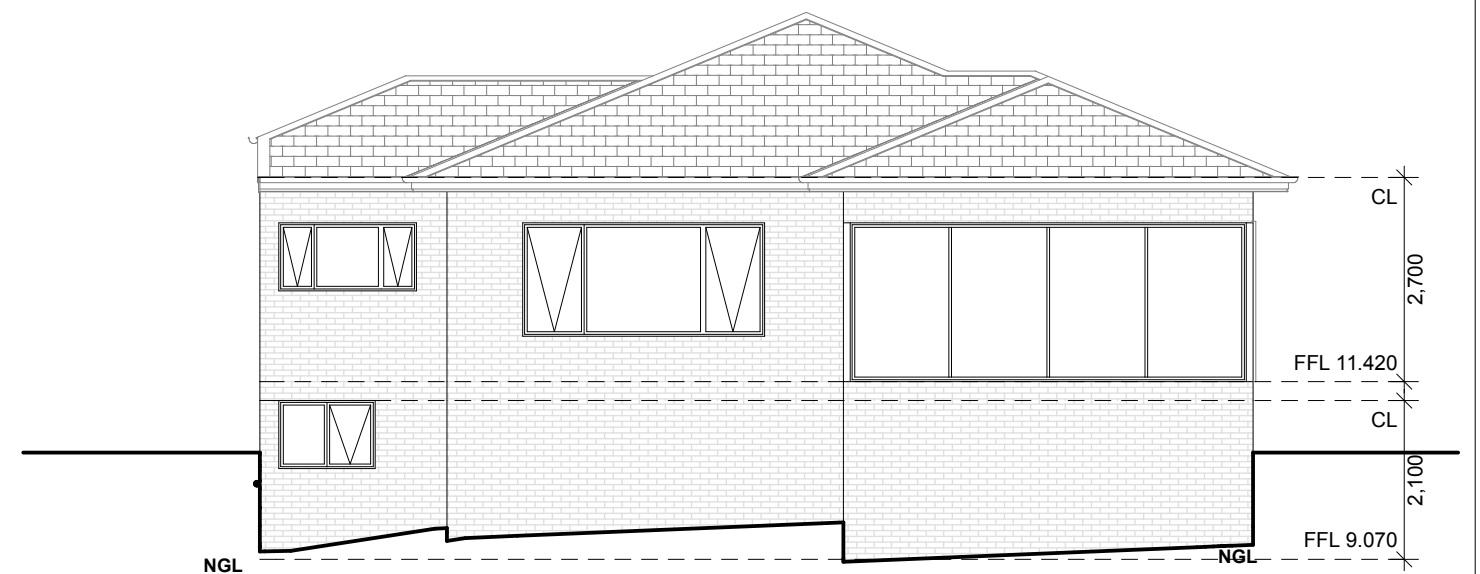
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Proposal:	Unit Development	Scale: 1:100	Job No: 87-2017	Pg No: 10
Client:	Lyden Builders	Date: 05/06/17	Engineer: Engineering Edge	
Address:	171 Tranmere Road Tranmere	Drawn: James	Building Surveyor: L.T.B.S	
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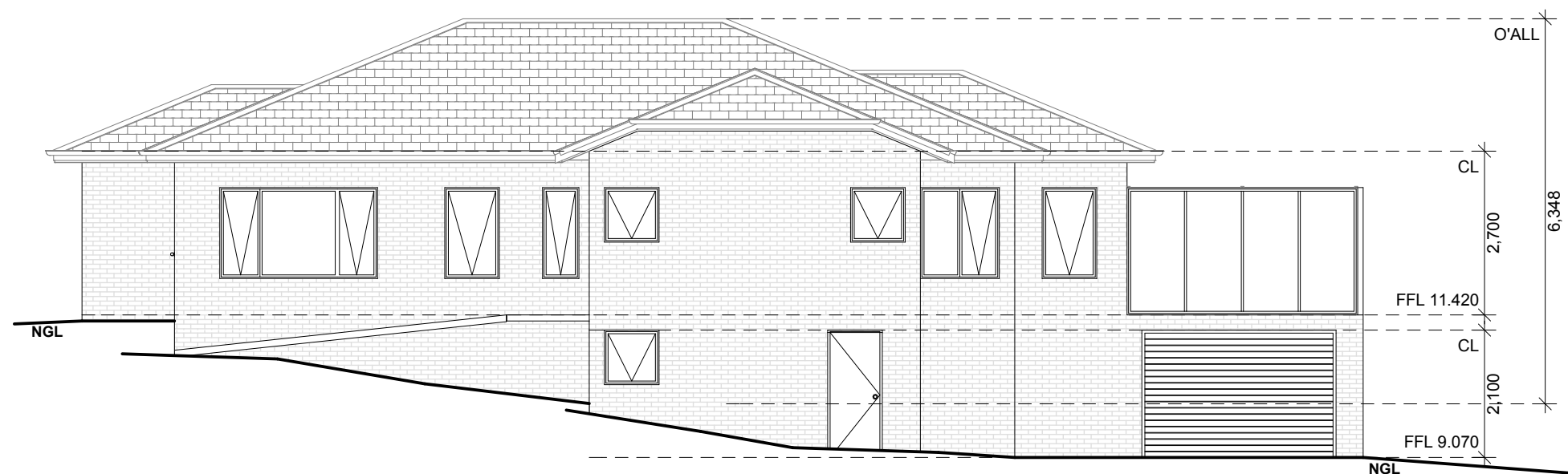
Unit 2 Elevations (Existing)



North East Elevation



South West Elevation



North West Elevation

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Unit 2 Elevations (Proposed)

Proposal:	Unit Development	Scale: 1:100	Job No: 87-2017	Pg No: 11
Client:	Lyden Builders	Date: 05/06/17	Engineer: Engineering Edge	
Address:	171 Tranmere Road Tranmere	Drawn: James	Building Surveyor: L.T.B.S	
PINNACLE DRAFTING & DESIGN. CC6073Y 2 Kennedy Drv, Cambridge 7170 P: 03 6248 4743 F: 03 6248 4745 E: jnickerson@pinnacledrafting.com.au				

Amendments	
Date	Description
26/07/17	COUNCIL RFI



Attachment 3

171 Tranmere Road, Howrah & SD-2017/19



Figure 1: The site when viewed from Tranmere Road.

11.3.4 DEVELOPMENT APPLICATION D-2017/212 - 44 TREVASSA CRESCENT, TRANMERE (WITH ACCESS OVER 42 AND 46 TREVASSA CRESCENT) - DWELLING

(File No D-2017/212)

EXECUTIVE SUMMARY**PURPOSE**

The purpose of this report is to consider the application made for a Single Dwelling at 44 Trevassa Crescent, Tranmere (with access over 42 and 46 Trevassa Crescent).

RELATION TO PLANNING PROVISIONS

The land is zoned General Residential and subject to the Parking and Access, Stormwater Management and Waterway and Coastal Protection codes under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

LEGISLATIVE REQUIREMENTS

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 24 August 2017. An extension of the statutory period until 6 September 2017 has been granted with the applicant's consent.

CONSULTATION

The proposal was advertised in accordance with statutory requirements and 1 representation was received raising the following issues:

- size and bulk of proposed dwelling;
- overshadowing of private open space area;
- loss of views and enjoyment of the natural landscape; and
- loss of property value.

RECOMMENDATION:

A. That the Development Application for Dwelling at 44 Trevassa Crescent, Tranmere (with access over 42 and 46 Trevassa Crescent) (CI Ref D-2017/212) be approved subject to the following conditions and advice.

1. GEN AP1 – ENDORSED PLANS.

- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

ASSOCIATED REPORT

1. BACKGROUND

No relevant background.

2. STATUTORY IMPLICATIONS

- 2.1.** The land is zoned General Residential under the Scheme.
- 2.2.** The proposal is discretionary because it does not meet certain Acceptable Solutions under the Scheme.
- 2.3.** The relevant parts of the Planning Scheme are:
- Section 8.10 – Determining Applications;
 - Section 10 – General Residential Zone; and
 - Section E6.0 – Parking and Access, Stormwater Management and Waterway and Coastal Protection Codes.
- 2.4.** Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

3. PROPOSAL IN DETAIL

3.1. The Site

The site is a 1026m² vacant internal lot accessed from a shared right-of-way from the southern side of Trevassa Crescent, Tranmere. The property is surrounded by residential properties, with established dwellings to the west and south, and recently approved dwellings to the north.

3.2. The Proposal

The proposal is for the development of a 2 storey brick and colorbond dwelling on the subject property. The dwelling will be located parallel to the rear (southern) boundary, with a setback of 4m. It will be setback 5m from the eastern boundary, 4.1m from the northern internal boundary and 19m from the western boundary.

The development will have site coverage of 144m² and will involve a cut of 1.9m on the southern side, with low retaining walls proposed.

The lower level of the dwelling will contain a double garage, 3 bedrooms, rumpus, bathroom and utilities. The upper level will accommodate open plan living areas and the main bedroom and ensuite.

The dwelling will be 6.8m above natural ground level at its highest point. The building will be finished in a mix of brick and lightweight cladding, with colorbond roof sheeting.

4. PLANNING ASSESSMENT**4.1. Determining Applications [Section 8.10]**

“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act’*

but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.

Reference to these principles is contained in the discussion below.

4.2. Compliance with Zone and Codes

The proposal meets the Scheme's relevant Acceptable Solutions of the General Residential Zone and Parking and Access, Stormwater Management and Waterway and Coastal Protection Codes with the exception of the following.

General Residential

Clause	Standard	Acceptable Solution (Extract)	Proposed
10.4.2 A3	Setbacks and building envelope for all dwellings	<p>A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:</p> <p>(a) be contained within a building envelope (refer to Diagrams 10.4.2A, 10.4.2B, 10.4.2C and 10.4.2D) determined by:</p> <p>(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and</p> <p>(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and</p>	<p>Does not comply – the northern setback is 4.1m from the rear boundary of a lot with an adjoining frontage.</p> <p>Does not comply – a portion of the building sits outside of the rear building envelope.</p>

		(b) only have a setback within 1.5m of a side boundary if the dwelling: (i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining lot; or (ii) does not exceed a total length of 9m or one-third the length of the side boundary (whichever is the lesser).	complies
--	--	--	----------

The proposed variation must be considered pursuant to the Performance Criteria P3 of the Clause 10.4.2 for the following reasons.

Performance Criteria	Proposal
<i>“The siting and scale of a dwelling must: (a) not cause unreasonable loss of amenity by:</i>	
<i>(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or</i>	The applicant provide overshadowing diagrams (refer Attachment 4) which demonstrates that on 21 June, the proposed dwelling will not cause any overshadowing to habitable rooms of dwellings on adjoining lots.
<i>(ii) overshadowing the private open space of a dwelling on an adjoining lot; or</i>	The overshadowing diagrams demonstrate around 11% of the adjoining private open space on the adjoining property at 354 Tranmere Road will be affected by overshadowing at 9am but has no overshadowing from approximately 1pm onwards. As the impact is limited to a small portion of the site the impact on the adjoining properties is considered reasonable.
<i>(iii) overshadowing of an adjoining vacant lot; or</i>	not relevant
<i>(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and</i>	The dwelling is 2 storey and similar in scale and bulk as the dwellings in the surrounding area and therefore does not have an unreasonable visual impact.

<i>(b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area”.</i>	The location of the dwelling provides for separation of at least 20m from the dwellings to the south and west and is compatible with the prevailing separation between dwellings in the area.
---	---

5. REPRESENTATION ISSUES

The proposal was advertised in accordance with statutory requirements and 1 representation was received. The following issues were raised by the representor.

5.1. Size and Bulk of Proposed Dwelling

The representor’s concern is that the proposed dwelling is of significant size and proximity to their residence. The representor considers the dwelling will be visually unappealing with a selected face brick wall on the southern elevation.

- **Comment**

The proposed dwelling is 2 storey and similar in scale and bulk as the dwellings in the surrounding area. In addition, the maximum height of the dwelling is 6.8m which is less than the 8.5m allowed in the zone. Therefore, the proposal is not considered to have an unreasonable impact on the amenity of the area due to visual bulk. The concern raised regarding the face brick wall facing the representor’s property is not a relevant planning consideration as there are no standards in the General Residential Zone regarding colours and materials of dwellings.

5.2. Overshadowing of Private Open Space Area

The representor’s concern is that the proposal will overshadow a portion of the representor’s yard and hinder the enjoyment of this space.

- **Comment**

Following the concern raised by the representor regarding overshadowing, the applicant provided overshadowing diagrams for 21 June. As discussed previously in this report, the overshadowing is not considered to have a detrimental impact on amenity of the area.

5.3. Loss of Views and Enjoyment of the Natural Landscape

The representor has expressed concerns that the development will significantly obstruct views of the Derwent River and Tranmere waterfront from their property. The representor believes the development will reduce their enjoyment of the natural landscape.

- **Comment**

Loss of views is not a relevant planning consideration in the General Residential Zone. Notwithstanding the above, the representor's dwelling and the majority of other dwellings in the area are orientated westwards to the Derwent River. The proposed dwelling is likely to result in a loss of a portion of the view, however, this loss is considered reasonable given that a large proportion of views are retained. In addition, the maximum height of 6.8m is lower than the allowable height of 8.5m under Scheme.

5.4. Loss of Property Values

The representor raised concern that the proposed development would have a negative effect on the value of their property.

- **Comment**

Property devaluation is not a relevant planning consideration under the Scheme.

6. EXTERNAL REFERRALS

No external referrals were required or undertaken as part of this application.

7. STATE POLICIES AND ACT OBJECTIVES

7.1. The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

7.2. The proposal is consistent with the objectives of Schedule 1 of LUPAA.

8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

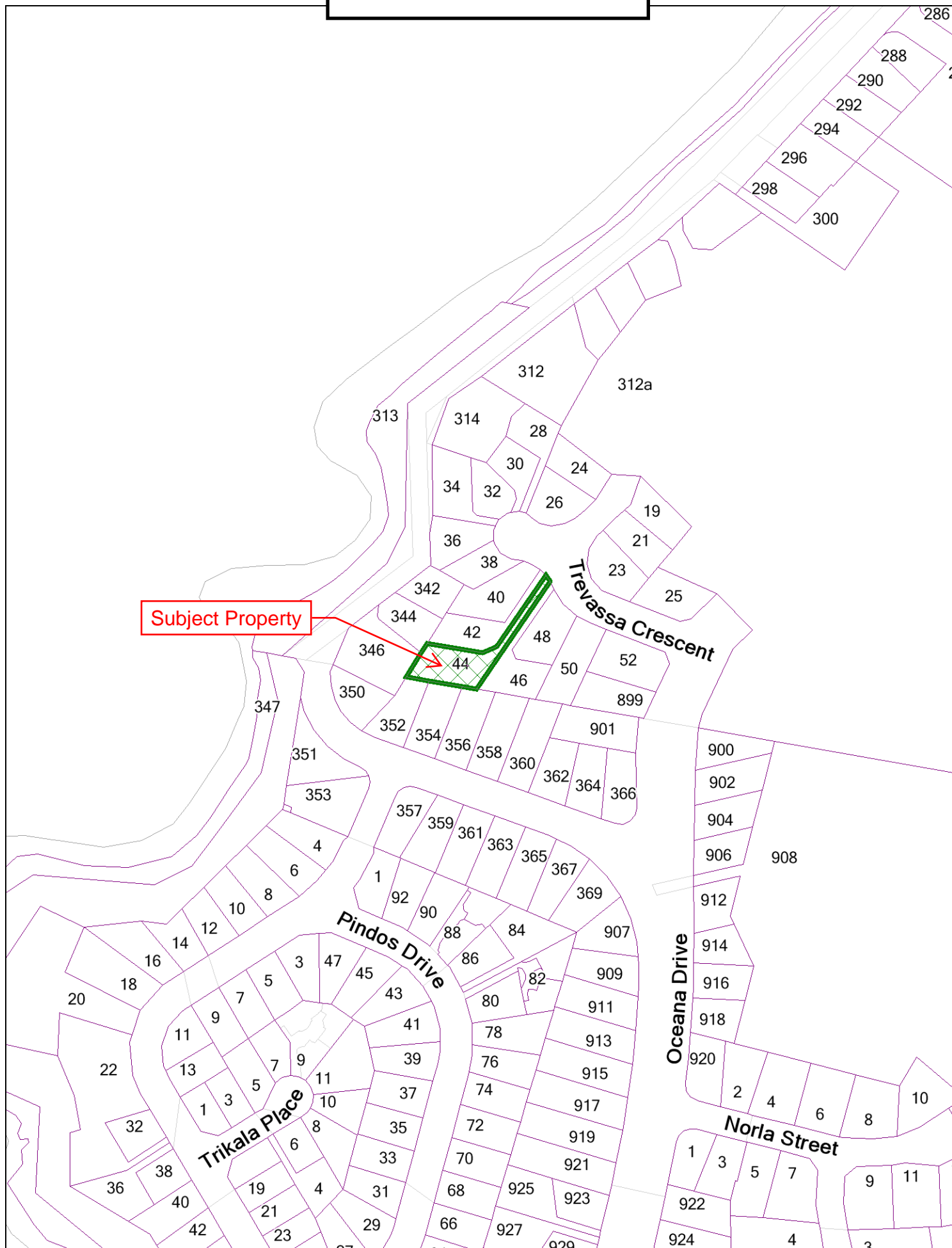
9. CONCLUSION

The proposal seeks approval for a Single Dwelling at 44 Trevassa Crescent, Tranmere. The proposal is considered to meet the relevant Performance Criteria of the Scheme and is recommended for approval.

Attachments: 1. Location Plan (1)
2. Proposal Plan (5)
3. Site Photo (1)
4. Site Plan (3)

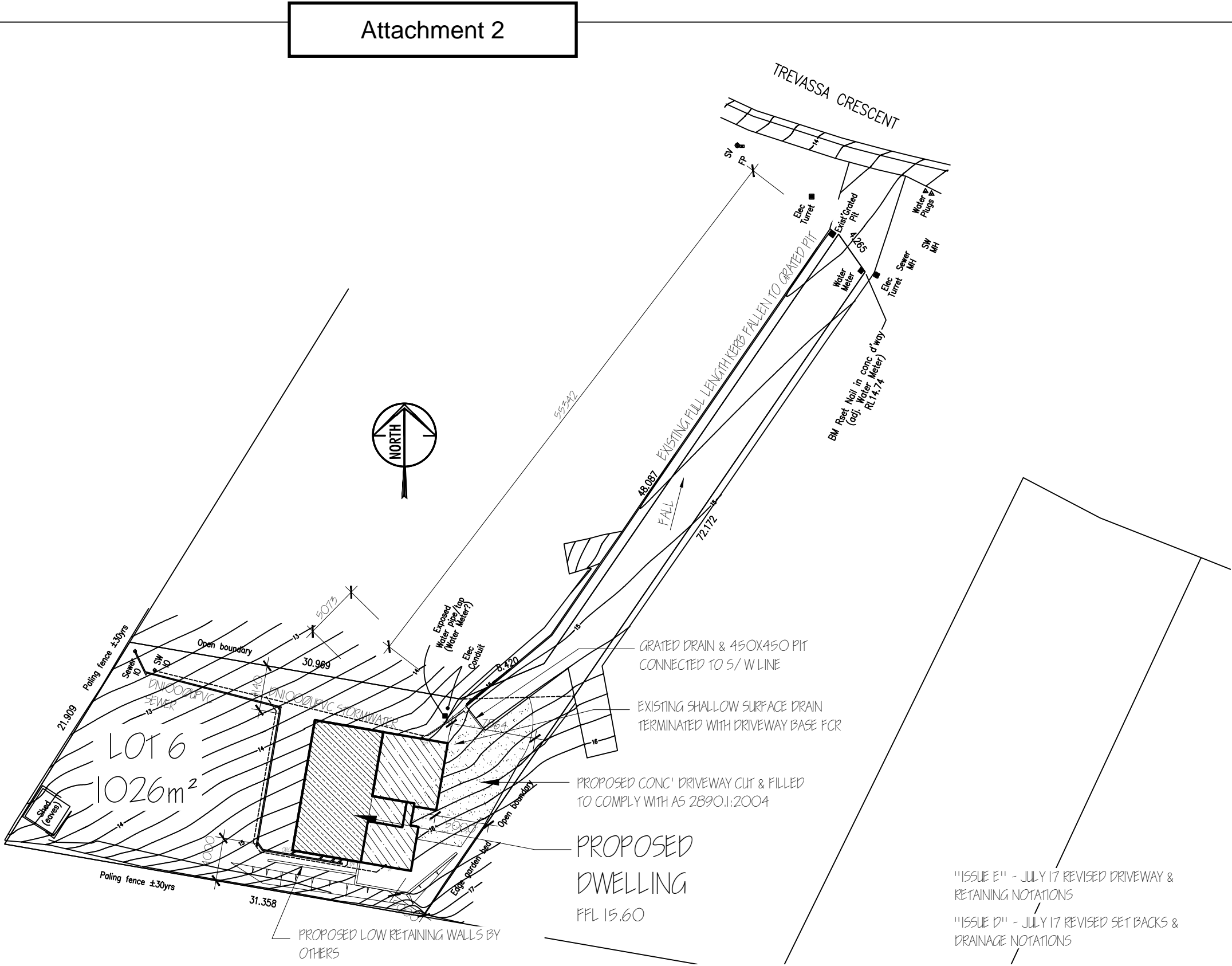
Ross Lovell
MANAGER CITY PLANNING

Attachment 1



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Attachment 2



G.Hills & Partners ARCHITECTS
PO BOX 10, KINGSTON BEACH PH: 6229 1799 Email: graham.hills@bigpond.com

S I T E P L A N

S C A L E 1 : 2 0 0

AREAS.	L. Floor	107.2m ²	11.54Sqs
	U. Floor	87.6m ²	9.43Sqs
	Garage	37.2m ²	4.00Sqs
	Total	226.2m ²	24.34Sqs
	Porch	1.3m ²	0.14Sqs

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- STEPS/ HANDRAILS MAX 150mm RISERS MAX 190mm
TREADS MAX 250mm BALUSTADING 1000mm MIN HIGH
BALUSTERS MAX 125mm SPACING
- ALL WINDOWS TO BE SET AT 2145mm O/A HEAD UNLESS
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HEIGHT WITHIN 0mm OF LEVEL
- REFER TO ALL ENGINEERS DETAILS FOR STRUCTURAL MEMBERS

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VIEW

PROPOSED SITE PLAN

CUSTOMER

J. Mole

ADDRESS	DATA
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0007	00000000
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44 Trevassa Crescent, TRANMERE

216185

Scale	1:400
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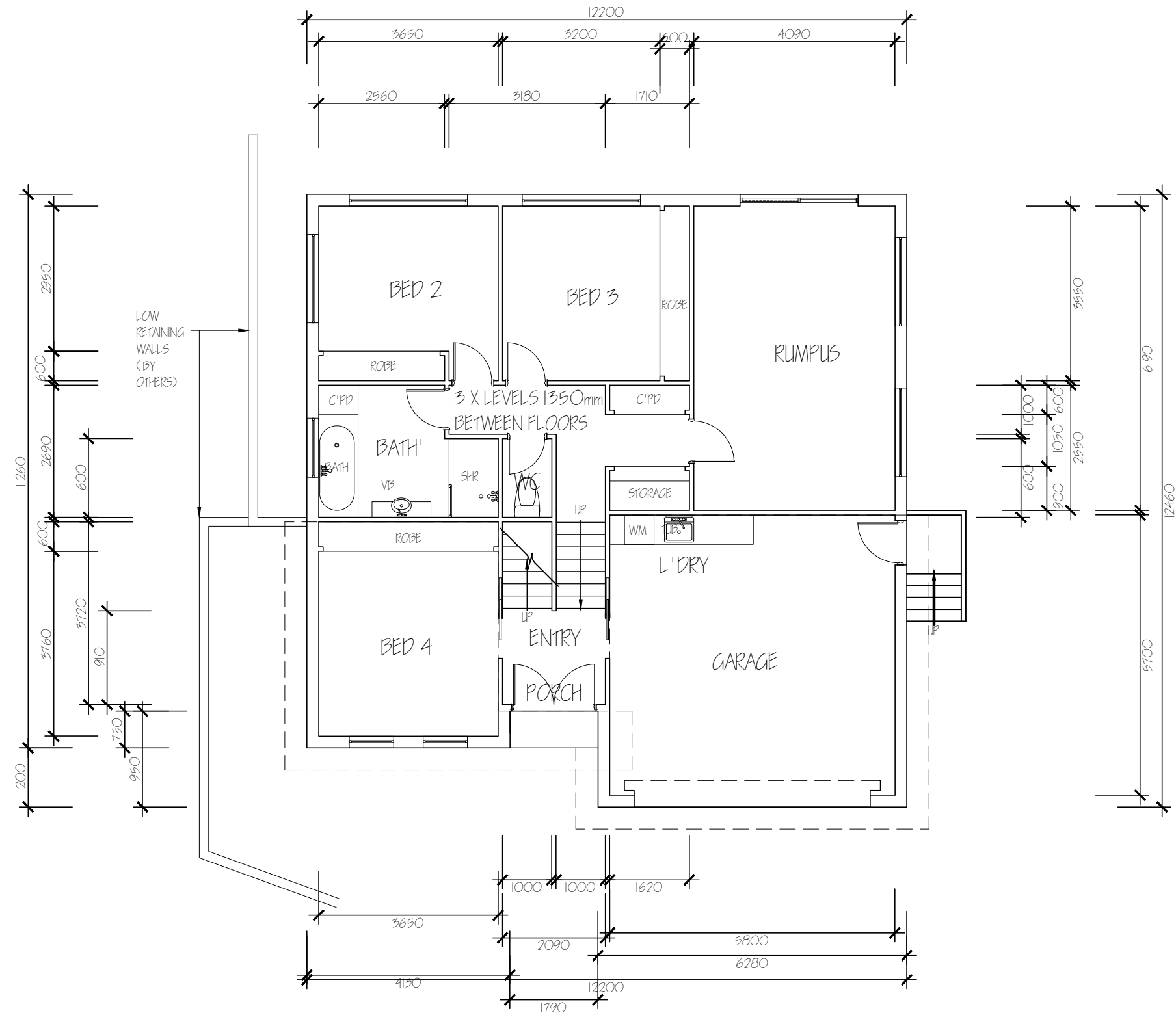
Date April. 2017

Drawn J.P & J.H

Drg.No. WD01E

Plot	Date
	19/07/2017

Sheet No. 1 of 22



"ISSUE B" JULY 17 - NOTE LOW RETAINING WALLS

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LOWER FLOOR PLAN
SCALE 1 : 1 0 0

AREAS.	L. Floor	107.2m ²	11.54Sqs
	U. Floor	87.6m ²	9.43Sqs
	Garage	37.2m ²	4.00Sqs
	Total	226.2m ²	24.34Sqs
	Porch	1.3m ²	0.14Sqs

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PROPOSED LOWER FLOOR PLAN

CUSTOMER

J. Mole

ADDRESS

44 Trevassa Crescent, TRANMERE

216185

Scale 1:100

Date April. 2017

Drawn J.P & J.H

Drg.No. DD02B

Plot Date 19/07/2017

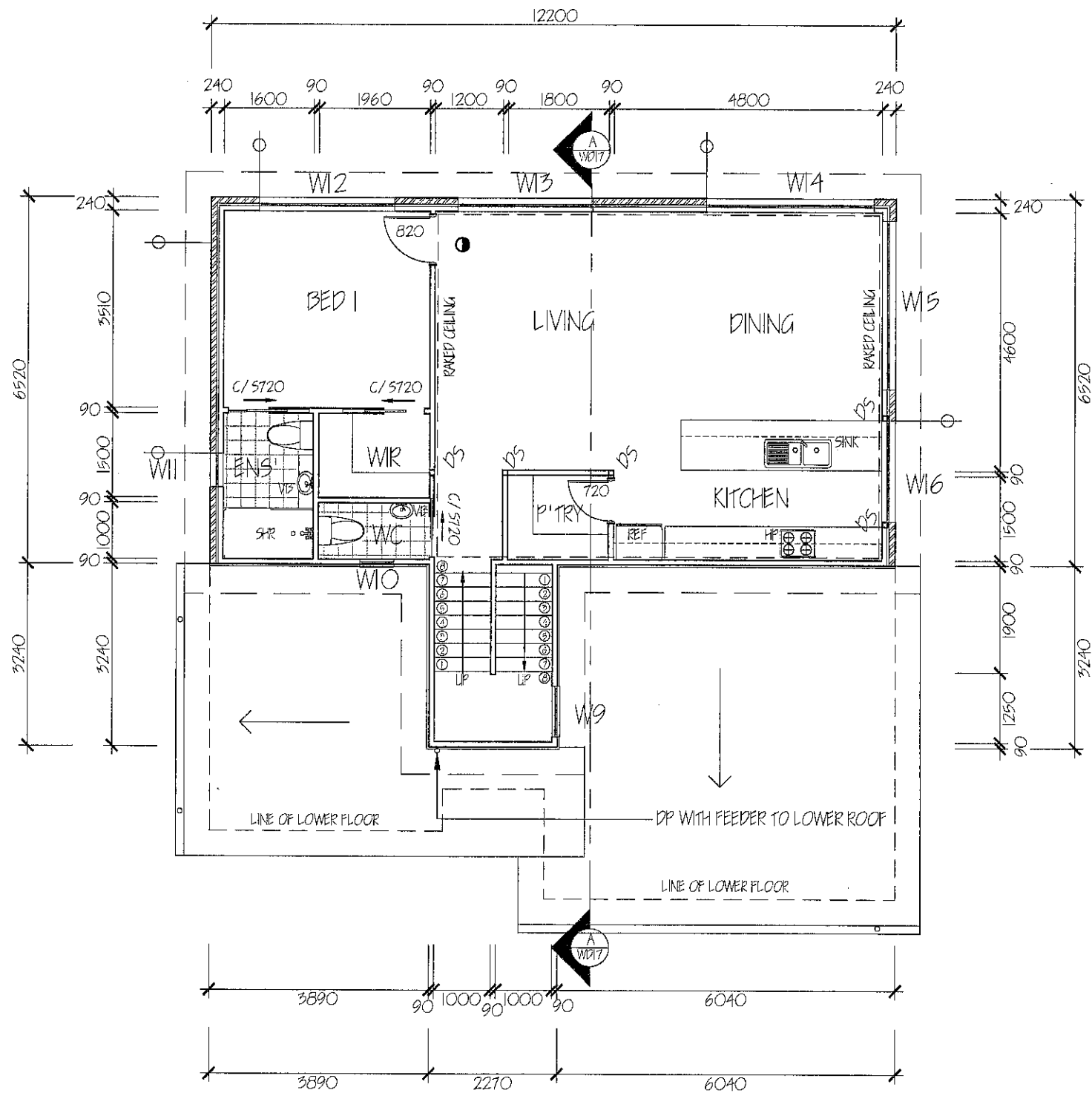
Sheet No. 2 of 5

WINDOW & DOOR SCHEDULE

	HEIGHT	WIDTH	DESCRIPTION	
W9	310	850	FIXED	(SPECIAL)
W10	310	610	AWNING	(SPECIAL OBSCURE)
W11	1029	610	AWNING	DA1006 (OBSCURE)
W12	2100	2410	SLIDING	DS2124-2
W13	2100	2410	SLIDING	DS2124-2
W14	1457	3010	SLIDING	DS1530
W15	1457	3010	SLIDING	DS1530
W16	1029	1810	FIXED	DF1018

NOTE: SITE MEASURE OPENING SIZES PRIOR TO ORDER/ PRE-MANUFACTURE OF GLAZING UNITS

ARTICULATION JOINT TO BCA2017
DS = DOUBLE SLID



UPPER FLOOR PLAN
SCALE 1 : 1 0 0

Joseph Mami
Building Surveyor
Accreditation Certificate No CC411N

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SMOKE DETECTOR IN ACCORDANCE WITH A.S. 3786

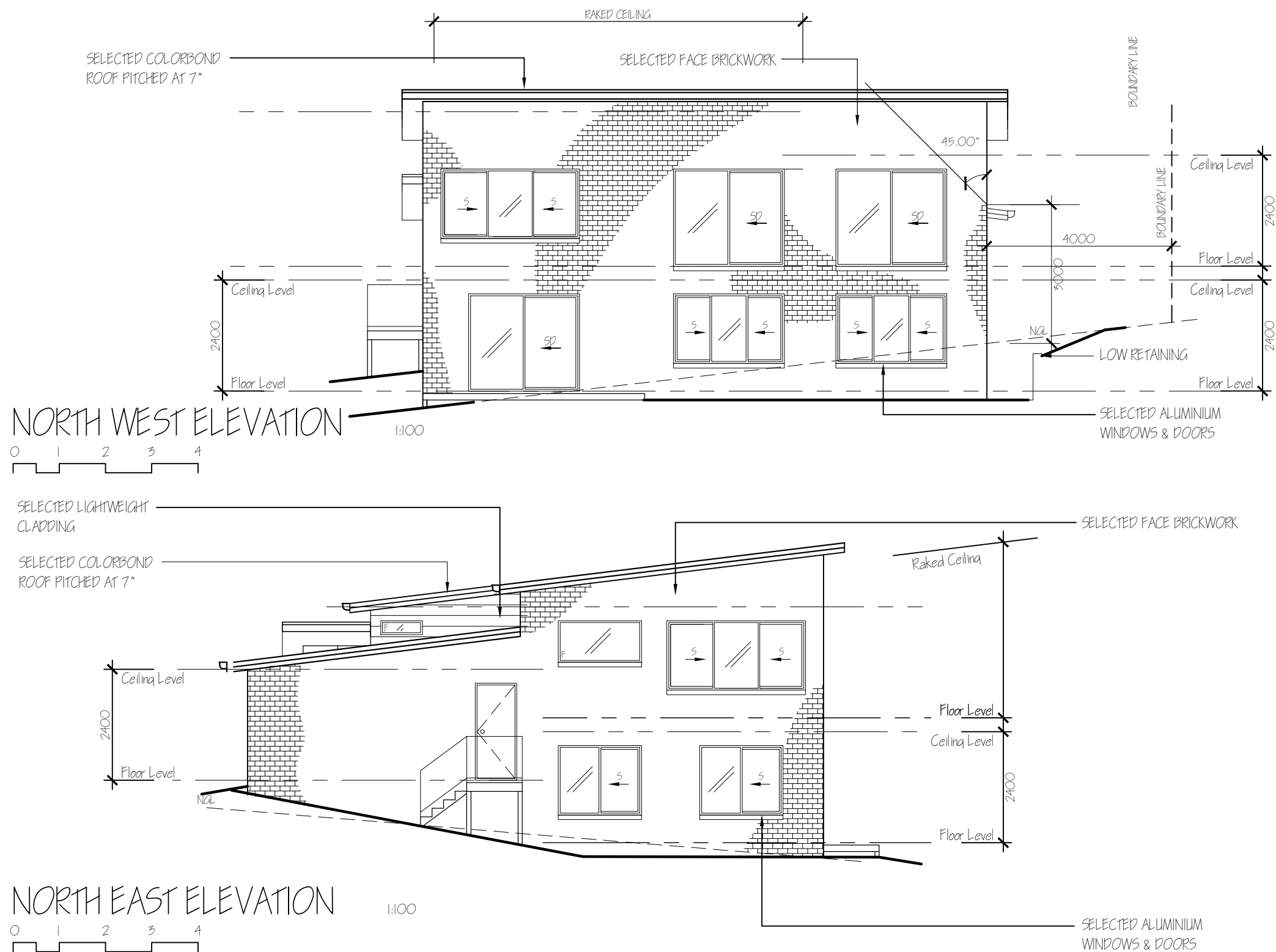
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VIEW
PROPOSED UPPER FLOOR PLAN
CUSTOMER
J. Mole
ADDRESS
44 Trevassa Crescent, TRANMERE

AREAS.	L. Floor	107.2m ²	11.54Sqs
	U. Floor	87.6m ²	9.43Sqs
	Garage	37.2m ²	4.00Sqs
	Total	226.2m ²	24.34Sqs
	Porch	1.3m ²	0.14Sqs

216185			
Scale	1:100	Date	April. 2017
Drawn	J.P & J.H	Drg.No.	DD03
Plot Date	27/04/2017	Sheet No	3 of 5



"ISSUE B" JULY 17 NOTE SET BACK & RETAINING

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VIEW

PROPOSED ELEVATIONS 2

CUSTOMER

J. Mole

ADDRESS

44 Trevassa Crescent, TRANMERE

AREAS:	L. Floor	107.2m ²	11.54Sqs
	U. Floor	87.6m ²	9.43Sqs
	Garage	37.2m ²	4.00Sqs
	Total	226.2m ²	24.34Sqs
	Porch	1.3m ²	0.14Sqs

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Scale 1:100

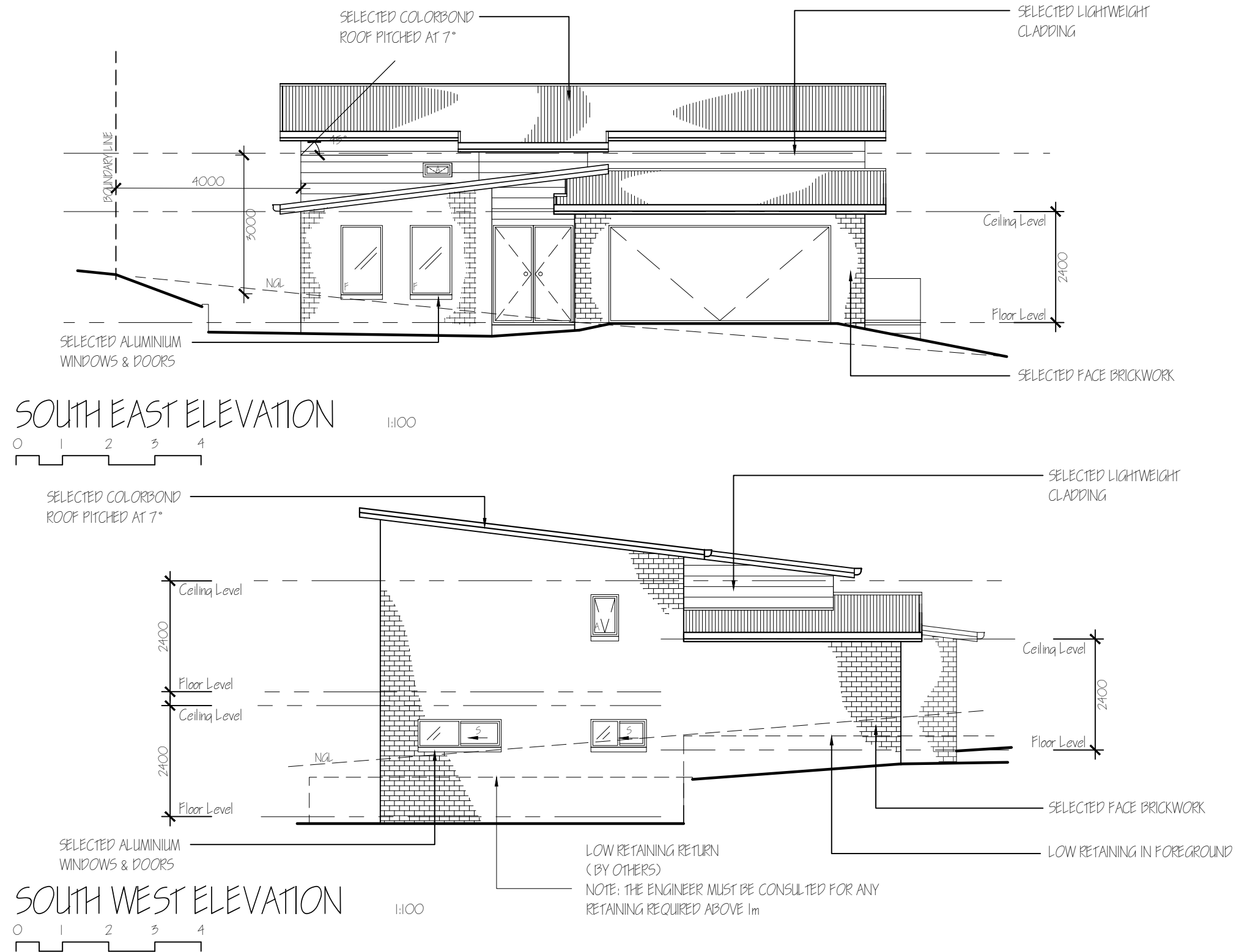
Date April. 2017

Drawn J.P & J.H

Drg.No. DD05B

Plot Date 19/07/2017

Sheet No. 5 of 5



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VIEW

PROPOSED ELEVATIONS 1

CUSTOMER

J. Mole

ADDRESS

44 Trevassa Crescent, TRANMERE

AREAS:	L. Floor	107.2m ²	11.54Sqs
	U. Floor	87.6m ²	9.43Sqs
	Garage	37.2m ²	4.00Sqs
	Total	226.2m ²	24.34Sqs
	Porch	1.3m ²	0.14Sqs

216185

Scale 1:100

Date April. 2017

Drawn J.P & J.H

Drg.No. DD04B

Plot Date 19/07/2017

Sheet No. 4 of 5

Attachment 3

44 Trevassa Crescent, TRANMERE



Site access viewed from Trevassa Crescent, looking south

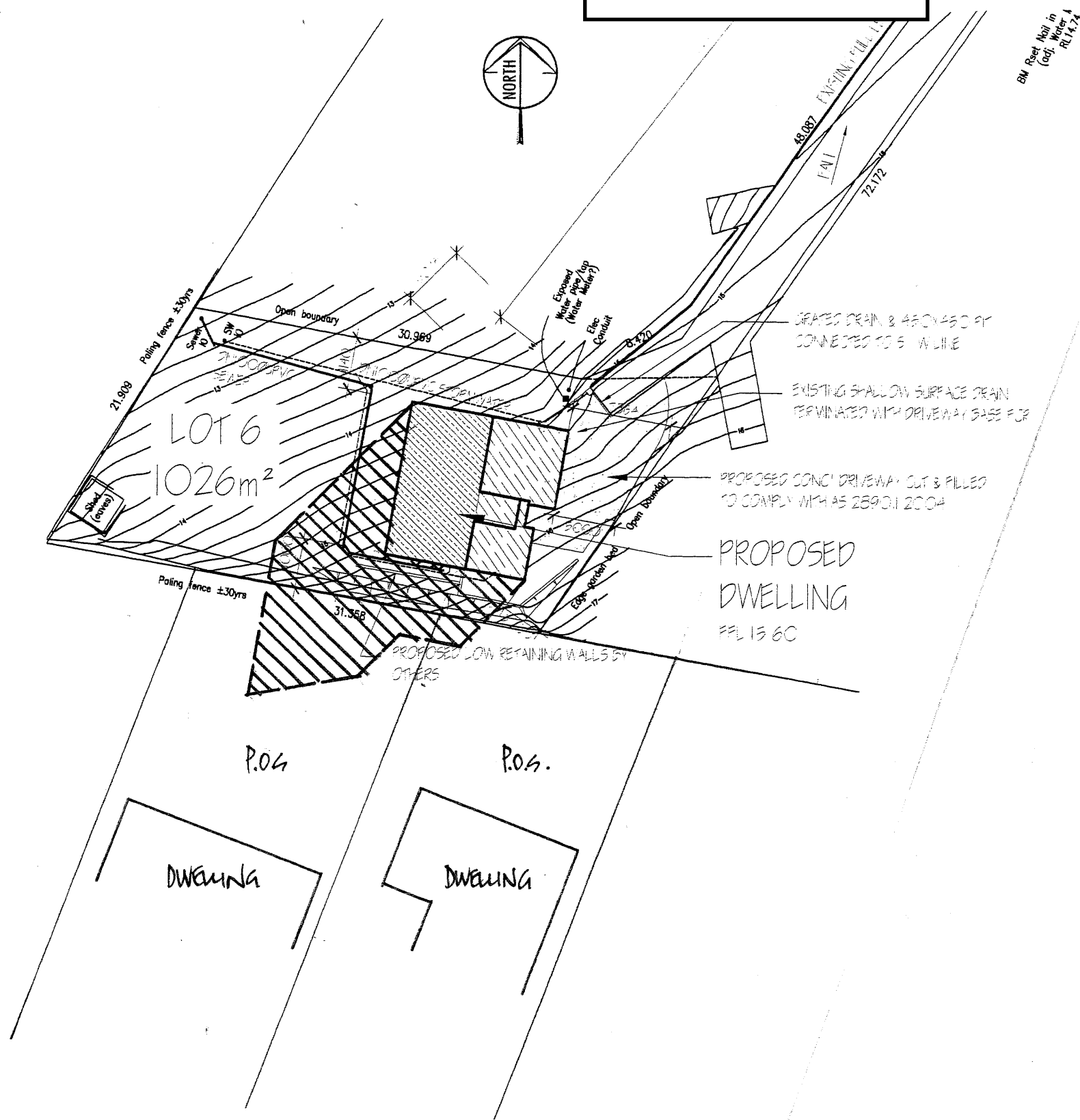


Site viewed from Trevassa Crescent, looking southwest



Site access viewed from Trevassa Crescent, looking south

Attachment 4



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SITE PLAN - SUN 9AM JUNE 21 2 11°
SCALE 1:200

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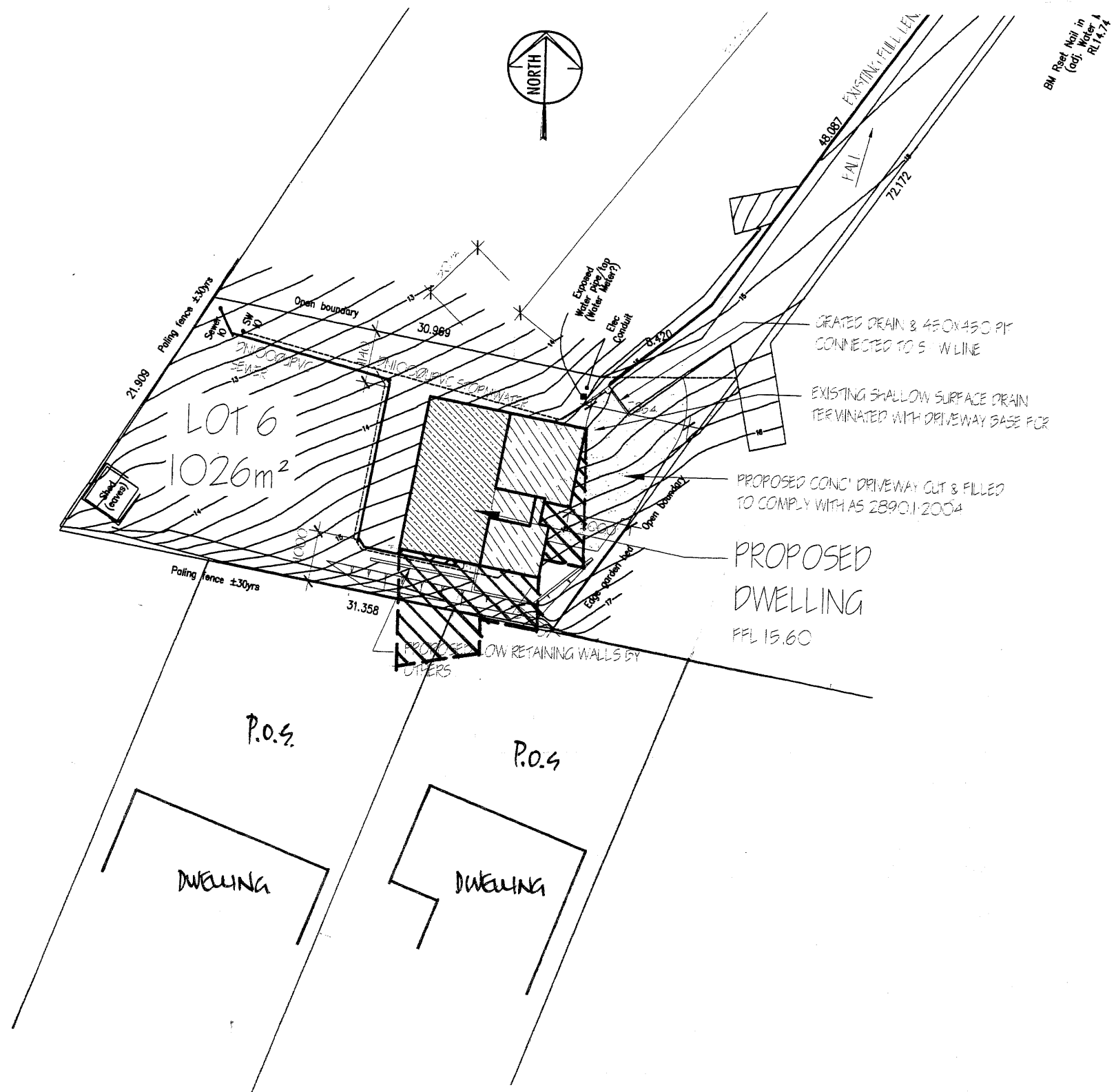
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VIEW PROPOSED SITE PLAN - SHADOW A
CUSTOMER J. Mole
ADDRESS 44 Trevassa Crescent, TRANMERE

AREAS.	L. Floor	107.2m ²	11.54Sqs
	U. Floor	87.6m ²	9.43Sqs
	Garage	37.2m ²	4.00Sqs
	Total	226.2m ²	24.34Sqs
	Porch	1.3m ²	0.14Sqs

216185			
Scale	1:400	Date	April. 2017
Drawn	J.P & J.H	Drg.No.	WD01
Plot Date	19/07/2017	Sheet No.	1 of 22



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SITE PLAN - SUN 12 NOON - JUNE 21 @ 22.5°
SCALE 1:200

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VIEW

PROPOSED SITE PLAN - SHADOW B

CUSTOMER

J. Mole

ADDRESS

44 Trevassa Crescent, TRANMERE

AREAS.	L. Floor	107.2m ²	11.54Sqs
	U. Floor	87.6m ²	9.43Sqs
	Garage	37.2m ²	4.00Sqs
	Total	226.2m ²	24.34Sqs
	Porch	1.3m ²	0.14Sqs

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Scale 1:400

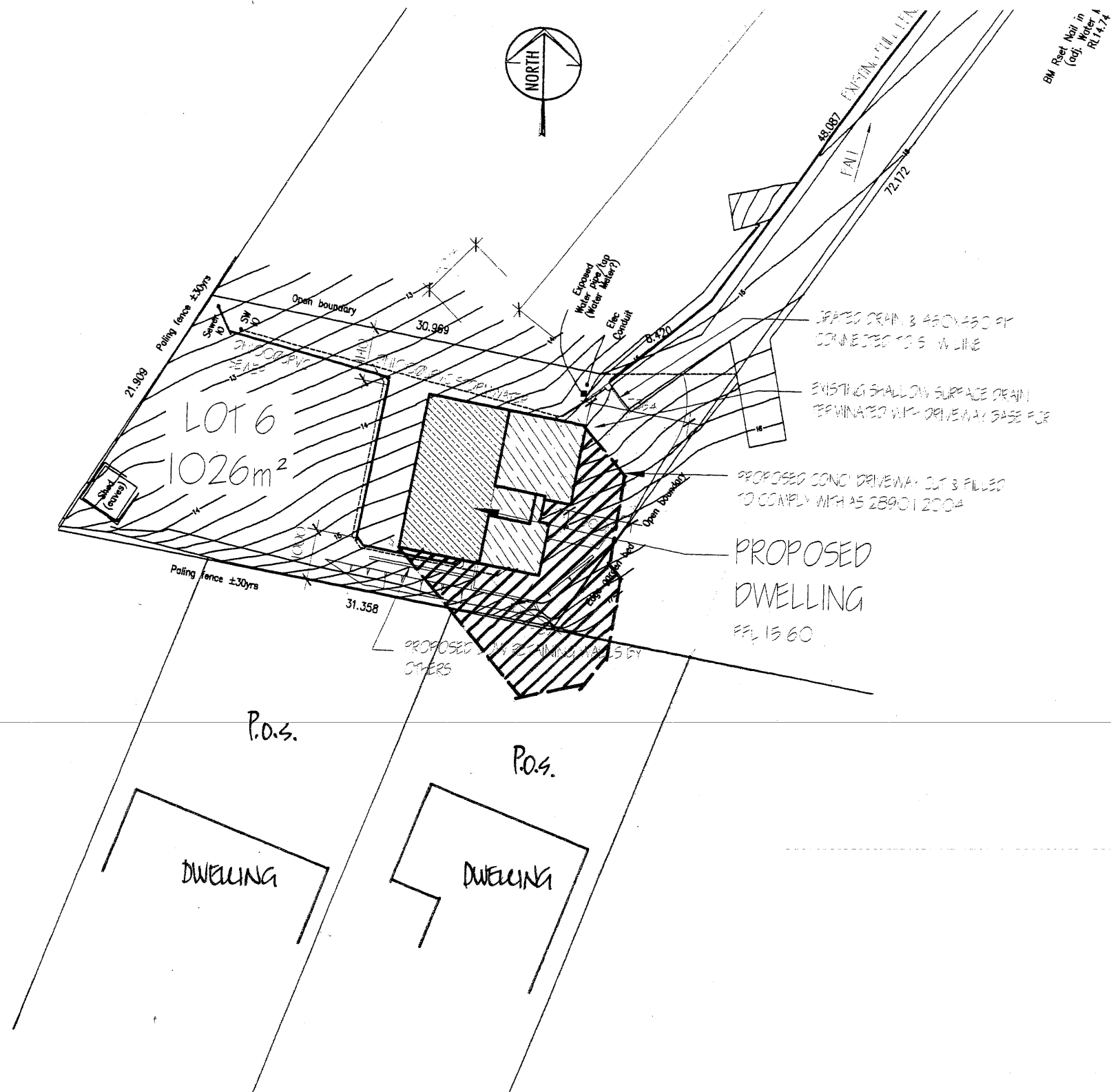
Date April. 2017

Drawn J.P & J.H

Drg.No. WD01

Plot Date 19/07/2017

Sheet No. 1 of 22



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SITE PLAN - SUN 3pm - JUNE 21 2014
SCALE 1:200

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PROPOSED SITE PLAN - SHADOW C

CUSTOMER

J. Mole

ADDRESS

44 Trevassa Crescent, TRANMERE

AREAS.	L. Floor	107.2m ²	11.54Sqs
	U. Floor	87.6m ²	9.43Sqs
	Garage	37.2m ²	4.00Sqs
	Total	226.2m ²	24.34Sqs
	Porch	1.3m ²	0.14Sqs

216185

Scale 1:400

Date April. 2017

Drawn J.P & J.H

Drg.No. WD01

Plot Date 19/07/2017

Sheet No. 1 of 22

11.3.5 DEVELOPMENT APPLICATION D-2017/284 - 31 BASTICK STREET, ROSNY - 2 MULTIPLE DWELLINGS
(File No D-2017/284)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for 2 Multiple Dwellings at 31 Bastick Street, Rosny.

RELATION TO PLANNING PROVISIONS

The land is zoned General Residential and subject to the Parking and Access Code and Stormwater Management Code under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

LEGISLATIVE REQUIREMENTS

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 6 September 2017 as agreed with the applicant.

CONSULTATION

The proposal was advertised in accordance with statutory requirements and 1 representation was received raising the following issues:

- overshadowing;
- privacy impacts;
- vehicle light intrusion;
- impacts upon safety and efficiency of Rosny College intersection; and
- suggested re-design.

RECOMMENDATION:

A. That the Development Application for 2 Multiple Dwellings at 31 Bastick Street, Rosny (Cl Ref D-2017/284) be approved subject to the following conditions and advice.

1. GEN AP1 – ENDORSED PLANS.
2. ENG A2 – CROSSOVER CHANGE [5.5M WIDE).

3. ENG A5 – SEALED CAR PARKING.
4. ENG S1 – INFRASTRUCTURE REPAIR.
5. ENG M1 – DESIGNS DA [ROAD DESIGN, CARPARK AND DRIVEWAYS AND SERVICE UPGRADES OR RELOCATIONS].
6. ENG M5 – EROSION CONTROL.
7. The development must meet all required Conditions of Approval specified by TasWater notice dated 19 July 2017 (TWDA 2017/01098-CCC).

ADVICE

- A. It is advised that a Certificate of Likely Compliance (demolition) must be provided for the demolition/removal of the existing dwelling and outbuilding either prior to, or as part of the certified documents for the Building Permit application.
- B. It is advised that a Geotechnical Engineer ought to be engaged to take soil samples and provide a report to Council as part of the building permit application documents. Should this report identify any underlying geotechnical issues, it is recommended that the proposed design be referred to the Geotechnical Engineer for comments and recommendations.
- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

ASSOCIATED REPORT

1. BACKGROUND

An application for a 1 lot subdivision was approved by Council in 2000. However, the representor appealed Council's decision to the Resource Management and Planning Appeal Tribunal. The grounds of appeal related to inappropriate lot size and shape and detrimental effects upon road safety. In considering the impact of the access for Lot 2 upon road safety, the Tribunal accepted that there was an available sight distance of 70m to the south which complied with the minimum sight distance requirement of 55m, however, it did not comply with the desirable sight distance requirement of 105m.

The Tribunal found that there would be some potential for the creation of an unsafe situation, however, this issue did not form a sufficient ground in itself for rejecting the proposal. Rather, the Tribunal determined to set aside the permit granted by Council and to replace it with a refusal due to the interference with residential amenity arising from permitted potential development on the new Lot 2 (rear lot).

The subdivision application was assessed against Australian Standard 2890.1 1993. An amended version Australian Standard 2890.1:2004 is now in place which Council utilises. The current standard has significantly revised acceptable sight distances for domestic and residential accesses which this current proposal satisfies (40m absolute minimum for domestic). Since the previous proposal, Bastick Street has been subject to the national revised urban speed limit of 50km/h unless otherwise identified which has also impacted on the sight distance requirements for this access. These differences have a considerable bearing on the assessment required to be undertaken as part of the assessment currently before Council.

The amenity impact resulting from future development on the new vacant lot was considered a relevant consideration as the Scheme that applied at the time was specific in requiring the potential for use and development, at least on a “permitted” basis, to which subdivision would give rise. The application presently before Council differs in that it is for a Multiple Dwelling development as opposed to a subdivision, with amenity impacts controlled through the current development standards contained within Section 10.4 of the Scheme.

2. STATUTORY IMPLICATIONS

2.1. The land is zoned General Residential under the Scheme.

2.2. The proposal is discretionary because it does not meet the Acceptable Solutions under the Scheme.

2.3. The relevant parts of the Planning Scheme are:

- Section 8.10 – Determining Applications;
- Section 10.4 – General Residential Zone;

- Section E6.0 – Parking and Access Code;
- Section E7.0 – Stormwater Management Code.

2.4. Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

3. PROPOSAL IN DETAIL

3.1. The Site

The subject site is an 834m² rectangular shaped lot located on the western side of Bastick Street, and directly opposite the Rosny Tennis Club. The site has a moderate easterly fall with an average gradient of 25%. The site is developed with a single storey weatherboard dwelling which is proposed to be demolished entirely to make way for the proposed Multiple Dwelling development. Access to the site is currently provided via an existing crossover and internal driveway extending alongside the southern side property boundary.

3.2. The Proposal

Application is made to demolish the exiting weatherboard dwelling and to construct 2 Multiple Dwellings. Proposed Unit 2 would be located directly to the rear of Unit 1, with Unit 1 directly fronting Bastick Street.

Proposed Unit 1 would occupy a floor area of 126.81m² over 2 levels. The ground level would contain a single garage, rumpus, bathroom and internal stairway providing access to the upper level containing an open plan living area, 3 bedrooms and bathroom. An 18.68m² timber deck is proposed to extend from the eastern elevation of the upper level serving as an extension to the living space.

Proposed Unit 2 would occupy a floor area of 125.55m² over 2 levels. The ground level would contain a single garage, rumpus room, bedroom and internal stairway providing access to the upper level. The upper level would contain an open plan living room, 3 bedrooms and bathroom. A 24.78m² ground level deck is proposed to extend from the rear elevation of the dwelling providing access to the private outdoor space.

The dwellings would be constructed from blockwork in a rendered finish and “Colorbond” roofing in a moderately pitched gabled profile.

Private open space for both units has been allocated to the north and west of the respective unit and would be fenced.

The existing crossover is proposed to be widened and the internal driveway would be extended along the southern side boundary to the rear of the site to provide access to Unit 2. Parking for Unit 1 is proposed between the dwelling and the street. The garage will also afford parking for 1 vehicle. Parking for Unit 2 would be located between the 2 dwellings. The garage will also afford parking for 1 vehicle. A visitor park is proposed between the 2 dwellings.

4. PLANNING ASSESSMENT

4.1. Determining Applications [Section 8.10]

“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.

Reference to these principles is contained in the discussion below.

4.2. Compliance with Zone and Codes

The proposal meets the Scheme's relevant Acceptable Solutions of the General Residential Zone, Parking and Access Code and Stormwater Management Code with the exception of the following.

General Residential Zone

Clause	Standard	Acceptable Solution (Extract)	Proposed
10.4.2 A3	Setback and building envelope for all dwellings	<p>A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:</p> <p>(a) be contained within a building envelope (refer to Diagrams 10.4.2A, 10.4.2B, 10.4.2C and 10.4.2D) determined by:</p> <p>(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and</p> <p>(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and</p>	<p>Does not comply. The ground level deck located at the rear of Unit 2 would be located 0.5m from the rear (western) property boundary. The 4m rear setback proposed for Unit 2 will also result in a 1.2m building envelope encroachment.</p>

		(b) only have a setback within 1.5m of a side boundary if the dwelling: (i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining lot; or (ii) does not exceed a total length of 9m or one-third the length of the side boundary (whichever is the lesser).	complies
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The proposed variation must be considered pursuant to the Performance Criteria (P3) of the Clause 10.4.2 as follows.

Performance Criteria	Comment
"P3 <i>The siting and scale of a dwelling must:</i> <i>(a) not cause unreasonable loss of amenity:</i>	see below
<i>(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or</i>	<p>With respect to the Unit 2 ground level deck encroachment into the rear setback, this structure is not expected to inflict any overshadowing effect upon the adjacent residential property to the south at 33 Bastick Street, as it would be located at ground level and would be visually and physically screened by the existing paling side and rear boundary fence.</p> <p>The encroachment associated with the rear elevation of Unit 2 (part of the dwelling) would be located to the north of the dwelling associated with the adjacent residential property at 33 Bastick Street. One dimensional and 3 dimensional shadow diagrams have been submitted with the application to demonstrate the overshadowing impact upon the north facing habitable room windows and private open space associated with this adjoining dwelling at 33 Bastick Street.</p>

	<p>The shadow diagrams demonstrate that the 2 north facing “bedroom” windows associated with the adjoining dwelling at 33 Bastick Street will receive full sun between 9am and 2pm on 21 June (Winter Solstice). These windows currently receive full sun between 9am to 3pm on 21 June therefore proposed Unit 2 would result in the loss of 1 hour of sunlight (16.6% reduction). In addition, the “dining” room window associated with the adjoining dwelling at 33 Bastick Street will receive full sun between 9am to 1pm on 21 June (Winter Solstice). This window currently receives full sun between 10.30am to 3pm on 21 June therefore proposed Unit 2 will result in a 33.3% reduction in the hours in which these windows presently received sunlight.</p> <p>Shadow diagrams have also been provided showing the degree of additional overshadowing cast by the building envelope protrusion as compared with the overshadowing impact cast by the parts of Unit 2 located within the building envelope. These diagrams show that the building envelope encroachment would result in additional overshadowing between 11am – 2pm on 21 June. The additional shadowing amounts to an area of less than 1% of the overall shadow cast by the compliant building location. The additional overshadowing also only affects the private open space as opposed to the north facing habitable room windows associated with the adjoining dwelling to the south. It is therefore evident that the building envelope encroachment would result in a very minor increase in additional shadowing upon the adjoining dwelling and private open space than the shadow cast by the part of Unit 2 located within the building envelope.</p>
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<p>(ii) <i>overshadowing the private open space of a dwelling on an adjoining lot; or</i></p>	<p>Proposed Unit 2 will overshadow a portion of the private open space associated with 33 Bastick Street to the south between 9am and 3pm on 21 June (Winter Solstice). The private open space associated with adjoining residence is split into 2 areas including the backyard to the rear of the dwelling and a north facing terrace accessible from the dining/living room. In terms of the north facing terrace, the shadow diagrams submitted with the application demonstrate that 50% of the terrace will receive full sun between 11am – 2pm on the Winter Solstice. Most of the overshadowing of this terrace is a result of proposed Unit 1, which would be replacing the existing dwelling, with proposed Unit 2 casting a shadow on the terrace between 2pm - 3pm only. The reduction in 1 hour of sunlight to the deck area together with the retention of in excess of 3 hours sunlight is therefore not considered an unreasonable impact.</p> <p>With respect to the backyard of 33 Bastick Street, the area directly to the rear of the dwelling is overshadowed from 9am to 3pm on the Winter Solstice by the existing bedroom wing located on the adjoining property. The shadow diagrams submitted with the application demonstrate that proposed Unit 2 would result in overshadowing of this adjoining private open space however; the private open space would be capable of receiving full sun to at least 75% of the private open space between 12pm - 3pm on the shortest day. The shadow diagrams include a comparison of the overshadowing impact from proposed Unit 2 against the shadow cast solely by the rear building envelope encroachment. The diagrams show that the shading cast by the rear building envelope encroachment would affect the rear most portion of the private open space which appears to be the least utilised area of the backyard space.</p>
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	Given the overshadowing affects only part of the private open space for the adjoining dwelling for a relatively short period of time, the development is not considered to have an unreasonable impact on the amenity or usability of the private open space allocated to the adjoining lot.
<i>(iii) overshadowing of an adjoining vacant lot; or</i>	The property upslope to the west is a vacant public reserve. The shadow diagrams demonstrate that there would be no overshadowing impact upon this adjoining vacant lot as a result of the rear building envelope encroachment.
<i>(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and</i>	<p>The surrounding area generally contains single dwellings on multiple levels in response to the topography of the site. Neighbouring dwellings are typically oriented to the east to take advantage of views over Kangaroo Bay.</p> <p>Proposed Unit 1 would be of a comparable height and scale to the existing dwelling therefore is not expected to cause any unreasonable visual impact when viewed from the adjoining dwelling to the south at 33 Bastick Street or Council's reserve located to the west.</p> <p>Proposed Unit 2 being introduced into the rear of the subject site has the greatest potential to impact upon visual amenity when viewed from adjoining properties. Whilst it is recognised that single dwellings maintaining a uniform setback from the street characterises the western side of Bastick Street (within the area opposite Rosny College), the Scheme allows for densification in the form of multiple dwelling developments. The proposed dwelling would have a maximum height of 7.92m and would involve excavated below natural ground level to a depth of 1.6m which will reduce the appearance of the building to one storey above natural ground level when viewed from the adjoining property to the south at 33 Bastick Street and from Council's reserve to the rear.</p>

	<p>The additional unit complies with the density standard for the zone and the building envelope encroachment being minor and offset to the north-west of the dwelling to the south, will minimise visual impact when viewed from this adjoining dwelling. The most significant visual outlook to the east would also remain unaffected.</p> <p>For the above reasons, it is considered that the proposal will not cause a loss of amenity to the adjoining properties through visual bulk and scale of the development.</p>
<i>(b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area”.</i>	<p>The location of the proposed deck associated with Unit 2 within the rear setback will remain unnoticed, therefore would not impact upon dwelling separation. Whilst unit developments do not typify the built character within the area, the proposed setback of Unit 2 from the rear boundary will be comparable to the dwelling separation offered by nearby dwellings located on the eastern side of Haven Court.</p>

General Residential Zone

Clause	Standard	Acceptable Solution	Proposed
10.4.3 A2	Private Outdoor Space	<p>A dwelling must have an area of private open space that:</p> <p>(a) is in one location and is at least:</p> <p>(i) 24m²; or</p> <p>(ii) 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p>	complies

		<p>(b) has a minimum horizontal dimension of:</p> <p>(i) 4m; or</p> <p>(ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(c) is directly accessible from, and adjacent to, a habitable room (other than a bedroom); and</p> <p>(d) is not located to the south, south-east or south-west of the dwelling, unless the area receives at least 3 hours of sunlight to 50% of the area between 9.00am and 3.00pm on 21 June; and</p> <p>(e) is located between the dwelling and the frontage, only if the frontage is orientated between 30 degrees west of north and 30 degrees east of north, excluding any dwelling located behind another on the same site; and</p>	<p>complies</p> <p>Does not comply. The private open space allocated to Unit 1 would not comply with Clause (c) in that it would not be directly accessible from, and adjacent to a habitable room (other than a bedroom). The private open space is proposed to be accessed via the living room and a narrow, short walkway beside the parking space allocated to the rear of this unit.</p> <p>complies</p> <p>complies</p>
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	(f) has a gradient not steeper than 1 in 10; and	complies
	(g) is not used for vehicle access or parking.	complies

The proposed variation must be considered pursuant to the Performance Criteria (P2) of the Clause 10.4.3 as follows.

Performance Criteria	
<p>“P2 <i>A dwelling must have private open space that:</i> <i>(a) includes an area that is capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children’s play and that is:</i></p>	see below
<p><i>(i) conveniently located in relation to a living area of the dwelling; and</i></p>	<p>The private open space would be located a short distance from the doorway entry to the living space. A walkway with a length of 3m would provide level access from the living area doorway to the private open space located at the rear of the dwelling. This is considered sufficiently accessible to aid convenience for outdoor relaxation and children’s play. Shadow diagrams supplied with the application also demonstrate that the private open space will be capable of receiving full sun between 11am – 3pm on 21 June which is in excess of that deemed appropriate under the Acceptable Solution.</p>
<p><i>(ii) orientated to take advantage of sunlight”.</i></p>	<p>The main outdoor area proposed to serve as an extension to the living space is the deck located on the eastern elevation of the upper level. The deck will be directly accessible from the living room and will be of suitable dimensions to accommodate outdoor dining and relaxation. The deck is also oriented to take advantage of full morning and midday sunlight. The deck will therefore act to supplement the outdoor space to the rear of the dwelling.</p>

Road and Rail Assets Code

Clause	Standard	Acceptable Solution	Proposed
E5.6.4 A1	Sight distance at accesses, junctions and level crossings	<p>Sight distances at:</p> <p>(a) an access or junction must comply with the Safe Intersection Sight Distance shown in Table E5.1; and</p> <p>(b) rail level crossings must comply with AS1742.7 Manual of uniform traffic control devices - Railway crossings, Standards Association of Australia.</p>	Table E5.1 requires a safe intersecting sight of 80m for a 85 th percentile vehicle speed of 50km/h. The available safe intersecting sight distance to the south of the property access is 70m as measured on-site therefore is deficient.

The proposed variation must be considered pursuant to the Performance Criteria (P1) of the Clause E5.6.4 as follows.

Performance Criteria	
<i>“P1 - The design, layout and location of an access, junction or rail level crossing must provide adequate sight distances to ensure the safe movement of vehicles, having regard to:</i>	see below
<i>(a) the nature and frequency of the traffic generated by the use;</i>	Council’s Development Engineer has advised that the development makes provision for on-site turning and a passing facility at the kerb therefore enabling all vehicles to exit the site in a forward direction. The alternative to the development is a single dwelling development with no such on-site turning provision and therefore would be less desirable from a traffic safety perspective.
<i>(b) the frequency of use of the road or rail network;</i>	Council’s Development Engineer has advised that Bastick Street is a Collector Road with significant traffic associated with the Rosny College and nearby sporting facilities. The majority of traffic is residential.
<i>(c) any alternative access;</i>	The proposed development will utilise the existing access and will widen the existing access as there are no other alternatives.

<i>(d) the need for the access, junction or level crossing;</i>	The proposal seeks to utilise an existing single access therefore there would be no requirement for the creation of a new access point.
<i>(e) any traffic impact assessment;</i>	Council's Development Engineer has advised that a Traffic Impact Assessment was not required in this case because the proposal represents a minor intensification of the access usage which is considered to have adequate sight distance for this development.
<i>(f) any measures to improve or maintain sight distance; and</i>	not applicable
<i>(g) any written advice received from the road or rail authority".</i>	not applicable

5. REPRESENTATION ISSUES

The proposal was advertised in accordance with statutory requirements and 1 representation was received. The following issues were raised by the representor.

5.1. Overshadowing

Concern is raised that the 2 Multiple Dwellings will impact upon the thermal efficiency of the adjoining dwelling to the south at 33 Bastick Street which has been designed as part of recent refurbishments to take advantage of northerly solar access. Specifically, the representor raises concern that the most significant shadowing impact will occur on the north facing living room windows from 1pm onwards, which will effectively nullify the effectiveness of the thermal efficiency created by these windows. In addition, concern is raised that Unit 2 will shadow the north facing master bedroom, children's bedroom and dining room windows which will further reduce the thermal efficiency of the dwelling design.

- Comment**

The proposed development (Unit 2) relies upon a variation to the rear boundary setback which, as discussed in relation to Acceptable Solution 10.4.2 (P3) above, satisfies the related Performance Criteria. It is noted that the proposed dwelling would be 7.92m above natural ground level at its highest point, which is less than the 8.5m maximum height prescribed by Scheme.

In an urban environment, it can be reasonably expected that dwellings and private open space will incur some form of overshadowing from adjoining properties. Whilst the neighbouring dwelling at 33 Bastick Street has been designed to take advantage of access to full northern sun, the planning scheme recognises that this cannot be reasonably retained in a suburban environment. The overshadowing impact has been deemed to be acceptable for the site.

5.2. Privacy Impacts

Concern is raised that the ground level deck proposed on the rear (western) elevation of Unit 2, which is elevated relative to the adjoining property at 33 Bastick Street, will overlook this adjoining property.

- **Comment**

The deck proposed to extend from the rear elevation of Unit 2 would be located at natural ground level therefore there is no requirement under Acceptable Solution 10.6 A1 to screen the deck to minimise overlooking into the adjoining property. The proposed development meets all relevant Acceptable Solutions of the Scheme in relation to privacy for all dwellings. It is noted that overlooking presently occurs from the rear of the subject site into the adjoining property at natural ground level due to the elevated position of the subject site relative to the adjoining property. This is demonstrated in the photographs included in Attachment 2.

5.3. Vehicle Light Intrusion

Concern is raised that the alignment of the parking area for Unit 2 will be such that both a reversing vehicle from the garage and a car leaving the Unit 2 car parking area will cause vehicle light intrusion directly into the north facing middle bedroom window located on the adjoining dwelling to the south at 33 Bastick Street.

- **Comment**

Vehicle light intrusion into adjoining residences is not a relevant Scheme consideration. It is accepted that some degree of impact will result from residential driveway and parking arrangements in a suburban location. Direct headlight glare into the habitable room windows located to the south of the driveway and car parking spaces for Unit 2 is unlikely, given these adjoining habitable room windows are elevated above the alignment of the driveway.

5.4. Impact of Excavation on Neighbouring Foundations

Concern is raised that the excavation works required for both dwellings will undermine the integrity of the foundations of the adjoining dwellings due to the underlying solid rock.

- **Comments**

This is not a relevant planning consideration however; an engineer's report will be required to be submitted with a future Building Permit application demonstrating the excavation methods in response to the underlying geology. It is further noted that minimal excavation works are required for the proposed dwellings.

5.5. Impacts upon Safety and Efficiency of Rosny College Intersection

Concern is raised that the proposed shared driveway being 100m from the Rosny College intersection will impact upon the safety and efficiency of the intersection due to its deficient design.

- **Comment**

Council's Development Engineer is of the opinion that the location of the access driveway will have minimal impact upon this intersection due to the minimal increase in traffic volumes on the access driveway and separation of over 50m from the intersection. This intersection is also not recognised as a deficient junction.

5.6. Suggested Re-design

The representor has suggested that Unit 2 be re-designed such that the rear elevation of the dwelling is located wholly within the building envelope in the interests of minimising overshadowing and visual bulk impacts upon the adjoining residential property to the south at 33 Bastick Street.

- **Comment**

The application is for the construction of a Single Dwelling, as publicly advertised. Council is obliged to determine the application before it in accordance with the relevant Scheme requirements. As discussed above, the building envelope encroachment is considered sufficiently minor that the amenity of the adjoining residence would not be unreasonably compromised. On this basis, it is considered that there is no scope for Council to require any redesign of the proposal as suggested.

6. EXTERNAL REFERRALS

The proposal was referred to TasWater, which has provided a number of conditions to be included on the planning permit if granted.

7. STATE POLICIES AND ACT OBJECTIVES

7.1. The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

7.2. The proposal is consistent with the objectives of Schedule 1 of LUPAA.

8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

9. CONCLUSION

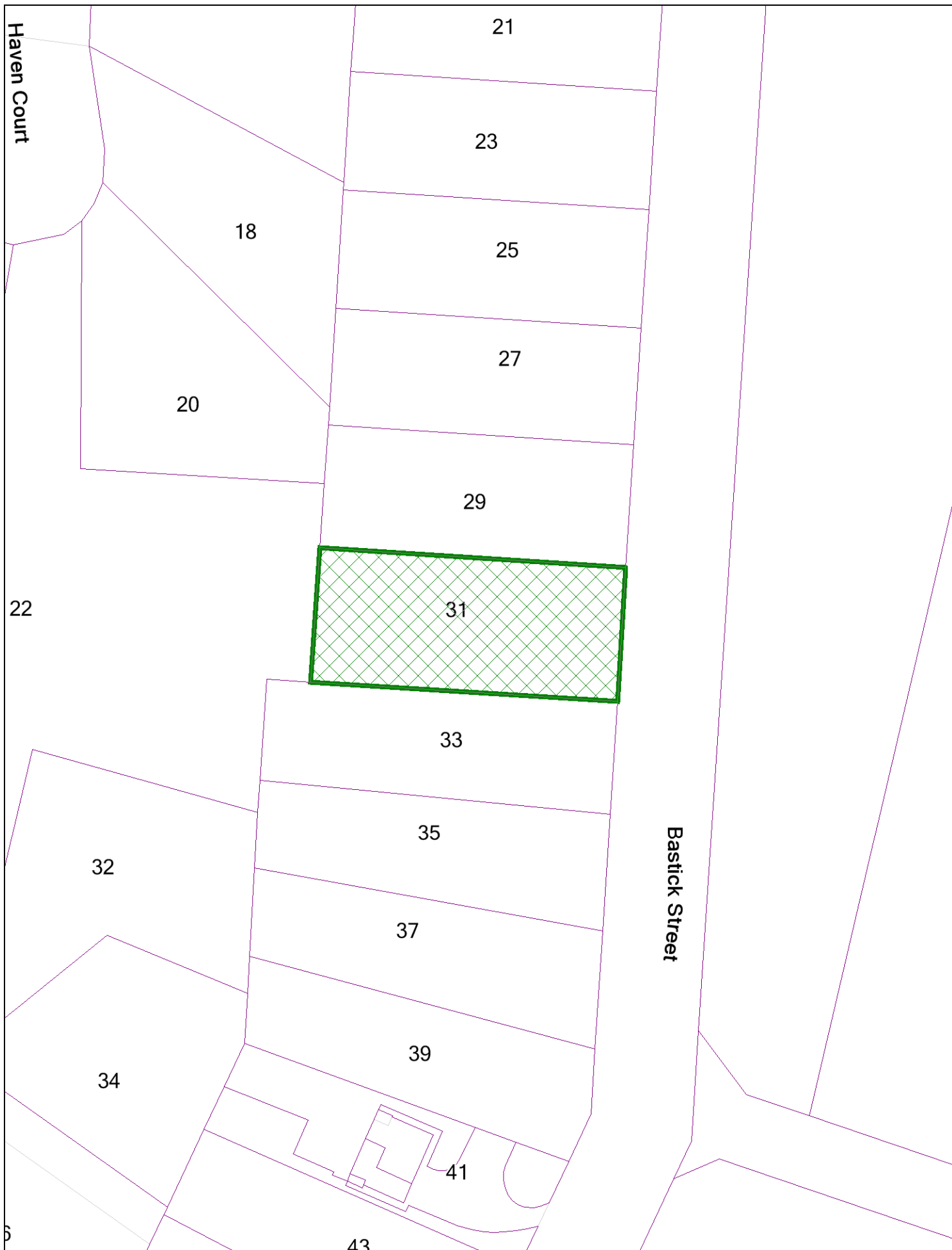
The proposal seeks approval for 2 Multiple Dwellings at 31 Bastick Street, Rosny.

The application satisfies all relevant acceptable solutions and performance criteria of the Scheme and is accordingly recommended for conditional approval.

Attachments: 1. Location Plan (1)
2. Proposal Plan (9)
3. Site Photo (1)

Ross Lovell
MANAGER CITY PLANNING

Council now concludes its deliberations as a Planning Authority under the Land Use Planning and Approvals Act, 1993.



31 Bastick St, Rosny 7018



General Information	
Designer	Jason Nickerson CC6073Y
Owner(s) or Clients	Tim Coupe
Building Classification	1a
Title Reference	23/251972
Design Wind Speed	#WIND SPEED
Soil Classification	#SOIL CLASS
Climate Zone	7
BAL	#BAL LEVEL
Corrosion Environment	Moderate
Zoning	General Residential

Drawing No:	Description
1	Existing Site Plan
2	Site Plan
3	Unit 1 - Floor Plan
4	Unit 1 - Elevations
5	Unit 2 - Floor Plan
6	Unit 2 - Elevations
7	Shadows 1
8	Shadows 1



Existing Site Plan

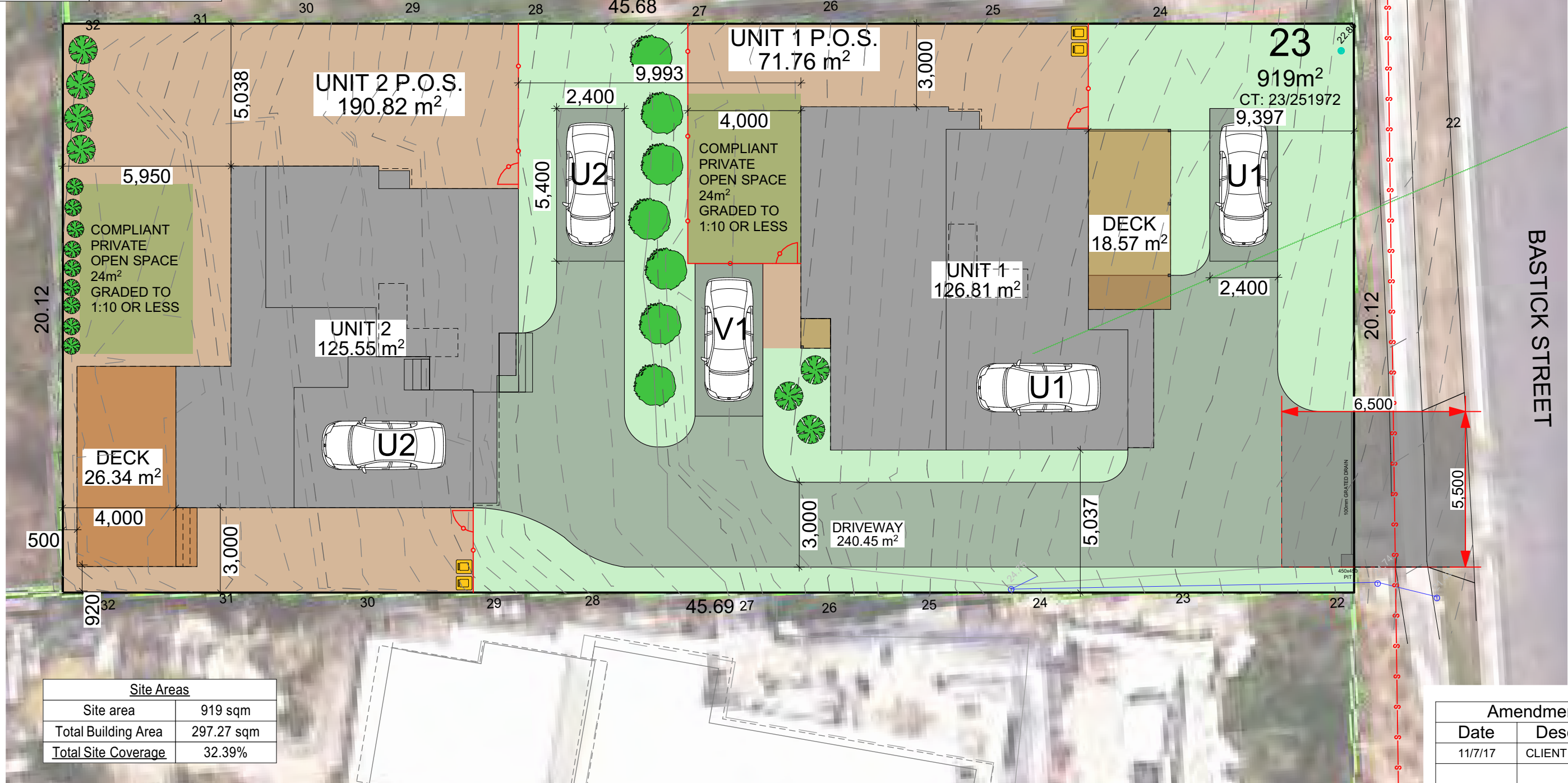
Proposal:	Multiple Dwellings	Scale: 1:150	Job No: 95-2017	Pg No: 1
Client:	Tim Coupe	Date: 03/07/2017	Engineer:	
Address:	31 Bastick St, Rosny 7018	Drawn: Jason	Building Surveyor:	

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Amendments	
Date	Description
11/7/17	CLIENT REVISIONS



E6.0 Parking & Access Code	
minimum 4 + 1 visitor parking	2 plus 1 visitor per 4 dwellings
Parking	
4+1 visitor	Total Provided
Impervious Areas	
919 sqm	Site area
252.36 sqm	Total Building Area
240.45 sqm	Driveway Area
492.81 sqm	Total Area
46.38%	Impervious Free



Site Areas	
Site area	919 sqm
Total Building Area	297.27 sqm
Total Site Coverage	32.39%

Amendments	
Date	Description
11/7/17	CLIENT REVISIONS

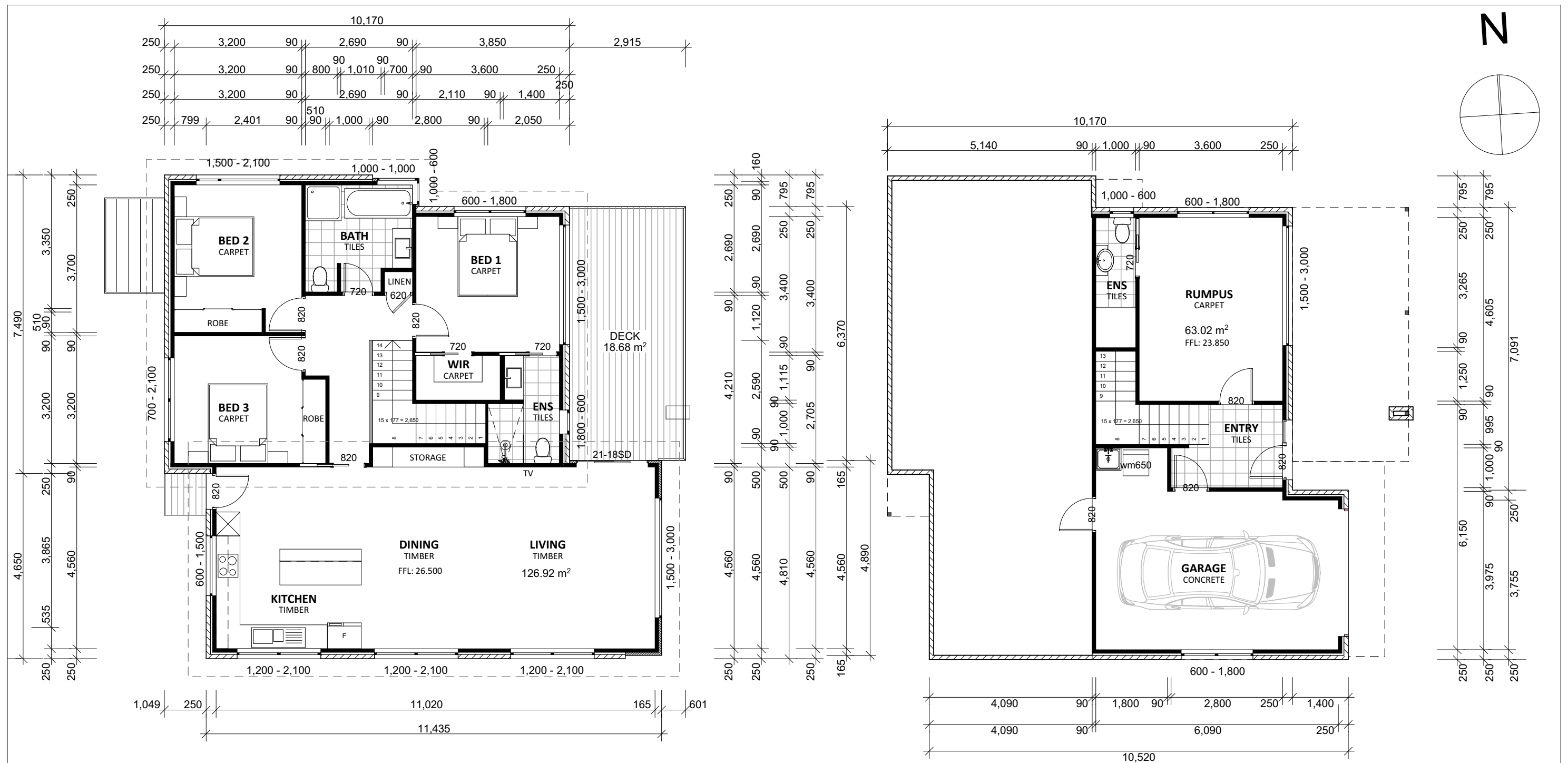
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Site Plan

Proposal:	Multiple Dwellings	Scale: 1:150	Job No: 95-2017	Pg No: 2
Client:	Tim Coupe	Date: 03/07/2017	Engineer:	
Address:	31 Bastick St, Rosny 7018	Drawn: Jason	Building Surveyor:	

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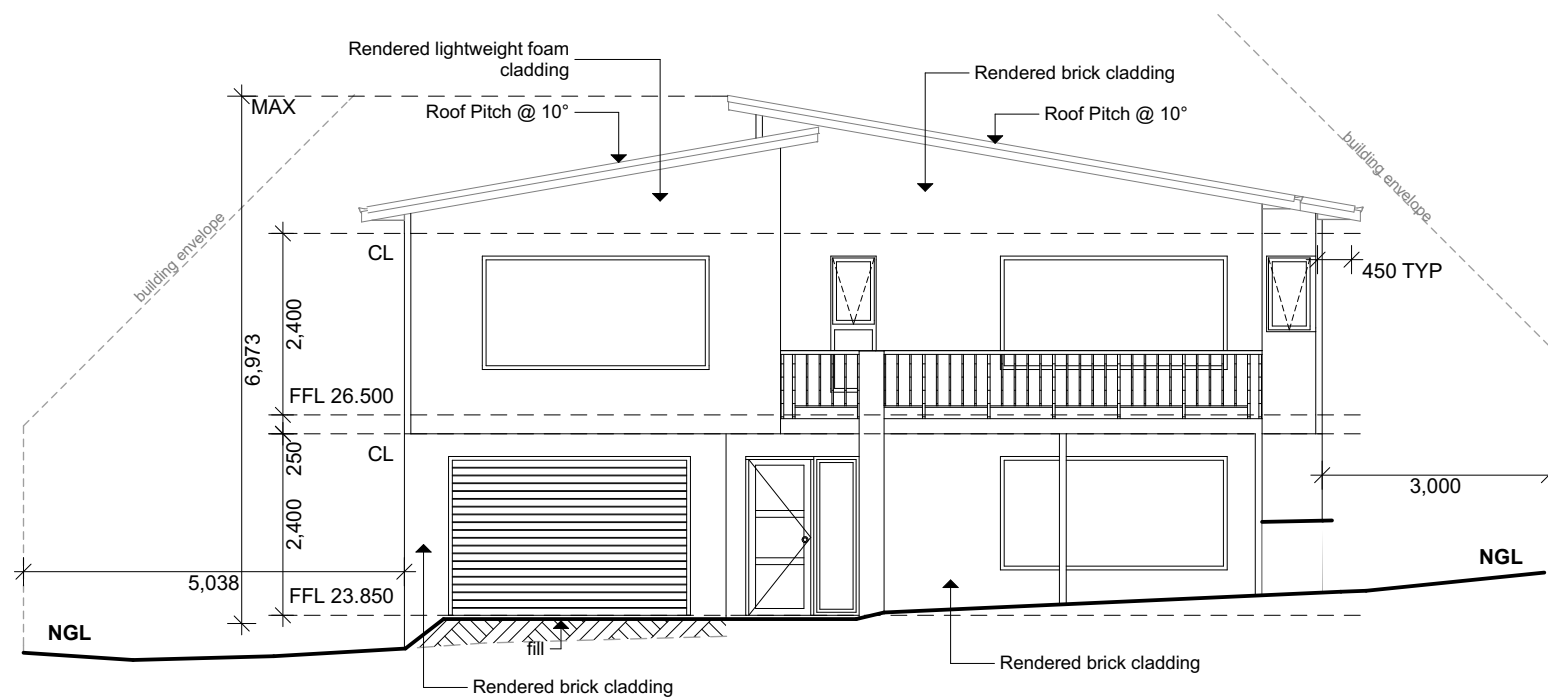


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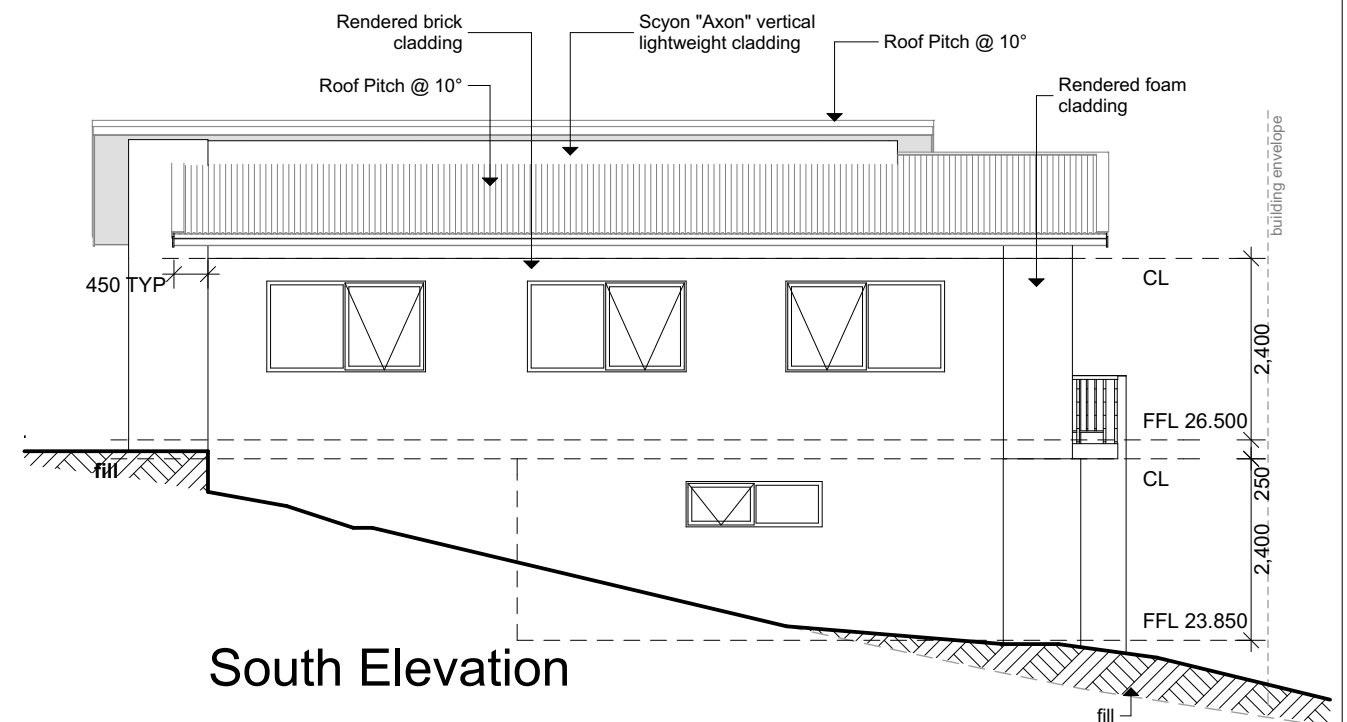
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Client:	Tim Coupe	Date:	03/07/2017	Engineer:			
Address:	31 Bastick St, Rosny 7018	Drawn:	Jason	Building Surveyor:			
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Amendments	
Date	Description

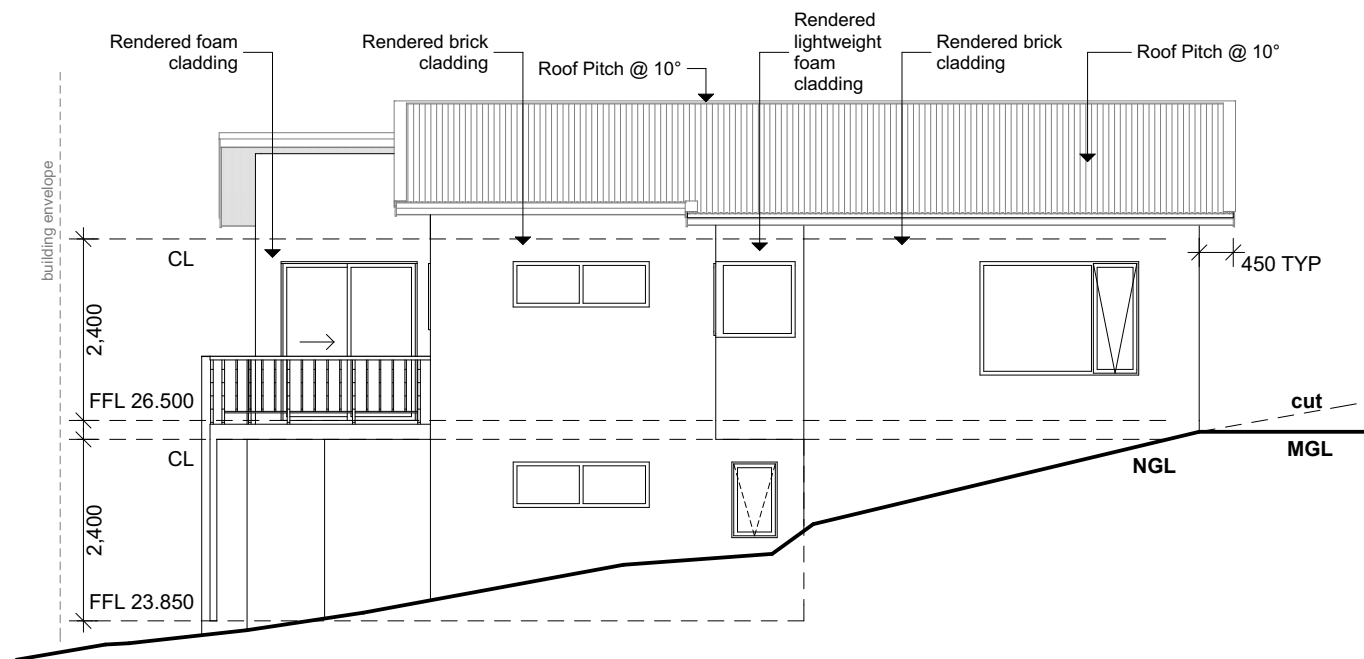




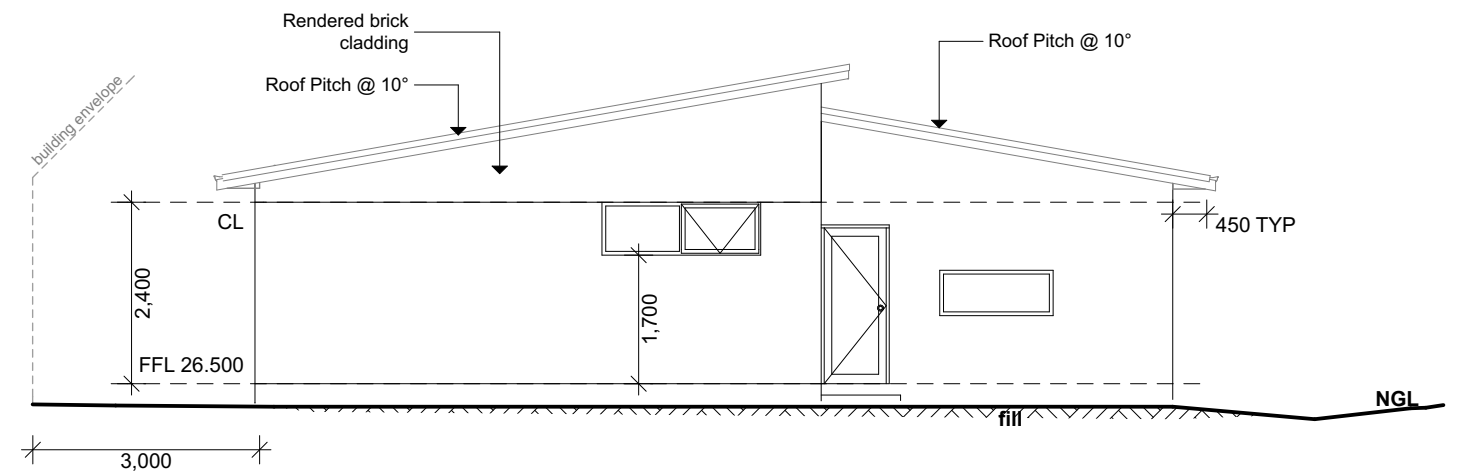
East Elevation



South Elevation



North Elevation



West Elevation

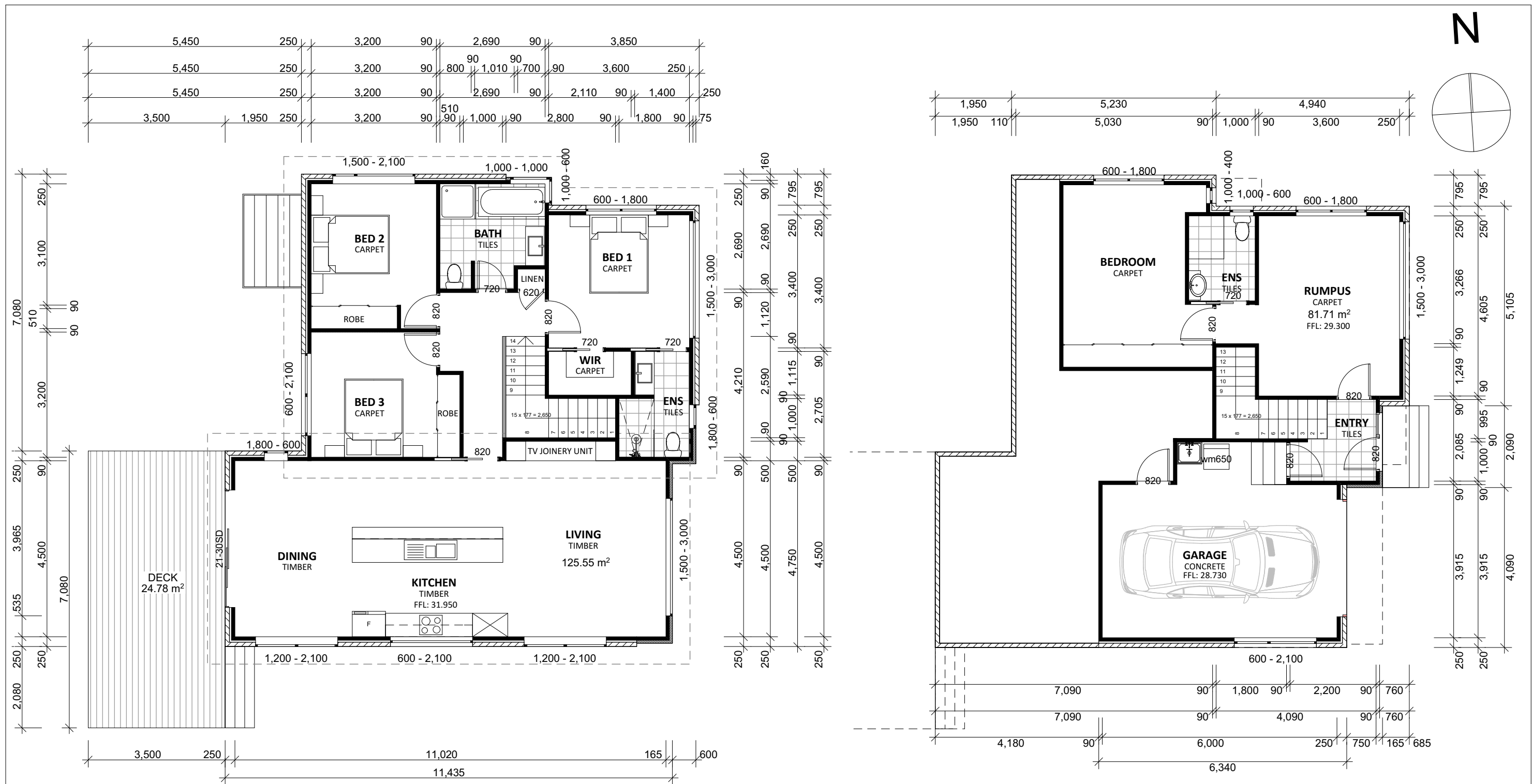
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Unit 1 - Elevations


Proposal:	Multiple Dwellings	Scale: 1:100	Job No: 95-2017	Pg No: 4
Client:	Tim Coupe	Date: 03/07/2017	Engineer:	
Address:	31 Bastick St, Rosny 7018	Drawn: Jason	Building Surveyor:	
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Amendments	
Date	Description

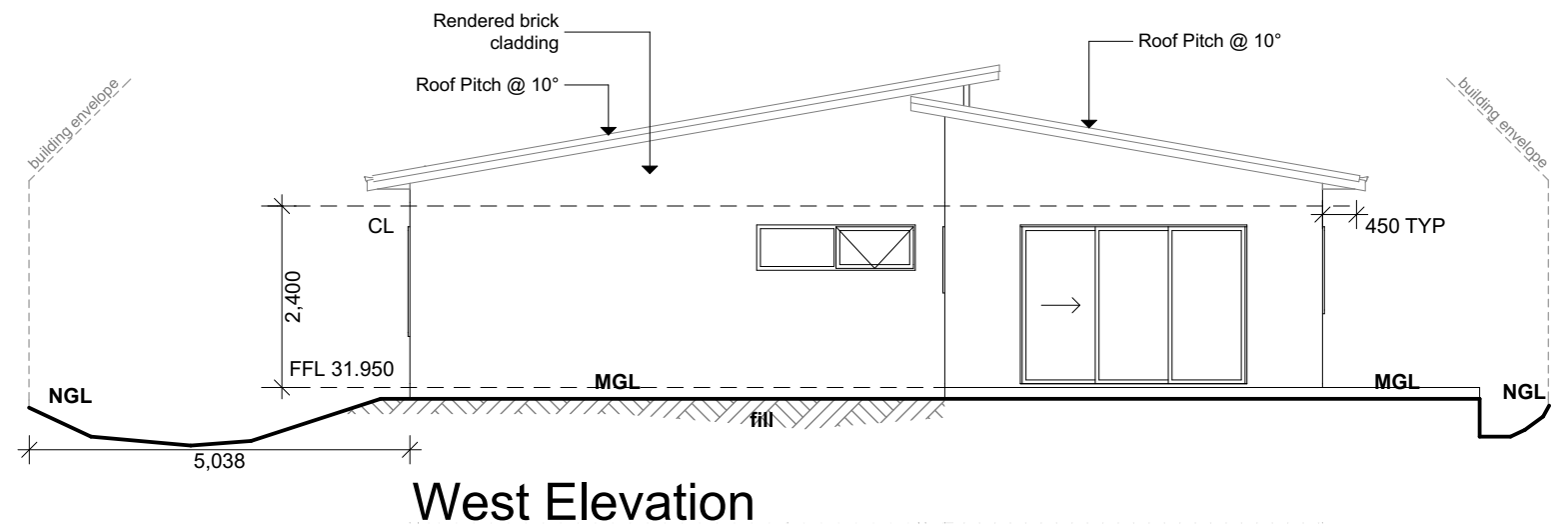
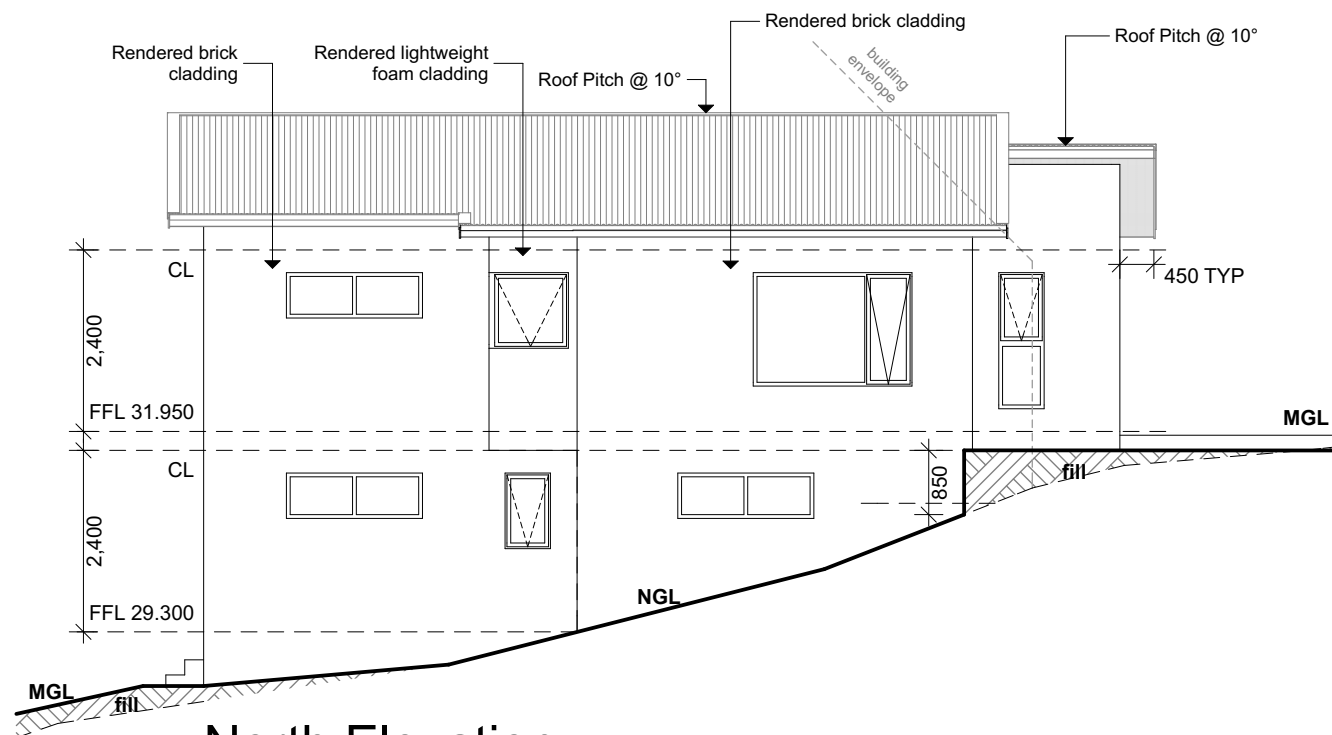
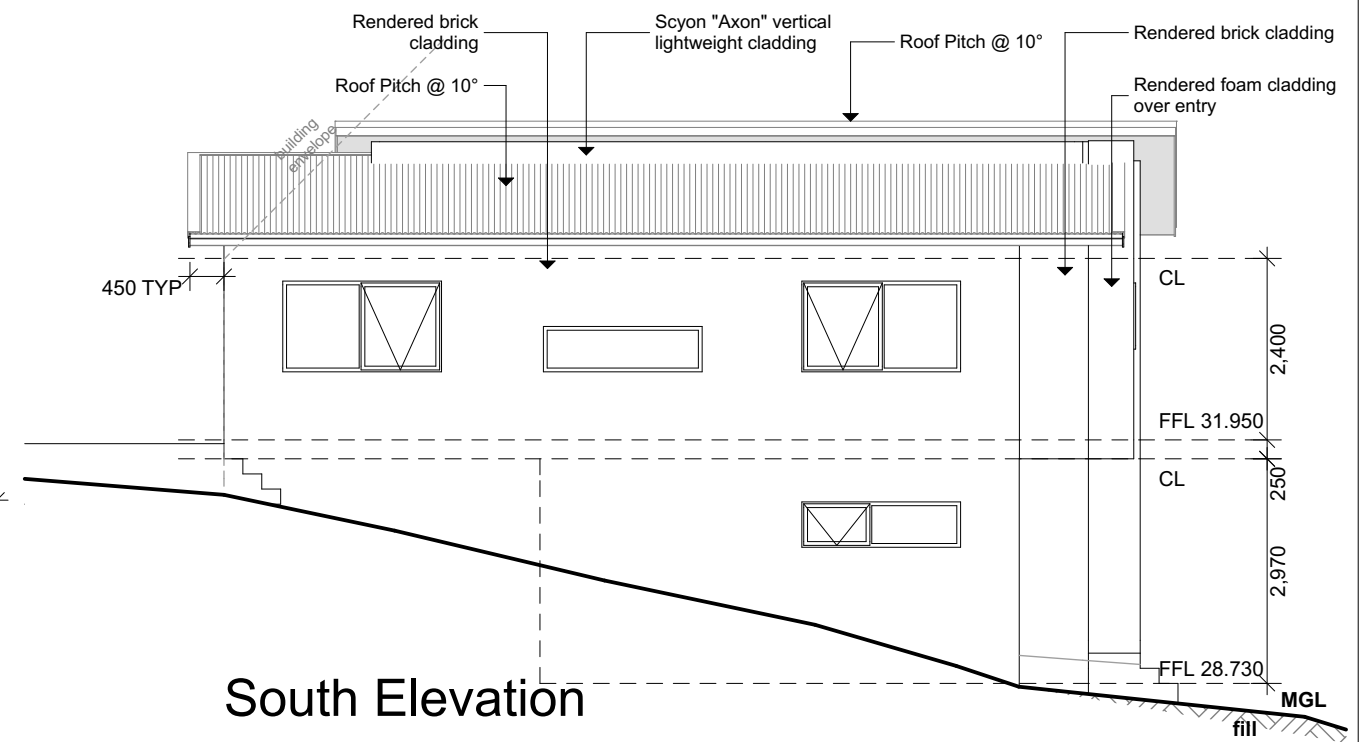
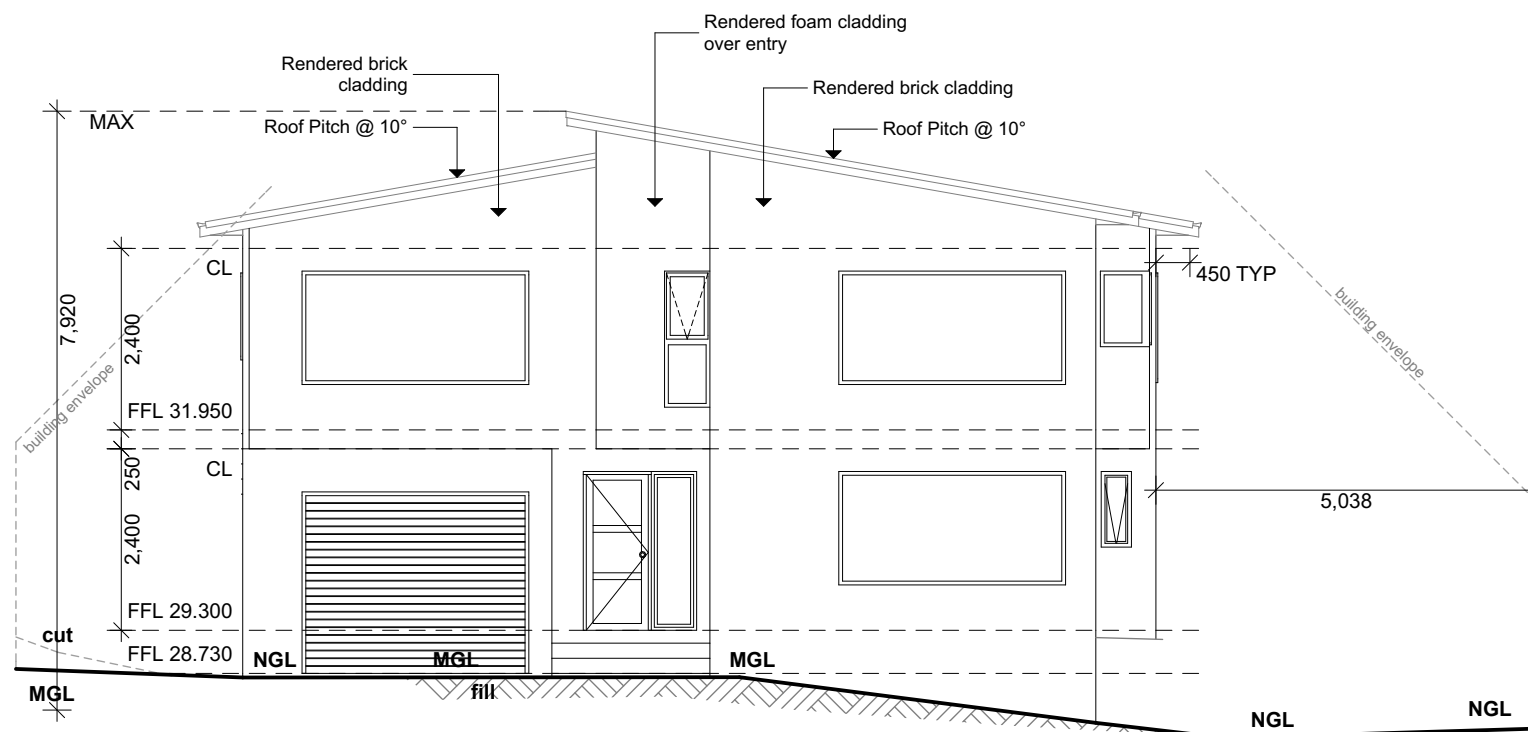




Unit 2 - Floor Plan

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					Date	Description
Proposal:	Multiple Dwellings	Scale: 1:100	Job No: 95-2017	Pg No: 5		
Client:	Tim Coupe	Date: 03/07/2017	Engineer:			
Address:	31 Bastick St, Rosny 7018	Drawn: Jason	Building Surveyor:			
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Unit 2 - Elevations

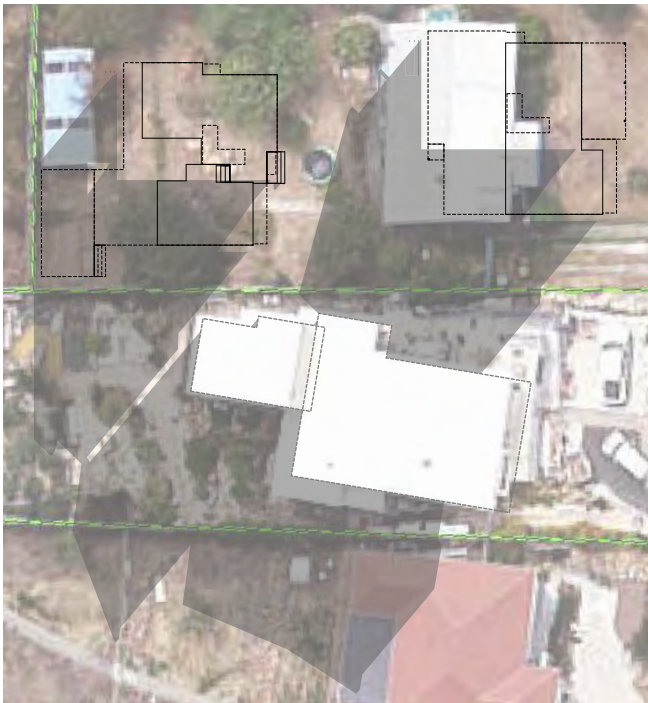
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Proposal:	Multiple Dwellings	Scale: 1:100	Job No: 95-2017	Pg No: 6
Client:	Tim Coupe	Date: 03/07/2017	Engineer:	
Address:	31 Bastick St, Rosny 7018	Drawn: Jason	Building Surveyor:	

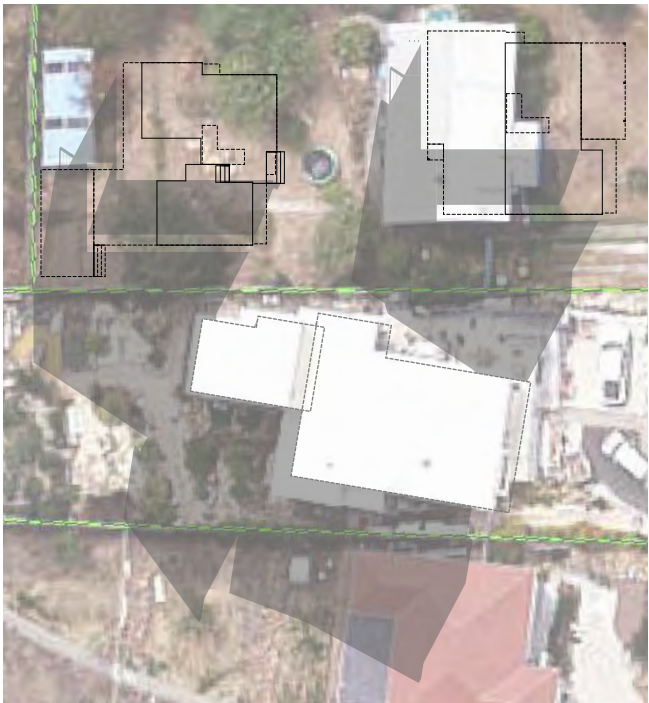
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Amendments	
Date	Description

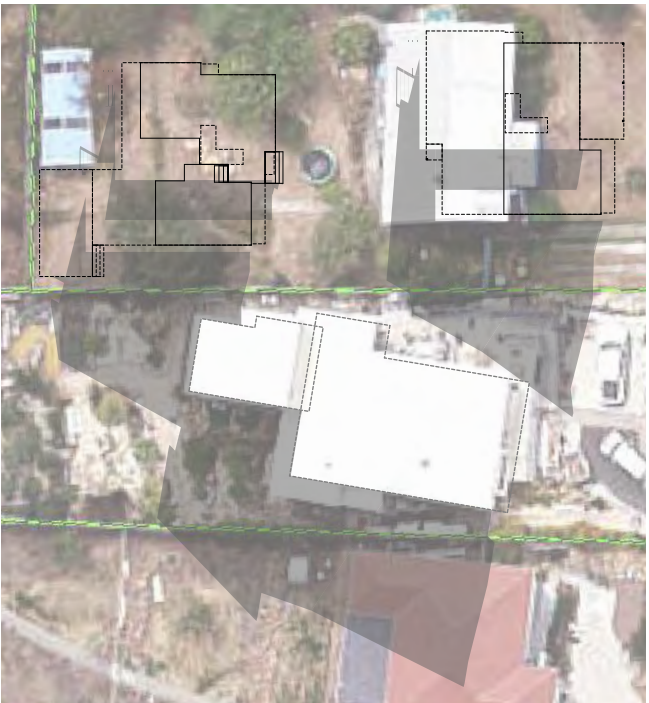




Shadows 21 Jun 0900



Shadows 21 Jun 1000



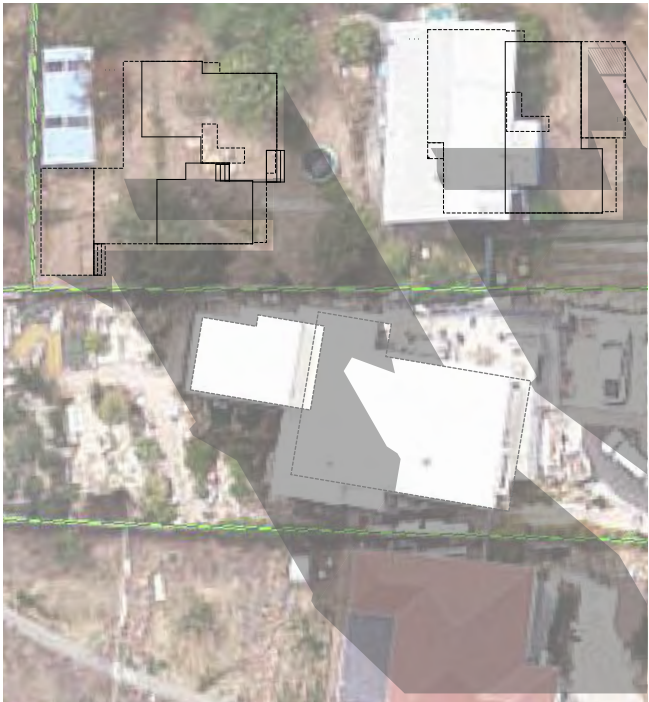
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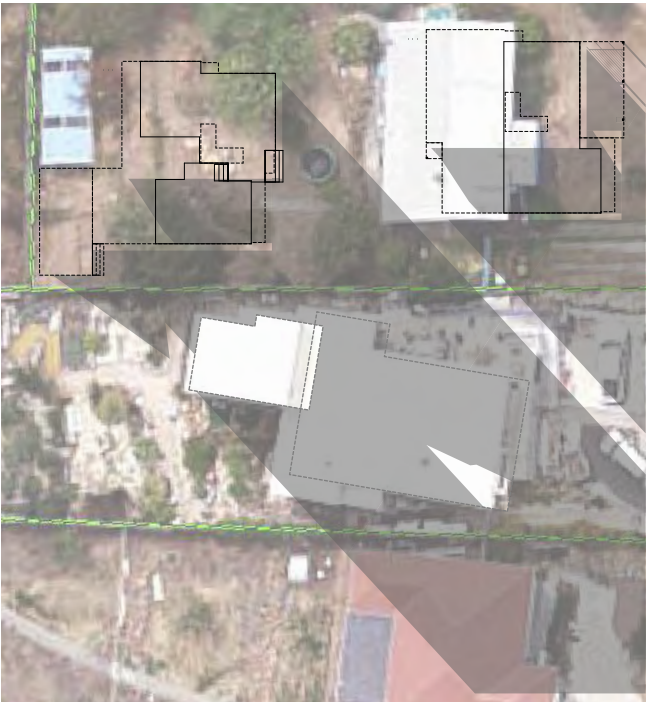
Shadows 21 Jun 1200



Shadows 21 Jun 1300



Shadows 21 Jun 1400



Shadows 21 Jun 1500

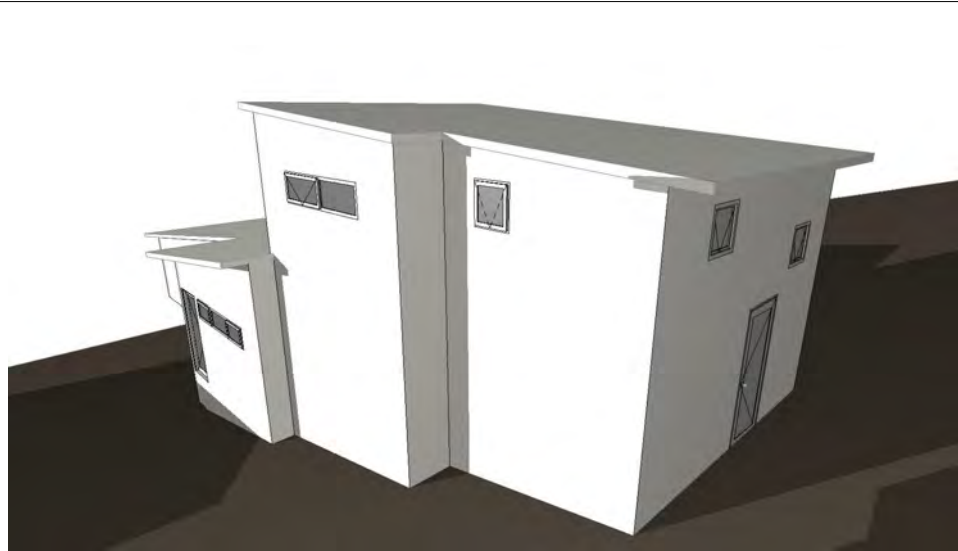
Shadows 1

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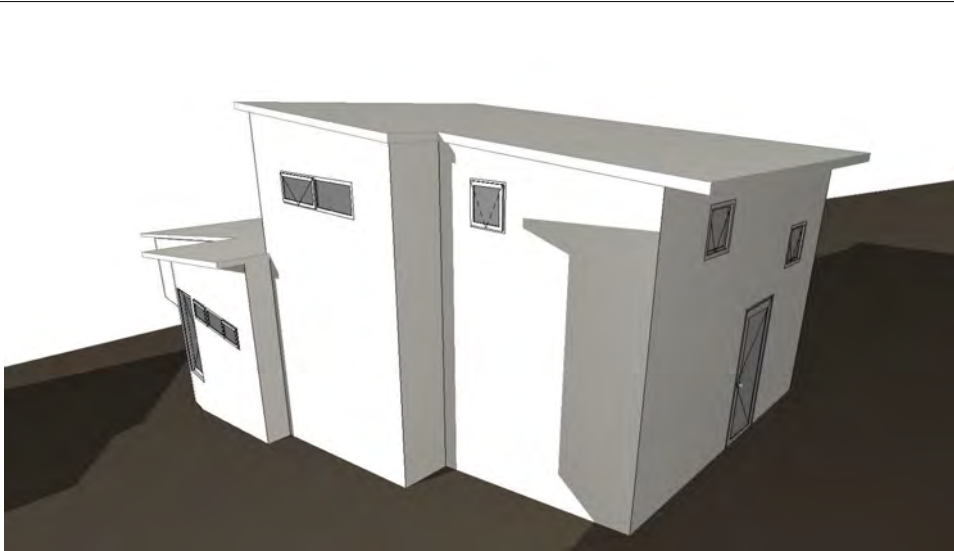
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Client:	Tim Coupe	Date: 03/07/2017	Engineer:	
Address:	31 Bastick St, Rosny 7018	Drawn: Jason	Building Surveyor:	
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Amendments	
Date	Description
11/7/17	CLIENT REVISIONS

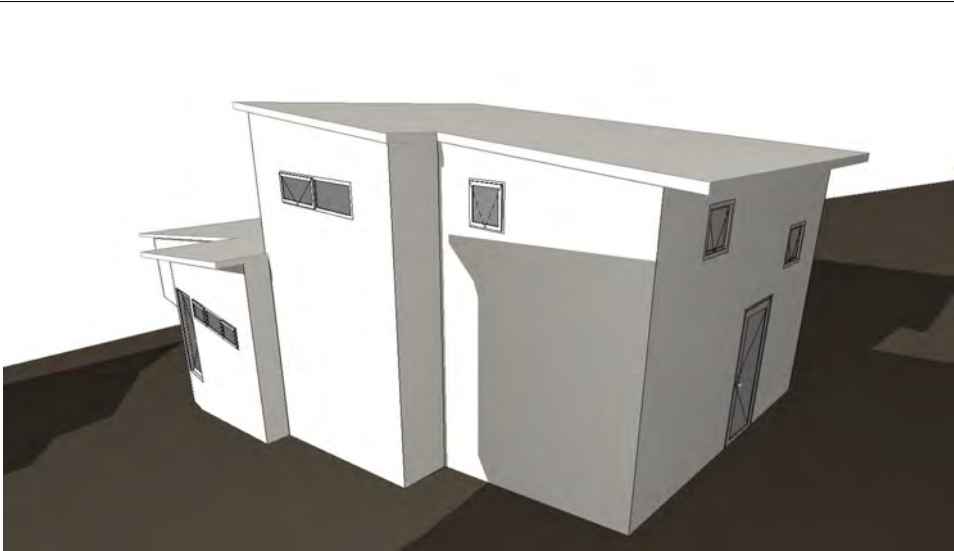




21 Jun 0900



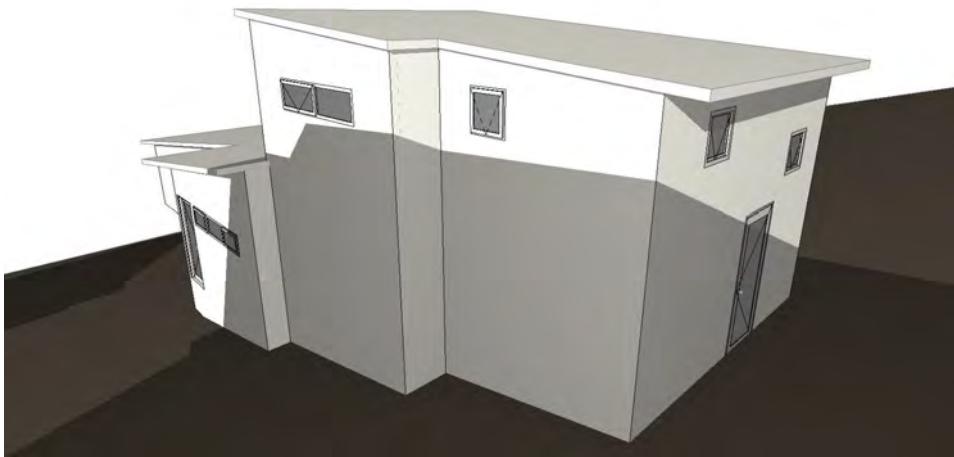
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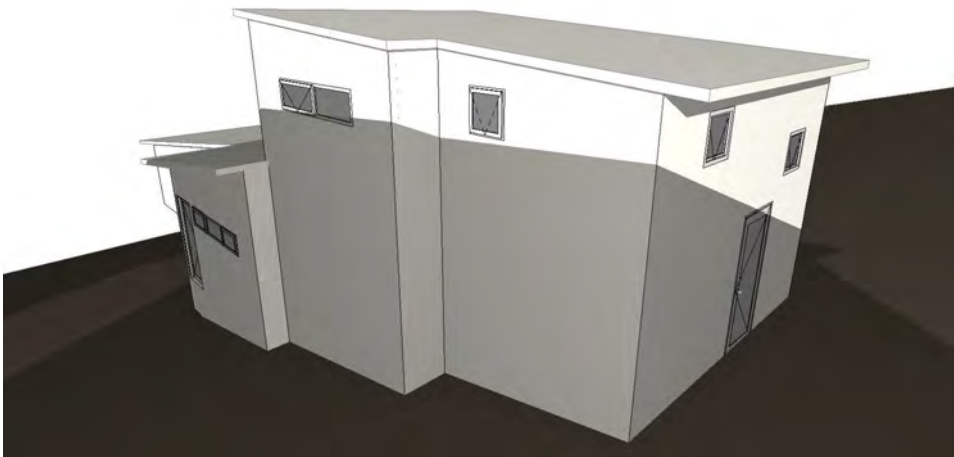
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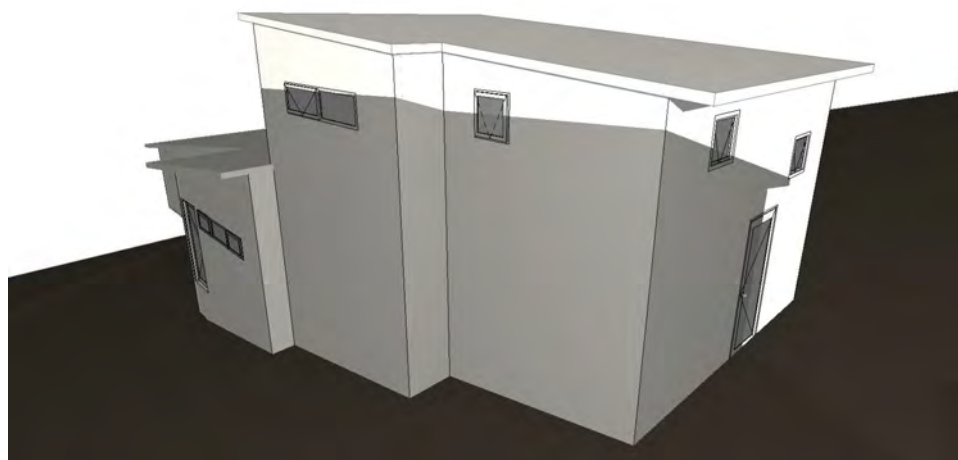
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21 Jun 1300



21 Jun 1400



21 Jun 1500

SIMULATED
SHADOW
DIAGRAMS OF
NEIGHBOURING
PROPERTY
FROM THIS
LOCATION



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Shadows 1

Proposal:	Multiple Dwellings	Scale: NTS	Job No 95-2017	Pg No: 8
Client:	Tim Coupe	Date: 03/07/2017	Engineer:	
Address:	31 Bastick St, Rosny 7018	Drawn: Jason	Building Surveyor:	
PINNACLE DRAFTING & DESIGN. CC6073Y 2 Kennedy Drv, Cambridge 7170 P: 03 6248 4743 F: 03 6248 4745 E: jnickerson@pinnacledrafting.com.au				

Amendments	
Date	Description
11/7/17	CLIENT REVISIONS



31 Bastick Street, Rosny



Figure 1: The existing dwelling when viewed from Bastick Street. The existing dwelling is proposed to be demolished in order to facilitate the multiple dwelling development. The property to the south of the site forms the grey coloured dwelling to the left of the subject site.



Figure 2: The view of the backyard of the subject site looking to the south towards the existing dwelling at 33 Bastick Street.

11.4 CUSTOMER SERVICE

Nil Items.

11.5 ASSET MANAGEMENT**11.5.1 WAVERLEY FLORA PARK – AVENUE OF HONOUR**

(File No 12-06-08)

EXECUTIVE SUMMARY**PURPOSE**

To seek Council endorsement to release the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan for public consultation in order to obtain feedback from the broader community.

RELATION TO EXISTING POLICY/PLANS

Council's Strategic Plan 2016-2026 and Community Participation Policy are relevant.

LEGISLATIVE REQUIREMENTS

Nil.

CONSULTATION

Consultation to form the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan has been undertaken with Aldermen, Council officers, community groups and other key stakeholders.

FINANCIAL IMPLICATIONS

The implementation of the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan is planned to be staged over a number of financial years, subject to Council approval of future Annual Plans.

RECOMMENDATION:

- A. That Council authorises the General Manager to undertake community consultation on the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan as outlined in the Associated Report.
- B. That the results of the community consultation be reported back to Council.

ASSOCIATED REPORT**1. BACKGROUND**

- 1.1. The Waverley Flora Park Reserve Activity Plan 2013-2018 was adopted by Council at its Meeting held on Monday, 27 May 2013. Included in the Reserve Activity Plan was the recommendation to develop a Master Plan for the proposed Soldiers Memorial Park and Avenue of Honour at 60 Quarry Road based on historical research and extensive community consultation.

- 1.2.** The location of the former Bellerive Rifle Range and the Avenue of Honour is not widely known in the community. The development of a memorial and recreational park in the Waverley Flora Park at 60 Quarry Road entrance is to commemorate the history of the former Bellerive Rifle Range and those members who served in World War 1 and World War 2.
- 1.3.** John Wadsley was engaged to undertake historical research relating to the former Bellerive Rifle Range and the Avenue of Honour established almost 100 years ago; John completed his research and along with Council officers prepared a concept plan for the development of a new park and recreational area at the Quarry Road entrance to Waverley Flora Park.
- 1.4.** The Master Plan reflects the historic, cultural and recreational values of the former quarry, rifle range and Commemorative Avenue for the Clarence community with a goal to have early stages of the proposed park completed for the centenary of the planting of the original Avenue of Honour, 7 September 2018.
- 1.5.** Council allocated funds in the 2016/2017 Annual Plan for the development of the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan.
- 1.6.** Inspiring Place were engaged to prepare a detailed landscape plan for the Avenue of Honour and consult with the local residents and key stakeholders to consider options for siting of the Avenue of Honour and other recreational activities at the Quarry Road entrance to Waverley Flora Park.
- 1.7.** Two options for the siting of the Avenue of Honour were considered as part of the consultation. They being:

 - Quarry Road entrance to Waverley Flora Park; and
 - Quarry Road at the Department of Defence property, 155 Cambridge Road.

- 1.8.** Local residents were invited to a Community Walk and Talk held on Sunday, 13 November 2016 and Tuesday, 15 November 2016 to discuss options and provide feedback to the consultants.
- 1.9.** To meet the timeline of completing the Avenue of Honour by 7 September 2018, Council provided funding of \$166,000 as part of the 2017/2018 Annual Plan.
- 1.10.** The Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan was presented to Aldermen at its Workshop held on Monday, 10 July 2017 and a field trip to the site held on Monday, 7 August 2017.
- 1.11.** Aldermen indicated that the preferred site for the Avenue of Honour is to be at the Quarry Road entrance to Waverley Flora Park. It was felt that the option at the Department of Defence site did not provide the appropriate ambience for such a reflective space being close to a busy roadway.

2. REPORT IN DETAIL

- 2.1.** The Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan has been developed with the focus on developing the area at the Quarry Road entrance to Waverley Flora Park.
- 2.2.** The Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan includes the following elements:
 - new entry off Quarry Road and car parking area;
 - a day use shelter with picnic and barbeque facilities;
 - public toilets;
 - paths leading from the car park to the visitor facilities;
 - a range of nature play spaces that will cater for different age groups and activities;
 - interpretation of the Bellerive Rifle Range;

- the Avenue of Honour; and
- upgrading and connection to existing trails within the Park.

- 2.3.** It is proposed to stage the development of the Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Plan over a number of financial years. The estimated total cost is \$1,219,842, including the initial stage to achieve the commemorative Avenue of Honour, estimated to cost \$210,842.
- 2.4.** The current funding of \$166,000 will ensure that the Avenue of Honour tree plantings, plaques, interpretation panels and the formal dedication of the Avenue of Honour event can be completed. Council may consider further funding as part of the 2018/2019 budget process to provide funding to implement the car parking improvements at the Quarry Road entrance to Waverley Flora Park.
- 2.5.** It is proposed to conduct broader community consultation seeking feedback on the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan. The period of consultation will be 4 weeks and the feedback is to be presented back to Council at a future Council Workshop.
- 2.6.** It is intended following this, Council will be presented with an Agenda Report to consider adopting all or components of the Concept Landscape Plan.
- 2.7.** Council Officers will then investigate a Project Plan with an aim to have sufficient works complete for the centenary event.

3. CONSULTATION

3.1. Community Consultation

The Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan has been developed and now requires a broader community consultation process to be carried out in order to obtain feedback on the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan.

Community consultation will be undertaken through the following options:

- copy of the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan and associated feedback forms will be on display at Council Offices;
- copy of the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan and associated feedback forms will be on Council's web site;
- a letter to local residents of Warrane and Mornington and key stakeholders asking them to comment on the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan by either:
 - completing the feedback form available at the Council Offices and placing in the feedback box; or
 - completing the feedback form on Council's website;
- advertisement in "The Mercury" newspaper advising of the display at the Council office and the Council website and the seeking comment on the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan by either:
 - completing the feedback form available at the Council Offices and placing in the feedback box; or
 - completing the feedback form on Council's website.

The community consultation will extend for a 4 week period.

3.2. State/Local Government Protocol

Consultation was held with relevant representatives of Department of Defence as part of the development of the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan.

3.3. Other

Nil.

4. STRATEGIC PLAN/POLICY IMPLICATIONS

4.1. Council's Strategic Plan 2016-2026 under the Strategy – Liveability considers the following: *“Develop and implement a public open space network including quality public spaces, parks, reserves and tracks and trails”*.

4.2. Council's Strategic Plan 2016-2026 under the Strategy – Parks and Recreation Facilities considers the following: *“Create safe, well connected and high quality public open spaces that meet the needs of the community and visitors, with a focus on accessibility and safe design principles”*.

5. EXTERNAL IMPACTS

Nil.

6. RISK AND LEGAL IMPLICATIONS

There are no risk and legal implications from carrying out public consultation.

7. FINANCIAL IMPLICATIONS

The implementation of the Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Plan is planned to be staged over a number of financial years, subject to Council approval of future Annual Plans.

8. ANY OTHER UNIQUE ISSUES

Nil.

9. CONCLUSION

9.1. The Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan has been developed in partnership with consultants, a number of key stakeholders and Council officers.

9.2. Following the conclusion of the community consultation the results will be presented at a future Council Workshop and Council Meeting, at which further consideration will occur in relation to the adoption of the Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Plan.

Attachments: 1. Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan (21)

Ross Graham

GROUP MANAGER ENGINEERING SERVICES

inspiring place



CONCEPT LANDSCAPE PLAN FOR WAVERLEY FLORA PARK QUARRY ROAD ENTRANCE AND AVENUE OF HONOUR CONCEPT PLAN

Prepared for the City of Clarence

AUGUST 2017

LANDSCAPE CONCEPT PLAN FOR WAVERLEY FLORA PARK QUARRY ROAD ENTRANCE AND AVENUE OF HONOUR

prepared for the City of Clarence



Inspiring Place Pty Ltd
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SECTION 1

BACKGROUND

1.1 CONTEXT TO PROJECT

The *Waverley Flora Park Reserve Activity Plan 2013-2018* was adopted by Council in May 2013. The Plan recommended that Council develop a Master Plan for the proposed Soldiers Memorial Park and Avenue of Honour based on historical research and extensive community consultation.

Heritage Consultant John Wadsley was engaged by Council to undertake historical research relating to the former Bellerive Rifle Range and the Avenue of Honour established almost 100 years ago. The report *Master Plan for Waverley Flora Park – Former Bellerive Rifle Range and Avenue of Honour 2015* provides the historic context of the former quarry and rifle range. A summary of the key findings from the historical research is outlined below.

Aboriginal people (one of the Oyster Bay clans) are known to have accessed and used the site for traversing, shelter and food.

Land grants in the general area were issued to settlers from the 1830's. Quarrying for sandstone started in the mid 1840's and was used for buildings in Hobart, Melbourne and New Zealand (including Wirksworth in Wentworth Street) - ownership of the quarry changed hands and the quarry operations closed in 1894, then re-opened before being scaled down by 1921.

In 1905 the Bellerive Rifle Club was established, initially near Wentworth Street in Howrah, but due to complaints from neighbours, new sites for the Rifle Club were investigated. The new rifle range at Mornington was surveyed in 1916 and extended from the northern end of Quarry Road and beyond there towards Knopwood Hill – some 242 acres of land in total.

The Bellerive Rifle Club conducted working bees to clear the land, dig target pits and set up the shooting area. The rifle range was officially opened in November 1917.

In September 1918, the Bellerive Rifle Club planted an avenue of trees to remember the service and sacrifice by its members in the Great War.

Some 23 macrocarpa cypress (*Cupressus macrocarpa*) were planted at the northern end of Quarry Road. The trees no longer remain.



The above photograph was taken in 1951-52 prior to major housing development in Warrane. It suggests that the original Avenue of Honour tree plantings (darker trees being *Cupressus macrocarpa*) were located towards the northern end of Quarry Road. (Photo from the Maritime Museum of Tasmania Collection provided by John Wadsley)

The Club remained active with shooting events (inter-club and regional) for about 40 years but by 1960 the Army decided it was no longer tenable given the development of houses within Warrane and sold the land to the State Government for residential development. The balance of the land was put up for public tender, but with no offers, Council purchased the land for public purposes in 1962 and it was integrated into the Waverley Flora Park.

The Council are keen to commemorate the former Bellerive Rifle Range and those that served in World War 1 and World War 2. The centenary occurs on the 7th September 2018 being 100 years after the official opening.

The Council is also keen to address the limited provision for access and parking at Waverley Flora Park. The top end of Quarry Road provides the opportunity to enhance access in the future.

Council engaged Inspiring Place to investigate the options for the Avenue of Honour at the entry to Waverley Flora Park or within the vicinity of Quarry Road.

1.2 PURPOSE OF THE PROJECT

The purpose of the project has been to:

consult with the local community and key stakeholders about the potential to improve access into Waverley Flora Park; and

investigate the opportunities for reinstating and interpreting an Avenue of Honour to mark the centenary.

1.3 TASKS UNDERTAKEN

The following tasks have been undertaken:

briefing with Council staff;

review of background reports and information;

organising invitations (e.g. Council letters and advertising) to all residents within the general area and community interest groups to participate in two community 'walk and talk' events held at the entry to Waverley Flora Park and at Quarry Road;

assessment of various options for the siting of the Avenue of Honour including the advantages and disadvantages of each option;

consultation with the Department of Defence and Heritage Consultant John Wadsley about the potential options;

drafting of the Landscape Concept Plan for Waverley Flora Park Quarry Road entrance and Avenue of Honour for review and further discussion with Council; and

finalising the recommendations for for Waverley Flora Park Quarry Road entrance and Avenue of Honour.

SECTION 2

PRELIMINARY CONCEPT PLANS

2.1 AVENUE OF HONOUR

2.1.1 Introduction

The Heritage Consultant¹ proposed that Council consider:

new street plantings along Quarry Road;

vehicle entry off Quarry Road into a car park;

having the Avenue of Honour located behind the Carawa Street properties; and

construction of themed walking trails for interpretation of the Rifle Range and quarry within the Waverley Flora Park.

The Consultant envisaged that the Avenue of Honour would involve planting 23 trees either planted as a single line or in two lines. It was suggested that the trees could be *Cupressus macrocarpa* (Monterey Pine), similar to what was originally planted. The Consultant's master plan shows a gravel path installed along the avenue with plaques commemorating each soldier placed in front of each tree (similar to the Soldiers Memorial Avenue Walk on the Queens Domain).

Site visits and consultation with the local community (walk and talk) indicated issues with the above proposed siting of the Avenue of Honour. The main issues were:

the substantial earthworks and costs involved with constructing a new entry road, a vehicle parking area and vehicle barriers to cater for visitors to the Avenue of Honour and Waverley Flora Park given the distance and uneven ground surfaces;

limited potential to be seen and have some presence as a memorial feature; and

¹ Master Plan for Waverley Flora Park – Former Bellerive Rifle Range and Avenue of Honour 2015

there was limited support expressed by some local residents for the location – the points raised were that this was not an appropriate location given the impact on natural values/qualities of Waverley Flora Park, that it was not the original location of the Avenue of Honour and these memorials should be consolidated elsewhere in the City, the potential impacts given proximity to houses and that the high costs could not be justified.

Consequently, further investigations were undertaken into the potential of locating the proposed Avenue of Honour elsewhere along Quarry Road. This possibility was also discussed with local residents attending the Quarry Road walk and talk. These discussions along with further site visits indicated various options:

along the south western (upper side) of Quarry Road on land forming part of Waverley Flora Park; or

installing street tree plantings that may be fitted into the nature strip of Quarry Road; or

the northern end (lower side) of Quarry Road in proximity to the Department of Defence property.

There are a several constraints with the upper side of Quarry Road. The road there is narrow, just accommodating two way traffic and parking for residents. In addition the road is part of the Metro bus route within Warrane. The constraints effectively reduce the capacity for avenue tree planting along the whole of Quarry Road.

The first option would also require substantial removal of existing native trees to create an Avenue of Honour and this is likely to generate some community concern similar to that expressed previously about protecting the natural values of Waverley Flora Park.

The second option is not considered feasible given the narrow road reserve, the location of underground services, potential implications for the functionality of the road (Metro bus service, parking) and the potential difficulty involved in negotiating approval with multiple adjoining landowners about the placement of the trees.

The third option was investigated but would require Department of Defence approval for acquisition of land to allow for the avenue of tree plantings to be offset from the overhead powerlines.

2.1.2 Alternative Avenue of Honour Site Option

Discussions with Council indicated the need to also consider an alternative option for the Avenue of Honour in case the location adjoining the Department of Defence site was not approved by either the Department of Defence or Council.

It was also recognized that the time involved in securing approval may not allow for the works to be designed, tendered and completed ready for the Centennial celebrations on the 7th September 2018.

Further investigations associated with the proposed upgrading of the entry to Waverley Flora Park (as outlined in Section 2.2) indicated the potential to align the Avenue of Honour with the existing shared trail from the proposed new car park. The concept option is presented in Figure 2.1 within Section 2.2 of this report.

2.2 ENTRY TO WAVERLEY FLORA PARK

Currently there is no on-site parking at the entry to Waverley Flora Park off Quarry Road.

Most of the visitors to Waverley Flora Park are expected to be local residents walking to the site. Other visitors may drive to this location to walk, jog or exercise the dog on the trails. Occasionally walking clubs or other community groups are known to access the Park from this location. Parking of vehicles generally occurs along Quarry Road but this is informal and not designated.

The *Master Plan for Waverley Flora Park – Former Bellerive Rifle Range and Avenue of Honour 2015* indicates the potential to add a nature/adventure based recreation area into the Park. This is to be subject to a detailed design process outside of the scope of this report. However, it is envisaged that a nature/adventure may include provision for:

- new entry off Quarry Road and car parking area;
- a day use shelter with picnic and barbeque facilities;
- public toilets;
- paths leading from the car park to the visitor facilities;
- a range of nature play spaces that will cater for different age groups and activities;

interpretation of the Bellerive Rifle Range;

the Avenue of Honour; and

upgrading and connection to existing trails within the Park

Map 2.1 shows an overall concept plan for the longer term use and development of the entry into Waverley Flora Park subject to available funding for the development of the nature play park. The nature play park has the potential to become a regional play attraction, similar to Simmons Park, Wentworth Park and Bellerive Beach Park.

The proposed car park is along the existing fire trail to minimise the extent of earthworks and levelling required given the slope of the land. It would allow for 35 car parking spaces.

Map 2.2 presents an indicative concept plan for the nature play park, toddlers nature play and visitor facilities near the proposed car park. The plan is indicative of the nature play design elements that could be included in the park but these would need to be determined during detailed design and community consultations. It is proposed that, where possible, the nature play space and facilities have all abilities access.

As indicated previously, the Avenue of Honour could be aligned with the existing trail.

The concept plan is shown in Figure 2.1 and indicates:

upgrading of the shared trail surface from the proposed car park (as shown in Map 2.1);

the undergrounding of the existing powerlines from the entry into the Park for the length of the proposed Avenue of Honour tree plantings;

locating the trees on the southern side of the shared trail with the memorial plaques easily viewed from the trail;

use of native tree species such as White Peppermint Gum (*Eucalyptus pulchella*) or White Gum (*Eucalyptus viminalis*) in preference to introduced species;

spacing of the trees about 6m apart given the canopy spread; and



Above 3 x images - examples of Bushland Adventure Play area



Above 2 x images - examples of family friendly, gravel surface bike trails through native vegetation

Map 2.1 Waverley Flora Park - Overall Concept Plan for Entry

Quarry Road, Warrane

JUNE 2017 1:1000 @ A3





Low timber balance beams - items 2 and 16 on plan



Logs for play - items 2 and 16 on plan



Mounded soft fall play feature - item 3 on plan



Exposed aggregate concrete bike path, and timber 'bridges', items 6 and 22 on plan



Pump for water play, items 5 and 21 on plan



Inground water channel with boulder hop, items 5 and 21 on plan



Climbing feature, with nature play surrounds, item 19 on plan



Natural sand pit - item 20 on plan



Slide with boulder climb - item 18 on plan

Map 2.2 Waverley Flora Park - Nature Play Concept Plan

*Where possible all abilities access will be considered in the detailed design of the nature play spaces

JUNE 2017 1:1500 @ A3





Figure 2.1 Avenue of Honour Concept
Waverley Flora Park

rehabilitation of the open space to maintain the visual presence of the Avenue of Honour plantings whilst maintaining the remnant bushland in the background.

An interpretation panel could be located at the start of the shared trail near the proposed car park.

This would allow the Avenue of Honour to have some visual prominence with the memorial plaques being located close to the walking trail for ease of viewing and reading.

Map 2.3 shows a concept plan for improving the entry to the Park and providing dedicated space for some parking in the short term. It indicates that the current entry road can be widened to provide five car parking spaces. This would require some retaining walls to accommodate the minor cut and fill involved. Any overflow car parking could occur along the eastern side of Quarry Road.

This is considered as a realistic and relatively low cost solution to meet immediate parking needs for visitors at the entry to the Park. It would create a stronger entry into Waverley Flora Park with the parking, relocation of the entry sign and installing of a trackhead sign.



Map 2.3 Waverley Flora Park - Entry Concept (short term option)

Quarry Road, Warrane

MARCH 2017 1:200 @ A4



SECTION 3

RECOMMENDED ACTIONS

3.1 RECOMMENDED ACTIONS

1. Council review the draft Landscape Concept Plan for Waverley Flora Park Quarry Road entrance and Avenue of Honour.

INITIATING ACTIONS AND RESPONSIBILITIES:

Review by Council staff.

Meeting with Heritage Advisory Committee about the Avenue of Honour Concept Plan.

Revision of the Landscape Concept Plan as required.

Prepare initial cost estimates for the proposed works.

2. Proceed to allow implementation of the Avenue of Honour to coincide with the centenary on the 7th September 2018.

INITIATING ACTIONS AND RESPONSIBILITIES:

Seek Council approval to proceed to community review of the Avenue of Honour Concept Plan.

Undertake advertising and community review.

Review the community feedback and undertake any further investigations as may be required.

Undertake a more detailed design of the Avenue of Honour including selection of tree species and sourcing of trees from a nursery.

Review and revise cost estimates.

Lodge a development application (if required) and follow approval processes.

Identify funding for proposed works.

Seek tenders for proposed works.

Commence works.

3. Upgrade the entry and parking arrangements to Waverley Flora Park at the southern end of Quarry Road in the short term.

INITIATING ACTIONS AND RESPONSIBILITIES:

Undertake detailed engineering design for proposed works.

Review cost estimates.

Identify funding for proposed works.

Seek tenders for proposed works.

Commence works.

4. Prepare detailed design plan for the proposed nature play park and visitor facilities in the longer term.

INITIATING ACTIONS AND RESPONSIBILITIES:

Undertake detailed design plan for the nature play park and visitor facilities.

Undertake detailed engineering design for proposed works.

Review cost estimates.

Identify funding for proposed works.

Seek tenders for proposed works.

Commence works.

3.2 STAGING OF WORKS

3.2.1 Stage 1 Five Year Plan

	Works	Indicative Costing
1	Implement Avenue of Honour works as per Attachment 1 to allow for upgrading the shared trail, undergrounding of powerlines, advanced trees, plaques, interpretation (total \$96,850) and allowance for preliminaries, earthworks and design contingency.	\$127,842
2	Research and development of interpretation material	\$20,000
3	Formal event for dedication of Avenue of Honour in September 2018	\$5,000
4	Implement short term improvements to the entry into Waverley Flora Park as per Attachment 1	\$58,000
	INDICATIVE COSTS	\$210,842

3.2.2 Stage 2 Ten Year Plan

	Works	Indicative Costing
5	Undertake survey of site features	\$4,000
6	Prepare concept design for the nature play park including cost estimates	\$30,000
7	Assessment by independent playground auditors and provide certifications	\$10,000
8	Prepare detailed engineer design for infrastructure works	Council to do
9	Implement works to extend the entry road, increase car parking and install signage as per Attachment 1	\$245,000
10	Design and construct visitor infrastructure and development elements* including: Toilets \$150,000 Day use shelter \$100,000 Childrens Nature Play Space and Toddlers Nature Play Space \$320,000 Paths \$100,000 Family Bike Area \$50,000	\$720,000
	INDICATIVE COSTS	\$1,009,000

* These cost estimates for point 10 do not provide estimates for allowance for the Bushland Adventure Play Area or allowance for preliminaries, earthworks and design contingency.

ATTACHMENT 1
COST ESTIMATES

Waverley Flora Park - Entry Carpark (Short Term) Concept Cost Plan 04.04.2017 (-/+25%)

Item	Amount	Unit	Unit \$	Sub-total
Bitumen (base + sub-base + line marking)	185	sq.m.	\$ 150.00	\$27,750.00
Wheel stops (concrete + pinned)	5	item	\$ 250.00	\$ 1,250.00
Low blockwork retaining wall 14m x 1.2 x 290 + 24m x 1.2 x 290	13.272	m3	\$ 450.00	\$ 5,972.40
Garden beds (native shrubs & mulch) (includes preparation, topsoil re-use & treatment as required & mulch)	25	sq.m.	\$ 35.00	\$ 875.00
Kerb and channel	65	l.m.	\$ 90.00	\$ 5,850.00
Culvert and drain pipe (300 diameter)	12	l.m.	\$ 200.00	\$ 2,400.00
Relocate Waverley Flora Park sign	1	item	\$1,500.00	\$ 1,500.00
Total - Above Works				\$45,597.40
plus				
Preliminaries 12%				\$ 5,471.69
Earthworks 5%				\$ 2,279.87
Design contingency 10%				\$ 4,559.74
Sub-total preparation, preliminaries, contingencies				\$12,311.30
Total all works, preparation, preliminaries, contingencies				\$57,908.70

Excludes GST

Excludes major drainage works

Excludes FFE

Excludes Site Infrastructure (stormwater, water, sewer) and demolition 10%

Excludes Design and documentation fees

Excludes Traffic & Pedestrian Management

Waverley Flora Park - Entry Road and Carpark (Long Term) Concept Cost Plan 04.04.2017 (-/+25%)

Item	Amount	Unit	Unit \$	Sub-total
Avenue of Honour				
Avenue of Honour to allow for advanced trees (\$14,000), plaques (\$10,350), interpretation panel (\$1500), upgrading shared trail up to trail intersection(200m compacted gravel 3m wide at \$21,000), underground powerlines for 200m (\$50,000) , advanced trees/plaques/interpretation panel (allow \$28,000)	1	item	\$ 96,850.00	\$ 96,850.00
Entry Road and Carpark (Long term)				
Bitumen (base + sub-base + line marking)	758	sq.m.	\$ 150.00	\$ 113,700.00
Wheel stops (concrete + pinned)	30	item	\$ 250.00	\$ 7,500.00
Retaining wall 70m x 1.5m	105	m3	\$ 450.00	\$ 47,250.00
Garden beds (native shrubs & mulch) (includes preparation, topsoil re-use & treatment as required & mulch)	60	sq.m.	\$ 35.00	\$ 2,100.00
Kerb and channel	70	l.m.	\$ 90.00	\$ 6,300.00
Culvert to capture and divert run-off above car parking areas	70	l.m.	\$ 100.00	\$ 7,000.00
Trailhead sign	1	item	\$ 500.00	\$ 500.00
Total - Entry Road and carpark				\$ 184,350.00
Total - Above Works - Avenue of Honour and Entry Road and carpark				\$ 281,200.00
plus				
Preliminaries 12%				\$ 33,744.00
Earthworks 10%				\$ 28,120.00
Design contingency 10%				\$ 28,120.00
Sub-total preparation, preliminaries, contingencies				\$ 89,984.00
Total all works, preparation, preliminaries, contingencies				\$ 371,184.00

Excludes GST

Excludes major drainage works

Excludes all visitor and nature play park infrastructure including toilets, shelter, paths, play features (nature play park costs to be determined by detailed de

Excludes FFE

Excludes site infrastructure (stormwater, water, sewer) and demolition other than underground power

as listed

Excludes Traffic & Pedestrian Management

11.5.2 SEVEN MILE BEACH SPORTING PRECINCT MASTER PLAN

(File No 12-06-08)

EXECUTIVE SUMMARY**PURPOSE**

To seek Council endorsement to release the preliminary amended Seven Mile Beach Sporting Precinct Master Plan for public consultation in order to obtain feedback from the broader community.

RELATION TO EXISTING POLICY/PLANS

Council's Strategic Plan 2016-2026 and Community Participation Policy are relevant.

LEGISLATIVE REQUIREMENTS

Nil.

CONSULTATION

Consultation to form the amended Seven Mile Beach Sporting Precinct Master Plan has been undertaken with Aldermen, Council officers, State Sporting Organisations, local clubs and other key stakeholders.

FINANCIAL IMPLICATIONS

The implementation of the amended Seven Mile Beach Sporting Precinct Master Plan is planned to be staged over a number of financial years, subject to Council approval of future Annual Plans.

RECOMMENDATION:

- A. That Council authorise the General Manager to undertake community consultation on the preliminary amended Seven Mile Beach Sporting Precinct Master Plan as outlined in the Associated Report.
- B. That the results of the community consultation be reported back to Council.

ASSOCIATED REPORT**1. BACKGROUND**

- 1.1. Over recent years Council has experienced increased pressure to provide additional sporting facilities to meet the demand. The State Government offered this parcel of land to Council to examine the opportunities to facilitate additional sporting facilities for the City.

- 1.2. Council engaged Inspiring Place to develop the draft Master Plan and conduct consultation with key stakeholders, businesses, local residents and the general public.
- 1.3. The draft Master Plan was presented at Council's Workshop held on Monday, 30 June 2014 seeking direction in relation to options for the development of 74 Surf Road, Seven Mile Beach. Council agreed to conduct further consultation on "Option B" which proposed an extension into the adjoining Crown Land for the regional multi-use sporting facilities and local amenities located on Council land with space allowed for any possible Royal Hobart Golf Course extension.
- 1.4. Following consultation, the Seven Mile Beach Sporting Precinct Master Plan was adopted by Council at its Meeting held on Monday, 10 November 2014. Council's decision was:
 - A. *That Council adopts the Seven Mile Beach Sport and Active Recreation Precinct Master Plan based on the Master Plan as set out in Attachment 2; and*
 - B. *That Council actively seek external funding to assist with the development of the Seven Mile Beach Sport and Active Recreation Precinct Master Plan".*
- 1.5. The initial estimated cost to develop the land for a sporting precinct is approximately \$14 million. Council is endeavouring to obtain external funding for the Australian Government's Building Better Regions Fund in early 2018. The requirements for this application are onerous and Council has sought the assistance of external consultants experienced in obtaining high level funding from similar funding programs.

2. REPORT IN DETAIL

- 2.1. @Leisure Planning has been awarded the contract to assist Council officers with completing the Master Plan, lodge Development Application documents for approval and prepare documentation to seek funding from the Commonwealth Building Better Regions Fund.

- 2.2.** There has been three and a half years since the Seven Mile Beach community was presented with a Master Plan to develop 74 Surf Road into a sporting precinct. It is now reasonable to provide the community with the latest version of the Master Plan to allow them to provide feedback before a Development Application is lodged and detailed design is commenced.
- 2.3.** Consultation has been conducted with Council officers, State Sporting Organisations, local clubs and other key stakeholders. The feedback from this consultation has formed the preliminary amended Seven Mile Beach Sporting Precinct Master Plan.
- 2.4.** As a result of this consultation the proposed amended Seven Mile Beach Sporting Precinct Master Plan varies from the original Master Plan, refer to Attachment 1. The variations being:
- main AFL oval moved from eastern side to central location;
 - original AFL oval replaced with multi-purpose sports fields;
 - sports pavilion located to allow for future potential indoor sporting facilities; and
 - inclusion of outdoor netball/tennis courts.
- 2.5.** It is proposed to conduct community consultation with the Seven Mile Beach residents and key stakeholders seeking feedback on the preliminary Seven Mile Beach Sporting Precinct Master Plan. Given the tight timeline to prepare all of the documentation required to make application to the Building Better Regions Fund, the period of consultation is to be 3 weeks with the feedback to be presented back to Council at a future Workshop.

3. CONSULTATION

3.1. Community Consultation

The amended Seven Mile Beach Sporting Precinct Master Plan has been developed and now requires community consultation with the Seven Mile Beach residents and key stakeholders to be carried out in order to obtain feedback on the amended Seven Mile Beach Sporting Precinct Master Plan.

Community consultation will be undertaken through the following options:

- copy of the amended Seven Mile Beach Sporting Precinct Master Plan and associated feedback forms will be on display at Council Offices;
- copy of the amended Seven Mile Beach Sporting Precinct Master Plan and associated feedback forms will be on Council's website;
- a letter to local residents of Seven Mile Beach and key stakeholders asking them to comment on the amended Seven Mile Beach Sporting Precinct Master Plan by either:
 - completing the feedback form available at the Council Offices and placing in the feedback box; or
 - completing the feedback form on Council's website;
- advertisement in "The Mercury" newspaper advising of the display at the Council office and the Council website and the seeking comment on the amended Seven Mile Beach Sporting Precinct Master Plan by either:
 - completing the feedback form available at the Council Offices and placing in the feedback box; or
 - completing the feedback form on Council's website;
- have a public session whereby the local community may discuss the proposed amended Master Plan with Council representatives.

The community consultation will extend for a 3 week period.

3.2. State/Local Government Protocol

Nil.

3.3. Other

Nil.

4. STRATEGIC PLAN/POLICY IMPLICATIONS

4.1. Council's Strategic Plan 2016-2026 under the Strategy – Liveability considers the following: *“Develop and implement a public open space network including quality public spaces, parks, reserves and tracks and trails.”*

4.2. Council's Strategic Plan 2016-2026 under the Strategy – Parks and Recreation Facilities considers the following:

“Planning for and providing new sporting and recreation facilities to meet community demand”

“Create safe, well connected and high quality public open spaces that meet the needs of the community and visitors, with a focus on accessibility and safe design principles”.

5. EXTERNAL IMPACTS

Nil.

6. RISK AND LEGAL IMPLICATIONS

There are no risk and legal implications from carrying out public consultation.

7. FINANCIAL IMPLICATIONS

The implementation of the amended Seven Mile Beach Sporting Precinct Master Plan is planned to be staged over a number of financial years, subject to Council approval of future Annual Plans and potential external funding.

8. ANY OTHER UNIQUE ISSUES

Nil.

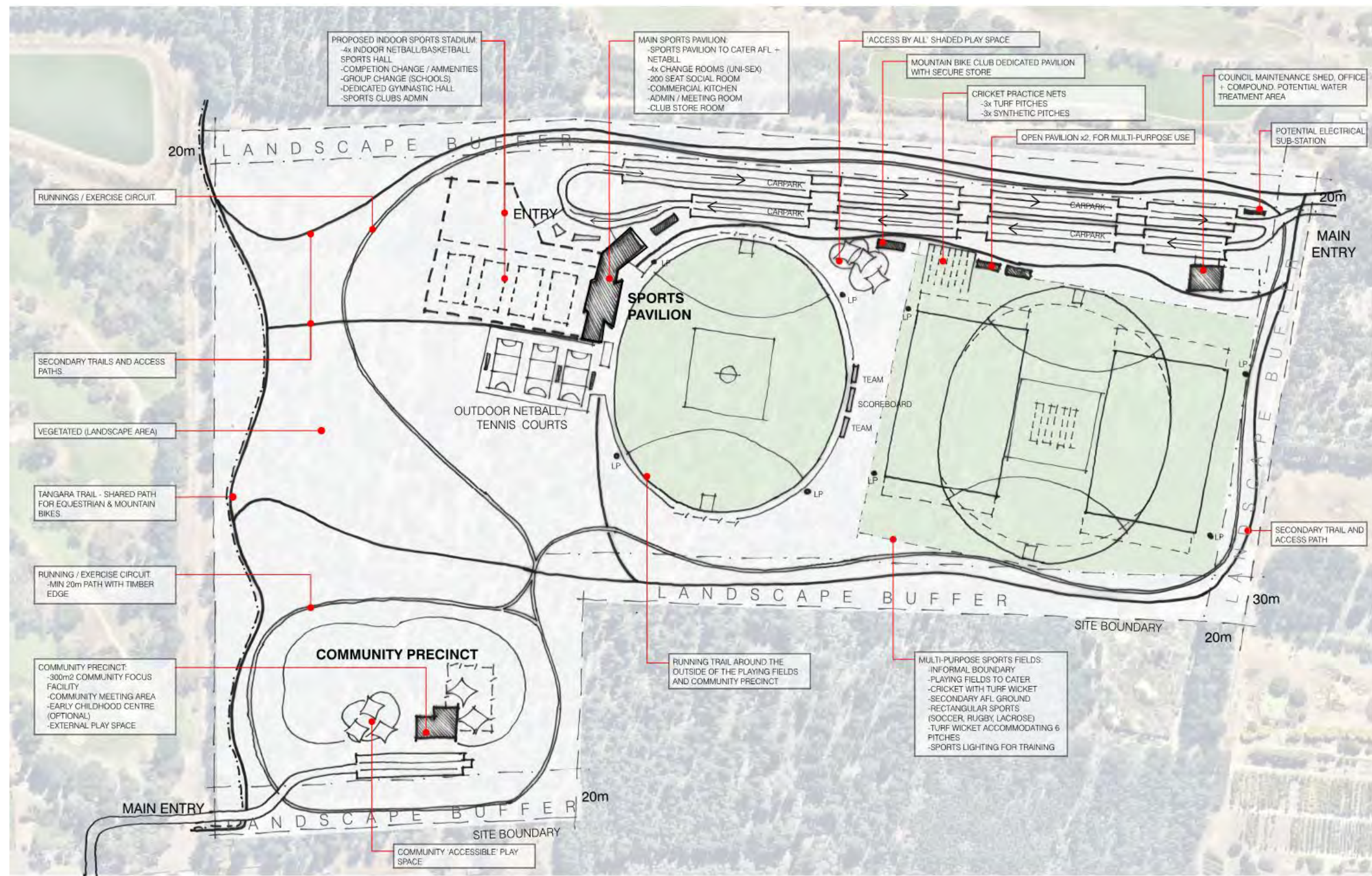
9. CONCLUSION

9.1. It has been 3 years since Council adopted the Final Seven Mile Beach Sport and Active Recreation Precinct Master Plan. In order to finalise plans for Development Approval it has been necessary to consult with State Sporting Organisations and Clubs to understand their current interest, requirements and capability to provide financial assistance.

- 9.2.** The draft amended Seven Mile Beach Sporting Precinct Master Plan has been developed in partnership with State Sporting Organisations, local clubs, key stakeholders and Council officers.
- 9.3.** It is now important to consult with the local community and stakeholders to ensure people have an opportunity to provide feedback before progressing through the statutory approval process.
- 9.4.** Following the conclusion of the community consultation the results will be presented at a future Council Workshop at which further consideration will occur in relation to the adoption of the amended Seven Mile Beach Sporting Precinct Master Plan.

Attachments: 1. Amended Seven Mile Beach Sporting Precinct Master Plan (1)

Ross Graham
GROUP MANAGER ENGINEERING SERVICES



Preliminary Issue for Discussion - Site Plan
Clarence City Council, 7 Mile Beach Masterplan
 75 Surf Road, Seven Mile Beach, Tasmania



PRELIMINARY ISSUE

Job Number: EJ-170995 Dwg No: SK-01
 Scale: 1:2000 @ A3
 Date: 24.08.2017
 Job Leader: SDS

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11.5.3 ROAD CLOSURE – CLARENDON VALE – RESTRICT ACCESS TO STOKELL CREEK – STATUTORY CONSULTATION

(File No)

EXECUTIVE SUMMARY**PURPOSE**

To outline the results of the consultation undertaken to restrict vehicle access to 3 roads: Breedon Way, part of Holmfield Avenue and Mosman Road in Clarendon Vale. Reporting back to Council on this topic was resolved at Council's Meeting of 13 June 2017.

RELATION TO EXISTING POLICY/PLANS

Council's adopted Strategic Plan 2016-2026 is relevant.

LEGISLATIVE REQUIREMENTS

Section 31 of the Local Government (Highways) Act 1982 sets out the statutory requirements for Council to be able to construct or place obstructions in a local highway for the purpose of preventing or restricting the movement of vehicular traffic.

CONSULTATION

As required by Section 31 of the Local Government (Highways) Act 1982, a 28 day public consultation period is required before any application can be made to the Transport Commissioner to close public roads.

Consultation has also been undertaken with Mission Australia and Tasmania Police on this proposal.

FINANCIAL IMPLICATIONS

The costs to install the vehicle restriction barriers are intended to be contributed by Council and Mission Australia. Funding of Council's contribution is available from savings within the current Roads Programme.

RECOMMENDATION:

That Council authorises the General Manager to apply to the Transport Commissioner to restrict vehicle access to Breedon Way, part of Holmfield Avenue and Mosman Road within Clarendon Vale for the purpose of mitigating dumping in Stokell Creek.

ROAD CLOSURE – CLARENDON VALE – RESTRICT ACCESS TO STOKELLCREEK – STATUTORY CONSULTATION /contd...

ASSOCIATED REPORT**1. BACKGROUND**

- 1.1.** Aldermen and the public have raised concerns with the contamination of Stokell Creek by abandoned/burnt out vehicles on private property at 91 and 93 Pass Road, 162 Rockingham Drive and 25 Brogo Way within the vicinity of Stokell Creek, Clarendon Vale.
- 1.2.** The aim of installing boom gates and Armco barriers to Breedon Way, part of Holmfield Avenue and Mosman Road in Clarendon Vale is to restrict access and address the community and environmental concerns regarding the dumping and burning of illegal cars in the adjoining private land.
- 1.3.** Council, at its Meeting of 13 June 2017 resolved:
- “A. That Council authorises the General Manager to undertake preliminary consultation with the local residents seeking their views on the proposal to restrict vehicle access to Breedon Way, part of Holmfield Avenue and Mossman Road within Clarendon Vale for the purpose of mitigating dumping in Stokell Creek.*
- B That the General Manager report back to Council outlining the results of the consultation undertaken”.*
- 1.4.** The statutory consultation process involved formal notices being placed in the Mercury on Saturday, 15 July 2017 and Wednesday, 19 July 2017. In accordance with the statutory requirement, the advertisements stated that objections to the proposed closures would be received in writing up until 14 August 2017.

2. REPORT IN DETAIL

- 2.1.** There were no representations made throughout the advertised period to the General Manager in response to closing the 3 roads in Clarendon Vale.
- 2.2.** Mission Housing Australia (MAH) has undertaken discussions with Housing Services Tasmania and Crown Law in regards to this matter. In addition, MAH has approached nearby landowners who have since contacted Tasmania Police to advise of activities which are not permitted on their land so the Police can take enforcement action. Council officers and MAH are also in close consultation with Tasmania Police regarding the proposed road restriction barriers.
- 2.3.** Construction of new houses within the precinct may commence within coming months and so it is possible some of the temporary vehicle restrictions may only be in place for 12 months.
- 2.4.** This is now a matter for the Transport Commission to consider as the Commission has the full statutory authority to resolve issues regarding placing road obstructions.

3. CONSULTATION**3.1. Community Consultation**

Council officers have liaised with MAH, as well as undertaken formal consultation process as required by Section 31 of the Local Government (Highways) Act 1982.

3.2. State/Local Government Protocol

Council officers have liaised with Tasmania Police.

3.3. Other

It is understood Tasmania Police have written to the adjacent private land holdings advising of the dumping and No Trespass issues.

4. STRATEGIC PLAN/POLICY IMPLICATIONS

Council's Strategic Plan 2016-2026 within the Goal an Environmentally responsible city containing the following Strategy to: *“Work collaboratively with relevant agencies to enhance and protect the natural environment”*.

5. EXTERNAL IMPACTS

5.1. Closing some of the roads in Clarendon Vale that have access to Stokell Creek will impact on residents within the direct vicinity in the way of accessing boom gates. Keys will be provided to appropriate authorities/personnel requiring access.

5.2. On the other hand some residents will have protection of their residential amenity by restricting access to Stokell Creek for the illegal dumping and burning out of vehicles.

5.3. The installation of the barriers may result in cars being illegally dumped in other areas. This will be assessed as issues arise.

6. RISK AND LEGAL IMPLICATIONS

6.1. Council's power to implement road closures is contained in the Local Government (Highways) Act 1982, Section 31. While Council can initiate the statutory process and resolve close some of the roads in Clarendon Vale, the approval rests with the Transport Commission.

6.2. DSG officers have advised that the Transport Commission require a clear indication of Council's position if Council wishes to proceed with the proposal.

7. FINANCIAL IMPLICATIONS

The vehicle restriction barriers are likely to cost in the order of \$20,000. It is proposed for Mission Australia and Council to contribute towards the required works. Council's contribution can be funded through savings in the current Roads Programme.

8. ANY OTHER UNIQUE ISSUES

- 8.1.** Construction of new houses with the precinct may commence within coming months and so it is possible some of the temporary vehicle restrictions may only be in place for 12 months.
- 8.2.** Once the new subdivision areas are developed the vehicle restriction barriers will be removed as property fencing will prevent access to the adjoining private land.

9. CONCLUSION

- 9.1.** As required by Section 31 of the Local Government (Highways) Act 1982, formal consultation has been undertaken to install vehicle restriction barriers in Clarendon Vale. There were no representations made to Council throughout the advertised period.
- 9.2.** It is recommend that Council make an application to the Transport Commissioner to restrict vehicle access to Breedon Way, part of Holmfield Avenue and Mosman Road within Clarendon Vale.

Attachments: 1. Newspaper Advertisement from Saturday, 15 July 2017 and Wednesday, 19 July 2017 regarding the Road Closures (1)

Ross Graham
GROUP MANAGER ENGINEERING SERVICES

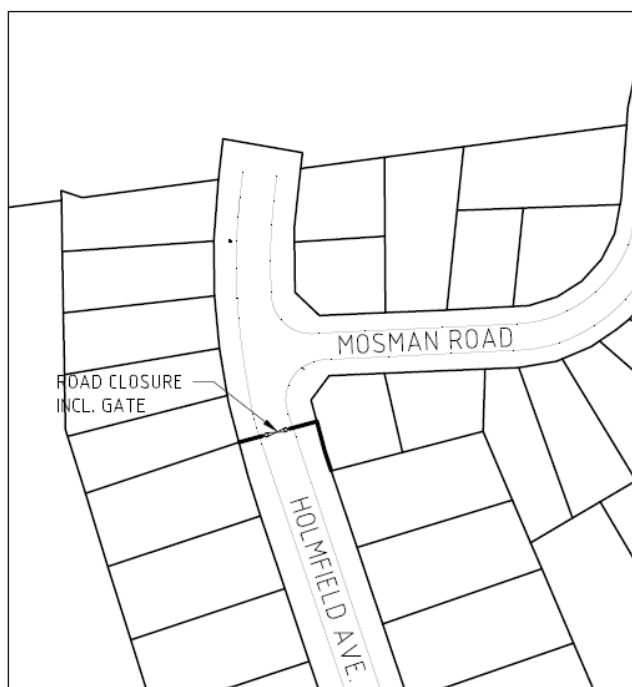
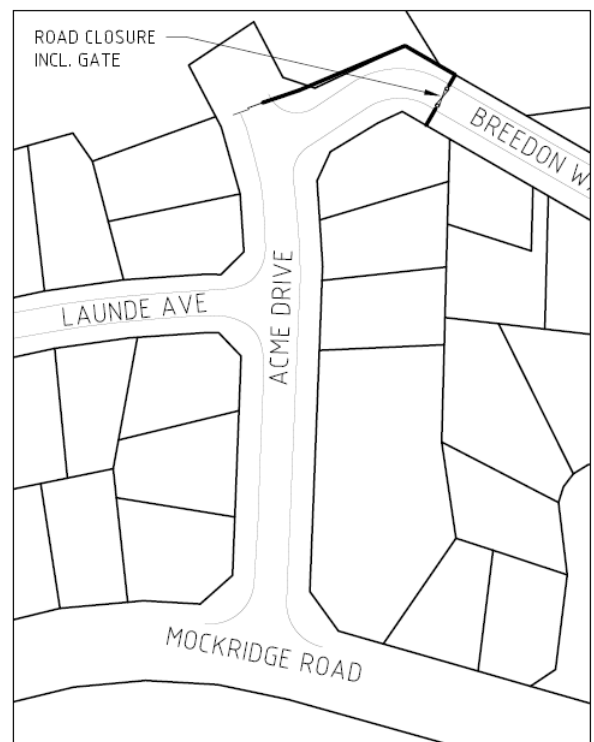
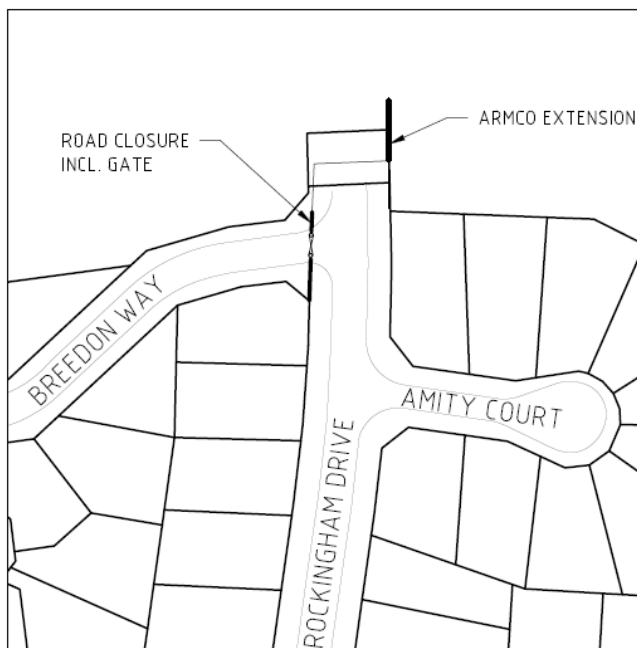
Attachment 1

To be advertised in the Public Notices section of the Mercury Saturday 15 July and Wednesday 18 July 2017.

DOUBLE COLUMN

Clarence City Council

Under Section 31 of the Local Government (Highways) Act 1982, it is intended to install vehicle restriction barriers at the locations of Mosman Road, Holmfield Avenue and Breedon Way, Clarendon Vale. Access will be provided to authorised vehicles and emergency services only. The junctions to be closed are shown on the plan below.



Objections to these closures may be made in writing to the General Manager, PO Box 96, **ROSNY PARK TAS 7018** and must be received by close of business on Monday 14th August 2017.

For further information, please contact Ross Graham on 6217 9687

logo Alex Van Der Hek
C109 CORPORATE SECRETARY

11.5.4 INFRASTRUCTURE PRIORITIES

(File No 28/01/00)

EXECUTIVE SUMMARY**PURPOSE**

To seek Council's endorsement of a priority based list of potential projects as a basis for Council to forward to the Local Government Association of Tasmania so that can advocate for infrastructure funding in the lead up to the State election.

RELATION TO EXISTING POLICY/PLANS

Council's Strategic Plan 2016-2026 is applicable.

LEGISLATIVE REQUIREMENTS

Nil.

CONSULTATION

Nil.

FINANCIAL IMPLICATIONS

There is no direct impact on Council's budget in recommending the priority based projects to the State Government.

RECOMMENDATION:

- A. That Council identifies the following priority outstanding traditional Road Transport issues for the City, which are (in order priority):
- Rosny Park access – Tasman Highway access ramps;
 - West bound Rosny Hill Road Highway to Tasman Highway slip lane;
 - East Derwent Highway – Expansion to 4 lanes from Lindhill Avenue to Clinton Road including signalisation of the Geilston Bay Road/Clinton Road intersection;
 - Cambridge By-pass – Richmond Road deviation to Acton interchange on Tasman Highway;
 - Rokeby Main Road – Hawthorne Place to the Police Academy roundabout;
 - Cambridge Road/Richmond Road intersection upgrade;
 - East Derwent Highway 4 lane extension from Grass Tree Hill road roundabout to East side of Bowen Bridge;
 - South Arm Road upgrade from the Police Academy roundabout to Acton Road at Lauderdale; and
 - Flagstaff Gully Link Road connection to East Derwent Highway.
- B. That Council identifies the proposed Seven Mile Beach sporting complex as a priority.

- C. That Council authorises the General Manager to write to the Local Government Association of Tasmania to advocate for infrastructure funding for the projects identified in “A” and “B” above in the lead up to the State election.

ASSOCIATED REPORT

1. BACKGROUND

1.1. At its Meeting of 3 August 2015, Council resolved:

“A. That Council identifies the following priority outstanding traditional Road Transport issues for the City, which are (in order priority):

- *Rosny Park access – Tasman Highway access ramps;*
- *West bound Rosny Hill Road Highway to Tasman Highway slip lane;*
- *East Derwent Highway – Expansion to 4 lanes from Lindhill Avenue to Clinton Road including signalisation of the Geilston Bay Road/Clinton Road intersection;*
- *Tasman Highway – Holyman Avenue roundabout upgrade;*
- *Cambridge By-pass – Richmond Road deviation to Acton interchange on Tasman Highway;*
- *Rokeby Main Road – Hawthorne Place to the Police Academy roundabout;*
- *Cambridge Road/Richmond Road intersection upgrade;*
- *East Derwent Highway 4 lane extension from Grass Tree Hill road roundabout to East side of Bowen Bridge;*
- *South Arm Road upgrade from the Policy Academy roundabout to Acton Road at Lauderdale; and*
- *Flagstaff Gully Link Road connection to East Derwent Highway”.*

1.2. Council adopted a master plan for the development of a major sporting complex in Seven Mile Beach at its meeting of 10 November 2014. This Plan has recently been revised and is the subject of a further report to Council on 4 September 2017.

1.3. The Local Government Association of Tasmania has written to Councils seeking areas of interest from a sectorial and a local or regional perspective with a view to developing a State Election Advocacy Document.

2. REPORT IN DETAIL

- 2.1.** Since Council having adopted the road transport priority list the State Government has committed to upgrading the Tasman Highway – Holyman Drive roundabout.
- 2.2.** The remaining items on the road transport priority list are still relevant.
- 2.3.** The proposed sporting complex at Seven Mile Beach has the potential to be a significant indoor and outdoor recreational development that will meet needs of users well beyond Clarence.
- 2.4.** The initial estimated cost to develop the land for a sporting precinct is approximately \$14 million. Council is also endeavouring to obtain external funding for the Australian Government's Building Better Regions Fund in early 2018.

3. CONSULTATION

3.1. Community Consultation

Nil.

3.2. State/Local Government Protocol

Nil.

3.3. Other

A recent workshop was held with Aldermen in respect to this item.

4. STRATEGIC PLAN/POLICY IMPLICATIONS

- 4.1.** Council's Strategic Plan 2016-2026 under the Strategic Goal Area – Governance and Leadership considers the following: *“Respond to the changing needs of the community through leadership, advocacy and innovative governance”*.

4.2. Council’s Strategic Plan 2016-2026 under the Strategy – Roads and Transport considers the following: *“Establish and review a prioritised list of outstanding and alternative transport issues for the City to facilitate the appropriate ranking of projects for capital works planning and funding”.*

4.3. Council’s Strategic Plan 2016-2026 under the Strategy – Parks and Recreation Facilities considers the following:

“Planning for and providing new sporting and recreation facilities to meet community demand”

“Create safe, well connected and high quality public open spaces that meet the needs of the community and visitors, with a focus on accessibility and safe design principles”.

5. EXTERNAL IMPACTS

The impact of the implementation of this infrastructure projects will be felt not only in the Clarence area but also to travellers through the City.

6. RISK AND LEGAL IMPLICATIONS

Nil.

7. FINANCIAL IMPLICATIONS

There is no direct impact on Council’s budget in recommending the priority based list of projects to the State Government through the local Government Association of Tasmania.

8. ANY OTHER UNIQUE ISSUES

Nil.

9. CONCLUSION

The identified infrastructure projects are strategically important to managing current and future traffic and sporting needs of a growing city. Council has the opportunity to define the priority of these projects and request the State Government assistance to develop these priority projects.

Attachments: Nil.

Ross Graham
GROUP MANAGER ENGINEERING SERVICES

11.6 FINANCIAL MANAGEMENT

Nil Items.

11.7 GOVERNANCE**11.7.1 DRAFT CULTURAL HISTORY PLAN**

(File No 24-03-06)

EXECUTIVE SUMMARY**PURPOSE**

The purpose of this report is for Council to consider authorising the release of the draft revised Cultural History Plan 2017 – 2022 for public exhibition and comment. The draft plan will provide strategic direction for Council in the area of cultural history and associated activities and events, through emphasis on the stories that are important to the history and development of Clarence.

RELATION TO EXISTING POLICY/PLANS

- Cultural Arts Plan 2012-16;
- Cultural Heritage Interpretation Plan 2012;
- Collections Management Policy 2010;
- Clarence Tracks and Trails Strategy 2012;
- Economic Development Plan 2016 – 2021;
- Reserve Activity Plans;
- Public Art Code;
- Public Open Space Policy 2013;
- Clarence Events Plan 2014 – 2018;
- Positive Ageing Plan 2012-2016;
- Disability Access Plan 2014-2018;
- Clarence Interim Planning Scheme 2016;
- Community Health and Wellbeing Plan 2013-2018;
- Youth Plan 2008-2012.

LEGISLATIVE REQUIREMENTS

Not applicable.

CONSULTATION

Consultation was conducted with individuals and stakeholder groups.

FINANCIAL IMPLICATIONS

The Plan's strategies will be implemented through Council's Annual Plan and capital works program, with priorities identified annually.

RECOMMENDATION:

That Council authorises the release of the draft revised Cultural History Plan 2017 – 2022 for a 3 week public exhibition and comment period.

DRAFT CULTURAL HISTORY PLAN /contd...

ASSOCIATED REPORT**1. BACKGROUND**

- 1.1.** In 2009, Council adopted the Cultural History Plan 2009. The aim of the Plan was to provide strategic direction for Council in the area of cultural history and associated activities and events, through emphasis on the stories that are important to the history and development of Clarence.
- 1.2.** As part of the review of the Plan internal and external consultations were carried out in 2016 to evaluate what has been achieved, consider what new activities and programs should be included in the reviewed plan and set new priorities for the promotion and preservation of Clarence's unique cultural history.
- 1.3.** In September 2016, a revised draft plan was prepared and 2 workshops were held with Aldermen to consider the actions within the draft plan and amendments made.
- 1.4.** As part of the consultation process, it was planned that a draft of the Cultural History Plan be released for public exhibition prior to its adoption by Council.

2. REPORT IN DETAIL

- 2.1.** In 2009, Clarence City Council developed a Cultural History Plan. The aim of the Plan was to provide strategic direction for Council in the area of cultural history and associated activities and events, through emphasis on the stories that are important to the history and development of Clarence.

- **Key Statement**

Council will show a commitment to the cultural history of Clarence through actively engaging the community with the stories that are important to the history and development of Clarence, including indigenous and non-indigenous history. Council will also recognise through its pursuits, the diversity and richness of its History both past and evolving.

2.2. Local Government plays an important role in the support of Cultural History. Council recognises that the preservation and promotion of the cultural heritage of a community encourages a sense of pride and participation in the cultural life of the city. The conservation of the city's cultural heritage may include not only the preservation of the old but also the evolution of the new. In 2009, Council developed a realistic 5 year plan that reflected the views of stakeholder groups and individuals. This plan has been reviewed.

2.3. An essential component in reviewing the plan was to consult with key stakeholder groups including local interest groups and other statutory bodies, as well as individuals within the community with a keen interest in this area. A Workshop was held with Council to determine the scope and methods for community consultation. The consultation process was undertaken during March/April 2016; methods used were as follows.

- **Internal**

Marketing and Communications, Arts and Events, Asset Management, City Planning, Youth and Community Development were consulted through face to face meetings.

- **External**

A Workshop was held with community members (including Cultural History Advisory Committee members) to gather feedback on performance of the existing plan and seek ideas and priorities for the new plan.

- Targeted interviews were held with those stakeholders who were unable to attend the Workshop.
- Invitations to provide written feedback.

2.4. The consultation results were collated resulting in the first draft of the Cultural History Plan 2017 - 2022. The draft plan sets out key findings from the consultation process and has identified 3 key themes, strategies and a range of actions to be undertaken over the next 5 years.

2.5. The draft plan was presented to a Council Workshop for discussion in February 2017. A second Workshop was held for further discussion on a proposed Community History Room/Visitor Information Centre and Aboriginal history and heritage. Also, additional consideration was given to the potential management of the Kangaroo Bluff site.

2.6. A revised plan has been prepared based on these discussions. The 2017 Plan has the following objectives:

- identify the stories that hold significant cultural/historical value for the people of Clarence;
- recognise the places, events and objects that reflect the cultural memory and history of the diverse groups that make up the Clarence community;
- develop a framework for the preservation and promotion of the unique cultural history of Clarence;
- encourage the community to participate in the history of their city;
- consider the scope for further development of cultural tourism within the City of Clarence; and
- find better pathways for acknowledging and interpreting the city's aboriginal heritage and history.

2.7. The plan contains 3 key strategy areas:

- capture and retell stories;
- encourage participation; and
- improve collection management.

Each of the strategies within the plan each contains a number of associated actions for implementation.

2.8. The Cultural History Plan is a 5 year plan. The strategies and actions will be implemented and funded through Council's Annual Plan and capital works program. The plan will be regularly reviewed and each year a report made on its progress.

3. CONSULTATION

3.1. Community Consultation

A consultant was engaged to assist with a community consultation program and present a report summarising the key findings. Consultation with identified stakeholders took the form of the following.

- A workshop was held with community members (including Cultural History Advisory Committee members) to gather feedback on the performance of the existing plan and seek ideas and priorities for new plan.
- Targeted interviews were held with those stakeholders who were unable to attend the workshop.
- Invitations to provide written feedback from community and stakeholders.

3.2. State/Local Government Protocol

The consultation process involved liaison with Tasmanian Parks and Wildlife, Heritage Tasmania and Aboriginal Heritage Tasmania.

3.3. Other

Internal discussions were held with key Council officers on the development of the Cultural History Plan.

4. STRATEGIC PLAN/POLICY IMPLICATIONS

The development of the Cultural History Plan is consistent with Council's Strategic Plan 2016 – 2026, A Creative and Innovative City. Goal: *"Clarence is a city that fosters creativity, innovation and enterprise"*. Strategy: *"Develop a framework for the identification, preservation and promotion of the unique cultural history of Clarence and further development of cultural tourism"*.

5. EXTERNAL IMPACTS

A key element in the plan is working collaboratively with State Government agencies and local historical societies.

6. RISK AND LEGAL IMPLICATIONS

Nil.

7. FINANCIAL IMPLICATIONS

The draft plan's strategies will be implemented through Council's Annual Plan and capital works program, with priorities identified annually.

8. ANY OTHER UNIQUE ISSUES

Nil.

9. CONCLUSION

9.1. The Cultural History Plan provides a strategic framework and identifies specific opportunities and projects to be addressed over a 5 year period.

- 9.2.** While the scope of the draft plan is comprehensive, release of the plan to seek further comment from the community, relevant groups and government agencies may identify further initiatives and opportunities that can be considered by Council for inclusion in the final plan.

Attachments: 1. Cultural History Plan 2017 – 2022 (28)

John Toohey

ACTING GENERAL MANAGER

CULTURAL HISTORY PLAN

2017–2022



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CULTURAL HISTORY PLAN

2017–2022

BACKGROUND

In 2008 Council endorsed the Clarence Cultural History Plan 2009-2013 (2009 Plan). The 2009 Plan was developed following comprehensive community consultation. This ensured that it had a specific focus on the areas of cultural history that were identified by the community as having the greatest importance and relevance.

KEY STATEMENT

The purpose of the Cultural History Plan 2017-2022 (2017 Plan) is to provide strategic direction for Clarence City Council (CCC) for the recognition, management and promotion of cultural history within the City.

The focus of the 2009 Plan was on sharing the stories both indigenous and non-indigenous that are important to the history and development of Clarence.

As a result of the Plan a Cultural History Advisory Committee (CHAC) was formed in 2009 to assist with implementation, monitoring and review of the strategies and actions contained within the plan.

REVIEW

A review of the 2009 Plan has been undertaken. Whilst the aim of the 2009 Plan and the intent of the strategies contained within it are still relevant, there was a need to review and update the actions in light of what had (and hadn't) been achieved and to identify new actions to take the Plan into the next five years.

It is also acknowledged that the current 'planning landscape' is quite different to when the original plan was written in 2008. Since the 2009 Plan was endorsed the CHAC was created, a part-time History Officer has been employed by Council, technology has changed and social media is now much more prevalent. In addition, when the original plan was written there was no earlier plan to work from thus the plan was breaking new ground for Clarence City Council in this area.

Despite these differences the 2009 Plan has proven to be both a useful and well-used framework for the preservation and promotion of the City's Cultural History. It provides an excellent basis from which to develop a new plan to take CCC and the community into the next five years and beyond.

WHY IS A CULTURAL HISTORY PLAN NEEDED?

The recognition, preservation and promotion of the cultural history of a community encourages a sense of pride and participation in that community's cultural life. The conservation of cultural history includes not only the preservation of the old but also the need to acknowledge the evolution of the new. It is this balance between old and new that is the hallmark of a rich and productive culture.

Recognising, valuing and sharing the rich inheritance from the past enables and encourages participation in the cultural history of Clarence.

Historical values are found in a variety of forms within any community, for example:

- landscape;
- sites important to indigenous people;
- influences and contributions of different migrations;
- places that reflect the cultural memory of diverse groups within the community; and
- the cultural icons of settlement.

The specific focus of the 2017 Plan relates to those areas of cultural history that have been identified by the community as having most importance and relevance to them.

WHAT DID THE 2009 PLAN ACHIEVE?

The 2009 Plan resulted in a number of significant achievements including:

Establishing the Cultural History Advisory Committee

This committee, established in 2009, meets quarterly to assist Council with implementing the actions of the 2009 Plan.

Engaging a part time History Officer

Council employed a part time (2.5 days/week) History Officer in 2010 to assist with implementation of the 2009 Plan, supporting local history groups and societies and responding to community requests.

Instigating a city wide interpretation project

The street names interpretation project commenced in Bellerive and has subsequently been implemented in Lindisfarne, Rokeby, Lauderdale, Risdon Vale and South Arm. Each year the CHAC nominates a new area for the interpretive signage. Originally the project focused on explaining the origins of important street names. The scope has since been broadened to include general historical information and features of interest. Funding is allocated for one new location per year.

Staging three major and several smaller exhibitions

Three major exhibitions relating to cultural history have been staged during the life of the 2009 Plan.

'A City Divided: The Tasman Bridge Disaster' which included rarely seen memorabilia and specially recorded oral histories. This exhibition, held at Rosny Barn, attracted record crowds of 3400 people to its first showing. Due to its popularity it was subsequently shown in a trimmed down version in January 2015 for the 40th anniversary of the disaster. A further 1100 people attended the second showing.

'Centenary of Anzac: Service at Home and Abroad' to mark the 100th anniversary of the Gallipoli campaign. Other smaller exhibitions have included Art Deco and the Jazz Age in the Schoolhouse Gallery.

'What would you take: The 67 Bushfires' retold the stories of the 1967 Black Tuesday bushfires through a unique mix of community participation and archival material.

Hosting or participating in a number of special events

A very successful gala dinner was held to celebrate the 150th anniversary of Australia's first cookbook which was written by Edward Abbot, the first Warden of Clarence.

Other events included:

- the Bicentennial celebration of Governor Lachlan Macquarie's 1811 tour of Van Dieman's Land held in November 2011 at Lauderdale.
- a walk and talk along the South Arm Heritage Trail titled 'Tragedy, transportation and triumph - a rediscovery of the life of James Kelly' was held for Heritage Month 2016.

Receiving \$44 650 in Federal and State funding to assist with major projects

Funding of \$22 350 was received to develop an exhibition and commission a sculpture at Montagu Bay Park to commemorate the 40th anniversary of the Tasman Bridge disaster and the impacts of the disaster for the eastern shore and community of Clarence. Under a separate grant, \$10 000 was received to develop the major Anzac Centenary Exhibition. \$12 000 was received to assist in the development of a project to commemorate the 50th anniversary of the 1967 Bushfires which was held at the Schoolhouse Gallery in January 2017.

Developing an Interpretation Plan for the city

A Cultural Heritage Interpretation Plan was produced in 2012. It identified key messages/themes to be presented and reinforced citywide whilst still allowing site-specific stories to be told.

Improving the history content on the CCC website and providing articles for various newsletters

To complement the actions in the Plan, Council has improved the history content on its website and included regular stories of historical interest in its rates newsletter, Arts newsletter, eNewsletter and Council's social media platforms. Oral histories recorded for the 'Tasman Bridge Disaster' exhibition have also been added to the CCC website.

Providing advice and assistance to many individuals and groups within the community

The History Officer has given an average of 45 presentations per year to history and other interest groups. He also assisted community groups with preparing grant applications and newsletters, event promotion, collection advice and technical support.

WHAT DIDN'T THE 2009 PLAN ACHIEVE?

Whilst the review of the 2009 Plan revealed some significant achievements, it also helped identify areas where further action is required, including:

Resolution around a history room/visitor information centre

The 2009 Plan identified a strong desire by some members of the community for a history room/visitor information centre. During the life of the original plan (and indeed prior to the development of the plan) various proposals have been put forward and some investigations have been undertaken but there has as yet been no resolution as to the best way to proceed.

Interpreting Aboriginal heritage

Interpreting Aboriginal heritage has always been challenging for CCC as there are many different groups and individuals with varying and sometimes opposing views about how to do this. There is a strong desire within Council and the community to acknowledge and interpret Aboriginal heritage better, but uncertainty as to how best to do this.

Promotion of the Bowen Historical Site

This site is historically significant but challenging to promote and interpret due to complex and often disputed histories. Land ownership and access issues are also part of the challenge here. (see scoping report by Gabrielle Balon 2013)

OBJECTIVES AND PURPOSE OF THE 2017 PLAN

The Cultural History Plan aims to characterise Clarence as a place, both today and in the past. It seeks to bring history to life, to encourage active engagement with it and make history both accessible and relevant to the community.

The objectives and intention of the 2009 Plan are still relevant and have been retained with minor modifications in response to findings of the consultation process. However, the delivery of these objectives will change in the 2017 Plan with a new set of actions to move into the next five year planning cycle and beyond.

Key Objectives

The 2017 Plan has the following objectives:

Identify the stories that hold significant cultural/historical value for the people of Clarence

Recognise the places, events and objects that reflect the cultural memory and history of the diverse groups that make up the Clarence community

Develop a framework for the preservation and promotion of the unique cultural history of Clarence

Encourage the community to participate in the history of their city

Consider the scope for further development of cultural tourism within the City of Clarence

Find better pathways for acknowledging and interpreting the city's aboriginal heritage and history

It is intended that the 2017 Plan will provide Council with:

- A **framework** for the development of programs which value the living history of Clarence
- A strategic, long-term approach for **engagement** with the community
- An opportunity to make the most of available **resources**
- Direction for seeking and attracting **funding** from State and Federal governments
- Direction to develop strategic **alliances** with business, tourism ventures and community groups
- Direction to meet the **expectations and aspirations** of a target community within Clarence

Note: It is beyond the practical scope and outside the area of responsibility of the 2017 Plan to include approaches to the built or natural heritage of Clarence (as was the case with the 2009 Plan). This area is the responsibility of Council's City Planning Group with advice from Council's heritage architect and informed by the Clarence Interim Planning Scheme 2015.

However this plan recognises that CHAC members may from time to time wish to make recommendations to different Council areas in regard to such matters as development in areas of high cultural significance as well as parks, reserves and monuments.

ABBREVIATIONS/ACRONYMS

Cultural History Plan for Clarence 2009 – 2013	2009 Plan
Cultural History Plan for Clarence 2017 – 2022	2017 Plan
Clarence City Council	CCC or 'Council'
Cultural History Advisory Council	CHAC
Parks and Wildlife Service	PWS

KEY STRATEGIES

STRATEGY 1

Capture and retell stories

Capture and retell the stories of Clarence's rich and diverse living and evolving history.

ACTIONS

Higher priority actions

- 1. Consult with history and community groups as to the envisaged usage of a community history centre, storage and display facility, and what resources would be required, for local history collections in a local context.**

LONG
TERM

*All considerations must be made in the context of ongoing debate regarding possible council amalgamations/shared services and it is not appropriate to progress this action until resolution is reached.

*Any consideration for a community history facility has to be made in the context of previous research conducted by Council as to the feasibility of a 'Visitor Information Centre' which clearly concluded that the combination of history centre and visitor information centre has now been rendered obsolete by advances in digital technology. However, as discussed in Key Findings there is a very strong desire in the community for a central history centre which could allow for a shared space for all history groups in the city to meet, store collections, and mount displays. Refer to *Business Case Analysis into the Establishment of a Visitor Information Centre at Richmond Historic Village* (Creating Preferred Futures 2011)

*In addition any discussion regarding such a facility must be made in the context of the *Kangaroo Bay – Rosny Park Cultural precinct, Strategic Development Framework* which is being developed by Council. (Creating Preferred Futures Draft 2016)

2. A formal offer has been received from the State Government for the transfer of the managing authority of the Kangaroo Bluff Historic Site from Tasmanian Parks and Wildlife Service to Council.

**MEDIUM
TERM**

Prior to a formal consideration of consent to transfer the Council will undertake further due diligence regarding the proposal. Council has committed funds to carry out due diligence including the updating of the Strategic Asset Management Plan.

Any proposals for the future use of the site must be considered in the context of the *Kangaroo Bay – Rosny Park Cultural precinct, Strategic Development Framework and Economic Development Plan 2016-2021*.

3. Ensure that the ongoing redevelopment of Kangaroo Bay includes creative interpretation of the rich history associated with this site.

**LONG
TERM**

This history includes Aboriginal heritage, ferries, railways and more. Consider how these stories could be reflected through design elements, art installations, performance and events rather than just panels. Interpretation to be included in Council assets and private developments where possible. Council to liaise with private developers on the inclusion of interpretive elements and public art.

4. Engage the services of a suitably qualified person with expertise in Aboriginal Heritage on a needs basis to liaise between Council and Aboriginal communities, organisations and individuals.

**SHORT
TERM**

A key role of this position would be to develop and implement a plan to interpret Aboriginal heritage within Clarence and provide advice to Council on culturally appropriate content in Council projects. Two of the key issues that such a plan should consider are:

- Interpretation options for Bedlam Walls. This reserve is now wholly managed by CCC, after PWS completed removal of the old walkway infrastructure in 2012 (due to safety issues) and cancelled their lease over this area.
- Opportunities to better promote the Risdon Cove Historical Site in cooperation with Aboriginal communities, organisations and individuals.

5. Develop an action plan for Richmond which identifies the priority actions for celebrating, promoting and interpreting cultural history for the next 5 years in collaboration with existing stakeholders such as the Richmond Advisory Committee and Richmond Promotions Group.

**LONG
TERM**

This could include:

- A well researched self guided walk for Richmond (see www.stanleyheritagewalk.com.au for an example of such a walk) available as a phone/tablet app
- A cycle/drive trail through the Coal River Valley to explore the agricultural heritage, both past and present
- Explore options for the interpretation of Aboriginal heritage in the Coal River valley

Lower priority actions

6. Consider the following aspects when planning for interpreting Clarence's history:

ONGOING

- What is the best way to tell the story? Static panels are often used but is there a better way e.g. through design elements as part of an associated structure, through art installations, a performance or an event? Think creatively.
- Explore options for promoting community interest in Clarence History through emerging digital media.
- Be responsive to the setting and consider how the interpretation will 'sit' within the site. It can sometimes be good to include some interpretation which is slightly hidden or provides a sense of discovery or reward for those people who look more closely.
- Ensure that for all new interpretation structures there is a budget allocation for future maintenance and replacement.
- Carefully consider the need for publications, as these can often end up stockpiled/unused. Where/how will hard copies be distributed? Is there a better alternative e.g. web based information, QR codes etc.

7. Identify which of the reserves that CCC manages have significant cultural heritage values and advise Council's Asset Management staff of this list.

ONGOING

When Reserve Activity Plans are being prepared or reviewed for these reserves Asset Management staff should liaise with the History Officer and Aboriginal Heritage Officer to enable consideration of how the site/area's history could be incorporated into these plans and interpreted onsite in whatever manner is appropriate to that site.

8. Encourage and support history groups and community members to record and preserve the knowledge/stories/information/photos of life in Clarence held by Clarence residents who have a rich/extensive knowledge base before it is lost.

ONGOING

9. Remove the out of date '150 year' signs at the airport and on the Tasman Bridge exit.

SHORT
TERM

10. Increase the history content of the CCC webpage e.g. add a series of 'then' & 'now' photos, provide a list of historic sites/locations that people can visit including directions, opening hours, entry costs, highlights etc. Provide regular history articles through social media platforms.

SHORT
TERM

HOW SHALL WE MEASURE THE PLAN'S SUCCESS?

Consultations with are being carried out with history and other community groups and other relevant stakeholders to ensure their views are considered in the ongoing development of the Cultural/Creative precinct

Council to consider options for the management of the Bellerive Bluff Fort based on the completion of due diligence

The history of Kangaroo Bay has been interpreted in varied and creative ways

An Aboriginal heritage officer has been engaged and a plan to interpret Aboriginal heritage has been developed and is being implemented

An action plan to interpret cultural history at Richmond has been produced and is being implemented

Cultural history interpretation in Clarence is creative, responsive to setting, provides a sense of discovery and has an attached allocation for future maintenance and replacement

All historically themed publications produced by Council are well used and not stockpiled

A list of reserves that CCC manages that have significant cultural heritage values has been compiled and this information is being used by Asset Management staff when preparing Reserve Activity Plans

The '150 year' signs at the airport and on the Tasman Bridge exit have been removed/replaced

The history content of the CCC webpage has been increased e.g. a series of 'then' & 'now' photos has been added, a list of historic sites/locations that people can visit including directions, opening hours, entry costs, highlights etc. plus other information has been included on the website

STRATEGY 2

Encourage participation

Invoke a sense of identity and place in the community by encouraging the community (and visitors) to participate in the cultural history of Clarence in meaningful and relevant ways.

ACTIONS

Higher priority actions

1. Improve public access to Council's History Officer.	SHORT TERM
2. Continue to provide support to history groups and societies with regular talks, assistance with grant applications and newsletters, events and event promotion, collection advice and technical support in any manner that will assist them to preserve and promote the City's history.	ONGOING
3. Continue to support the CHAC.	ONGOING
4. Raise awareness of the CHAC, CHP and History Officer across Council, Aldermen and broader community. Explain what the CHAC does (and doesn't do) and how people can raise issues for consideration. Do this via the Council website, media articles, letters to history groups and via internal staff communication opportunities. Investigate opportunities for holding CHAC meetings in the community.	SHORT TERM
5. Participate in Heritage Month, coordinated by the National Trust (Tasmania), each year and any other significant and relevant events coordinated by other bodies.	ONGOING

Lower priority actions

6. Where possible, link events into existing celebrations e.g. hold a History Walk during Seniors Week. This will maximise promotion and potentially attract new audiences.	ONGOING
7. Aim for a mixture of events across Clarence.	ONGOING
8. Develop a timeline of significant dates in Clarence to enable events to be planned around these. John Sargent's publication 'Days gone by in Clarence – a chronological history of significant dates and events' is a useful resource for this.	SHORT TERM
9. Contact local schools to raise awareness about what Council can provide to help support their teaching about local history e.g. publications, presentations by the History Officer etc.	SHORT TERM
10. Actively seek opportunities to cross promote activities across Council committees and programs. The CHP and its associated activities have natural links to Council's policies relating to positive ageing, community health and wellbeing, tracks and trails amongst others.	MEDIUM TERM
11. Investigate ways to encourage younger members of the community to engage with cultural history.	MEDIUM TERM
12. Ensure that the celebration of the cultural history of Clarence is both inclusive and representative. Be aware that some aspects of our history e.g. our multicultural heritage or some locations in Clarence may have been overlooked in the past, yet their history is equally valid and important.	ONGOING
13. Regularly consider and actively seek out opportunities to partner with other organisations/groups/private industry on history projects. This can help limited resources to stretch further and increase the number and range of people involved with and aware of a project.	ONGOING

HOW SHALL WE MEASURE THE PLAN'S SUCCESS?

Access to the History Officer has been increased

225 (45 /year based on current estimates) talks/presentations have been given to history groups and societies

Assistance with grant applications and newsletters, events and event promotion, collection advice and technical support has been provided where needed to history groups and societies

5 events have been held during Heritage Month

5 events during Seniors Week have been held

A mixture of events at the local level and Clarence wide events have been held

20 meetings of the CHAC have been held. Several of these have been held in the community

Each of the Aldermen have received a copy of the final 2017 Plan with an associated letter outlining the role of the CHAC and History Officer

Each of the history groups and societies in Clarence have received a letter advising that the 2017 Plan has been finalised and outlining the role of the CHAC and History Officer

Information about the role of the CHAC and History Officer has been placed on the CCC website

A timeline of significant dates in Clarence has been compiled and events to acknowledge these have been held

All local schools have been contacted to raise awareness about what Council can provide to help support their teaching about local history e.g. publications, presentations by the History Officer etc

Links between the CHP and other areas of Council (e.g. positive ageing, community health and wellbeing, asset management and city planning etc) have been strengthened

An increased number of younger members of the community are engaging with cultural history

Celebration of the cultural history of Clarence is both inclusive and representative

Partnership opportunities with other organisations/groups/private industry involved with cultural history have occurred

STRATEGY 3

Improve collection management

Improve the management and preservation of collections and records.

ACTIONS

Higher priority actions

1. Encourage and facilitate sharing of skills and knowledge between history groups and societies about recording oral histories and maintaining these recordings.	ONGOING
2. Continue to assist local history groups where required in the conservation, promotion and cataloguing of their collections.	ONGOING
3. Coordinate with local history groups to encourage digital storage of oral histories on Council facilities in order to provide a backup system.	ONGOING

Lower priority actions

4. Acknowledge that collections management is a huge task, especially for volunteer groups. Assist groups to prioritise collection management tasks.	ONGOING
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HOW SHALL WE MEASURE THE PLAN'S SUCCESS?

History groups and societies are sharing their skills and knowledge about recording oral histories and how to maintain these recordings

A digital database has been created by Council to store backup copies of oral history recordings held by history groups and societies

Groups have been assisted to prioritise collection management tasks

For the purposes of this Plan, cultural history is taken to mean the community's inheritance from the past, relating to stories and knowledge, whether this is in written or oral form

DEFINING CULTURE, HERITAGE, AND HISTORY

CULTURE

There are many definitions of culture. However the common feature is a recognition of the integral relationship of culture to human society – it is evolutionary, it is diverse, it is an essential part of who we are and a way of defining who we are. It is about how the environment impacts on us and how we react to our environment as individuals and as a community.

Culture includes:

- Education
- Religion and beliefs
- Urban and environmental design
- Heritage
- Arts and entertainment
- Sports and leisure
- Tourism
- Politics
- The media (TV, radio, social media)

CULTURAL HERITAGE

Cultural heritage is the community's inheritance from the past which provides evidence of human occupation or endeavour. Cultural heritage can exist in many forms including:

- Built heritage
- Cultural landscapes
- Moveable heritage (artefacts)
- Intangible heritage (folklore, ideas, customs and knowledge)
- Rituals and ways of life
- Archaeological sites

HISTORY

History is the stories and knowledge of the past, whether this is in written or oral form. History contributes to the understanding and awareness of places of cultural heritage.

SCOPE

This Plan is intended to value the living history of the City of Clarence.

The main historical themes identified during the consultation for the 2009 Plan were:

- Indigenous relationship with the land and early European activity
- Early settlers, farming and townships
- The development of Clarence
- Times of hardship
- Shipping and transport
- Industry
- Significant events in the history of Clarence e.g. the Bridge disaster

In developing the 2009 Plan there were also a number of key aspects of cultural heritage that were considered for inclusion. These were:

- Built heritage and urban character
- Cultural landscapes
- Moveable heritage (artefacts)
- Intangible heritage (folklore, ideas, customs and knowledge)
- Rituals and ways of life

These themes and key aspects also apply to the 2017 Plan.

The above themes and aspects of cultural heritage are, to some extent, represented in this Plan. However, the extent of each varies, and has been informed by the results of consultation with the community, Aldermen and Council staff.

As outlined on p.8 it is beyond the practical scope of the 2017 Plan to include approaches to the built or natural heritage of Clarence. Built heritage is the responsibility of Council's City Planning group with advice from Council's heritage architect and informed by the Clarence Interim Planning Scheme 2015 and natural heritage is the responsibility of the Asset Management Group.

However, it is acknowledged that this was a concern that presented itself during community consultation for both plans and this concern is addressed on p.8 of this plan.

CONSULTATION

Consultation for the 2009 Plan

There was thorough community consultation during the preparation of the 2009 Plan including:

- A call for written submissions from a large number of stakeholder groups
- 15 interviews with selected key stakeholder representatives
- Distribution of 130 questionnaires

There was also consultation with Council staff across all areas that the plan was expected to intersect.

Key findings from this consultation process demonstrated that the current management of cultural history in Clarence by Council was regarded as good in some areas, though lacking in others. The strengths were considered to include the interest that CCC is taking in its cultural history and the implementation of interpretation signs. Weaknesses included a lack of strategic direction. Built heritage was of a particular concern, including the threat of inappropriate development. Lack of management and the threat of loss of records, stories and photographs were also of concern.

Consultation for the 2017 Plan

Due to the comprehensive nature of consultation for the 2009 Plan the themes and key findings were not expected to have changed significantly. The focus of the consultation for the review of the plan was to assess how the existing plan had performed and generate ideas and actions to take the plan into the next five years.

The review process for the current Plan is outlined below.

Strategy review of the 2009 Plan

Each action under the three strategies in the 2009 Plan were examined to determine what progress had occurred and whether the action should be included in the 2017 Plan.

Consultation with Council staff

A workshop and meeting with CCC staff from work areas that interact with the 2009 Plan were conducted in December 2015. Staff from the following areas attended: *Marketing and Communications, Arts and Events, Asset Management, City Planning and Youth and Community Development*.

Council staff were asked to:

- Identify the area/s of the plan relevant to, or that had crossovers with their work area
- Provide feedback or input on actions that had impacted upon their area
- Offer suggestions on how better to take an integrated approach across work groups
- Report on how the plan impacted on or was impacted upon by other Council plans relevant to their area
- Provide suggestions on possible new programs/strategies for taking the plan into the next five years.

This event generated a range of ideas and revealed some interesting crossovers with different work areas.

Alderman workshop

A workshop was held with Aldermen to seek input and approve the community consultation approach for the review.

Community consultation workshop

A community consultation workshop was held on 5 April 2016 at the Rosny LINC. Letters of invitation were sent out to key stakeholders including: CHAC members, local history group representatives, relevant state government agencies, aboriginal organisations and interested community members.

The workshop was advertised in The Mercury and Eastern Shore Sun newspapers, through Council newsletters and social media platforms. People who were unable to attend the workshop were invited to send written or verbal comments

A list of workshop attendees and people who submitted feedback after the workshop can be found in Appendix A.

At the workshop a summary of what the 2009 Plan had achieved was presented and an explanation of why a review was needed was discussed. Each of the actions under the three strategies in the 2009 Plan were assessed to determine what was still relevant, what wasn't complete and what should be carried forward into the new plan. This was followed by a brainstorming session to generate new ideas to take the 2017 Plan into the next five years.

SUMMARY OF KEY FINDINGS

The key findings from the CCC staff workshop and meeting, the community workshop, plus a small number of written comments from people who were unable to attend the community workshop are listed below:

History room/Visitor information centre

Over the years there have been a number of community representations for a history room/visitor information centre. The community workshop strongly supported addressing this once again in the 2017 Plan. It was acknowledged that a centre would require significant resources to establish and staff. It was also acknowledged that the audiences for local history interpretation and visitor information, whilst having some overlap, are quite different. A need to scope all the different options was identified with particular recognition that the landscape for interpretation has changed significantly since the 2009 plan, and it was widely recognised that there is a much greater emphasis now on digital resources rather than a 'bricks and mortar' approach.

Aboriginal heritage

There is an incredibly rich and significant Aboriginal heritage in Clarence e.g. Risdon Cove, Bedlam Walls, numerous midden sites etc. Interpreting and celebrating this has always been challenging for CCC as there are many different groups and individuals with varying and sometimes opposing views. There is a strong desire to acknowledge and interpret this better but uncertainty as to how best to approach this.

Working with other agencies/organisations

How can CCC strengthen links and work better with agencies such as Parks and Wildlife Service. (PWS)

Richmond

There is significant potential/need to increase the interpretation of the cultural history of the town plus the Aboriginal and agricultural heritage of the region.

Community Halls and other buildings/assets

Council holds a stock of community halls and other assets some of which have a rich history but are underutilised. (refer Appendix B)

SUMMARY OF KEY FINDINGS

Design and maintenance of interpretation

Interpretation needs to be responsive to the setting, creative and allow for discovery i.e. think beyond 'signs on sticks'.

Cultural History Advisory Committee

Agreement that this is working well but there is a need to raise awareness about its existence/ role (and what it doesn't do) in the wider community and with Council's elected members.

History Officer

There is strong support for the History Officer role.

Celebrating/acknowledging lesser known aspects of Clarence's cultural history

Clarence's cultural history includes often overlooked areas such as multicultural heritage and the cultural heritage of areas of lower privilege such as some of the broad acre housing developments from the 1950s onwards.

PRINCIPLES

The Plan is based on six principles:

1. Council recognises that the cultural history of Clarence is a living and evolving history, comprising both oral and material sources. It includes the significance of indigenous and non-indigenous (both early and more recent) stories, artefacts, rituals, ways of life and land use.
2. Council recognises that Clarence has a rich and diverse history, encompassing the city as a whole, as well as individual areas, places and stories within it. Council also recognises that there are many pasts, and many different stories of the past. Different perceptions, places, people and experiences all combine to tell us different aspects of our past, and each is valid.
3. Council recognises that appropriate management and conservation is fundamental to preserving the collections and records of the cultural history of Clarence.
4. Council recognises that the cultural history of Clarence provides the community with a sense of identity and place. As such, cultural history needs to be accessible to the community in relevant and meaningful ways, to further their understanding and appreciation.
5. Council will encourage the participation of the community in their cultural history, and will seek to support and promote activities and events which foster this, in order to enrich the community and their sense of pride.
6. Council will offer support to local groups and organisations to further the collection, documentation and preservation of the rich and diverse heritage of Clarence. Council will also seek the involvement and consultation of groups in Council's approach to cultural history.

STRATEGIC CONTEXT

The review of the 2009 Plan and development of the 2017 Plan is consistent with Council's Strategic Plan 2016-2026. It is strongly linked to Council's vision and mission statements, viz:

Vision

Clarence... a vibrant, prosperous, sustainable city

Mission

Responding to the changing needs of the community through a commitment to excellence in leadership, advocacy, innovative governance and service delivery

Goal: Clarence is a city that fosters creativity, innovation and enterprise.

Strategy 5.7: 'Develop a framework for the identification, preservation and promotion of the unique cultural history of Clarence and further development of cultural tourism.

RELATED POLICY

This Cultural History Plan relates to and intersects with a number other Council plans and policies including:

Cultural Arts Plan 2012-16

Cultural Heritage Interpretation Plan 2012

Economic Development Plan 2016-2021

Clarence Events Plan 2014-2018

Clarence Tracks and Trails Strategy 2012

Clarence Interim Planning Scheme 2015

Collections Management Policy 2010

Community Health and Wellbeing Plan 2013-2018

Reserve Activity Plans

Positive Ageing Plan 2012-2016

Public Art Code

Public Open Space Policy 2013

Disability Access Plan 2014-2018

Youth Plan 2008-2012

IMPLEMENTATION MONITORING AND REVIEW

The 2017 Plan identifies a number of strategic actions which aim to protect, promote and celebrate the cultural heritage of Clarence. The 2017 Plan should not be considered an end in itself, but a living and evolving document.

Each action in the 2017 Plan has a clear review timeline and indicators for measuring its success.

It is the role of the Cultural History Advisory Committee to assist Council with the practical implementation and review of the Plan.

Reporting

Community and organisations will be provided updates through the following avenues:

- Annual Report
- Quarterly newsletters
- Other means as appropriate throughout the year i.e. regular updates in council rates newsletter, website etc.

Council:

- Minutes will be distributed quarterly for all committee and working party meetings to all committee members, aldermen, relevant council officers, other relevant council advisory committees, and relevant organisations associated with the plan.
- An annual report shall be submitted to the Council outlining the committee's operations and activities and its forward objectives.
- The activities of the committee will also be highlighted in Council's quarterly reports and Annual Report.
- Any other reports required will be on an as needed basis.

Funding

Activities and projects in support of the 2017 Plan's strategies should be implemented and funded through Council's Annual Plan and capital works program.

In addition, funding and grant opportunities through other organisations, including Arts Tasmania, the Tasmanian Community Fund and various Commonwealth Government grants should be sought where applicable.

Communication on Budget matters

The committee, when forward planning and considering upcoming actions should communicate recommendations to Council on a timely basis prior to annual budget deliberations.

APPENDIX A

Community workshop (5 April 2016) attendees plus list of people who submitted written/ verbal comments:

Anna Hodgman	Student & resident
Lois Green	Coal River Valley Historical Society
Maurice Appleyard	Tas Family History Society
Jenni Burdon	Parks & Wildlife Service, Heritage Officer
Allan Smith	Bellerive Historical Society
Anne Marmion	Bellerive Historical Society
Pene Marshall	Cultural History Advisory Committee/South Arm Peninsula History
Philip Sweetingham	Lindisfarne Historical Society
Jim Lamont	Hobart Vintage Machinery Society
Andy Hocken	Hobart Vintage Machinery Society
Malcolm Dillon	Hobart Vintage Machinery Society
John Sargent	Bellerive Historical Society
Margaret Petrovic	Aboriginal Heritage Tasmania
Steve Gall	Aboriginal Heritage Tasmania
Kaye McPherson	Lia Pootah Community
Alan Townsend	History Officer CCC
Tracey Cockburn	Arts & Cultural Development Coordinator CCC
Gabrielle Balon	Workshop facilitator/interpretation consultant
Written/verbal comments were provided by:	
Allan Smith	Member, Bellerive Historical Society
Margaret Reynolds	Member, Coal River Valley and Richmond Promotion Group
Jane Armstrong	Resident, Dulcot

APPENDIX B

Key findings – actions which fall outside the area of the CHP

Some of the findings identified in the consultative process would require actions which either fall outside the scope of the CHP or require actions coordinated across multiple business units within Council.

Three such actions are:

- Work with Council's Asset Management Group to undertake an audit of assets (e.g. community halls, public buildings, event spaces) owned by CCC to identify those which are underutilised. Once identified, promote these assets for use by community groups and individuals. Using these assets helps keep their history alive.
- Investigate ways to increase the use of community halls in Clarence. These were once the centres of their communities and they have the potential to fulfil this role again. Using these buildings helps to keep their history, and the history of the surrounding community, alive.
- Develop a corporate policy framework for dealing with aboriginal cultural heritage issues within the city.

ACKNOWLEDGEMENTS

Clarence City Council would like to thank the staff and community members who assisted with the review of the Plan through the consultation process and by providing feedback on the draft plan.



12. ALDERMEN'S QUESTION TIME

An Alderman may ask a question with or without notice at Council Meetings. No debate is permitted on any questions or answers.

12.1 QUESTIONS ON NOTICE

(Seven days before an ordinary Meeting, an Alderman may give written notice to the General Manager of a question in respect of which the Alderman seeks an answer at the meeting).

Nil.

12.2 ANSWERS TO QUESTIONS ON NOTICE

Nil.

12.3 ANSWERS TO PREVIOUS QUESTIONS TAKEN ON NOTICE

Nil.

12.4 QUESTIONS WITHOUT NOTICE

An Alderman may ask a Question without Notice of the Chairman or another Alderman or the General Manager. Note: the Chairman may refuse to accept a Question without Notice if it does not relate to the activities of the Council. A person who is asked a Question without Notice may decline to answer the question.

Questions without notice and their answers will not be recorded in the minutes.

The Chairman may refuse to accept a question if it does not relate to Council's activities.

The Chairman may require a question without notice to be put in writing. The Chairman, an Alderman or the General Manager may decline to answer a question without notice.

13. CLOSED MEETING

Regulation 15 of the Local Government (Meetings Procedures) Regulations 2015 provides that Council may consider certain sensitive matters in Closed Meeting.

The following matter has been listed in the Closed Meeting section of the Council Agenda in accordance with Regulation 15 of the Local Government (Meeting Procedures) Regulations 2015.

13.1 APPLICATIONS FOR LEAVE OF ABSENCE

This report has been listed in the Closed Meeting section of the Council agenda in accordance with Regulation 15 of the Local Government (Meeting Procedures) Regulation 2015 as the detail covered in the report relates to:

- applications by Aldermen for a Leave of Absence;

Note: The decision to move into Closed Meeting requires an absolute majority of Council.

The content of reports and details of the Council decisions in respect to items listed in “Closed Meeting” are to be kept “confidential” and are not to be communicated, reproduced or published unless authorised by the Council.

PROCEDURAL MOTION

“That the Meeting be closed to the public to consider Regulation 15 matters, and that members of the public be required to leave the meeting room”.