

Prior to the commencement of the meeting, the Mayor will make the following declaration:

*“I acknowledge the Tasmanian Aboriginal Community as the traditional custodians of the land on which we meet today, and pay respect to elders, past and present”.*

The Mayor also to advise the Meeting and members of the public that Council Meetings, not including Closed Meeting, are audio-visually recorded and published to Council’s website.

**COUNCIL MEETING**  
**MONDAY 27 NOVEMBER**

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**BUSINESS TO BE CONDUCTED AT THIS MEETING IS TO BE CONDUCTED IN THE ORDER IN WHICH IT IS SET OUT IN THIS AGENDA UNLESS THE COUNCIL BY ABSOLUTE MAJORITY DETERMINES OTHERWISE**

**COUNCIL MEETINGS, NOT INCLUDING CLOSED MEETING, ARE AUDIO-VISUALLY RECORDED AND PUBLISHED TO COUNCIL’S WEBSITE**



**1. APOLOGIES**

Nil.

**2. CONFIRMATION OF MINUTES**

(File No 10/03/01)

**RECOMMENDATION:**

That the Minutes of the Council Meeting held on 6 November 2017, as circulated, be taken as read and confirmed.

**3. MAYOR'S COMMUNICATION****4. COUNCIL WORKSHOPS**

In addition to the Aldermen's Meeting Briefing (workshop) conducted on Friday immediately preceding the Council Meeting the following workshops were conducted by Council since its last ordinary Council Meeting:

**PURPOSE****DATE**

Presentation – Small Business Mentoring Service

Cultural History Plan

South Arm Skate Park

Kangaroo Bay Development

13 November

Waverley Flora Park Avenue of Honour

Derwent Ferry Study

Dorans Road

20 October

**RECOMMENDATION:**

That Council notes the workshops conducted.

<b>5. DECLARATIONS OF INTERESTS OF ALDERMAN OR CLOSE ASSOCIATE</b> (File No)
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In accordance with Regulation 8 of the Local Government (Meeting Procedures) Regulations 2015 and Council's adopted Code of Conduct, the Mayor requests Aldermen to indicate whether they have, or are likely to have a pecuniary interest (any pecuniary benefits or pecuniary detriment) or conflict of interest in any item on the Agenda.

## **6. TABLING OF PETITIONS**

(File No 10/03/12)

(Petitions received by Aldermen may be tabled at the next ordinary Meeting of the Council or forwarded to the General Manager within seven (7) days after receiving the petition.

Petitions are not to be tabled if they do not comply with Section 57(2) of the Local Government Act, or are defamatory, or the proposed actions are unlawful.

The General Manager will table the following petitions which comply with the Act requirements:

**7. PUBLIC QUESTION TIME**

Public question time at ordinary Council meetings will not exceed 15 minutes. An individual may ask questions at the meeting. Questions may be submitted to Council in writing on the Friday 10 days before the meeting or may be raised from the Public Gallery during this segment of the meeting.

The Chairman may request an Alderman or Council officer to answer a question. No debate is permitted on any questions or answers. Questions and answers are to be kept as brief as possible.

**7.1 PUBLIC QUESTIONS ON NOTICE**

(Seven days before an ordinary Meeting, a member of the public may give written notice to the General Manager of a question to be asked at the meeting). A maximum of two questions may be submitted in writing before the meeting.

Questions on notice and their answers will be included in the minutes.

Nil.

**7.2 ANSWERS TO QUESTIONS ON NOTICE**

Nil.

**7.3 ANSWERS TO PREVIOUS QUESTIONS TAKEN ON NOTICE**

Nil.

**7.4 QUESTIONS WITHOUT NOTICE**

The Chairperson may invite members of the public present to ask questions without notice.

Questions are to relate to the activities of the Council. Questions without notice will be dependent on available time at the meeting.

Council Policy provides that the Chairperson may refuse to allow a question on notice to be listed or refuse to respond to a question put at a meeting without notice that relates to any item listed on the agenda for the Council meeting (note: this ground for refusal is in order to avoid any procedural fairness concerns arising in respect to any matter to be determined on the Council Meeting Agenda).

When dealing with Questions without Notice that require research and a more detailed response the Chairman may require that the question be put on notice and in writing. Wherever possible, answers will be provided at the next ordinary Council Meeting.

**8. DEPUTATIONS BY MEMBERS OF THE PUBLIC**

(File No 10/03/04)

(In accordance with Regulation 38 of the Local Government (Meeting Procedures) Regulations 2015 and in accordance with Council Policy, deputation requests are invited to address the Meeting and make statements or deliver reports to Council)

**9. MOTIONS ON NOTICE****9.1 NOTICE OF MOTION- ALD MCFARLANE  
MAST – ILLUMINATED BUOYS**

(File No 10-03-05)

In accordance with Notice given Ald McFarlane intends to move the following Motion:

“That Council write to Marine and Safety Tasmania (MAST) requesting that all marker buoys and navigational markers be required to be lit during the hours of darkness”.

**EXPLANATORY NOTES**

Jet skies are a common form of sea craft used as water transport and sea rescue vehicles. They are not seen as being suitable for night use, however, when they are the only transport for campers in remote areas, at night, travelling on them becomes a hazard we can help prevent.

A recent death of a well-known surfer has highlighted the need to reconsider the safety needs for users of these sea craft across the state.

As times change, we need to keep up with risks to the general public and act accordingly.

K McFarlane  
**ALDERMAN**

***GENERAL MANAGER’S COMMENTS***

*A matter for Council determination*

**9.2 NOTICE OF MOTION- ALD MCFARLANE  
LGAT – STATE PLANNING PROVISIONS**  
(File No 10-03-05)

In accordance with Notice given Ald McFarlane intends to move the following Motion:

“That Council write to LGAT seeking a combined request to the Minister for Planning; to initiate a review of the State Planning Provisions for the Residential Standards (SPP)”.

**EXPLANATORY NOTES**

The Tasmanian Planning Commission presented a review of the Draft State Planning Provisions on 9 December 2016.

Discussions on future reviews of the State SPPs indicate the Government is considering a review of the Southern Regional Land Use Strategy (STRLUS) without regard to the TPCs recommendations.

A year later there is enough evidence for the Residential standards to be given a priority; with this highlighted in the Commission’s report (Page 63/5).

- “5. ***Review of the General Residential and Inner Residential zones***  
*That the General Residential and Inner Residential zones are reviewed as a priority to:*
- a. evaluate the performance of the residential development standards and whether the intended outcomes have been realised, including delivering greater housing choice, providing for infill development and making better use of existing infrastructure;*
  - b. consider the validity of the claims that the standards are resulting in an unreasonable impact on residential character and amenity; and*
  - c. introduce drafting that is more consistent with the conventions that apply to the SPPs general”.*

The current standards have led to confusion and anxiety in our communities with overshadowing, loss of privacy, solar access, height, private open space and site coverage to name a few.

Contd on Page 12...

A review will highlight these concerns across the State and give the community some expectation of change that can ensure their concerns are heard.

Also, the process is difficult to assess, as expressed in the Staff response (2 May 2016).

*“In its current form, the inability to defend the refusal of an inappropriate use is inefficient and does not meet community and industry expectations. If the intent is to provide a pathway to a ‘guaranteed’ approval there are more efficient ways of providing for it. Requiring a discretionary development application increases the time required to assess an application (compounded by any potentially appeal processes), increases the cost to prepare the application (again compounded with potentially appeal costs) and frustrates a community who have been ‘consulted’ within a system that does not allow genuine concerns or opposition to be afforded sufficient weight to influence the determination of the proposal”.*

K McFarlane  
**ALDERMAN**

**GENERAL MANAGER’S COMMENTS**  
*A matter for Council determination*



**10. REPORTS FROM OUTSIDE BODIES**

This agenda item is listed to facilitate the receipt of both informal and formal reporting from various outside bodies upon which Council has a representative involvement.

**10.1 REPORTS FROM SINGLE AND JOINT AUTHORITIES**

Provision is made for reports from Single and Joint Authorities if required

Council is a participant in the following Single and Joint Authorities. These Authorities are required to provide quarterly reports to participating Councils, and these will be listed under this segment as and when received.

- **SOUTHERN TASMANIAN COUNCILS AUTHORITY**  
Representative: Ald Doug Chipman, Mayor or nominee

**Quarterly Reports**

The Southern Tasmanian Councils Authority has distributed its Quarterly Report for the period 1 July to 30 September 2017 (refer Attachment 1).

**RECOMMENDATION:**

That the Quarterly Report of the Southern Tasmanian Councils Authority for the Quarter ending 30 September 2017 be received.

**Representative Reporting**

- **COPPING REFUSE DISPOSAL SITE JOINT AUTHORITY**  
Representatives: Ald Jock Campbell  
(Ald James Walker, Deputy Representative)

**Quarterly Reports**

September Quarterly Report pending.

**Representative Reporting**

- **TASWATER CORPORATION**

**10.2 REPORTS FROM COUNCIL AND SPECIAL COMMITTEES AND OTHER REPRESENTATIVE BODIES**

Nil.



# **Southern Tasmanian Councils Authority**

## **Quarterly Report to Members**

### **September 2017**



Each Joint Authority is required under Section 36B of the Local Government Act, 1993 to provide to its members a quarterly report that includes a statement of general performance and a statement of its financial performance

This report covers the three month period ending 30 September 2017. This report with all previous quarterly reports is published on the Authorities website: [www.stca.tas.gov.au](http://www.stca.tas.gov.au)

The Southern Tasmanian Councils Authority commenced on 1 July 2006

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# **Quarterly Report to Member Councils September 2017**

## **REPORT SUMMARY**

The Authority held an Ordinary Board Meeting on 25 September 2017. The meeting was hosted by Commissioner Adriana Taylor and was held at the Huon Valley Council Chambers.

Matters considered at the meeting included:

- 1. Huon Valley Council update**
- 2. Regional Climate Change Initiative Update**
- 3. Service Agreement Renewal**
- 4. Member updates on Planning Reform and South Eastern Regional Development Association**
- 5. Waste Strategy South Update**
- 6. Governance and Audit Committee Update**
- 7. STCA Financial Report to 31 August 2017**
- 8. Projects of Regional Significance correspondence**

## 1. HUON VALLEY COUNCIL UPDATE

Commissioner Taylor provided an update on activities in the Huon Valley since being appointed to that position by the Minister.

The Huon Valley municipal area has a population of around 16,700 people. The Council has a staff of over 150 and is a diverse organisation which is responsible for many of the traditional services most people expect from a council but it also runs medical centres, retirement villages and child care facilities. The Council employs doctors, nurses and administration staff and manages independent living units in Dover, Geeveston and Cygnet.

A number of projects have been progressed in the area since the Commissioner's arrival, including:

- Purchase of a building in the centre of Huonville which will house the Visitor Information Centre;
- The development of a land strategy;
- Development of Heritage Park, Geeveston into a regional attraction to include a Sky Bridge (a small scale replica of the Tahune Air Walk), play equipment, toilets, and BBQ area;
- New kayak launching facilities on the Huon River;
- New jetty opposite the Esplanade at Huonville;
- The letting of two major tenders, to start the first stage of the drainage upgrade for Huonville by installing new stormwater pipes under Shield Street to increase capacity of the system and to reconstruct sections of Esperance Coast Road which are affected by major landslips.



## 2. REGIONAL CLIMATE CHANGE INITIATIVE UPDATE

A number of initiatives are being pursued as part of the Regional Climate Change Initiative, including the Southern Tasmanian Coastal Monitoring project which is an inventory of coastal data, information and resources to assist councils and key stakeholders understanding of coastal processes and adaptation planning.

Southern councils in collaboration with Sustainable Living Tasmania (SLT) are delivering the Home Energy Bulk Buy program over the following stages: heat pumps/insulation/LED lighting; hot water – solar/heat pump; and rooftop solar/batteries. The project was launched on 5 September 2017.

The development of a regional profile of community carbon emissions for use in the development of a carbon strategy and suitable mitigation actions has commenced as has a project to develop climate and resilience communication resources for use by southern councils across their communities.



## 3. SERVICE AGREEMENT RENEWAL

The Board approved a new Service Agreement between the Southern Tasmanian Councils Authority (STCA) and the Hobart City Council (HCC). Under the new agreement, which is to run for three years, the HCC will assist the STCA by providing financial and human resources support.

## 4. PLANNING REFORM AND SOUTH EASTERN REGIONAL DEVELOPMENT ASSOCIATION UPDATES

A Planning Reform update was provided to the STCA Board that noted that:

- Local Planning Provisions need to be consistent with the Southern Tasmania Regional Land Use Strategy (STRLUS) which in turn needs to be consistent with State Planning Provisions;
- The Planning Policy Unit has noted a number of minor changes are needed to the STRLUS to bring it into alignment with the State Planning Policies. The Technical Reference Group will work with the Planning Policy Unit to effect these changes;
- The State Planning Provisions (SPPs) released are in respect of Biodiversity, water quality, cultural values, bushfire management and aboriginal heritage;
- Some project work has been commissioned by the Technical Reference Group.

The South Eastern Regional Development Association (SERDA) has completed a Regional Workforce Plan in conjunction with the South Central Councils Group. Both organisations were provided with funding from the Department of State Growth through Skills Tasmania with each of the SERDA Councils also contributing funding. KPMG were appointed to prepare both Regional Workforce Plans with the SERDA document now being circulated and considered by the State Government as to how best to implement the recommended actions that will support and facilitate further social and economic activity in the growing south-east.

## **5. WASTE STRATEGY SOUTH UPDATE**

Waste Strategy South received a presentation from Mr Darryl Nichols, Founder and Partner of the Garage Sale Trail program. The presentation included an overview of the 2017/18 program and activities as well as the outcomes of the 2016 Garage Sale Trail. This year's event will be held on Saturday 21 and Sunday 22 October.

Mat Greskie, Chief Executive Officer of Dulverton Waste Management and Amanda Wilson, Communications Officer, Etela Project Management and Communication provided a presentation on the Statewide Waste Communication Memorandum of Understanding (MOU). This MOU will see Waste Strategy South, Cradle Coast Waste Management and Northern Tasmania Waste Management Group participate in statewide communication initiatives and programs.

An Action Plan, to cover the years 2017 – 2019, has been approved which will help guide the activities of Waste Strategy South.

## **6. GOVERNANCE AND AUDIT COMMITTEE UPDATE**

Items discussed at the Governance and Audit Committee, included the STCA financials, STCA Service Agreement, a Regional Climate Change update, Waste Strategy South Minutes and Action Plan.

## **7. STCA FINANCIAL REPORT TO 31 AUGUST 2017**

The STCA received the financial report to 31 August 2017.

## **8. PROJECTS OF REGIONAL SIGNIFICANCE**

The STCA Board discussed the Treasurer's correspondence in relation to changes to the current Projects of Regional Significance process. It was agreed that the STCA would provide a submission as part of the consultation process. The submission focused on the following main points:

- Eligibility criteria for the declaration of major projects is open to wide interpretation based on the opinion of the Minister;
- The eligibility criteria uses the terms 'significant', 'significance', or 'potentially significant' in relation to four of the six criteria. The draft Bill does not contain a definition of 'significant' leaving these criteria open to interpretation;
- The proposed process seems overly complex and prolonged with no real conceivable benefit to the proponent than the normal development application process;
- Existing structures within both State and Local Government can address the issues of concern raised within the discussion paper which are used as the basis for the Bill.

## **11. REPORTS OF OFFICERS**

### **11.1 WEEKLY BRIEFING REPORTS**

(File No 10/02/02)

The Weekly Briefing Reports of 6, 13 and 20 November 2017 have been circulated to Aldermen.

#### **RECOMMENDATION:**

That the information contained in the Weekly Briefing Reports of 6, 13 and 20 November 2017 be noted.



## 11.2 DETERMINATION ON PETITIONS TABLED AT PREVIOUS COUNCIL MEETINGS

### 11.2.1 PETITION – REQUEST TO SEAL BACK OVAL CARPARK AT ANZAC PARK, LINDISFARNE

(File No 10-03-12; L019-19A)

#### EXECUTIVE SUMMARY

##### PURPOSE

To consider the petition tabled at Council's Meeting of 6 November 2017 requesting Council to seal the back oval carpark at Anzac Park in Lindisfarne.

##### RELATION TO EXISTING POLICY/PLANS

Council's Strategic Plan 2016-2026 is relevant.

##### LEGISLATIVE REQUIREMENTS

Section 60 of the Local Government Act, 1993 requires Council to formally consider petitions within 42 days of receipt.

##### CONSULTATION

No consultation has been undertaken with the local community in regards to the sealing of the carpark.

Consultation is underway with the user clubs on a draft Master Plan for Anzac Park.

##### FINANCIAL IMPLICATIONS

No funds have been allocated within the 2017/2018 Annual Plan to seal the back oval carpark at Anzac Park.

#### RECOMMENDATION:

- A. That Council notes the intent of the petition.
- B. That Council authorises the General Manager to write to the petitioners advising them car parking is being considered as part of the preparation of a draft Master Plan for the entire Anzac Park and they will have an opportunity to provide feedback during the community consultation phase of the Project.

---

## ASSOCIATED REPORT

### 1. BACKGROUND

- 1.1. A petition containing 8 signatories was tabled at Council's Meeting held on Monday, 6 November 2017 requesting: *"The sealing of the Back Oval Carpark at Anzac Park in Lindisfarne"*.

- 1.2. A copy of the covering letter and an aerial photo showing the proposed sealing of the carpark is Attachment 1.

## **2. REPORT IN DETAIL**

- 2.1. Council funded the Park Road carpark upgrade and sealing project in 2015/16.
- 2.2. Council also funded the carpark upgrade and sealing project for the rear of the Bowl's Club carpark in 2015/16.
- 2.3. Council officers are currently undertaking Master planning for the entire Lindisfarne Sport Precinct area, which includes the playground and Anzac Memorial Park, Lindisfarne.
- 2.4. At present, consultation is being undertaken with the user sport clubs being Beltana Bowls Club, Lindisfarne Football Club, Lindisfarne Cricket Club, Lindisfarne Tennis Club and Lindisfarne AFL Masters Club.
- 2.5. The outcomes of the master planning exercise will be reported to a future Council Workshop and then following Council adoption of the draft Master Plan, go through a community consultation phase before Council considers the final Master Plan.
- 2.6. The petitioners will have an opportunity to provide further feedback during the community consultation phase.
- 2.7. Delivering individual components of the Master Plan will be subject to future budget considerations.
- 2.8. It is relevant to complete the adoption of the final Master Plan before consideration is given to sealing any gravel areas at the venue.

### **3. CONSULTATION**

#### **3.1. Community Consultation**

Consultation has presently been undertaken with the user sport clubs of the Anzac Park precinct. The local community will have an opportunity to provide feedback during the community consultation phase of the Master Plan project.

#### **3.2 State/Local Government Protocol**

Nil.

#### **3.3. Other**

Nil.

### **4. STRATEGIC PLAN/POLICY IMPLICATIONS**

**4.1.** Council's Strategic Plan 2016/2026, within the Goal Area Inclusion, contains the following Goal under A Well-planned Liveable City: *“Develop and implement a sport and active recreation strategy to monitor trends and changing needs, and provide sport and recreation infrastructure through a planned approach which encourages partnerships with local clubs, state or regional sporting organisations, and other levels of government”.*

**4.2.** Council's Strategic Plan 2016/2026 within the Goal Area Social Inclusion contains the following Community Safety and Well-being Strategy to: *“Provide essential infrastructure to support, sustain and enhance community safety and social well-being.”*

**4.3.** Council's Strategic Plan 2016/2026 under the Goal Area Social Inclusion has the following Public Spaces and Amenity Strategy to: *“Develop Plans to improve the amenity of public space.”*

### **5. EXTERNAL IMPACTS**

Nil.

**6. RISK AND LEGAL IMPLICATIONS**

Section 60 of the Local Government Act, 1993 requires Council to formally consider petitions within 42 days of receipt.

**7. FINANCE**

No funds have been allocated within the 2017/2018 Annual Plan to seal the back oval carpark at Anzac Park in Lindisfarne.

**8. ANY OTHER UNIQUE ISSUES**

Not applicable.

**9. CONCLUSION**

**9.1** Council Officers are working with consultants and user clubs to prepare a draft Master Plan for Anzac Park, before going to the local community for feedback.

**9.2** The Master Plan is looking at all elements of the Park including the provision and location of car parking for the facilities.

**9.3** It is prudent for the Master Plan work to be completed before any funds are adopted for sealing existing gravel car parking areas.

**9.4** The petitioners will have an opportunity to provide feedback on the draft Master Plan when it is advertised to the local community.

Attachments: 1. Covering Letter and Aerial Photo (2)

Ross Graham

**GROUP MANAGER ENGINEERING SERVICES**

L19-19A  
**RECEIVED**  
09 NOV 2017

Received From 8

To CLARENCE COUNCIL

BY: RECORDS

RE: BACK OVAL CAR PARK  
ANZAC PARK

WE THE UNDERSIGNED ARE ASKING IF YOU  
WOULD CONSIDER SEALING THIS AREA AS  
WHEN IT RAINS THIS BECOMES A MUD PIT.  
IT IS USED BY MANY PEOPLE, DOGS  
ARE COVERED IN MUD AS ARE THEIR  
OWNERS CARS, OTHERS COME TO ENJOY  
SPORT, BBQ'S, + VETERAN MEMORABILIA.  
ALSO THE BACK OVAL DRAINS ONTO IT.





**Disclaimer:** This map is a representation of the information currently held by Clarence City Council. While every effort has been made to ensure the accuracy of the product, Clarence City Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated. Copying or reproduction, without written consent is prohibited **Date:** Thursday, 16 November 2017 **Scale:** 1:3,286 @A4



### **11.3 PLANNING AUTHORITY MATTERS**

In accordance with Regulation 25 (1) of the Local Government (Meeting Procedures) Regulations 2015, the Mayor advises that the Council intends to act as a Planning Authority under the Land Use Planning and Approvals Act 1993, to deal with the following items:

**11.3.1 DEVELOPMENT APPLICATION D-2017/420 - 2/1 STANTON PLACE, CAMBRIDGE - CHANGE OF USE TO FITNESS CENTRE**  
(File No D-2017/420)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for a Change of Use to Fitness Centre at 2/1 Stanton Place, Cambridge.

**RELATION TO PLANNING PROVISIONS**

The land is zoned Commercial and subject to the Parking and Access Code under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

**LEGISLATIVE REQUIREMENTS**

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 29 November 2017 as agreed with the applicant.

**CONSULTATION**

The proposal was advertised in accordance with statutory requirements and 1 representation was received raising the issue of lack of car parking.

**RECOMMENDATION:**

A. That the Development Application for Change of Use to Fitness Centre at 2/1 Stanton Place, Cambridge (CI Ref D-2017/420) be approved subject to the following conditions and advice.

1. GEN AP1 – ENDORSED PLANS.
2. GEN AM5 – TRADING HOURS  
Trading hours must be within the following hours:  
Monday – Friday 4.45am – 8.30am; and  
4.30pm – 7.30pm.



3. The number of persons in attendance at any time must be restricted to 2 staff and 12 clients.
- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

---

## **ASSOCIATED REPORT**

### **1. BACKGROUND**

The last approved planning application for Unit 2 was D-2009/525, which approved a Change of Use to Light Industry in 2010, this included 4 parking spaces.

D-2008/261 approved a multi-tenancy facility consisting of warehouses, light industry, store and community building and signage in 2008.

### **2. STATUTORY IMPLICATIONS**

**2.1.** The land is zoned Commercial under the Scheme.

**2.2.** The proposal is discretionary because of the Sport and Recreation use and it does not meet the Acceptable Solutions in respect to car parking under the Scheme.

**2.3.** The relevant parts of the Planning Scheme are:

- Section 8.10 – Determining Applications;
- Section 23 – Commercial Zones; and
- Section E7.0 – Parking and Access Code.

**2.4.** Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

### **3. PROPOSAL IN DETAIL**

#### **3.1. The Site**

The site is a multi-tenancy facility comprised of 7 units that consist of warehouses, a fitness centre, consulting rooms and offices, and has frontages to Kennedy Drive, Stanton Place, Loongana Court and Cambridge Park Drive. The site has an existing approved car parking plan that provides for a total of 57 car parking spaces in the carpark outside the building, and 2 spaces are garaged within Unit 3. All of the parking spaces have been allocated to each of the approved uses. Unit 2 has a current car parking supply of 4 spaces.

#### **3.2. The Proposal**

The proposal is for a Change of Use of Unit 2 from Light Industry to a Fitness Centre. The use would involve a maximum of 2 staff members running fitness classes for up to 12 participants at any one time. Classes would run for 45 minutes between 5.00am to 8.00am, and then in the evening from 4.45pm to 7pm. The centre would be closed between 8.30am and 4.30pm. The applicant has advised that the centre will be used only by members and only for classes.

The floor area to be used would be 254m<sup>2</sup>. The proposal will involve a minor internal alteration of adding a toilet and shower. No external building works are proposed. A new sign is proposed that would replace the existing approved sign.

### **4. PLANNING ASSESSMENT**

#### **4.1. Determining Applications [Section 8.10]**

*“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:*

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

*but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.*

Reference to these principles is contained in the discussion below.

**4.2. Compliance with Zone and Codes**

The proposal meets the Scheme's relevant Acceptable Solutions of the Commercial Zone and Parking and Access Code, with the exception of the following.

Clause	Standard	Acceptable Solution (Extract)	Proposed
E6.6.1 A1	Number of Car Parking Spaces (Based on Car Parking Plan CPS 2007)	1 space per 25m <sup>2</sup> floor area (10.16 spaces for floor area of 254m <sup>2</sup> ).  The current use Light Industry has 4 car parking spaces. Therefore 6 additional spaces would be required.	No additional car parking proposed – variation of 6 spaces requested.

The proposed variation must be considered pursuant to the Performance Criteria (P1) of the Clause E6.6.1 as follows.

Performance Criteria	Comment
<i>“P1 - The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:</i>	See below
<i>(a) car parking demand;</i>	<p>The peak parking demand for the proposed business is predominately outside hours where other nearby businesses operate, the main business that will have similar opening hours will be another fitness centre in Unit 6, which has 4 car spaces and operates between 4.45am-8.30am and 4.30pm-7.30pm.</p> <p>The car parking demand during the business hours of the majority of other businesses on-site (8.30am-5.00pm) will be minimal due to the proposed business being closed between 8.30am and 4.30pm, the only overlap in parking demand would be between 4.30pm-5.00pm. The only other business operating at similar times would be another fitness centre.</p>

	Several of the businesses nearby advised they have 1 or 2 staff members at work before and after their normal business hours, and parking on-site before 8.30am and after 5.00pm is readily available.
(b) <i>the availability of on-street and public car parking in the locality;</i>	Council's Development Works Officer advised they would be concerned if this proposal relied on on-street parking, which is not available on Loongana Street or Stanton Place. However, due to the proposed business operating during early morning and evening times when most of the other businesses occupying the site are closed, the development would not cause an increase for on-street car parking demand.
(c) <i>the availability and frequency of public transport within a 400m walking distance of the site;</i>	There are no bus stops within 400m of the site.
(d) <i>the availability and likely use of other modes of transport;</i>	The closest bus stop is 1.3km away along Cambridge Road, where a bus runs every hour on a week day from Rosny Park.
(e) <i>the availability and suitability of alternative arrangements for car parking provision;</i>	There is limited availability of alternative arrangements for car parking.
(f) <i>any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;</i>	The hours of operation will be prior to the other businesses on-site opening, and re-opening when the other businesses are closing, except for the other fitness centre which will have similar operating hours.
(g) <i>any car parking deficiency or surplus associated with the existing use of the land;</i>	<p>The site had 2 surplus parking spaces in 2016, and then planning permit D-2016/36 for a fitness centre in Unit 6 was lodged and approved with a deficiency of 7 parking spaces. This variation was approved due to the business operating early morning and evening times when other businesses occupying the site are closed.</p> <p>As a result of this approved application, the site currently has a deficiency of 5 parking spaces, and it is evident parking on-site between 9.00am and 5.00pm can be difficult.</p>

(h) <i>any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of substantial redevelopment of a site;</i>	there are no credits
(i) <i>the appropriateness of a financial contribution in-lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity;</i>	Financial contribution in-lieu would not be appropriate as the site is located where Council would be unlikely to provide public parking facilities in the future.
(j) <i>any verified prior payment of a financial contribution in-lieu of parking for the land;</i>	There are no verified prior payments that have been made.
(k) <i>any relevant parking plan for the area adopted by Council;</i>	There are no relevant parking plans for the area adopted by Council.
(l) <i>the impact on the historic cultural heritage significance of the site if subject to the Local Heritage Code”.</i>	There is no historical cultural heritage significance of the site.

## **5. REPRESENTATION ISSUES**

The proposal was advertised in accordance with statutory requirements and 1 representation was received. The following issues were raised by the representor.

### **5.1. Concern over the Lack of Car Parking Space within the Area**

The representor has raised concern that there is currently a limited amount of car parking spaces within the area, and there is already an issue for clients of their business accessing parking, at times clients have had to park a 5-10 minute walk away.

- **Comment**

It is evident that parking on-site can be difficult on weekdays between 9.00am and 5.00pm, when all of the businesses on-site are operating. However, the proposed business will be operating primarily outside these hours. On this basis the use would not cause any significant impact on car parking availability.

**6. EXTERNAL REFERRALS**

The proposal was referred to Hobart Airport who advised they do not object to the proposal.

**7. STATE POLICIES AND ACT OBJECTIVES**

**7.1.** The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

**7.2.** The proposal is consistent with the objectives of Schedule 1 of LUPAA.

**8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS**

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

**9. CONCLUSION**

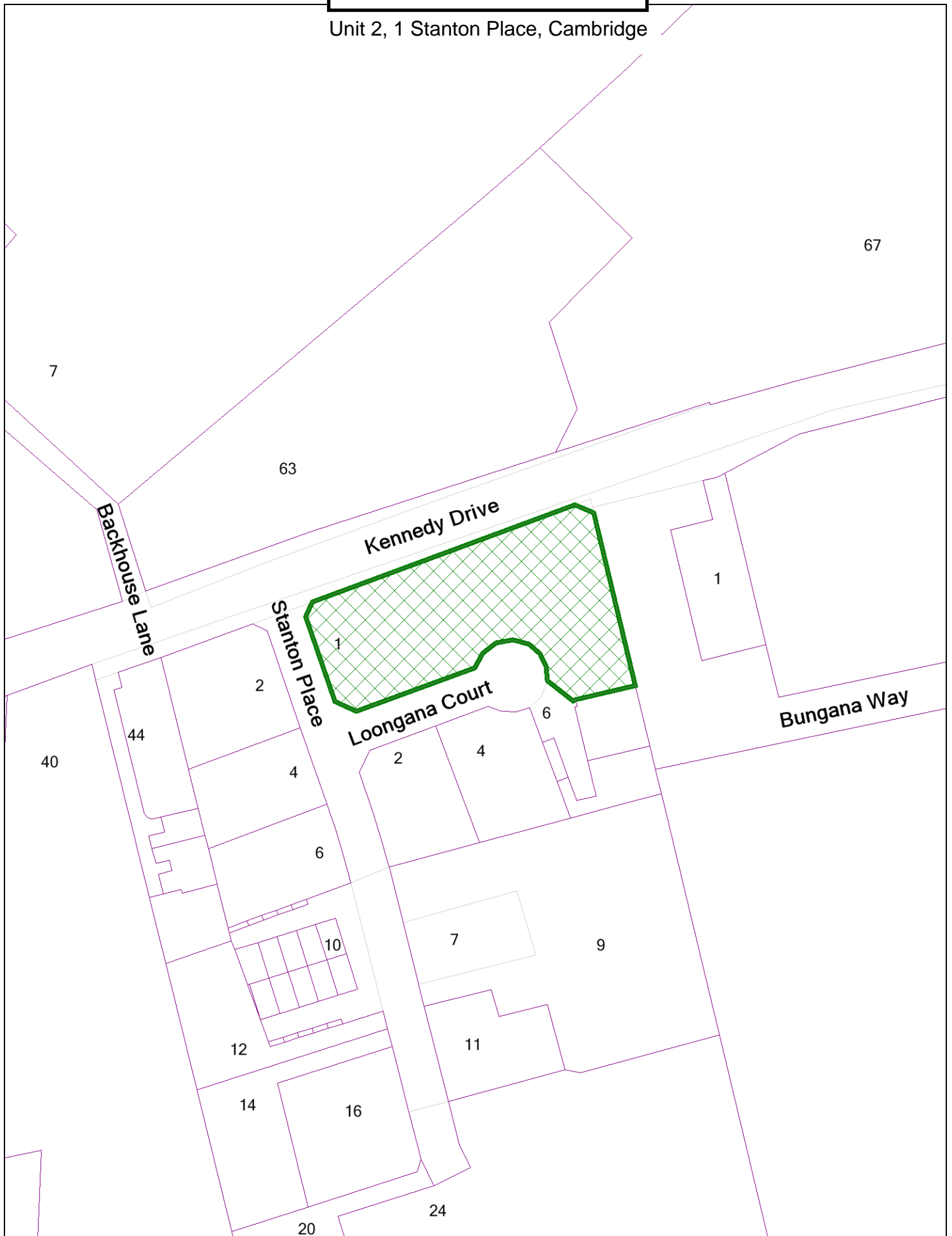
The proposal is for a Change of Use to Fitness Centre at 2/1 Stanton Place, Cambridge. The proposal satisfies all relevant Acceptable Solutions and Performance Criteria of the Scheme and is therefore recommended for conditional approval.

Attachments: 1. Location Plan (1)  
2. Proposal Plan (1)  
3. Site Photo (1)

Ross Lovell  
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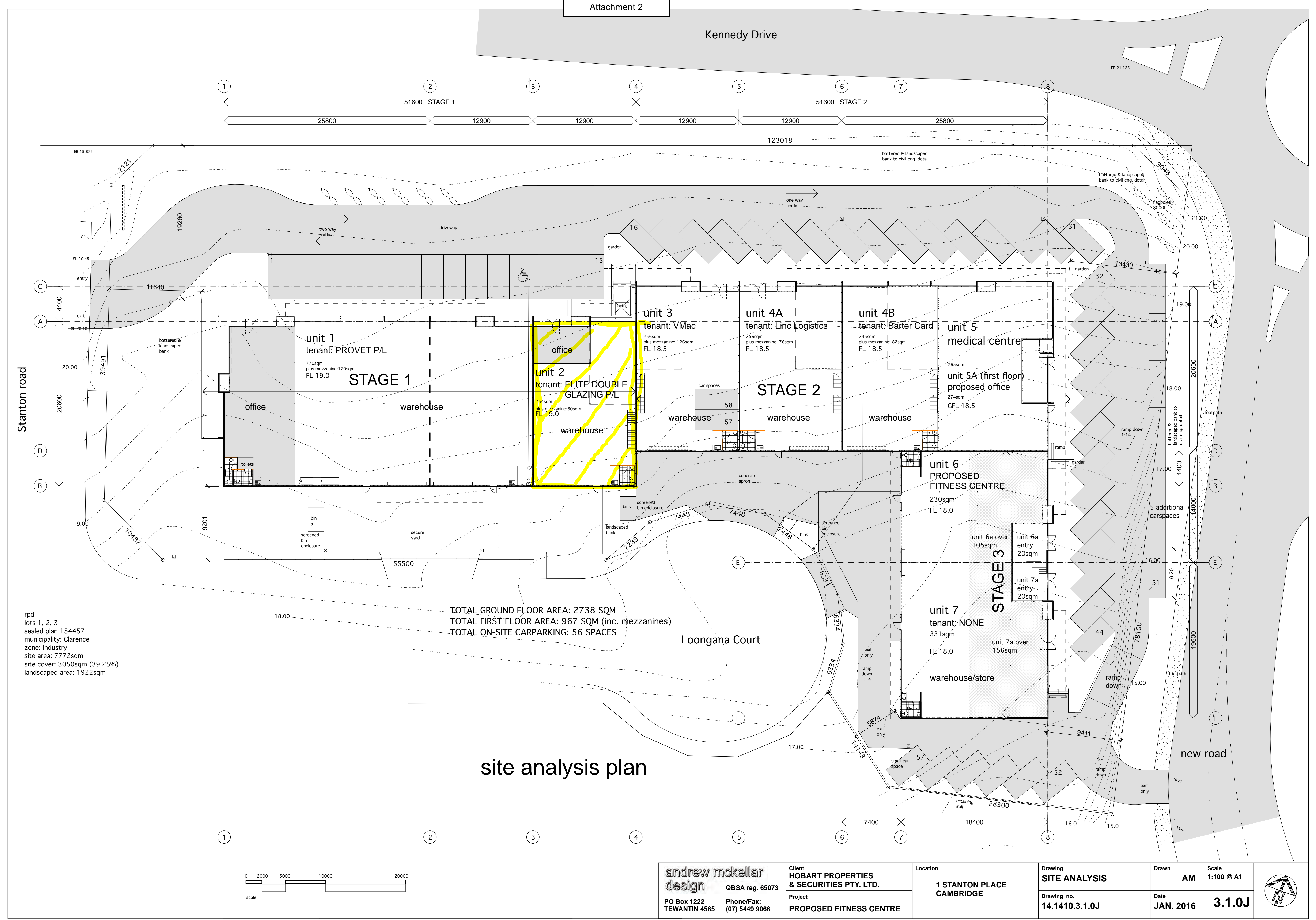
# Attachment 1

Unit 2, 1 Stanton Place, Cambridge



**Disclaimer:** This map is a representation of the information currently held by Clarence City Council. While every effort has been made to ensure the accuracy of the product, Clarence City Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated. Copying or reproduction, without written consent is prohibited. **Date:** Thursday, 16 November 2017 **Scale:** 1:2,112 @A4





Stanton road

Kennedy Drive

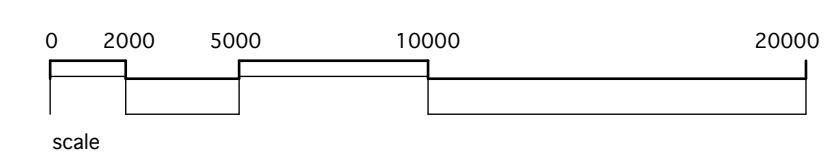
Loongana Court

new road

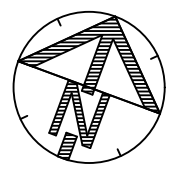
site analysis plan

rpd  
lots 1, 2, 3  
sealed plan 154457  
municipality: Clarence  
zone: Industry  
site area: 7772sqm  
site cover: 3050sqm (39.25%)  
landscaped area: 1922sqm

TOTAL GROUND FLOOR AREA: 2738 SQM  
TOTAL FIRST FLOOR AREA: 967 SQM (inc. mezzanines)  
TOTAL ON-SITE CARPARKING: 56 SPACES



andrew mckellar design PO Box 1222 TEWANTIN 4565	QBSA reg. 65073 Phone/Fax: (07) 5449 9066	Client HOBART PROPERTIES & SECURITIES PTY. LTD. Project PROPOSED FITNESS CENTRE	Location 1 STANTON PLACE CAMBRIDGE	Drawing SITE ANALYSIS	Drawn AM	Scale 1:100 @ A1
				Drawing no. 14.1410.3.1.0J	Date JAN. 2016	3.1.0J





## Attachment 3

### Unit 2, 1 Stanton Place, Cambridge



**Photo 1:** The subject site and existing unit when viewed from Kennedy Drive.

**11.3.2 DEVELOPMENT APPLICATION D-2017/440 - 177 AXIOM WAY, ACTON PARK - DWELLING AND 2 OUTBUILDINGS**  
(File No D-2017/440)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider an application made for a Dwelling and 2 Outbuildings (shipping containers) at 177 Axiom Way, Acton Park.

**RELATION TO PLANNING PROVISIONS**

The land is zoned Rural Living under the Clarence Interim Planning Scheme 2015 (the Scheme) and is subject to the requirements of the Bushfire Prone Areas Code, Parking and Access Code, Stormwater Management Code and the Natural Assets Code. In accordance with the Scheme the proposal is a Discretionary development.

**LEGISLATIVE REQUIREMENTS**

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 1 December 2017.

**CONSULTATION**

The proposal was advertised in accordance with statutory requirements and 1 representation was received raising the issue of visual impact.

**RECOMMENDATION:**

- A. That the Development Application for a Dwelling and 2 Outbuildings at 177 Axiom Way, Acton Park (CI Ref D-2017/440) be approved subject to the following conditions and advice:
1. GEN AP1 – ENDORSED PLANS.
  2. GEN M9 – NONHABITABLE PURPOSES.
  3. GEN AM3 – EXTERNAL COLOURS [non-reflective, muted, dark recessive colours].

4. LAND 1A – LANDSCAPE PLAN [Details of proposed plantings including botanical names, and the height and spread at maturity with particular attention paid to the planting of screening plants along the southern and eastern elevations of the proposed shipping containers to screen the containers from the road frontage and the residential property to the south.]
5. LAND 2 – LANDSCAPE BOND (RESIDENTIAL).
6. GEN M1 – TREE REMOVAL.

**ADVICE**

It is advised that a wastewater assessment prepared by a suitably qualified wastewater specialist will be required to be lodged prior to or in conjunction with an application for a building permit.

- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

---

**ASSOCIATED REPORT****1. BACKGROUND**

No relevant background.

**2. STATUTORY IMPLICATIONS**

**2.1.** The land is zoned Rural Living under the Scheme.

**2.2.** The proposal is discretionary because it does not meet the Acceptable Solutions under the Scheme in respect of front and side setbacks and floor area for outbuildings.

**2.3.** The relevant parts of the Scheme are:

- Section 8.10 – Determining Applications;
- Section 13 – Rural Living Zone;
- Section E1.0 – Bushfire Prone Areas Code;
- Section E6.0 – Parking and Access Code;

- Section E7.0 – Stormwater Management Code; and
- Section E27.0 – Natural Assets Code.

**2.4.** The Bushfire Prone Areas Code applies to the subject site, however, the use is not a vulnerable or hazardous use therefore the proposed development is exempt from the application of the Code. In addition, the proposal is exempt under Clause E3.4(c) of the Landslide Code, in that the proposal is for a new building within a Low Landslide Hazard Area.

**2.5.** The Natural Assets Code also applies to the site as the proposed dwelling and outbuilding would be located within a Biodiversity Protection Area – High Risk. A Bushfire Hazard Management Plan has been submitted with the application for information confirming that no native vegetation removal will be required to facilitate the construction of the proposed dwelling, outbuildings, access and servicing infrastructure. The proposed development satisfies the “Negligible” Impact Classification as defined under Section E27.6 of the Scheme. Clause E27.8.1 A1 of the Code allows for the clearance of 2,500m<sup>2</sup> of native vegetation. The proposal therefore complies with the Acceptable Solution for vegetation removal.

**2.6.** Council’s assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

### **3. PROPOSAL IN DETAIL**

#### **3.1. The Site**

The subject site is 1.097ha triangular shaped lot located on the western side of Axiom Way. The site has a gentle north-easterly fall and is covered with eucalyptus woodland. A small clearing is located at the western end of the property near the rear boundary. The clearing is sufficiently large to accommodate the proposed dwelling and bushfire hazard management areas. The understorey has been cleared resulting in bracken ferns forming the ground cover. The site is serviced with reticulated water.

A gravel driveway has been constructed from Axiom Way to an outbuilding located 20m from the road frontage. The driveway is proposed to be extended to provide access further up the hill to the house site.

### **3.2. The Proposal**

It is proposed to construct a modern single storey dwelling on the high point of the property located near the western (rear) boundary. The dwelling footprint comprises 2 parallel wings connected via an enclosed entry. The southern wing would accommodate the sleeping quarters and a double garage and the northern wing would accommodate the living space. The dwelling would have a total floor area of 227.83m<sup>2</sup> and would reach a maximum height of 4.62m above natural ground level. The external cladding materials would comprise vertical cement sheeting and “Colorbond”. The roof form would consist of a low pitched skillion.

Also proposed are 2 outbuildings (shipping containers) in front of the existing shed located at the front of the site. The outbuildings are proposed to maintain a 15m setback from the property frontage with Axiom Way and a 7.08m setback from the southern side property boundary. The outbuildings are proposed to be used for domestic storage purposes.

The proposal plans are contained in Attachment 1 and it is noted that the 2 shipping containers are labelled “Container 1” and “Container 2”.

## **4. PLANNING ASSESSMENT**

### **4.1. Determining Applications [Section 8.10]**

*“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:*

*(a) all applicable standards and requirements in this planning scheme; and*

*(b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

*but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised.*

Reference to these principles is contained in the discussion below.

**4.2. Compliance with Zone and Codes**

The proposal meets the Scheme's relevant Acceptable Solutions of the Rural Living Zone, Parking and Access Code, Stormwater Management Code and the Natural Assets Code with the exception of the following.

**Rural Living Zone**

Clause	Standard	Acceptable Solution (Extract)	Proposed
13.4.2 A1	Setbacks	Building setback from frontage must be no less than:  20 m.	The proposed dwelling would have a 67.7m separation from the property frontage onto Axiom Way.  Proposed shipping Container 1 would be located 15m from the Axiom Way road frontage. In addition, shipping Container 2 would achieve a 18.5m setback from the property frontage.

The proposed variation must be considered pursuant to the Performance Criteria (P1) of the Clause 13.4.2 as follows.

Performance Criteria	Proposal
<i>"P1 - Building setback from frontages must maintain the desirable characteristics of the surrounding landscape and protect the amenity of adjoining lots, having regard to all of the following:</i>	See assessment below
<i>(a) the topography of the site;</i>	The proposed shipping containers would be located between the existing outbuilding and the street frontage as the site increases in grade further away from the road frontage. Whilst it is possible to relocate the containers in a compliant front setback location to the rear of the existing outbuilding, this will require greater earthworks which could be equally visible from the road frontage and less effectively landscaped.

<i>(b) the prevailing setbacks of existing buildings on nearby lots;</i>	The outbuildings on adjoining and nearby lots comply with the front setback standard; however, most of these buildings are exempt from requiring planning approval. The adjoining lots are also less constrained in terms of slope and native vegetation cover therefore; compliance with such standards is more readily achieved.
<i>(c) the size and shape of the lot;</i>	The lot is sufficiently large and regular in configuration to allow for an outbuilding to be sited in a compliant location. However, the presence of native vegetation and topography constrain compliance with such setbacks. The siting of the outbuildings is also intended to be within close proximity to the existing outbuilding for convenient access.
<i>(d) the location of existing buildings on the site;</i>	The proposed outbuildings would be located in front of the existing shed, however, with landscaping and implementation of a suitable colour scheme, the buildings will have less visual prominence than the existing building. This is because the shipping container buildings are lower in height and will be coloured a dark colour as opposed to the light cream utilised on the existing outbuilding.
<i>(e) the proposed colours and external materials of the building;</i>	In the interests of integrating the outbuildings into the natural bushland setting and reducing their visual prominence, it is considered appropriate to require the containers to be coloured a dark, recessive colour to blend in with the surrounding bushland setting.
<i>(f) the visual impact of the building when viewed from an adjoining road;</i>	Minimal vegetative screening is provided between the containers. Several eucalyptus trees are located along the frontage, however, their screening properties are negligible given the canopy extends much higher than the height of the proposed containers. It is also considered necessary to require additional plantings along the frontage to provide greater screening of the proposed outbuildings. A condition requiring the production of a landscape plan is recommended.

	Because of the sensitivity of the site and the existence of alternative sites, the provision and maintenance of landscaping is important and justifies a condition requiring the payment of a landscape bond.
(g) <i>retention of vegetation;</i>	The outbuildings would be sited so as to not require any disturbance or removal of native vegetation. The scattering of shrubs located along the frontage would be retained, thereby improving the visual integration of the buildings into the surrounding landscape to be supplemented by screening plants.
(h) <i>be no less than:</i> i. <i>15m; or</i> ii. <i>5m for lots below the minimum lot size specified in the acceptable solution; or</i> iii. <i>the setback of an existing roofed building (other than an exempt building) from that boundary”.</i>	Container 1 would maintain a 15m setback from the frontage with Axiom Way, which complies with the absolute minimum setback requirement of 15m. Container 2 would offer an even greater setback of 18.5m.

Clause	Standard	Acceptable Solution (Extract)	Proposed
13.4.2 A2	Setbacks	Building setback from side and rear boundaries must be no less than:  • 20m.	The proposed dwelling would maintain a 15.22m setback from the northern side property boundary and a 15.7m setback from the southern side property boundary.  In addition, proposed shipping Containers 1 and 2 would maintain a 7.1m setback from the southern side property boundary, respectively.



The proposed variation must be considered pursuant to the Performance Criteria (P2) of the Clause 13.4.2 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<i>“P1 - Building setback from side and rear boundaries must maintain the desirable characteristics of the surrounding landscape and protect the amenity of adjoining lots, having regard to all of the following:</i>	See assessment below
<i>(a) the topography of the site;</i>	The dwelling is proposed to be located at the western end of the site within a cleared, levelled area. The proposed outbuilding also seeks to utilise an available cleared and levelled area located along the property frontage. This is an appropriate response to the topography of the site.
<i>(b) the size and shape of the lot;</i>	The proposed dwelling seeks a variation to the northern and southern side setbacks due to the siting of the dwelling at the western end of the site which tapers in width towards the rear boundary. The siting of the dwelling towards the rear boundary results in a significantly greater front setback than that displayed by the adjoining dwellings. The dwelling is proposed in this location so that it achieves the maximum separation possible from adjoining dwellings for privacy and seclusion reasons. The proposed building site will also utilise an existing clearing located at the rear of the site which is an appropriate response in the interests of maintaining vegetation cover.
<i>(c) the location of existing buildings on the site;</i>	The existing outbuilding maintains a 5m setback from the southern side property boundary. The proposed dwelling would be located a significant distance from this outbuilding. The proposed shipping containers would be clustered with the existing outbuilding due to the cleared, levelled location. Both the dwelling and shipping containers would provide a greater setback from the southern side property boundary than that established by the existing outbuilding.

(d) <i>the proposed colours and external materials of the building;</i>	<p>The dwelling design is low in height and with the inclusion of a dark, recessive colour schedule, will remain relatively inconspicuous amongst the tree setting. In the absence of colour details for the exterior of the dwelling, it is recommended that a permit condition be included requiring a colour schedule utilising dark, recessive colours.</p> <p>The location of the containers seeks to optimise an existing cleared and levelled area located beside the existing outbuilding and subject to the production of a suitable colour schedule and with the recommended landscape screening; is not expected to cause any unreasonable loss of visual amenity.</p>
(e) <i>visual impact on skylines and prominent ridgelines;</i>	<p>The subject site is not associated with a skyline or ridgeline position.</p>
(f) <i>impact on native vegetation;</i>	<p>The proposed dwelling and outbuildings would be located within existing clearings available on the site so as to not impact upon native vegetation scattered across the site.</p>
<p>(g) <i>be sufficient to prevent unreasonable adverse impacts on residential amenity on adjoining lots by:</i></p> <ul style="list-style-type: none"> <li><i>i. overlooking and loss of privacy</i></li> <li><i>ii. visual impact, when viewed from adjoining lots, through building bulk and massing;</i></li> </ul>	<p>The siting of the dwelling at the western end of the property will provide a minimum 60m separation from the surrounding dwellings. The dwelling has been sited in this position to maximise the available offset from adjoining dwellings and to make use of the topography and native vegetation cover to provide a private and secluded dwelling site. The location of the proposed dwelling will therefore ensure the privacy and outlook of the adjoining residential properties is not unreasonably affected.</p> <p>With respect to the siting of the shipping containers, no unreasonable loss of amenity would be suffered by the adjoining property to the south as the containers would be located near to the driveway and front yard area associated with this adjoining dwelling. Subject to a landscape plan to include plantings alongside the southern side boundary, the outbuildings will not be visible from the adjoining dwelling or outdoor area location on the northern elevation of the dwelling.</p>

<p>(h) <i>be no less than:</i></p> <ul style="list-style-type: none"> <li>i. <i>10m or;</i></li> <li>ii. <i>5m for lots below the minimum lot size specified in the acceptable solution; or</i></li> <li>iii. <i>the setback of an existing roofed building (other than an exempt building) from that boundary).</i></li> </ul> <p><i>unless the lot is narrower than 40m at the location of the proposed building site”.</i></p>	<p>The subject lot is not sub-minimum therefore (i) applies. The setback of the dwelling from the northern side property boundary would be in excess of 10m therefore complying with (h)(i).</p> <p>Clause (h)(iii) is applicable in this instance as the existing outbuilding is located 5m from the southern side property boundary. The reduced setbacks sought in relation to the southern side boundary are compliant with Clause (iii), in that the setback would be no less than that established by the existing outbuilding.</p>
---	---

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
13.4.4 A1	Outbuildings	<p>Outbuildings (including garages and carports not incorporated within the dwelling) must comply with all of the following:</p> <ul style="list-style-type: none"> <li>(a) have a combined gross floor area no more than 100m<sup>2</sup>;</li> <li>(b) have a wall height no more than 6.5m and a building height not more than 7.5m;</li> <li>(c) have setback from frontage no less than that of the existing or proposed dwelling.</li> </ul>	<p>The proposed shipping containers would increase the total floor area of outbuildings on the site to 103m<sup>2</sup> which exceeds that prescribed under Clause (a).</p> <p>In addition, the 2 shipping containers would be located between the proposed dwelling and the street, therefore does not comply with Clause (c).</p>

The proposed variation must be considered pursuant to the Performance Criteria (P1) of the Clause 13.4.4 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<i>“P1 - Outbuildings (including garages and carports not incorporated within the dwelling) must be designed and located to satisfy all of the following:</i>	See assessment below
<i>(a) be less visually prominent than the existing or proposed dwelling on the site;</i>	Subject to implementation of landscaping and a suitable colour schedule, the proposed shipping containers would not detract from the prominence of the main dwelling.

<i>(b) be consistent with the scale of outbuildings on the site or in close visual proximity;</i>	The proposed containers would be domestic in size which is consistent with the scale of other outbuildings within the area.
<i>(c) be consistent with any Desired Future Character Statements provided for the area or, if no such statements are provided, have regard to the landscape”.</i>	There are no Statement of Desired Future Character Statements incorporated into the Rural Living Zone therefore, regard must be had to the impact of the proposed outbuilding on the landscape character. As discussed previously, subject to landscaping and colour treatment, the proposed outbuilding would remain an inconspicuous building within the landscape.

## **5. REPRESENTATION ISSUES**

The proposal was advertised in accordance with statutory requirements and 1 representation was received. The following issues were raised by the representor.

### **5.1. Visual Impact**

Concern is raised regarding the location of the shipping containers. Specifically, concern is raised that the location of the buildings within the front setback will detract from the streetscape character and will alter the outlook from the living area associated with the dwelling to the south.

- **Comment**

The concerns raised by the representor are valid and as a result of the setback variations sought it is considered necessary to require landscaping and colour treatments to mitigate the impact of the outbuildings.

## **6. EXTERNAL REFERRALS**

No external referrals were required or undertaken as part of this application.

## **7. STATE POLICIES AND ACT OBJECTIVES**

**7.1.** The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

**7.2.** The proposal is consistent with the objectives of Schedule 1 of LUPAA.

**8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS**

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

**9. CONCLUSION**

The proposal is for the construction of a Single Dwelling and 2 Outbuildings at 177 Axiom Way, Acton Park. The proposal complies with all relevant Acceptable Solutions and Performance Criteria and is recommended for approval subject to conditions relating to landscaping and colour treatment.

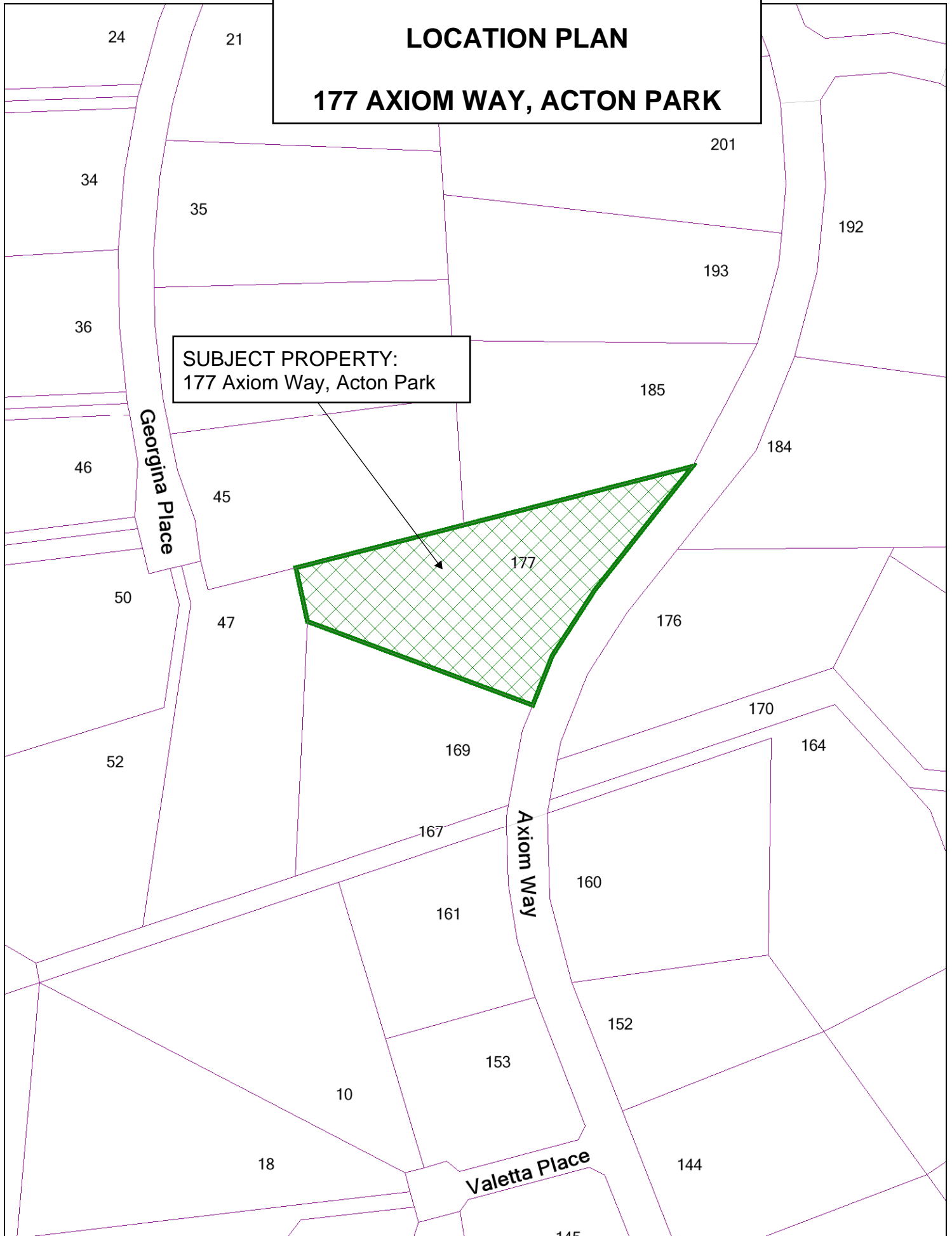
Attachments: 1. Location Plan (1)  
2. Proposal Plan (6)  
3. Site Photo (1)

Ross Lovell  
**MANAGER CITY PLANNING**

# ATTACHMENT 1

## LOCATION PLAN

### 177 AXIOM WAY, ACTON PARK



SUBJECT PROPERTY:  
177 Axiom Way, Acton Park



**Disclaimer:** This map is a representation of the information currently held by Clarence City Council. While every effort has been made to ensure the accuracy of the product, Clarence City Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated. Copying or reproduction, without written consent is prohibited. **Date:** Wednesday, 15 November 2017 **Scale:** 1:2,439 @A4

ARCHITECTURAL DRAWINGS SCHEDULE:

A01	Site Plan & Shipping Container Street Elevation
A02	Enlarged Site Plan
A03	Floor Plan
A04	External Elevations. 1
A05	External Elevations. 2

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# Simon & Clare Hall

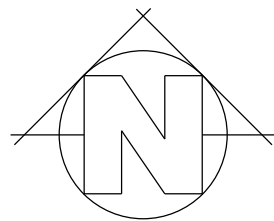
**New Dwelling**  
**177 Axiom Way, Acton Tasmania**

July 2017

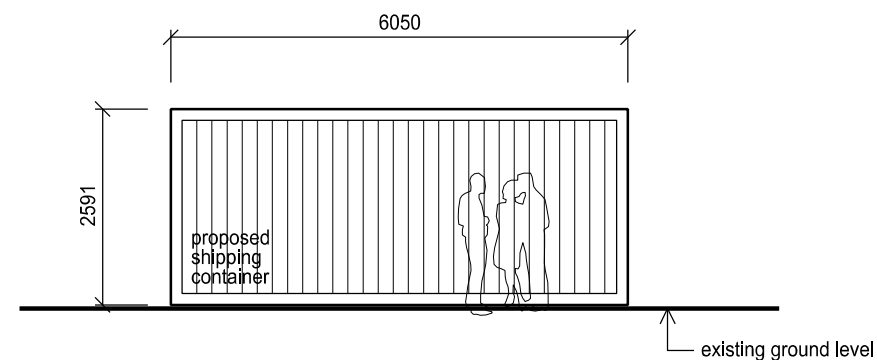
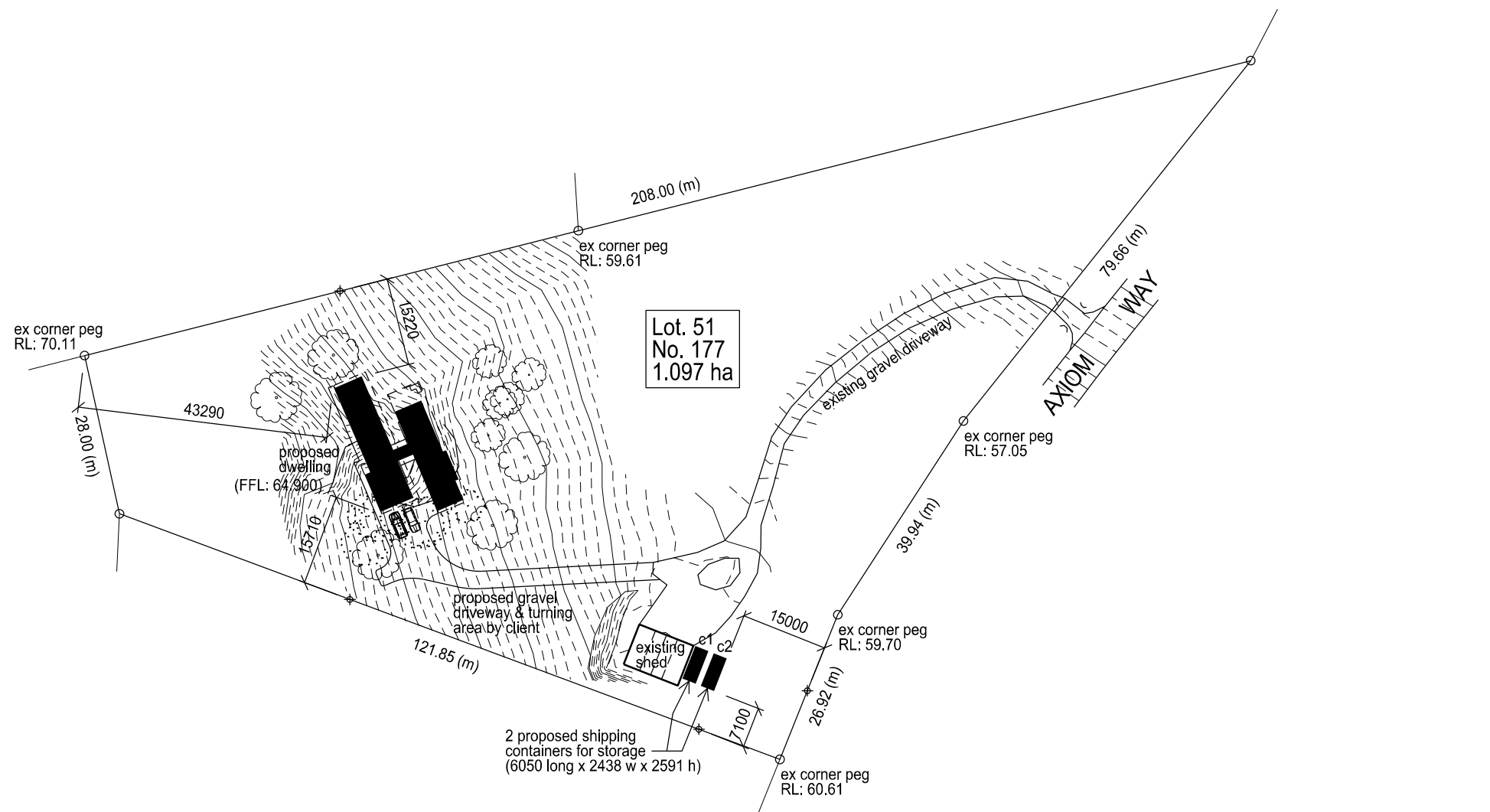
GC 4971 U

PLANNING APPLICATION SET

**John Weston**  
**Architectural Design**  
Level 2, 121 Macquarie Street  
Hobart 7000 Tasmania  
p: 0427 040 343  
e: johnwestonarchitecturaldesign@gmail.com



NORTH  
(CT: 137574 / 51)



SITE PLAN  
scale 1:1000

SHIPPING CONTAINER STREET ELEVATION  
scale 1:100

**John Weston**  
**Architectural Design**  
Level 2, 121 Macquarie Street  
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e: johnwestonarchitecturaldesign@gmail.com

DRAWING: Site Plan & Shipping Container Street Elevation		
CLIENT: Simon & Clare Hall	DRAWN: JW	DRAWING NUMBER: A01 c
PROJECT ADDRESS: 177 Axiom Way, Acton Tasmania	DATE: July 2017	

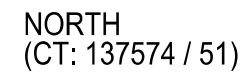
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PLANNING APPLICATION SET





Lot. 51  
No. 177  
1.097 ha

# ENLARGED SITE PLAN

scale 1:200

# PLANNING APPLICATION SET

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Hobart 7000 Tasmania  
p: 0427 040 343  
e: [johnwestonarchitecturaldesign@gmail.com](mailto:johnwestonarchitecturaldesign@gmail.com)

DRAWING:  
**Enlarged Site Plan**

CLIENT:  
Simon & Clare Hall

PROJECT ADDRESS:  
177 Axiom Way, Acton Tasmania

DRAWN:	JW
DATE:	July 2017

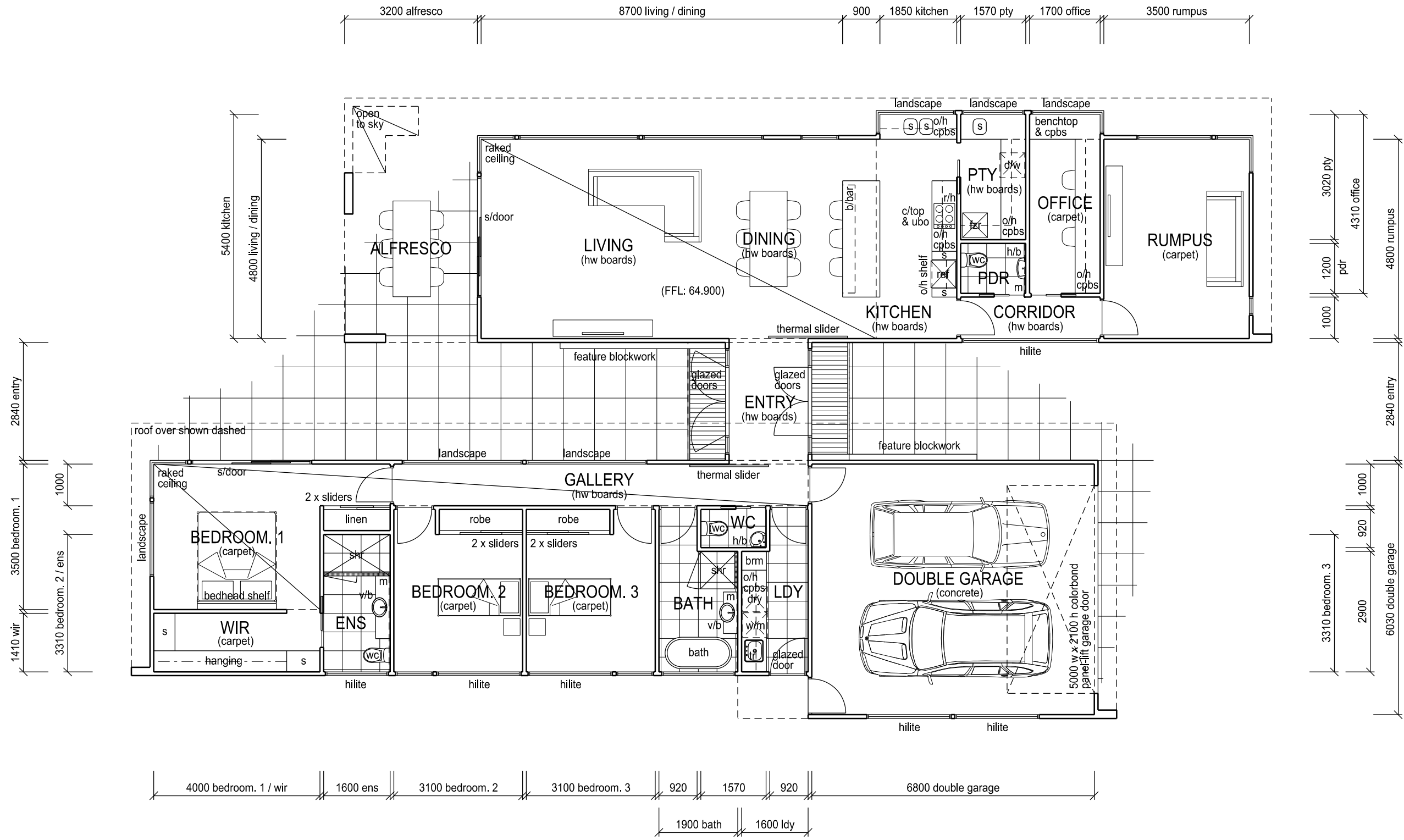
DRAWING NUMBER:  
**A02<sub>A</sub>**

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017674

FLOOR AREA:  
Dwelling (inc garage) - (measured from external face of external walls) - 227.83 m2



FLOOR PLAN  
scale 1:100

PLANNING APPLICATION SET

**John Weston**  
**Architectural Design**  
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Hobart 7000 Tasmania  
P: 0427 040 343  
E: johnwestonarchitecturaldesign@gmail.com

DRAWING: Floor Plan		
CLIENT: Simon & Clare Hall	DRAWN: JW	DRAWING NUMBER: A03 A
PROJECT ADDRESS: 177 Axiom Way, Acton Tasmania	DATE: July 2017	

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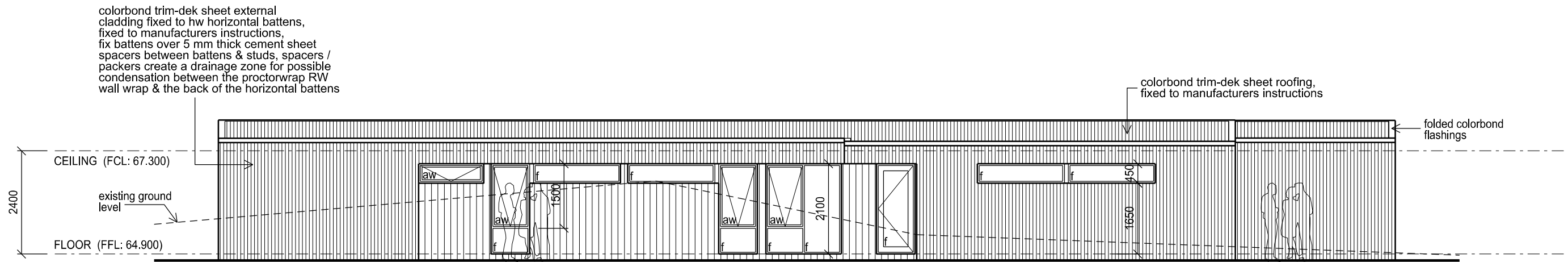
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# PLANNING APPLICATION SET

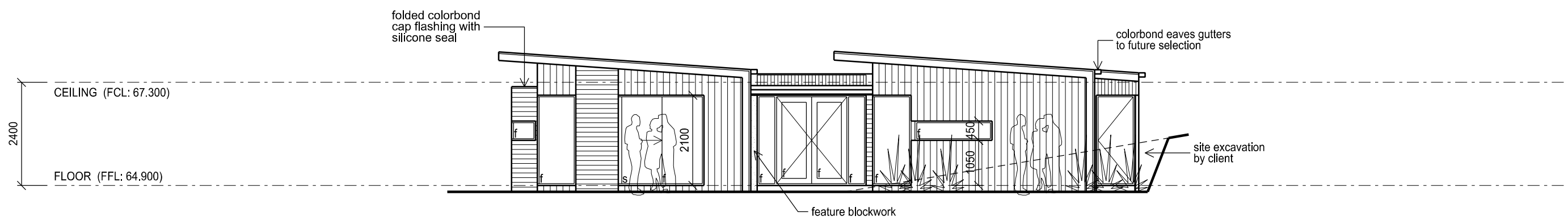
**John Weston**  
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DRAWING:		177 Axiom Way, Acton Tasmania	
External Elevations. 1			
CLIENT:	DRAWN:	DRAWING NUMBER:	
Simon & Clare Hall	JW	A04 A	
PROJECT ADDRESS:	DATE:		
177 Axiom Way, Acton Tasmania	July 2017		



SOUTH WESTERN ELEVATION



NORTH WESTERN ELEVATION

EXTERNAL ELEVATIONS. 2  
scale 1:100

PLANNING APPLICATION SET

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DRAWING: External Elevations. 2		
CLIENT: Simon & Clare Hall	DRAWN: JW	DRAWING NUMBER: A05 A
PROJECT ADDRESS: 177 Axiom Way, Acton Tasmania	DATE: July 2017	

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### **177 Axiom Way, Acton Park**



***Photo 1:*** The site when viewed from Axiom Way. The proposed shipping containers would be located immediately in front of the existing shed.



***Photo 2:*** A closer view of the shipping container location.

**11.3.3 DEVELOPMENT APPLICATION D-2017/459 - 46 LINCOLN STREET, LINDISFARNE - ALTERATIONS AND ADDITIONS TO DWELLING**  
(File No D-2017/459)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for alterations and additions to Dwelling at 46 Lincoln Street, Lindisfarne.

**RELATION TO PLANNING PROVISIONS**

The land is zoned General Business and is subject to the Parking and Access Code and Stormwater Management Code under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

**LEGISLATIVE REQUIREMENTS**

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 1 December 2017.

**CONSULTATION**

The proposal was advertised in accordance with statutory requirements and 2 representations were received from the same representor raising the following issues:

- overshadowing impact upon neighbouring dwelling and private open space;
- visual impact; and
- health impacts.

**RECOMMENDATION:**

A. That the Development Application for alterations and additions to Dwelling at 46 Lincoln Street, Lindisfarne (CI Ref D-2017/459) be approved subject to the following conditions and advice:

1. GEN AP1 – ENDORSED PLANS.
2. GEN M9 – NON-HABITABLE PURPOSES.

3. The east facing elevation of the garage building must be coloured using colours with a light reflectance value not greater than 40%. Details of the colour scheme must be submitted and approved by Council's Manager City Planning prior to the issue of a building permit or a Certificate of Likely Compliance for building works.
- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

---

## **ASSOCIATED REPORT**

### **1. BACKGROUND**

Planning approval was granted under D-2013/185 for alterations and additions to the dwelling.

### **2. STATUTORY IMPLICATIONS**

**2.1.** The land is zoned General Business under the Scheme.

**2.2.** The proposal is discretionary because it does not meet the Acceptable Solutions under the Scheme in relation to setback from adjoining residential zoned land and landscaping.

**2.3.** The relevant parts of the Planning Scheme are:

- Section 8.10 – Determining Applications;
- Section 21.0 – General Business Zone;
- Section E6.0 – Parking and Access Code; and
- Section E7.0 – Stormwater Management Code.

**2.4.** Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

### **3. PROPOSAL IN DETAIL**

#### **3.1. The Site**

The subject site is comprised in Certificate of Title 96000/8 which has a land area of 1,270m<sup>2</sup>. The site forms a regular shaped lot located on the northern side of Lincoln Street. The site is level and is developed with a federation style single storey dwelling, which has been improved over the past several years. The site is accessed via an existing driveway to Lincoln Street.

#### **3.2. The Proposal**

Application is made for alterations and additions to the existing dwelling. Specifically, the proposal includes the construction of a 6.29m long by 4.55m wide roof to cover the existing deck located at the rear of the existing dwelling. The roofed area would have a maximum height of 3m and would sit below the roof line of the existing dwelling. The roof would be constructed from polycarbonate material with a 5 degree pitch.

It is also proposed to construct a garage, store room and carport alongside the rear (northern) property boundary. The 3 buildings would be conjoined with a total wall length of 16.6m. The store room component would maintain a 1.2m offset from the rear property boundary to reduce the concentration of wall length along this boundary.

The proposed garage would form the central component of the building and would have a steeply pitched gabled roof to match the roof line of the existing dwelling. The garage would reach a maximum height of 6.6m above natural ground level and would be constructed from blockwork walls in a rendered finish. A roller door would be located on the southern side of the garage. The store room would be finished in the same materials although it would have reduced height of 3m. The carport located between the garage and the eastern side boundary would reach a maximum height of 3m and would be open on 3 elevations.



**4. PLANNING ASSESSMENT****4.1. Determining Applications [Section 8.10]**

*“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:*

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

*but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.*

Reference to these principles is contained in the discussion below.

**4.2. Compliance with Zone and Codes**

The proposal forms an ancillary use to the existing “Residential” use of the land which is a discretionary use in the zone as it is located at ground level. The proposed ancillary use is in fact a permitted use in accordance with Clause 9.2.1 of the Scheme as the proposed use would not establish a new use or substantially intensify the existing use of the site.

The proposal meets the Scheme’s relevant Acceptable Solutions of the General Business Zone and the Parking and Access Code and Stormwater Management Code with the exception of the following.

**General Business Zone**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
21.4.2 A2	Setback	Building setback from a residential zone must be no less than:  (a) 5m; (b) half the height of the wall;  whichever is the greater.	The subject site adjoins a General Residential zoned property to the north-east at 3/191 Derwent Avenue. The proposed carport would offer a nil setback from the adjoining residential zoned property. A small portion of the proposed garage is also located within the required 5m setback.

			There is no setback requirement for the remaining elevations, other than for front setback, which is complied with in this case.
--	--	--	--

The proposed variation must be considered pursuant to the Performance Criteria (P2) of the Clause 21.4.2 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<i>“P2 – Building setback from a residential zone must be sufficient to prevent unreasonable adverse impacts on residential amenity by:</i>	See below assessment
<i>(a) overshadowing and reduction of sunlight to habitable rooms and private open space on adjoining lots to less than 3 hours between 9.00am and 5.00pm on 21 June or further decrease sunlight hours if already less than 3hours;</i>	<p>The proposed carport would have a low height profile of 3m and would exclude solid walls along the northern and eastern elevations.</p> <p>Shadow diagrams have been submitted with the application in order to demonstrate the overshadowing impact upon the adjoining residential zoned property to the east at 3/191 Derwent Avenue, Lindisfarne. The shadow diagrams demonstrate that the adjoining dwelling would be subject to late afternoon sunlight loss on 21 June (Winter Solstice). The shadow cast upon this adjoining dwelling would affect the upper level north-west facing bedroom window from 2.00pm onwards. This represents a 3 hour loss of sunlight (37.5% reduction) between the hours specified under the Performance Criteria. The loss of sunlight after 2.00pm in the middle of winter is not considered unreasonable and will not cause any significant loss of residential amenity as the sun is beginning to set after 3.00pm.</p> <p>The private open space allocated to this adjoining dwelling would also be affected by late afternoon sunlight loss on 21 June.</p>

	<p>The main area of private open space attributed to this dwelling is located to the east of the dwelling which would not be affected by shadowing caused by the proposed buildings.</p> <p>The proposed carport and garage will therefore not cause any unreasonable loss of residential amenity by way of overshadowing to the adjoining residential property.</p>
<i>(b) overlooking and loss of privacy;</i>	<p>The proposed carport, being located at ground level, would not cause any overlooking or loss of privacy issues upon the adjoining residential property.</p> <p>Similarly, the garage does not include any windows on the eastern elevation and will not promote overlooking.</p>
<i>(c) visual impact when viewed from adjoining lots;</i>	<p>The proposed carport, being low in height and open walled in design, will ensure the adjoining residential property is not subjected to any overbearing appearance effects. The carport would not be significantly higher than the existing boundary fence and the inclusion of open walls would allow for views to filter through the building.</p> <p>The proposed garage would maintain a near compliant setback and would match the built form of the existing dwelling. No unexpected visual bulk concerns relate to the scale of this building.</p>
<i>taking into account aspect and slope”.</i>	<p>Topographic constraints are not a determining factor in this instance as the lot is generally level.</p>

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
21.4.3 A2	Design	Walls of a building facing a residential zone must be coloured using colours with a light reflectance value not greater than 40%.	Colour details for the east facing wall associated with the proposed garage have not been supplied with the application, although the applicant has mentioned that they are willing to use colours that comply with the Acceptable Solution.

The proposed variation must be considered pursuant to the Performance Criteria (P2) of the Clause 21.4.3 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<i>“P2 – No Performance Criteria”.</i>	The Performance Criteria does not allow for any variation from the Acceptable Solution therefore it will be necessary to require a permit condition requiring the production of a colour schedule including the use of colours which have a light reflectance value (LRV) no greater than 40%. The applicant has agreed to the selection of colours which have a LRV no greater than 40%.

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
21.4.5 A2	Landscaping	Along a boundary with a residential zone landscaping must be provided for a depth no less than: <ul style="list-style-type: none"> <li>• 2m.</li> </ul>	No landscaping is proposed between the carport and the eastern side property boundary.

The proposed variation must be considered pursuant to the Performance Criteria (P1) of the Clause 21.4.5 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<i>“P1 – Along a boundary with a residential zone landscaping or a building design solution must be provided to avoid unreasonable adverse impact on the visual amenity of adjoining land in a residential zone, having regard to the characteristics of the site and the characteristics of the adjoining residentially-zoned land”.</i>	The landscaping requirement is intended to be applied to reduce conflict between residential and non-residential use where zone boundaries adjoin. Despite the underlying zoning of the subject site, the site has a long standing residential use which is not intended to be changed. There is therefore no need to provide landscaping between the 2 existing established residential uses.

## **5. REPRESENTATION ISSUES**

The proposal was advertised in accordance with statutory requirements and 1 representation was received. The following issues were raised by the representor.

### **5.1. Overshadowing Impact Upon Neighbouring Dwelling and Private Open Space**

The representor has raised concern that the proposed garage and carport buildings will overshadowing the north facing sunroom and private open space associated with the adjoining dwelling located to the east at 48 Lincoln Street, Lindisfarne.

- **Comment**

The adjoining property to the east is zoned Local Business and is developed with a Single Dwelling. The proposed development complies with the setback requirements in relation to the boundary shared with this adjoining property. The shadow diagrams submitted with the application demonstrate that this adjoining property would be affected by minimal sunlight loss late in the afternoon on 21 June. The shadow cast upon this adjoining property would extend across the north-western corner of the private open space, which is currently developed with an outbuilding. The shadow would not extend to the dwelling or areas of the private open space accommodating the washing line and vegetable gardens. There would therefore be no unreasonable overshadowing impact upon this adjoining residence.

### **5.2. Visual Impact**

The representor has raised concern that the garage and carport will have a negative impact in terms of visual bulk when viewed from the adjoining dwelling at 48 Lincoln Street, Lindisfarne.

- **Comment**

The proposed carport would be located adjacent to the eastern (side) and northern (rear) property boundary. The carport would maintain a greater setback than the adjoining Single Dwelling to the north and would be single storey in height. The proposed carport and garage would be partially obscured from view of the adjoining residential property by an outbuilding located in the north-western corner of this adjoining property.

The proposed buildings are not expected to cause any unreasonable loss of amenity by way of visual bulk and are likely to form more sympathetic structures than the range of possible commercial uses that could be undertaken on the site (based on the General Business zoning).

### **5.3. Health Impacts**

The representor has raised concern that the overshadowing impact will cause a loss of Vitamin D resulting in potential health impacts.

- **Comment**

As detailed above, the proposal would not cause any unreasonable loss of sunlight to the dwelling or private open space located on the adjoining dwelling to the east at 48 Lincoln Street, Lindisfarne. It is also noted that the representor's property is afforded with good access to local and regional public open space assets, including a public park and foreshore trail which can be utilised for access to sunlight.

## **6. EXTERNAL REFERRALS**

No external referrals were required or undertaken as part of this application.

## **7. STATE POLICIES AND ACT OBJECTIVES**

**7.1.** The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

**7.2.** The proposal is consistent with the objectives of Schedule 1 of LUPAA.

## **8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS**

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

**9. CONCLUSION**

The proposal is for alterations and additions to dwelling at 46 Lincoln Street, Lindisfarne. The proposed development is considered to satisfy all relevant Acceptable Solutions and Performance Criteria of the Scheme and is accordingly recommended for conditional approval.

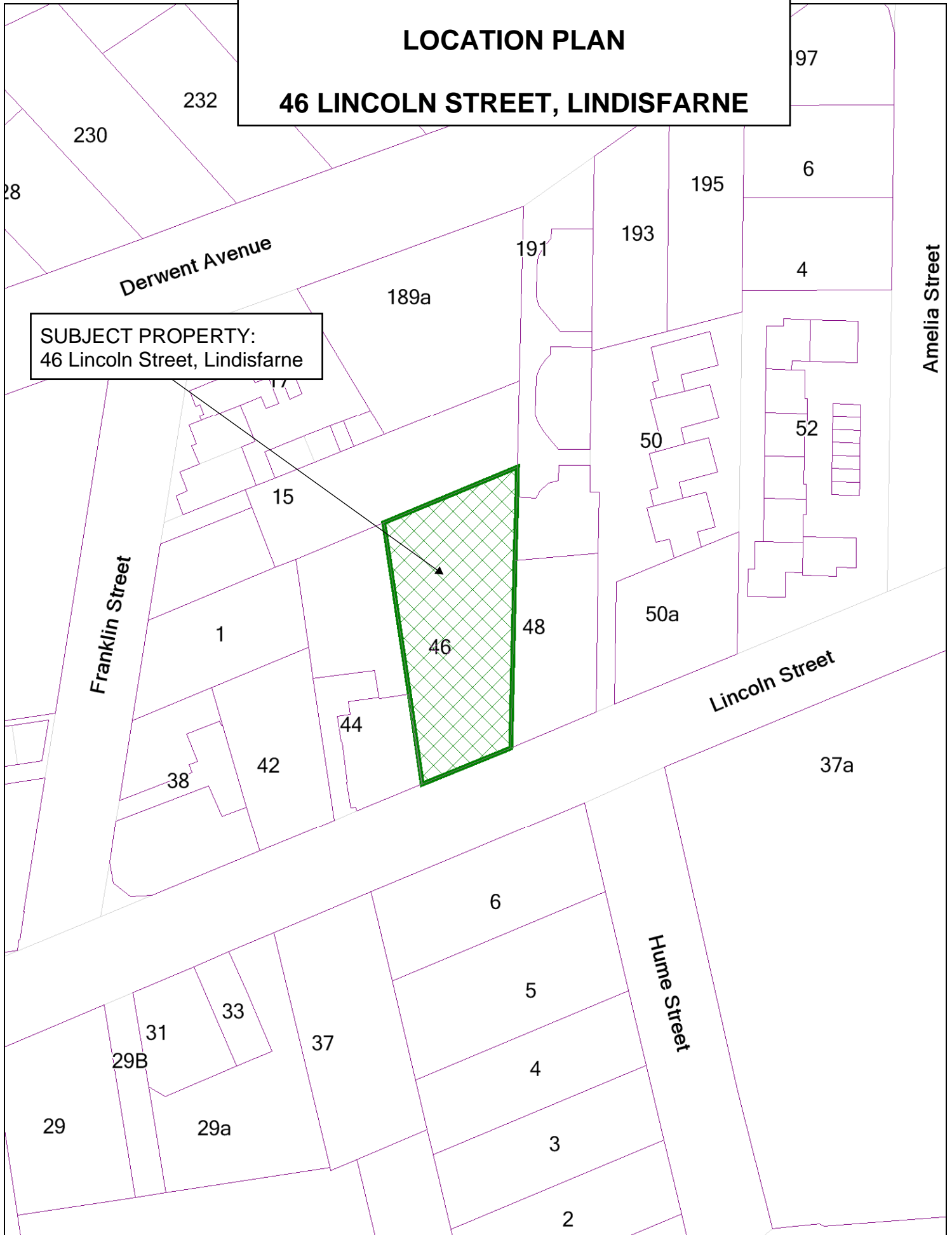
Attachments: 1. Location Plan (1)  
2. Proposal Plan (7)  
3. Site Photo (1)

Ross Lovell  
**MANAGER CITY PLANNING**

# ATTACHMENT 1

## LOCATION PLAN

**46 LINCOLN STREET, LINDISFARNE**



**Disclaimer:** This map is a representation of the information currently held by Clarence City Council. While every effort has been made to ensure the accuracy of the product, Clarence City Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated. Copying or reproduction, without written consent is prohibited. **Date:** Wednesday, 15 November 2017 **Scale:** 1:950.9 @A4



# PROPOSED ALTERATIONS & ADDITIONS

for: C. Knapek & C. Martin  
at: 46 Lincoln Street, LINDISFARNE

Project No. **217130**

Date: Oct. 2017

## DESIGN DEVELOPMENT DRAWINGS

### Drawing Schedule

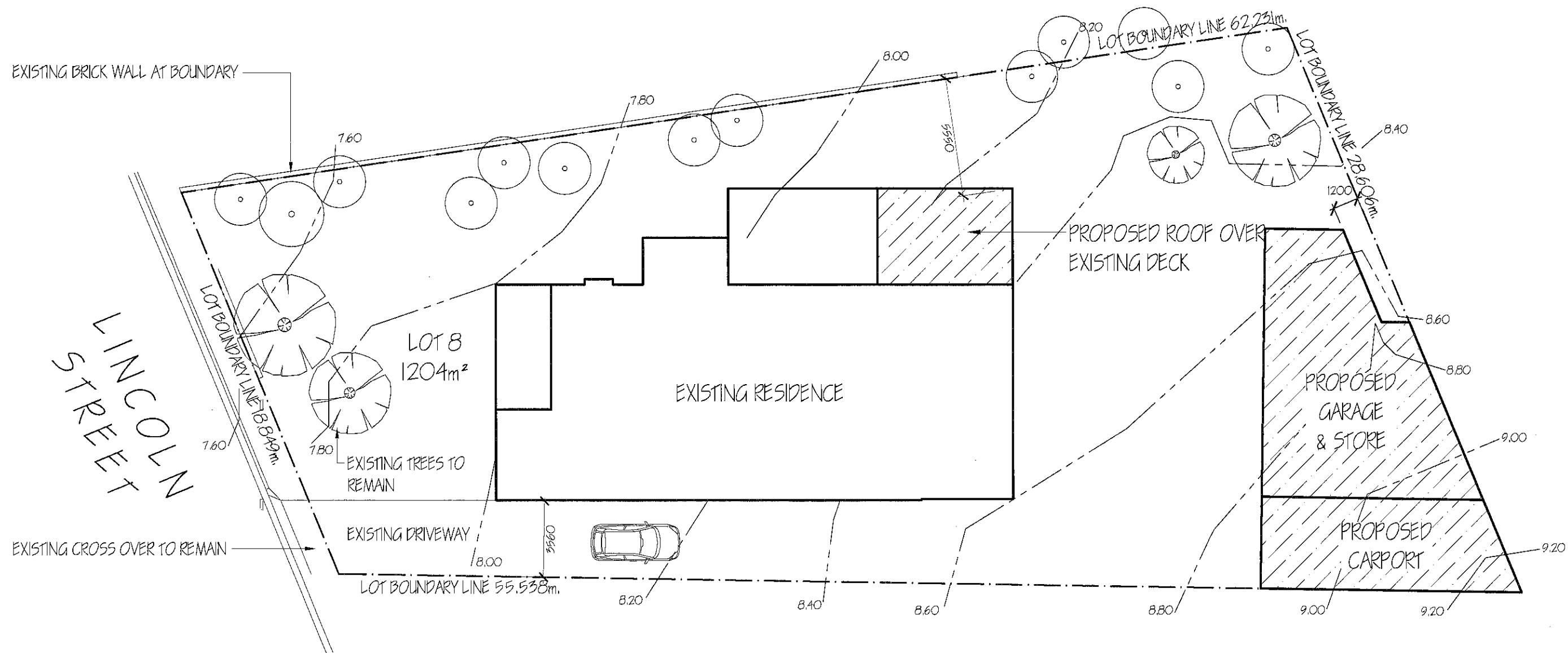
DD01	Site Plan
DD02	Proposed Floor Plan
DD03	Proposed Elevations
DD04	Proposed Garage Floor Plan
DD05	Garage Elevations 1
DD06	Garage Elevations 2

Prepared by:

**G.Hills** & Partners ARCHITECTS



P.O. Box 910, Kingston, Tas 7051  
Ph: (03) 6229 1799 Mob: 0419 883 370  
Email: [graham.hills@bigpond.com](mailto:graham.hills@bigpond.com)  
Tas Building Practitioner No. CC2367B



SITE PLAN  
1:200

0 2 4 6 8

<b>G.Hills &amp; Partners ARCHITECTS</b>			
PO BOX 10, KINGSTON BEACH PH: 6229 1799 FAX: 6229 8550			
<b>PROPOSED ALTERATIONS &amp; ADDITIONS</b>			
For : C. KNAPEK & C. MARTIN			
At : 46 Lincoln Street, LINDISFARNE			
DRAWING TITLE:			SCALE: <b>1:200@ A3</b>
SITE PLAN			DESIGNER: <b>G. Hills</b>
			DRAWING: <b>J. Pearce</b>
			DATE: <b>Sept. 2017</b>
PROJECT No:	DWG. No:	No. IN SET:	PRINTED: <b>09/10/2017</b>
<b>217130</b>	<b>DD01</b>	<b>06</b>	ISSUE: <b>A</b>
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0 1 2 3 4

**G.Hills & Partners ARCHITECTS**  
PO BOX 10, KINGSTON BEACH PH: 8229 1799 FAX: 62298550

### PROPOSED ALTERATIONS & ADDITIONS

For : C. KNAPEK & C. MARTIN  
At : 46 Lincoln Street, LINDISFARNE

DRAWING TITLE:

SCALE: 1:100 @ A3

## PROPOSED FLOOR PLAN

DESIGNER: **G. Hills**

DRAWING: J. Pearce

DATE: **Sept. 2017**

PROJECT No:  
**217130**

DWG. No:  
**DD02**

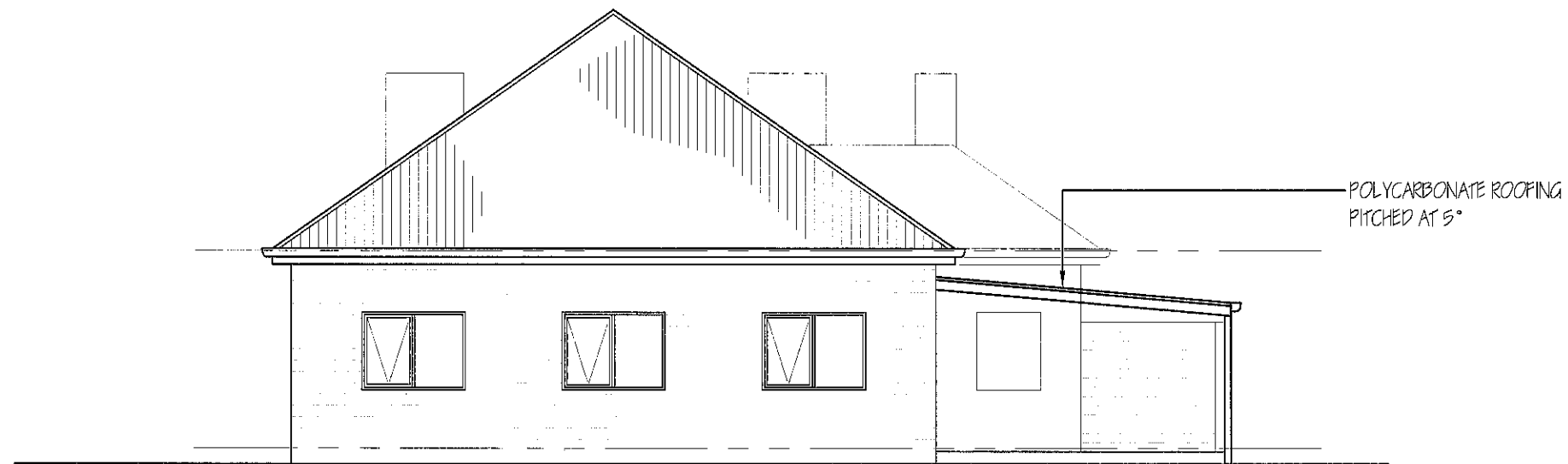
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PRINTED: 09/10/2017

ISSUE:

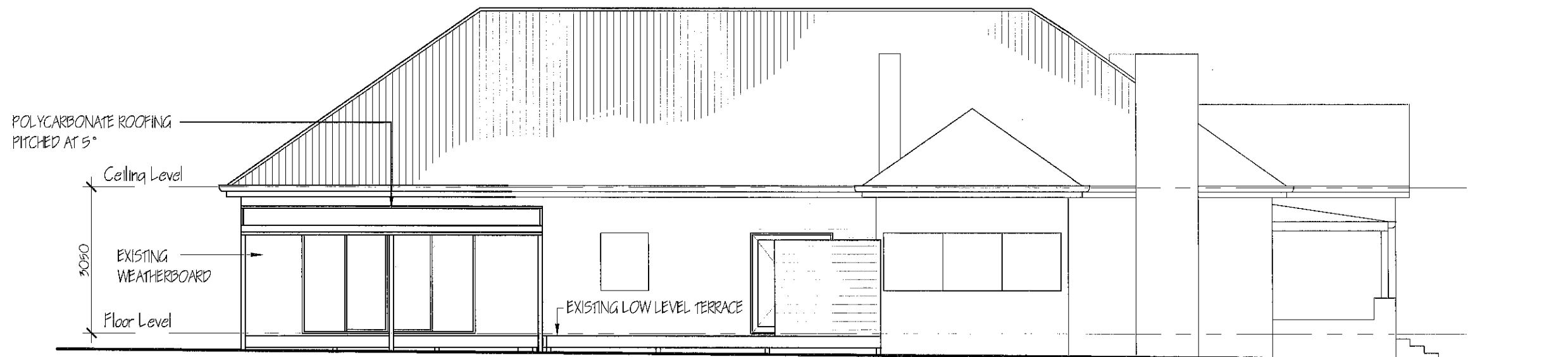
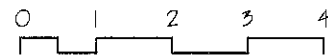
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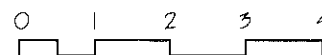
NORTH ELEVATION

1:100



WEST ELEVATION

1:100



**G.Hills&Partners ARCHITECTS**  
 PO BOX 10, KINGSTON BEACH PH: 6229 1799 FAX: 62298550

**PROPOSED ALTERATIONS & ADDITIONS**

For : C. KNAPEK & C. MARTIN

At : 46 Lincoln Street, LINDISFARNE

DRAWING TITLE:

**PROPOSED ELEVATIONS**

PROJECT No:  
**217130**

DWG. No:  
**DD03**

No. IN SET:  
**06**

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DESIGNER: **G. Hills**

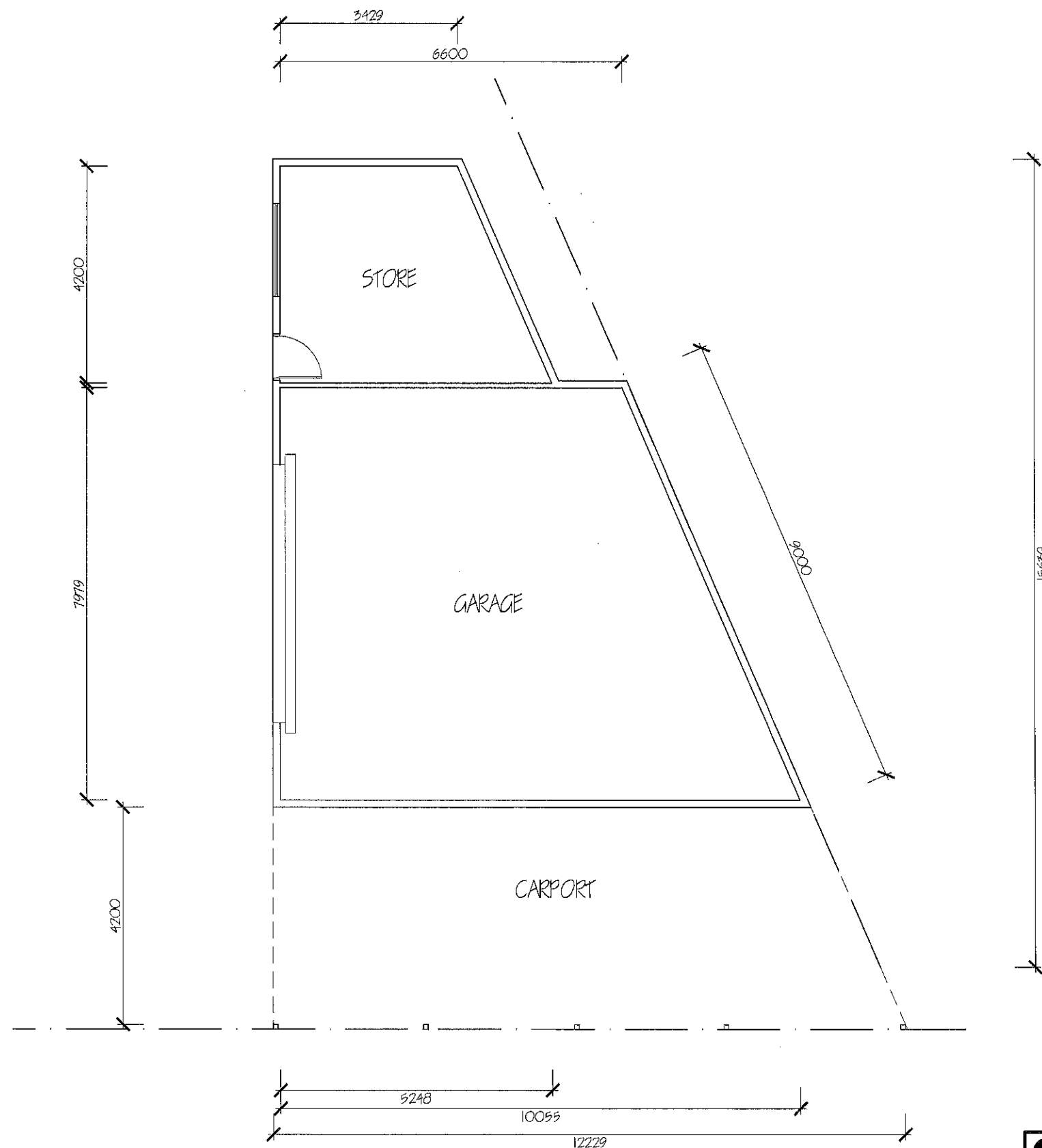
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DATE: **Sept. 2017**

PRINTED: **09/10/2017**

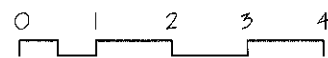
ISSUE:

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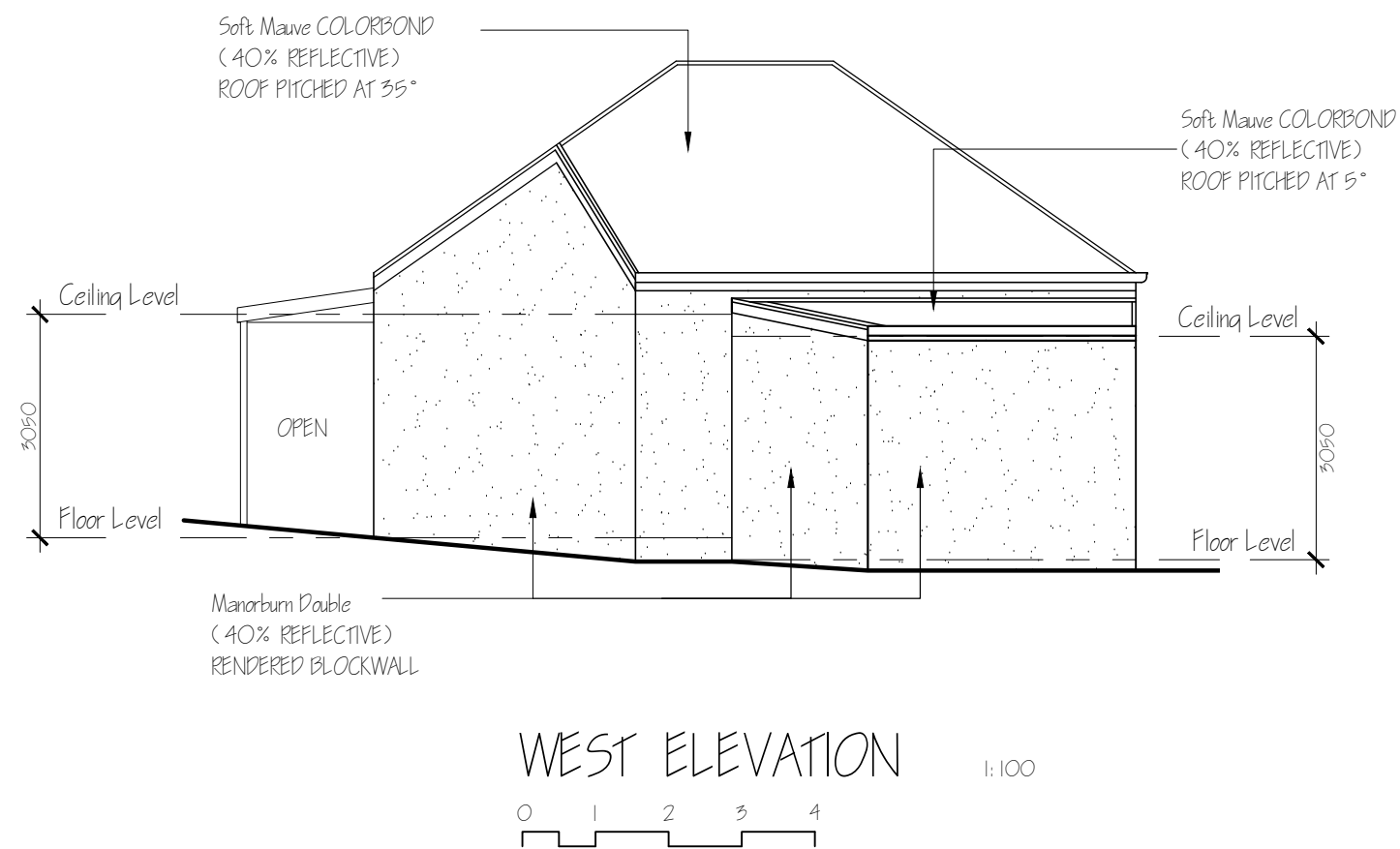
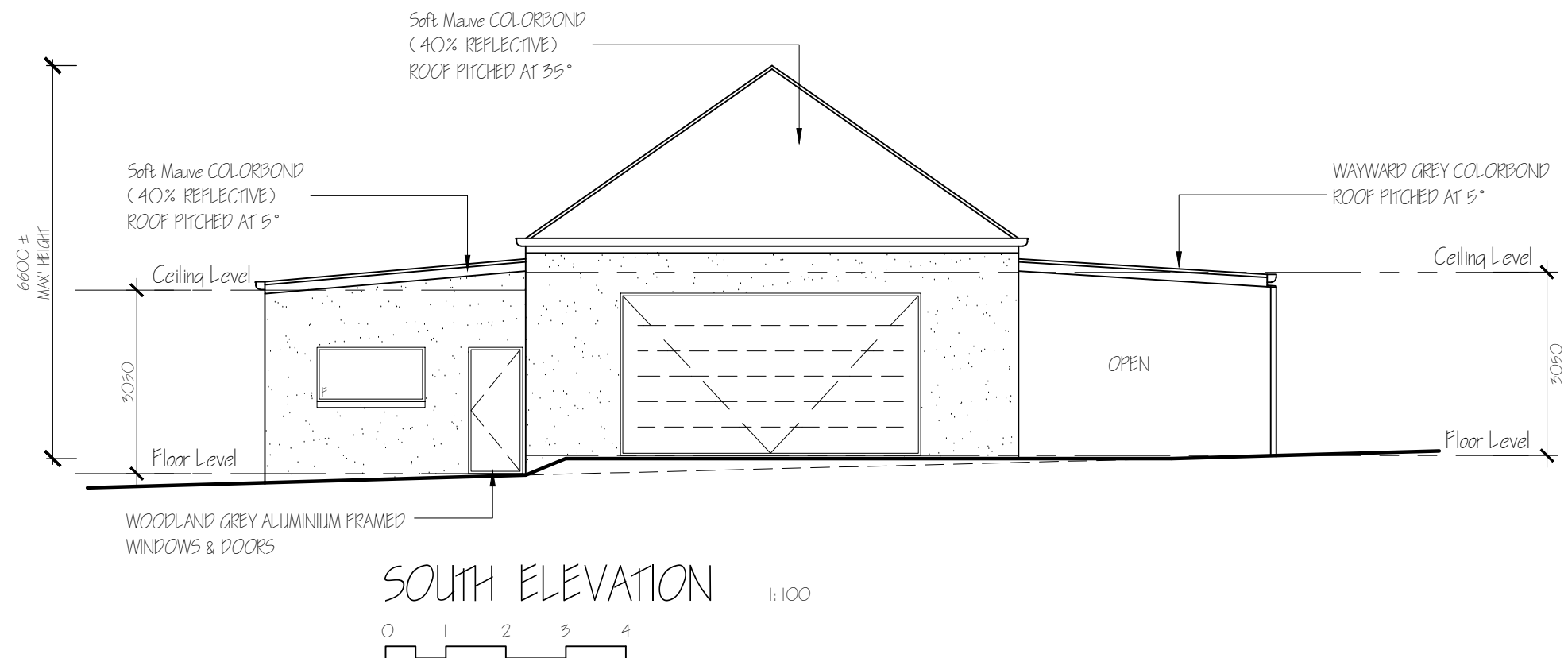


PROPOSED GARAGE FLOOR PLAN

1:100



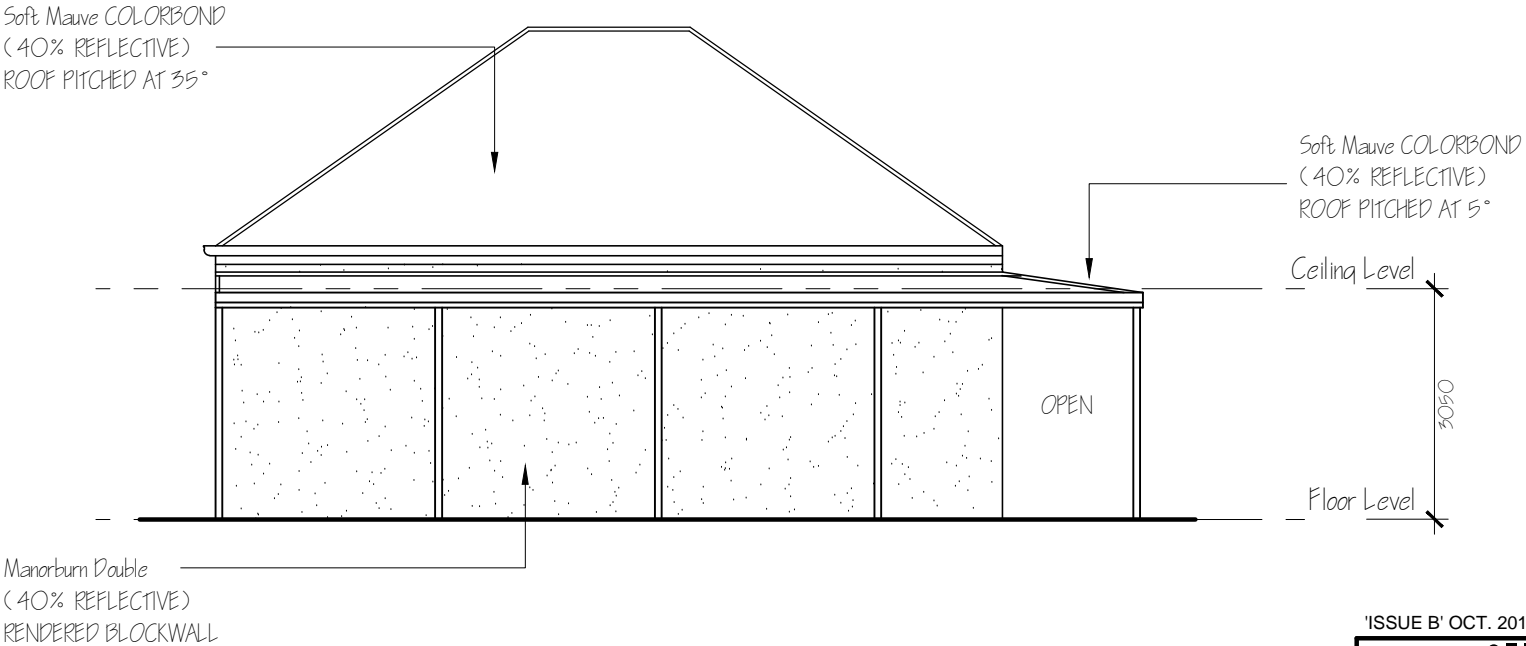
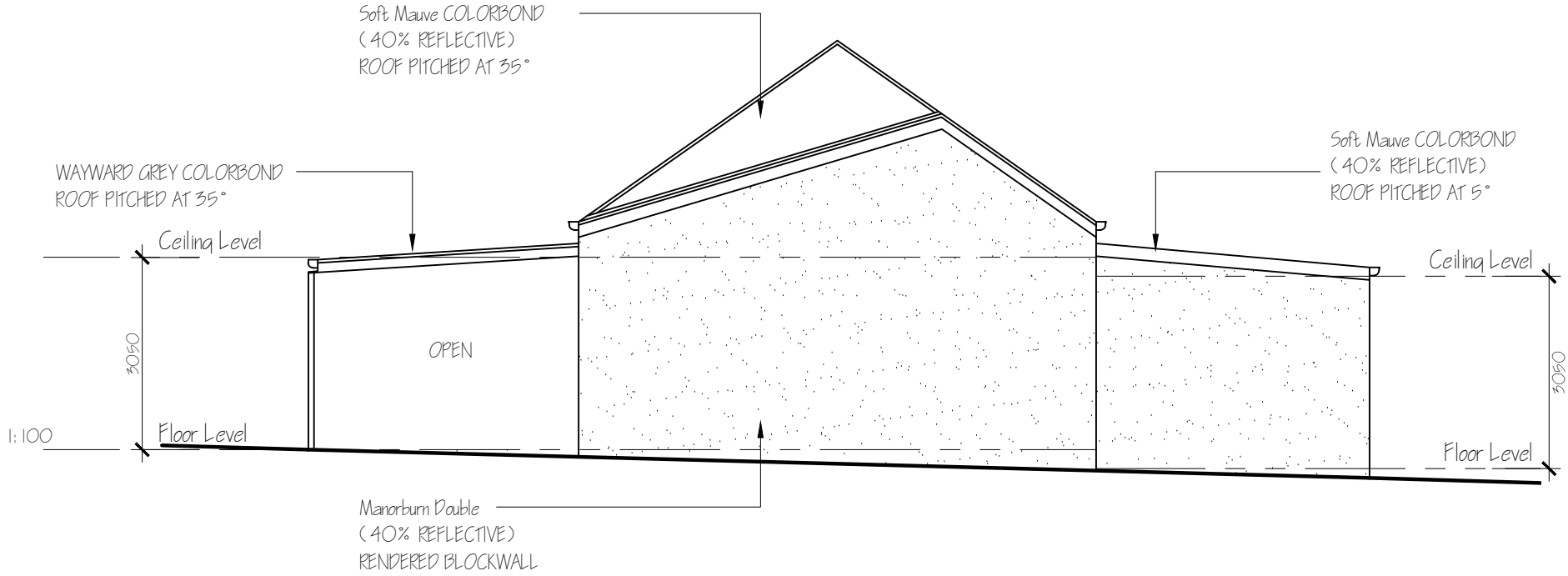
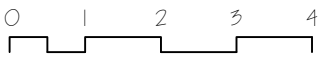
<b>G.Hills &amp; Partners ARCHITECTS</b>			
PO BOX 10, KINGSTON BEACH PH: 6229 1799 FAX: 62298550			
<b>PROPOSED ALTERATIONS &amp; ADDITIONS</b>			
For : C. KNAPEK & C. MARTIN			
At : 46 Lincoln Street, LINDISFARNE			
DRAWING TITLE:			SCALE: <b>1:100 @ A3</b>
PROPOSED GARAGE FLOOR PLAN			DESIGNER: <b>G. Hills</b>
			DRAWING: <b>J. Pearce</b>
			DATE: <b>Sept. 2017</b>
PROJECT No:	DWG. No:	No. IN SET:	PRINTED: <b>09/10/2017</b>
<b>217130</b>	<b>DD04</b>	<b>06</b>	ISSUE: <b>A</b>
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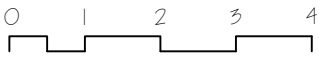
'ISSUE B' OCT. 2017 - COLOUR DESCRIPTION

<b>G.Hills &amp; Partners ARCHITECTS</b> <small>PO BOX 10, KINGSTON BEACH PH: 6229 1799 FAX: 62298550</small>			
<b>PROPOSED ALTERATIONS &amp; ADDITIONS</b> For : C. KNAPEK & C. MARTIN At : 46 Lincoln Street, LINDISFARNE			
DRAWING TITLE:		SCALE: <b>1:100 @ A3</b>	
GARAGE ELEVATIONS 1		DESIGNER: <b>G. Hills</b>	
		DRAWING: <b>J. Pearce</b>	
		DATE: <b>Sept. 2017</b>	
PROJECT No:	DWG. No:	No. IN SET:	PRINTED: <b>19/10/2017</b>
<b>217130</b>	<b>DD05</b>	<b>06</b>	ISSUE: <b>B</b>
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NORTH ELEVATION



EAST ELEVATION



1:100

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<b>PROPOSED ALTERATIONS &amp; ADDITIONS</b>			
For : C. KNAPEK & C. MARTIN			
At : 46 Lincoln Street, LINDISFARNE			
DRAWING TITLE:			SCALE: <b>1:100 @ A3</b>
GARAGE ELEVATIONS 2			DESIGNER: <b>G. Hills</b>
			DRAWING: <b>J. Pearce</b>
			DATE: <b>Sept. 2017</b>
PROJECT No:	DWG. No:	No. IN SET:	PRINTED: <b>19/10/2017</b>
<b>217130</b>	<b>DD06</b>	<b>06</b>	ISSUE: <b>B</b>
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**46 Lincoln Street, Lindisfarne**



***Photo 1: The subject site and existing dwelling when viewed from Lincoln Street, Lindisfarne.***



**11.3.4 DEVELOPMENT APPLICATION D-2017/473 - 3 ATWELL COURT, LINDISFARNE - DWELLING**  
(File No D-2017/473)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for a dwelling at 3 Atwell Court, Lindisfarne.

**RELATION TO PLANNING PROVISIONS**

The land is zoned General Residential and is subject to the Parking and Access Code and Stormwater Management Code under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme, the proposal is a Discretionary development.

**LEGISLATIVE REQUIREMENTS**

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 29 November 2017 as agreed with the applicant.

**CONSULTATION**

The proposal was advertised in accordance with statutory requirements and one 1 representation was received raising the issue of overshadowing impact.

**RECOMMENDATION:**

- A. That the Development Application for dwelling at 3 Atwell Court, Lindisfarne (CI Ref D-2017/473) be approved subject to the following conditions and advice:
1. GEN AP1 – ENDORSED PLANS.
  2. GEN AP3 – AMENDED PLANS [the inclusion of a screen with a maximum transparency of 25% extending the full length of the north-western elevation of the side boundary adjoining the deck to a height of 1.7m above the finished surface level of the deck (40.90 AHD)].

- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

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## **ASSOCIATED REPORT**

### **1. BACKGROUND**

No relevant background.

### **2. STATUTORY IMPLICATIONS**

**2.1.** The land is zoned General Residential under the Scheme.

**2.2.** The proposal is discretionary because it does not meet the Acceptable Solutions under the Scheme in relation to front setback, building envelope and privacy.

**2.3.** The relevant parts of the Planning Scheme are:

- Section 8.10 – Determining Applications;
- Section 10.4 – General Residential Zone;
- Section E6.0 – Parking and Access Code; and
- Section E7.0 – Stormwater Management Code.

**2.4.** Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

### **3. PROPOSAL IN DETAIL**

#### **3.1. The Site**

The subject site is a regular shaped 420m<sup>2</sup> lot located on the northern side of Atwell Court, Lindisfarne. The site slopes moderately uphill from the road frontage. There is no significant vegetation on the site. Access is provided to the site via a sealed crossover located at the eastern end of the property frontage onto Atwell Court.

The adjoining properties are developed with 2 storey dwellings. Recently constructed 2 storey dwellings are also located on the southern side of Atwell Court, which have been designed in response to slope constraints and to maximise commanding views over the Derwent River.

### **3.2. The Proposal**

Application is made to construct a 2 storey dwelling at 3 Atwell Court, Lindisfarne. The dwelling is proposed to be 2 storeys when viewed from the street, decreasing to a single storey building at the rear. The dwelling would maintain a 2.54m setback from Atwell Court at its closest point.

The lower level would contain a double garage, entry space with stairway providing access to the upper level and undercroft storage space. The upper level would contain 2 bedrooms, office, bathroom and open plan living room. The upper level would occupy a floor area of 140m<sup>2</sup> with the lower level accommodated beneath the upper level footprint.

The southern (front) elevation would have the greatest vertical separation above natural ground level being 6.174m. The lower level would be constructed from concrete blockwork and the upper level would be clad with cement sheet wall cladding in a modern profile. Aluminium timber look battens would be utilised on small sections of each elevation to provide visual articulation. The roof profile would be flat and a “Vergola” roof would extend from the north-western elevation of the dwelling to cover the outdoor entertaining area.

A timber deck is proposed to extend around the north-western corner of the property with a 1.7m high privacy screen proposed along the western side property boundary.

A long retaining wall is proposed to be inset from the rear (northern) property boundary at the rear of the dwelling to provide a level garden.

**4. PLANNING ASSESSMENT****4.1. Determining Applications [Section 8.10]**

*“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:*

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

*but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.*

Reference to these principles is contained in the discussion below.

**4.2. Compliance with Zone and Codes**

The proposal meets the Scheme’s relevant Acceptable Solutions of the General Residential Zone, Parking and Access Code and the Stormwater Management Code with the exception of the following.

**General Residential Zone**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
10.4.2 A1	Setbacks and building envelope for all dwellings	<p>Unless within a building area, a dwelling, excluding protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m into the frontage setback, must have a setback from a frontage that is:</p> <p>(a) if the frontage is a primary frontage, at least 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site; or</p>	<p>Does not comply - The proposed dwelling would be setback 2.54m from the “curved” section of the property frontage onto Atwell Court. The dwelling setback increases to 3.7m to the west where the frontage no longer follows the alignment of the cul-de-sac head.</p>

		(b) if the frontage is not a primary frontage, at least 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; or	not applicable
		(c) if for a vacant site with existing dwellings on adjoining sites on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or	not applicable
		(d) if the development is on land that abuts a road specified in Table 10.4.2, at least that specified for the road.	not applicable

The proposed variation must be considered pursuant to the Performance Criteria (P1) of the Clause 10.4.2 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<i>“P1- A dwelling must:</i>	See below
<i>(a) have a setback from a frontage that is compatible with the existing dwellings in the street, taking into account any topographical constraints; and</i>	The Performance Criteria requires a new dwelling to have a setback which is compatible with the setback of existing dwellings in the street and allows for such variations to take into consideration topographical constraints. In this case difficult topography is not a determining factor with the site being constrained by the small lot size and narrow configuration, to which this clause has no regard to.

	<p>The Tribunal’s decision relating to “Henry Design and Consulting v Clarence City Council &amp; Ors [2017] TASRMPAT 11 (7 July 2017)” is relevant as to the meaning of this Performance Criteria as the Tribunal held that the term “compatible” (considered in terms of density) requires a finding that <i>“the proposal is consistent, not necessarily the same, but at least similar to, or in harmony or broad correspondence with the surrounding area”</i>.</p> <p>Taking the approach of the Tribunal, it must first be determined what the prevailing setback character is and how the proposed setback (in this case the introduction of a reduced setback) will broadly correspond with the established setbacks within Atwell Court. The adjoining dwelling to the west (1 Atwell Court) maintains a 3.28m setback at its closest point from Atwell Court. The setback of this adjoining dwelling complied with the setback requirements for a secondary frontage (the primary frontage for this property is Excalibur Place). The adjoining dwelling to the east maintains a compliant 4.5m setback from Atwell Court. Whilst the proposed dwelling would have a reduced setback, the orientation of lots lining the northern side of Atwell Court is irregular and the proposed setback will in fact maintain a consistent building line with the 2 adjoining residential properties, as demonstrated in Figure 1 below.</p> <p>As demonstrated by Attachment 4, the proposed dwelling would be in alignment with the established building line. The siting of the proposed dwelling is expected to make a positive contribution to the streetscape and would not dominate or obscure other dwellings from view due to the alignment of the cul-de-sac head extending to the north-east.</p>
--	--

	<p>The proposed dwelling will follow this alignment as dictated by the cul-de-sac bordering the site.</p> <p>Further, when analysing the streetscape more broadly, the proposed dwelling setback would be greater than that established by the existing dwelling located directly across the road at 6 Atwell Court. This dwelling was constructed in 1966 and has a setback of approximately 1.2m from the front boundary which is significantly less than the proposed dwelling. This setback was created by a 2012 subdivision approval. Also, this dwelling has a single, unarticulated façade at this setback, increasing gradually to approximately 3.5m at the eastern end of the façade. As such, it is accepted that there is an established variation to the primary frontage setback in the street, and the proposed dwelling is in keeping with this and therefore meets the performance criteria.</p>
<i>(b) if abutting a road identified in Table 10.4.2, include additional design elements that assist in attenuating traffic noise or any other detrimental impacts associated with proximity to the road”.</i>	The subject site does not adjoin a road listed in Table 10.4.2 therefore this part of the performance criteria is not applicable to the assessment of this application.

Clause	Standard	Acceptable Solution	Proposed
10.4.2 A3	Building Envelope – Side and Rear Building Setbacks	<p>A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:</p> <p>(a) be contained within a building envelope (refer to Diagrams 10.4.2A, 10.4.2B, 10.4.2C and 10.4.2D) determined by:</p>	

		<ul style="list-style-type: none"> <li>(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and</li> <li>(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and</li> </ul>	<p>Does not comply – The proposed dwelling would be located forward of the required front setback (2.54m at its closest point onto Atwell Court).</p>
		<ul style="list-style-type: none"> <li>(b) only have a setback within 1.5m of a side boundary if the dwelling:               <ul style="list-style-type: none"> <li>(i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining lot; or</li> <li>(ii) does not exceed a total length of 9m or one-third the length of the side boundary (whichever is the lesser).</li> </ul> </li> </ul>	<p>Does not comply – The proposed south-eastern corner of the dwelling would encroach the building envelope relative to the side (south-eastern) property boundary for a distance of 1.2m.</p> <p>complies</p>



The proposed variation must be considered pursuant to the Performance Criteria (P3) of the Clause 10.4.2 as follows.

<b>Performance Criteria</b>	<b>Comment</b>
<p><i>“P3 The siting and scale of a dwelling must: (a) not cause unreasonable loss of amenity:</i></p>	<p>See below</p>
<p><i>(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or</i></p>	<p>The encroachment associated with the south-eastern corner of the proposed dwelling would be located to the north-west of the existing 2 storey dwelling located at 5 Atwell Court therefore, it has the potential to cause a loss of sunlight to the habitable room windows located on the north-western elevation of this dwelling.</p> <p>One dimensional and 3 dimensional shadow diagrams have been submitted with the application to demonstrate the shadowing impact upon the kitchen and living room window located on the north-western elevation of the adjoining dwelling. The 3 dimensional shadow diagrams confirm that the kitchen window would not be subject to any overshadowing impact.</p> <p>The highlight living room window would receive full sun between 9am - 2pm on 21 June. Partial shading of this window would occur from 2pm onwards with the window fully overshadowed by 3pm on 21 June. This represents a one hour reduction in sunlight between 9am and 3pm on 21 June (16.6% reduction).</p> <p>The proposed dwelling is therefore not expected to cause any unreasonable overshadowing impact upon the north-west facing habitable room windows of the adjacent dwelling at 5 Atwell Court.</p>

(ii) <i>overshadowing the private open space of a dwelling on an adjoining lot; or</i>	The private open space allocated at 5 Atwell Place is located to the north (rear) of the dwelling and would not be impacted by the building envelope encroachment, as shown by the 1 and 3 dimensional shadow diagrams provided with the application. The proposed encroachment would therefore satisfy the performance criteria.
(iii) <i>overshadowing of an adjoining vacant lot; or</i>	not applicable
(iv) <i>visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and</i>	The building envelope variation relates to the south-eastern corner of the dwelling only. The majority of the south-eastern elevation of the dwelling would be contained within the building envelope with the greatest compliance achieved at the rear elevation as a result of the ground level sloping upwards towards the rear boundary. The building envelope encroachment is therefore not expected to cause any unreasonable visual impacts by way of scale, bulk or proportions.
(b) <i>provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area”.</i>	The south-eastern corner of the proposed dwelling proposes a reduced setback to the side setback established by existing dwellings, however, the majority of the wall length is located a comparable setback to the adjoining dwelling to the east at 5 Atwell Court and offers a offset setback similar to that of the adjoining dwelling.

Clause	Standard	Acceptable Solution (Extract)	Proposed
10.4.6 A1	Privacy for all dwellings	A balcony, deck, roof terrace, parking space, or carport (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above natural ground level must have a permanently fixed screen to a height of at least 1.7m above the finished surface or floor level, with a uniform transparency of no more than 25%, along the sides facing a:	Does not comply – The deck located on the north-western elevation of the dwelling would have a finished surface level of between 0 – 1.8m above natural ground level and would be located 2m from the north-western side property boundary.

		<p>(a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 3m from the side boundary; and</p> <p>(b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 4m from the rear boundary; and</p> <p>(c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is at least 6m:</p> <p>(i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or</p> <p>(ii) from a balcony, deck, roof terrace or the private open space, of the other dwelling on the same site.</p>	<p>A 1m high screen is proposed along the north-western and southern elevations of the deck to serve as a balustrade. A 1.7m high timber privacy screen is proposed to be located directly adjacent to the north-western side property boundary (not attached) to screen the deck. Whilst the privacy screen maintains the necessary height and transparency, it is not physically attached to the proposed deck therefore does not comply with the Acceptable Solution.</p>
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The proposed variation must be considered pursuant to the Performance Criteria (P1) of the Clause 10.4.6 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<p><i>“P1 - A balcony, deck, roof terrace, parking space or carport (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above natural ground level, must be screened, or otherwise designed, to minimise overlooking of:</i></p> <p><i>(a) a dwelling on an adjoining lot or its private open space; or</i></p>	<p>A 1.7m high privacy screen with a 25% maximum transparency is proposed directly alongside the north-western side boundary at a height level with the finished surface level of the proposed deck. The privacy screen, although detached from the deck, has been incorporated into the design to minimise direct views into the adjoining residence to the west and to protect the privacy of the occupants utilising the deck. The design response achieves the same effect as a screen attached to the deck and forms an effective design response to minimise overlooking between the 2 properties.</p>

	It is considered appropriate to condition for the screen to be located at the same height as the finished floor level of the deck (being 40.90AHD) to achieve the intended privacy treatment. Subject to the imposition of this condition, the proposal is considered to satisfy the Performance Criteria.
<i>(b) another dwelling on the same site or its private open space;</i>	as per above
<i>(c) an adjoining vacant residential lot”.</i>	not applicable

## **5. REPRESENTATION ISSUES**

The proposal was advertised in accordance with statutory requirements and 1 representation was received. The following issues were raised by the representor.

### **5.1. Overshadowing Impact**

The representor has raised concern that the proposed dwelling, being located outside of the building envelope, will unreasonably overshadow the 2 habitable room windows located on the north-western elevation of the neighbouring dwelling at 5 Atwell Court, Lindisfarne.

- **Comment**

Overshadowing impacts have been considered under Section 4 of this report. It has been determined that the proposed dwelling will cause minor overshadowing of the small highlight living room window located on the north-western elevation of the adjoining dwelling at 5 Atwell Court, Lindisfarne. However, the overshadowing impact is considered reasonable under Clause 10.4.2 P3 of the Scheme.

## **6. EXTERNAL REFERRALS**

No referrals were undertaken as part of the assessment of this application.

## **7. STATE POLICIES AND ACT OBJECTIVES**

**7.1.** The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

**7.2.** The proposal is consistent with the objectives of Schedule 1 of LUPAA.

**8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS**

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

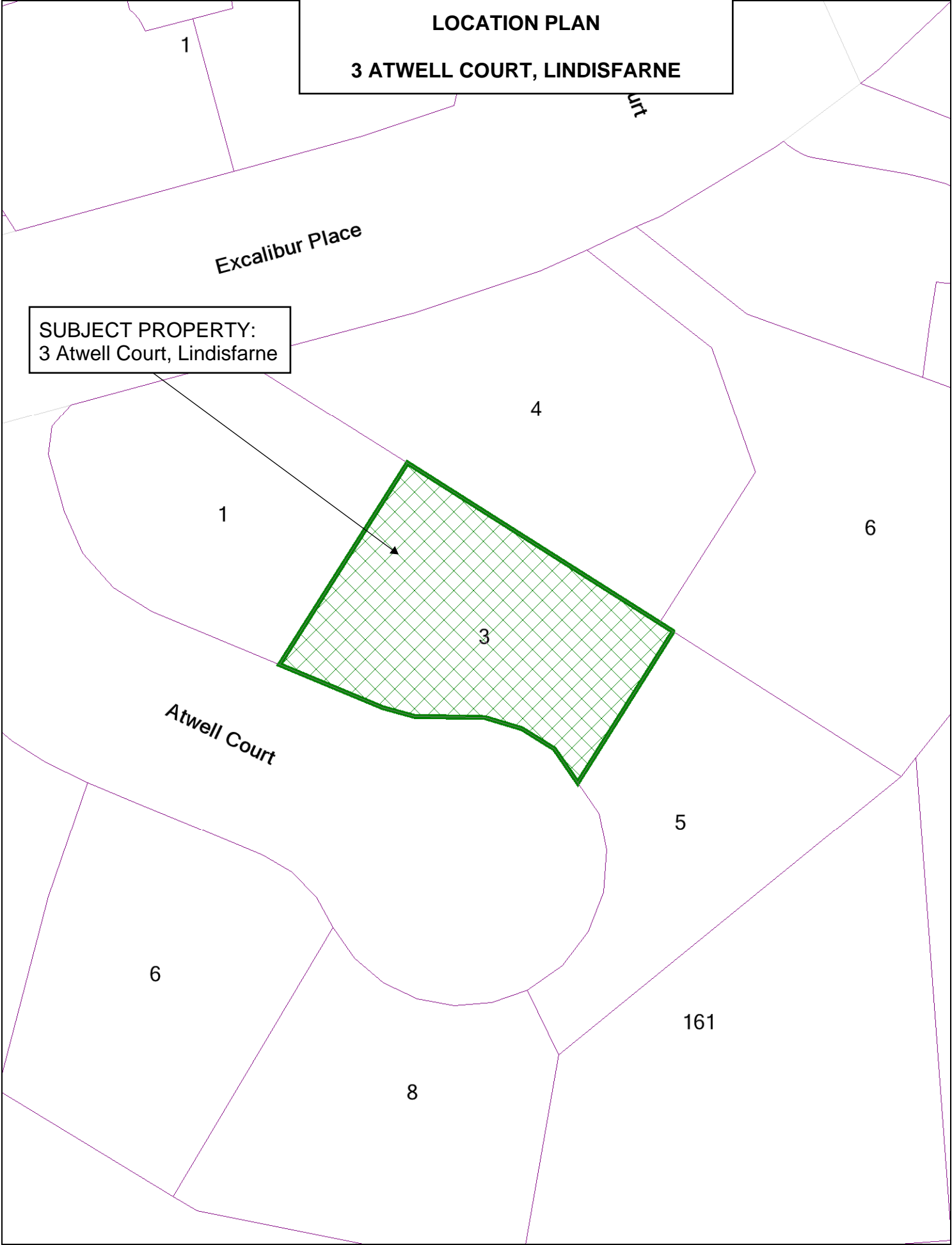
**9. CONCLUSION**

The proposal is for the construction of a Single Dwelling at 5 Atwell Court, Lindisfarne. The proposal satisfies all relevant acceptable solutions and performance criteria of the Scheme and is accordingly recommended for approved, subject to a condition addressing privacy screening associated with the deck.

Attachments: 1. Location Plan (1)  
2. Proposal Plan (7)  
3. Building Line Setbacks (1)  
4. Site Photo (1)

Ross Lovell  
**MANAGER CITY PLANNING**

ATTACHMENT 1  
LOCATION PLAN  
3 ATWELL COURT, LINDISFARNE



**Disclaimer:** This map is a representation of the information currently held by Clarence City Council. While every effort has been made to ensure the accuracy of the product, Clarence City Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated. Copying or reproduction, without written consent is prohibited. **Date:** Wednesday, 15 November 2017 **Scale:** 1:397.4 @A4



By: GEO Environmental Solutions  
Date: 2 August 2017

Rate: Low  
By:  
Date:

By: Lark & Creese  
Date: 15 August 2017

By: Alan Kirk  
Date:

Class: Moderate

Class:

Class: M

N2  $V_{h,u} = 40\text{m/s}$

Folio No: 2  
Volume: 168317

Land	-	420.00m <sup>2</sup>
Level 1	-	64.61m <sup>2</sup>
Level 2 deck	-	54.87m <sup>2</sup>
Level 2	-	141.32m <sup>2</sup>
Vergola	-	21.88m <sup>2</sup>
TOTAL (for site coverage)-		196.19m <sup>2</sup>
Site Coverage	-	46.71%



ABN: 18 220 805 704  
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## Clint Wills

## Residential Home

3 Atwell Court,  
Lindisfarne

Scale:  
DWG: 1 of 9  
Date: 14 October 2017

## Cover

<b>Amendments</b>	
Date	By
<p>Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.</p>	

Layout Index		
ID	Layout Name	Rev
1	Cover	
2	Site Plan	
3	Floor Plan Level 1	
4	Floor Plan Level 2	
5	Elevations	
6	Elevations	
7	Roof Plan	
8	Door & Window Schedule	
9	Shadow Diagrams	

Excalibur Place

4 Excalibur Place

Privacy screen in modwood  
25% Maximum transparency

Stepped retainer wall

Vergola opening roof

Privacy screen in modwood  
25% Maximum transparency

1 Atwell Court

Easement area

Timber deck and balustrade

SW

Existing retainer wall to be replaced  
with new blockwork to match house

Front setback as per land survey  
by Lark & Creese 15th August 2017

6 Atwell Court

Rear setback

Clothesline

Existing pailing fences  
+/-1.5m high treated pine

Modwood slat side fence

Lower level

Level 2

Concrete stairs

5 Atwell Court

Block retainer walls to be stepped

Driveway to be paved

Atwell Court

Letterbox

Front setback

Paved front steps to entry

Proposed House  
FFL 40.90 Level 2

Flat lawn area

Flat lawn area

Step down

Step down

Deck

SW

S



ABN: 18 220 805 704  
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**Client**

Clint Wills

**Job**

Residential Home

**Job address**

3 Atwell Court,  
Lindisfarne

**Drawing**

Scale: 1:200

DWG: 2 of 9

Date: 14 October 2017

**Site Plan**



**Amendments**

Date	By
14-10-2017	CW

Builders, Tradesmen, Sub-contractors  
and Prefabricators to verify all  
dimensions and levels prior to  
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Client

Clint Wills

Job

Residential Home

Job address

3 Atwell Court,  
Lindisfarne

Drawing

Scale: 1:100  
DWG: 3 of 9  
Date: 14 October 2017

Floor Plan Level 1



Plumbing

Final internal sizes & layout to be determined by the plumber to council approval. See specifications for other details.

	Downpipes
	Sewer Line
	Stormwater Line
	Agg Pipe
	450x450 Pit

1	Toilet	100 dia
2	Bath	40 dia
3	Basin	40 dia
4	Trough	50 dia
5	Kit sink	50 dia
6	Shower	50 dia
7	Floor waste	50 dia

Walls

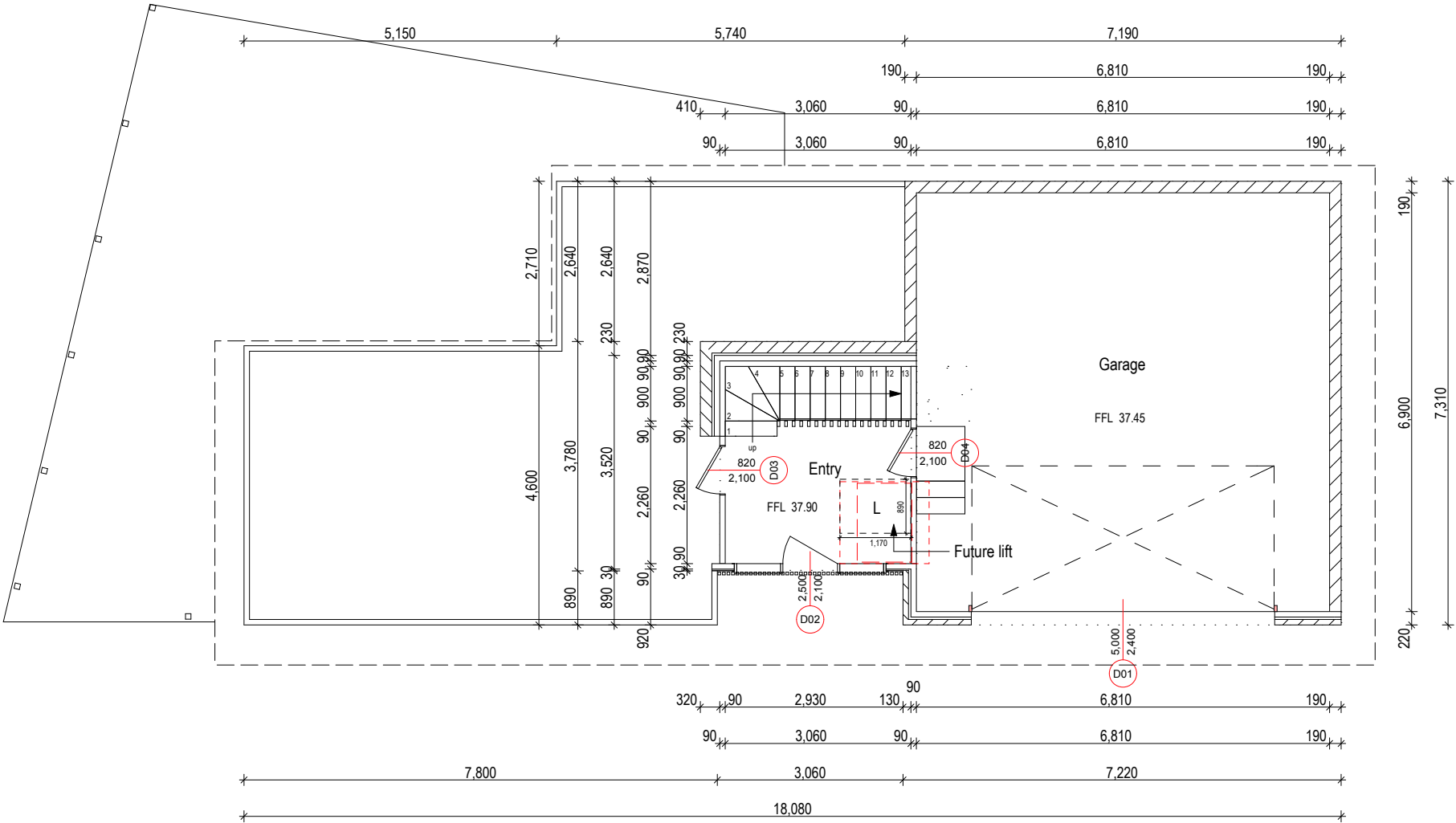
	Existing Walls
	New Walls
	Walls to be removed

Windows

	Width	Height
	1,210	900
W05	Window number	

Amendments	
Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.



ABN: 18 220 805 704  
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**Client**

Clint Wills

**Job**

Residential Home

**Job address**

3 Atwell Court,  
Lindisfarne

**Drawing**

Scale: 1:100

DWG: 4 of 9

Date: 14 October 2017

**Floor Plan Level 2**



**Plumbing**

Final internal sizes & layout to be determined by the plumber to council approval. See specifications for other details.

○	Downpipes
— . — . —	Sewer Line
— — — — —	Stormwater Line
— — — — —	Agg Pipe
	450x450 Pit

1	Toilet	100 dia
2	Bath	40 dia
3	Basin	40 dia
4	Trough	50 dia
5	Kit sink	50 dia
6	Shower	50 dia
7	Floor waste	50 dia

**Walls**

Existing Walls

New Walls

Walls to be removed

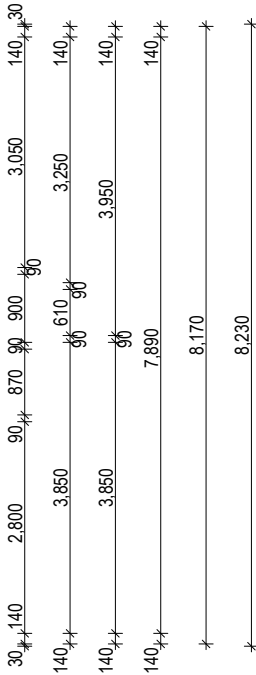
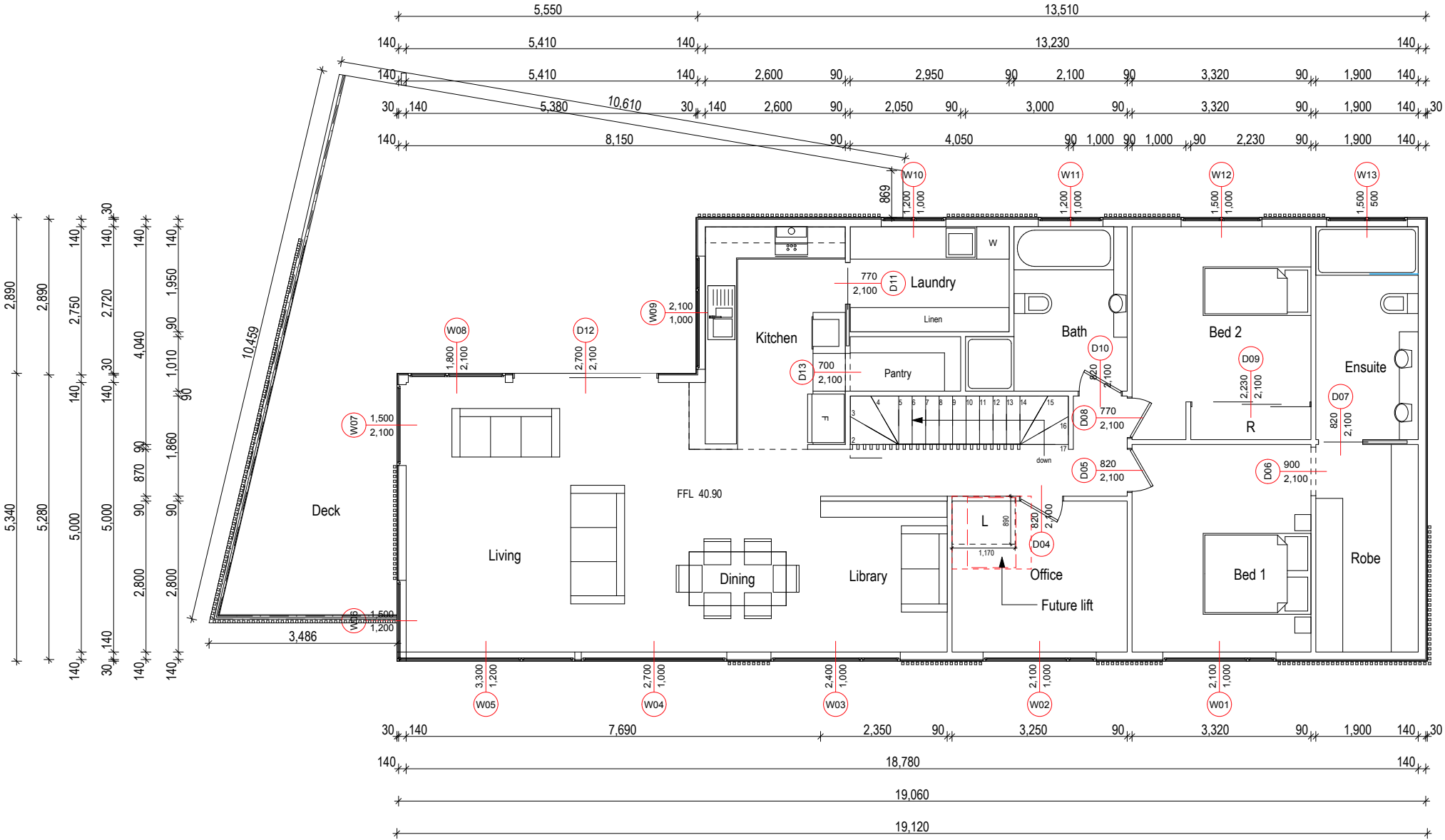
**Windows**

Width	Height	Window number
1,210	900	W05

**Amendments**

Date	By
------	----

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.



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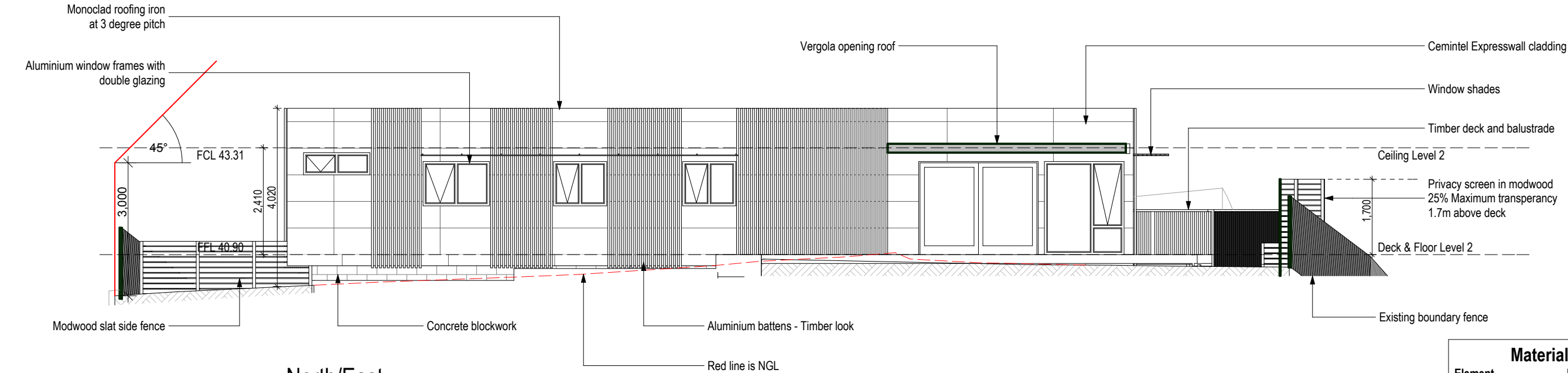
**Client**  
Clint Wills

**Job**  
Residential Home

**Job address**  
3 Atwell Court,  
Lindisfarne

**Drawing**  
Scale: 1:100  
DWG: 5 of 9  
Date: 14 October 2017

**Elevations**

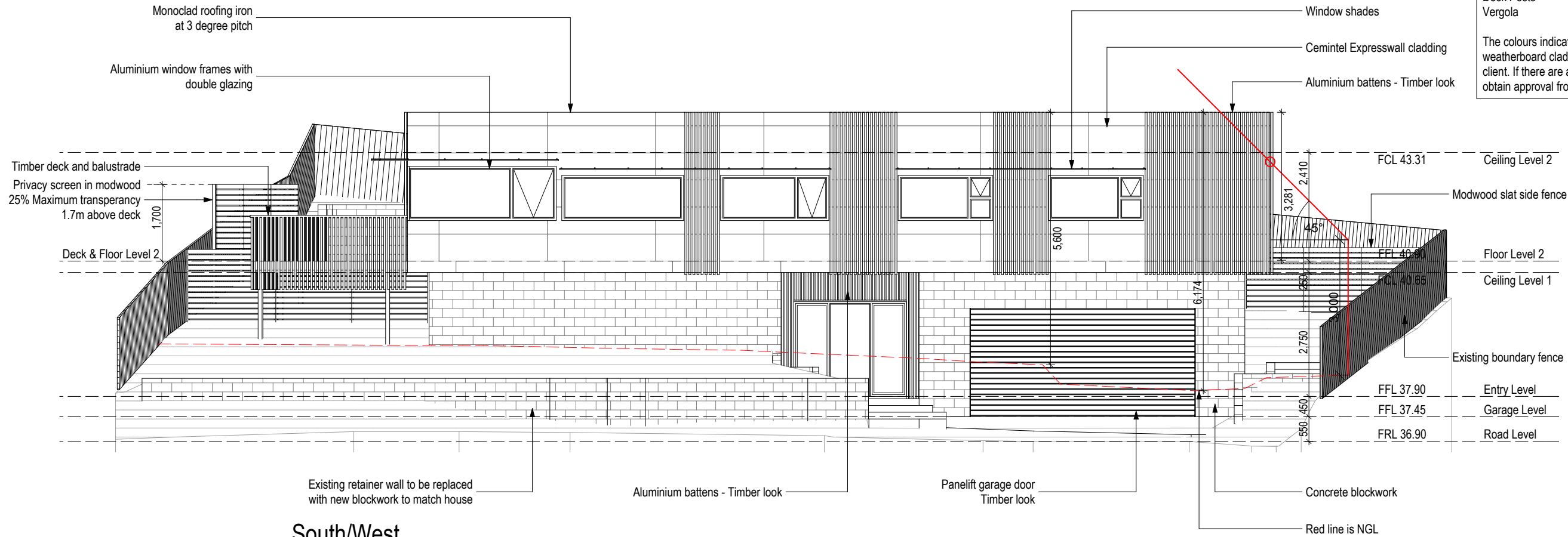


North/East

**Material & Colour Schedule**

Element	Material	Colour
Wall cladding	Cemintel Expresswall	Dulux Taihape 157
Level 1 External Walls	Blockwork	Tech Dry Natural
Downpipes	uPVC	To match wall
Roof CGI Colorbond	Monoclad	Shale Grey
Battens Over Cladding	Decowood	Western Red Cedar
Shade & Privacy Posts	Aluminium	Monument
Window Shades	Modwood	Jarra
Privacy Screens	Modwood	Blackbean
Side Fences	Modwood	Blackbean
Windows & Doors	Aluminium	Natural Aluminium
Entry Door & Frame	Timber	Dulux Taihape 157
Decking Boards	Modwood	Jarra
Deck balustrade	Hardwood & Decowood	Western Red Cedar
Deck Posts	Hardwood	Western Red Cedar
Vergola	Steel & Aluminium	Taihape 157 & White

The colours indicated for non pre-finished elements (eg timber posts, weatherboard claddings) in the schedule are to be verified on site by the client. If there are any changes made to paint colours, the owner shall obtain approval from the certifying authority before putting work in hand



South/West

**Amendments**

Date	By
14-10-2017	CW

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.

Elevations

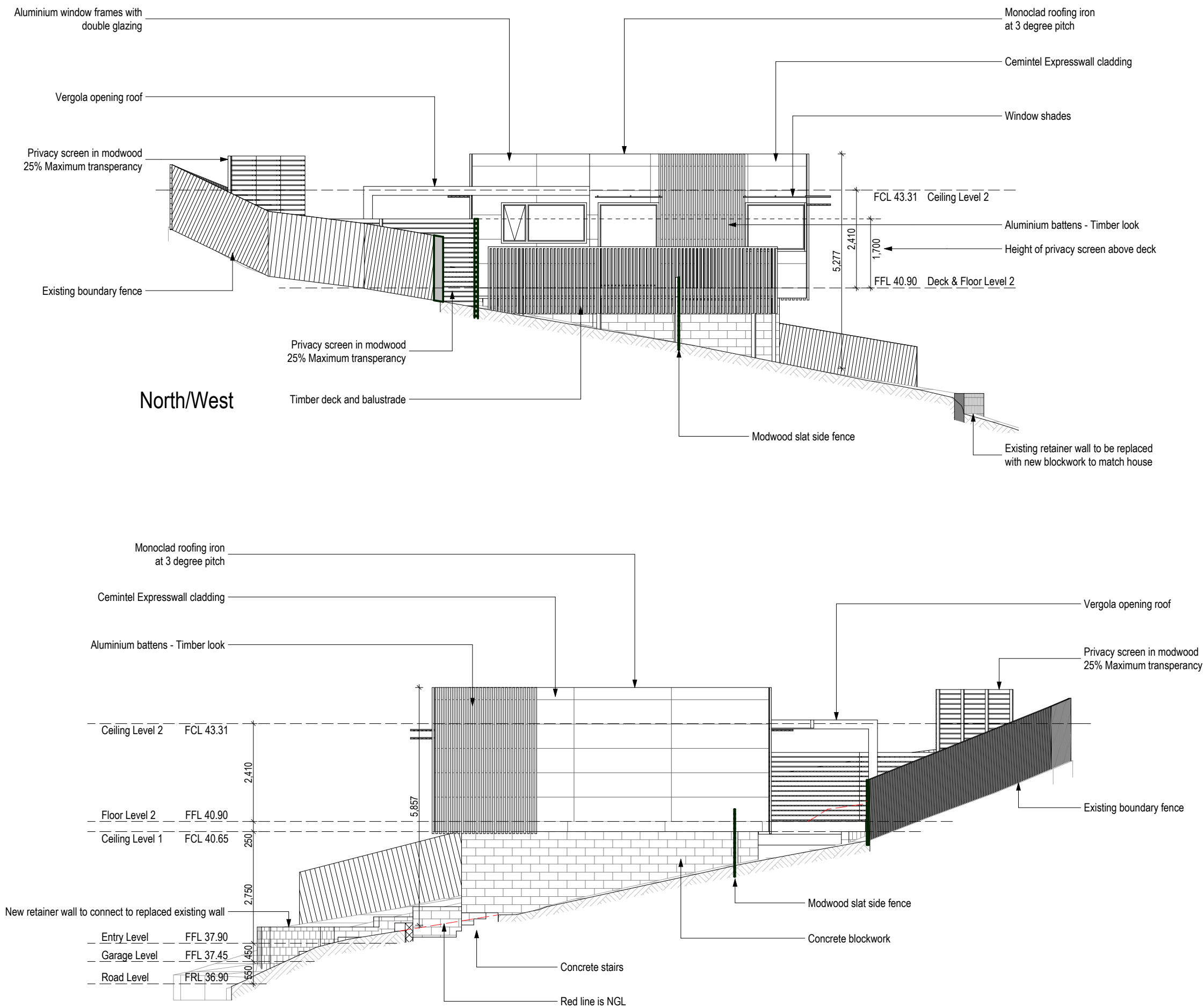
Material & Colour Schedule

Element	Material	Colour
Wall cladding	Cemintel Expresswall	Dulux Taihape 157
Level 1 External Walls	Blockwork	Tech Dry Natural
Downpipes	uPVC	To match wall
Roof CGI Colorbond	Monoclad	Shale Grey
Battens Over Cladding	Decowood	Western Red Cedar
Shade & Privacy Posts	Aluminium	Monument
Window Shades	Modwood	Jarrah
Privacy Screens	Modwood	Blackbean
Side Fences	Modwood	Blackbean
Windows & Doors	Aluminium	Natural Aluminium
Entry Door & Frame	Timber	Dulux Taihape 157
Decking Boards	Modwood	Jarrah
Deck balustrade	Hardwood & Decowood	Western Red Cedar
Deck Posts	Hardwood	Western Red Cedar
Vergola	Steel & Aluminium	Taihape 157 & White

The colours indicated for non pre-finished elements (eg timber posts, weatherboard claddings) in the schedule are to be verified on site by the client. If there are any changes made to paint colours, the owner shall obtain approval from the certifying authority before putting work in hand

Amendments		
Date	By	
14-10-2017	CW	

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.



Excalibur Place

4 Excalibur Place

1 Atwell Court

Proposed House  
FFL 40.90 Level 2

Kitchen window

Highlight window to living room

5 Atwell Court

Atwell Court

12 noon

3pm

Shadow line

9am

6 Atwell Court



ABN: 18 220 805 704  
Compliance No: CC 1159 Q  
p: 6243 1182  
m: 0409 432 670  
e: clint.draftone@bigpond.com

**Client**  
Clint Wills  
**Job**  
Residential Home

**Job address**  
3 Atwell Court,  
Lindisfarne

**Drawing**  
Scale: 1:200  
DWG: 9 of 9  
Date: 14 October 2017

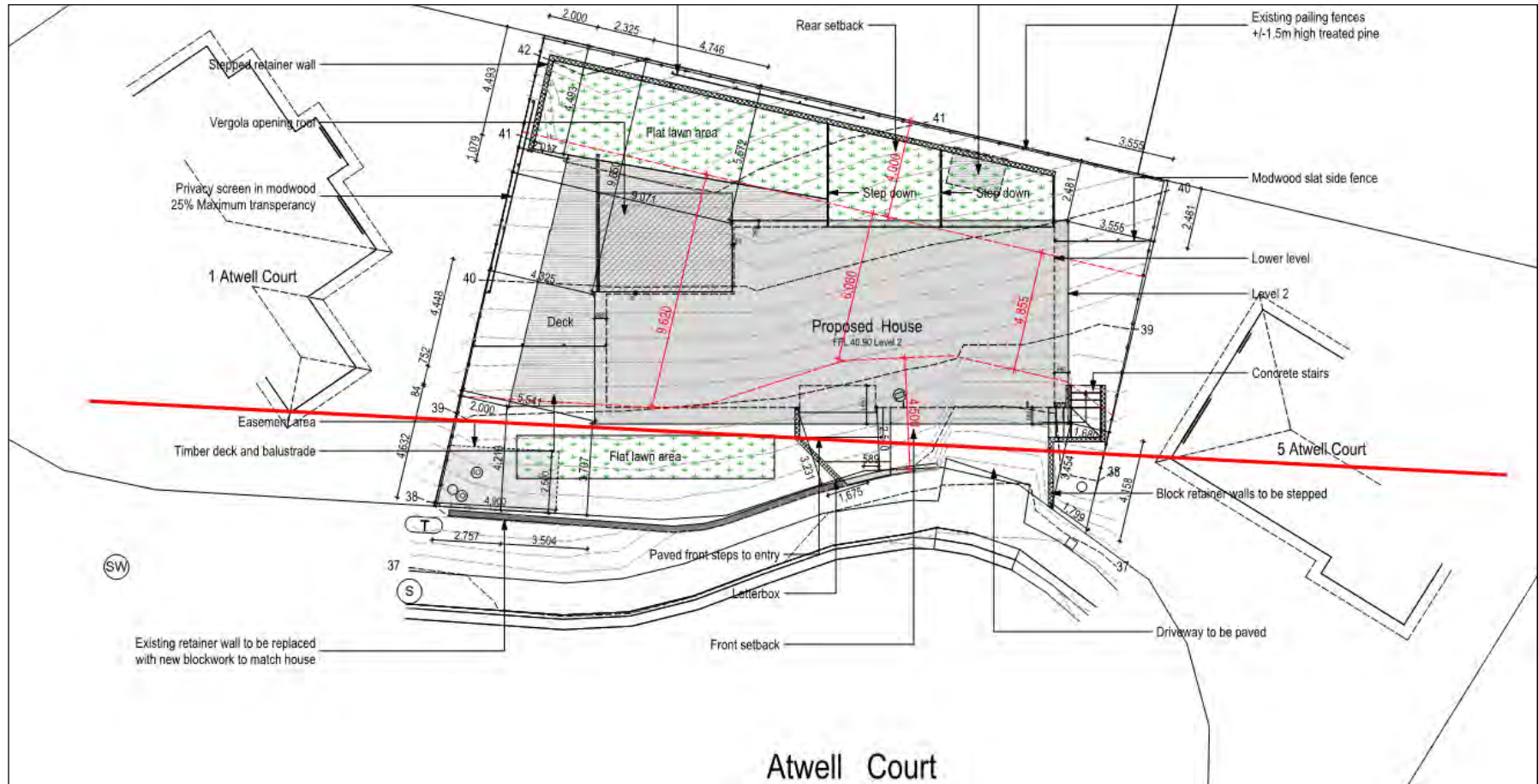
**Shadow Diagrams**



Amendments	
Date	By

Builders, Tradesmen, Sub-contractors and Prefabricators to verify all dimensions and levels prior to commencing any building works. Use written dimensions only. Do not scale from drawings.





**Figure 1:** The existing dwellings located at 1 and 5 Atwell Court. The location of the proposed dwelling is denoted in grey hatching along with a red line showing the relationship of the proposed dwelling to the building line established by the two adjoining dwellings.

**3 Atwell Court, Lindisfarne**



***Photo 1: The subject site when viewed from Atwell Court, Lindisfarne.***

**11.3.5 DEVELOPMENT APPLICATION D-2017/245 - 96 TRANMERE ROAD, HOWRAH - 2 MULTIPLE DWELLINGS (1 EXISTING DWELLING WITH NEW ADDITION + 1 NEW DWELLING)**

(File No D-2017/245)

**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for 2 Multiple Dwellings (1 existing dwelling with new addition + 1 new dwelling) at 96 Tranmere Road, Howrah.

**RELATION TO PLANNING PROVISIONS**

The land is zoned General Residential and subject to the Stormwater Management code and Parking & Access codes under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

**LEGISLATIVE REQUIREMENTS**

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 10 November 2017 and was extended with the consent of the applicant until 1 December 2017.

**CONSULTATION**

The proposal was advertised in accordance with statutory requirements and 1 representation was received raising the following issues:

- height; and
- visual bulk

**RECOMMENDATION:**

- A. That the Development Application for 2 Multiple Dwellings (1 existing dwelling with new addition + 1 new dwelling) at 96 Tranmere Road, Howrah (CI Ref D-2017/245) be approved subject to the following conditions and advice.

1. GEN AP1 – ENDORSED PLANS.



2. ENG A2 – CROSSOVER CHANGE.
  3. ENG A5 – SEALED CAR PARKING.
  4. ENG S1 – INFRASTRUCTURE REPAIR.
  5. ENG M1 – DESIGNS DA.
  6. The development must meet all required Conditions of Approval specified by TasWater notice dated 29/06/2017 (TWDA 2017/00969-CCC).
- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council’s decision in respect of this matter.

---

## **ASSOCIATED REPORT**

### **1. BACKGROUND**

Planning approval D-2013/139 was granted by the Resource Management Planning & Appeals Tribunal on 19 August 2014 for 2 Multiple Dwellings (1 existing and 1 new) at 96 Tranmere Road, Howrah.

A 2 year extension to the permit was granted on 19 August 2016 and an application for a minor amendment was lodged on 11 October 2016. As the proposed changes related to additional discretion under planning approval D-2013/139 and changes that varied from the consent agreement signed by the parties involved in the appeal, a new planning application has been lodged.

This proposal is subject to assessment under the current Scheme and accordingly different standards to the previous application approved under D-2013/139.

### **2. STATUTORY IMPLICATIONS**

**2.1.** The land is zoned General Residential under the Scheme.

**2.2.** The proposal is discretionary because it does not meet the Acceptable Solutions under the Scheme.

**2.3.** The relevant parts of the Planning Scheme are:

- Section 8.10 – Determining Applications;
- Section 10 – General Residential Zone; and
- Section E6.0 – Parking & Access Code and E7.0 Stormwater Management Code.

**2.4.** Council’s assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

### **3. PROPOSAL IN DETAIL**

#### **3.1. The Site**

The site is a regular 954m<sup>2</sup> lot (CT Ref 11891/48) on the eastern side of Tranmere Road. The site contains an existing dwelling located towards the front of the lot, an existing carport, studio and covered storage area. Direct access to the site is from Tranmere Road.

#### **3.2. The Proposal**

The proposal is for 2 Multiple Dwellings and involves the removal of 2 existing outbuildings. The existing dwelling (Unit 1) will be retained largely unaltered, with the conversion of an existing studio that is located at the rear of the dwelling into an additional bedroom, a new bathroom/laundry and a new garage. A new deck would also be added to the northern and western elevation of the existing dwelling. The gross floor area of Unit 1, excluding the deck, would be 233.2m<sup>2</sup>.

The new dwelling (Unit 2) will be 2 storey, 3 bedroom with a screened deck on the upper level floor and have an overall height above natural ground level of 5.48m. Unit 2 would have a gross floor area of 122.3m<sup>2</sup>.

The proposal does not differ greatly from that approved previously, however, the overall height of Unit 2 has increased by approximately 0.2m in the current proposal.

#### **4. PLANNING ASSESSMENT**

##### **4.1. Determining Applications [Section 8.10]**

*“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:*

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

*but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.*

Reference to these principles is contained in the discussion below.

##### **4.2. Compliance with Zone and Codes**

The proposal meets the Scheme’s relevant Acceptable Solutions of the General Residential Zone and relevant Codes with the exception of the following.

##### **General Residential Zone**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
10.4.2 A1	Setbacks and building envelope	Unless within a building area, a dwelling, excluding protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m into the frontage setback, must have a setback from a frontage that is:	

		(a) if the frontage is a primary frontage, at least 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site; or	not applicable
		(b) if the frontage is not a primary frontage, at least 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site; or	not applicable
		(c) if for a vacant site with existing dwellings on adjoining sites on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street; or	not applicable
		(d) if the development is on land that abuts a road specified in Table 10.4.2, at least that specified for the road.	<p>Does not comply - Unit 1 currently achieves the required minimum setback of 6m to Tranmere Road.</p> <p>A 1.1m wide deck with a finished floor level of 1m above natural ground level is proposed. The deck includes a 1m high glass balustrade.</p> <p>As a result of the proposed deck, Unit 1 would achieve a minimum setback of 4.9m to Tranmere Road.</p>

The proposed variation must be considered pursuant to the Performance Criteria P1 of the Clause 10.4.2 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<p><i>“A dwelling must:</i></p> <p><i>(a) have a setback from a frontage that is compatible with the existing dwellings in the street, taking into account any topographical constraints; and</i></p>	<p>The deck for Unit 1 would partially wrap around the northern and western side of Unit 1 and protrude into the front setback. The extent of the protrusion is not significant as Unit 1 currently achieves a varying frontage setback which increases from 6m to 7.5m.</p> <p>The setback of and stairs to the deck shown on the western elevation are compatible with other front setbacks in the street including 93 Tranmere Road (approximately 2.7m), 103 Tranmere Road (approximately 3.4m), 105 Tranmere Road (approximately 5.2m) and 107 Tranmere Road (approximately 4.5m).</p>
<p><i>(b) if abutting a road identified in Table 10.4.2, include additional design elements that assist in attenuating traffic noise or any other detrimental impacts associated with proximity to the road”.</i></p>	<p>The deck includes glass balustrade which enhances the appearance of Unit 1. In addition, there will not be an impact on the amenity to Unit 1 as the main useable area of the deck is located on the northern elevation.</p>

### **General Residential Zone**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
10.4.2 A3	Setbacks and building envelope	<p>A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:</p> <p>(a) be contained within a building envelope (refer to Diagrams 10.4.2A, 10.4.2B, 10.4.2C and 10.4.2D) determined by:</p>	<p>Does not comply – the proposed Unit 2 would achieve a minimum setback of 2.5m from the rear property boundary, 1.5m less than the required 4m setback.</p>

		(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and	Unit 2 complies with the building envelope requirement in terms of the side setbacks proposed.
		(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and	Does not comply – as mentioned above, Unit 2 does not achieve the 4m rear boundary setback requirement.  Unit 2 would be located 2.5m from the northern end of the rear boundary and 3.3m from the southern end of the rear boundary due to the proposed orientation of the dwelling.
		(b) only have a setback within 1.5m of a side boundary if the dwelling: (i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining lot; or	complies
		(ii) does not exceed a total length of 9m or one-third the length of the side boundary (whichever is the lesser).	complies

The proposed variation must be considered pursuant to the Performance Criteria P3 of the Clause 10.4.2 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<p><i>“The siting and scale of a dwelling must:</i></p> <p><i>(a) not cause unreasonable loss of amenity by:</i></p>	<p>Shadow diagrams have been provided which depict the extent of shadow cast to neighbouring properties.</p> <p>These show that there would only be some overshadowing to the living area at 98 Tranmere Road on 21 June at 9am.</p>

(i) <i>reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or</i>	The living area is shown to receive full sun for the rest of the day and there is no reduction in sunlight to a habitable room of any other dwellings adjoining 96 Tranmere Road, as the other dwellings are located further away from the proposed Unit 2.
(ii) <i>overshadowing the private open space of a dwelling on an adjoining lot; or</i>	<p>The shadow diagrams show that the adjoining property at 98 Tranmere Road would receive some overshadowing only at 3pm on 21 June.</p> <p>There is no impact in respect to overshadowing of private open space on adjoining lots as a result of the proposed rear setback variation.</p>
(iii) <i>overshadowing of an adjoining vacant lot; or</i>	not applicable
(iv) <i>visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and</i>	<p>The visual impact of the proposed Unit 2 caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot is considered reasonable.</p> <p>As Unit 2 does not fall within the building envelope in terms of the 4m rear setback requirement, the impact would be an additional 2.2m of building height (above the 3m allowed), 1.5m closer to the rear boundary than what is allowed under the building envelope.</p> <p>As the properties that share the rear boundary for 96 Tranmere Road (1 Anulka Street and 3 Elinga Street) have dwellings well setback from the rear boundary of 96 Tranmere Road, the 1.5m encroachment of Unit 2 into the rear setback is unlikely to result in a substantially varied visual bulk impact compared with if Unit 2 was able to achieve the 4m rear setback requirement.</p>

<p><i>(b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area”.</i></p>	<p>The properties that share the rear boundary for 96 Tranmere Road (1 Anulka Street and 3 Elinga Street) have dwellings well setback from the rear boundary of 96 Tranmere Road.</p> <p>The aerial overview of the surrounding area shows that there is a multiple dwelling development at 100 Tranmere Road which includes a unit at the rear of the property located on the side and rear boundaries for the property.</p>
--	---

### **Parking and Access Code**

Clause	Standard	Acceptable Solution (Extract)	Proposed
E6.6.1	Number of Car Parking Spaces	<p>The number of on-site car parking spaces must be:</p> <p>(a) no less than the number specified in Table E6.1;</p>	<p>The proposed multiple dwelling development would include 2 car parks for each dwelling.</p> <p>Table E6.6.1 states that multiple dwellings containing 2 or more bedrooms require car parking spaces at a rate of 2 for each dwelling and; 1 dedicated visitor parking space per 4 dwellings (rounded up to the nearest whole number). However, no visitor car parking space is included in the proposal.</p>

The proposed variation must be considered pursuant to the Performance Criteria P1 of the Clause E6.6.1 as follows.

Performance Criteria	Proposal
<p><i>“The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:</i></p> <p>(a) <i>car parking demand;</i></p>	<p>The proposal provides 2 car parking spaces for each of the dwellings is considered reasonable in light of on street car parking availability in the area.</p> <p>The provision of 1 visitor space would serve up to 4 residential units, as there are only 2 units, the demand for a visitor car parking space is unlikely to have an impact on the street.</p>



(b) <i>the availability of on-street and public car parking in the locality;</i>	Adequate on street parking is available along Tranmere Road and nearby Anulka Street.
(c) <i>the availability and frequency of public transport within a 400m walking distance of the site;</i>	The property is along a bus route and within 400m of a bus stop on Tranmere Road and which has a regular public transport service.
(d) <i>the availability and likely use of other modes of transport;</i>	Tranmere Road is a relatively level transport route making it accessible for cyclists and public transport.
(e) <i>the availability and suitability of alternative arrangements for car parking provision;</i>	Site limitations do not provide for the provision of another dedicated car parking space without impacting on the usable private open space areas, however, parking in the turning area for Unit 2 would provide for an alternative parking possibilities for visitors to that Unit.
(f) <i>any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;</i>	not applicable
(g) <i>any car parking deficiency or surplus associated with the existing use of the land;</i>	There are no surpluses or deficiencies in car parking associated with the existing residential use.
(h) <i>any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of substantial redevelopment of a site;</i>	not applicable
(i) <i>the appropriateness of a financial contribution in-lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity;</i>	A cash-in-lieu contribution is considered inappropriate, given the residential nature of the proposal and Council does not intend building any carparks in the vicinity.
(j) <i>any verified prior payment of a financial contribution in-lieu of parking for the land;</i>	not applicable
(k) <i>any relevant parking plan for the area adopted by Council;</i>	not applicable
(l) <i>the impact on the historic cultural heritage significance of the site if subject to the Local Heritage Code”.</i>	not applicable

## **5. REPRESENTATION ISSUES**

The proposal was advertised in accordance with statutory requirements and 1 representation was received. The following issues were raised by the representor.

### **5.1. Height**

Concern was raised that the proposed height of Unit 2 exceeds that of what was agreed and conditioned with the Tribunal as part of previous planning approval D-2013/319.

- A comparison of the previously approved plans for Unit 2 show that the overall height of the unit has increased from 5.26m to 5.48m. Under the previous planning scheme, the Clarence Planning Scheme 2007, a maximum height of 7.5m was allowed in the zone. However, under the current Scheme, a height of 8.5m is allowed under the Acceptable Solution. Therefore the proposed Unit 2 complies with the previous and current standards in the Scheme with regards to height.

### **5.2. Visual Impact**

Concern was raised in relation to visual impact, resulting from the rear setback variation being sought by the proposal. Furthermore, the representor expressed concern that the relevant Performance Criteria cannot be met for this standard.

- Whilst the representor has stated that the proximity of Unit 2 to the rear boundary will result in unreasonable scale and bulk when viewed from their adjoining property, as mentioned above the height of the proposed unit is well below what is allowed under the Acceptable Solution. Accordingly, the scale and height of Unit 2 is deemed to be consistent with the standards in the Scheme relevant to bulk and scale.
- The proposed rear setback for Unit 2 ranges from 2.5m to 3.31m and is therefore at least 1.5m closer than the 4m rear setback required by the Acceptable Solution in the Scheme. The rear boundary for 96 Tranmere Road is shared with 1 Anulka Street and 3 Elinga Street.

Dwellings at each of these properties are located clear of the 4m rear setback requirement. Therefore there is a minimum of 6.5m between dwellings on adjoining properties located to the east of 96 Tranmere. This is considered to be adequate separation between dwellings.

## **6. EXTERNAL REFERRALS**

The proposal was referred to TasWater, which has provided a number of conditions to be included on the planning permit if granted.

## **7. STATE POLICIES AND ACT OBJECTIVES**

**7.1.** The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

**7.2.** The proposal is consistent with the objectives of Schedule 1 of LUPAA.

## **8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS**

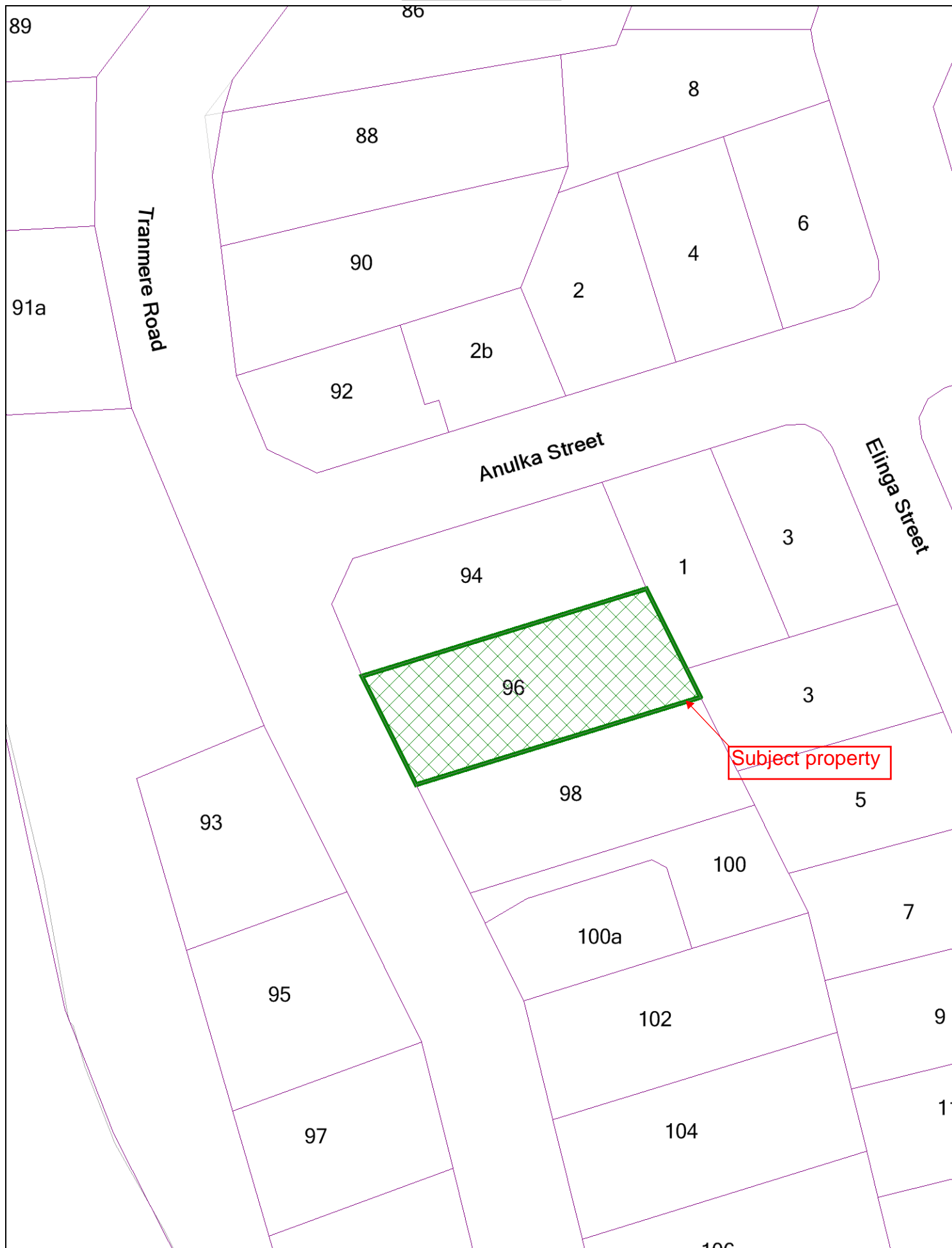
There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

## **9. CONCLUSION**

The proposal is recommended for approval.

Attachments: 1. Location Plan (1)  
2. Proposal Plan (11)  
3. Site Photo (1)

Ross Lovell  
**MANAGER CITY PLANNING**



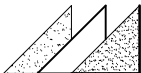
**Disclaimer:** This map is a representation of the information currently held by Clarence City Council. While every effort has been made to ensure the accuracy of the product, Clarence City Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated. Copying or reproduction, without written consent is prohibited. **Date:** Friday, 17 November 2017 **Scale:** 1:794.2 @A4

Attachment 2 - Plans

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# use figure dimensions in preference to scale – all dimensions and levels to be verified on site

AMENDMENTS:

 **LYNNELG P/L**  
**(drafting)**

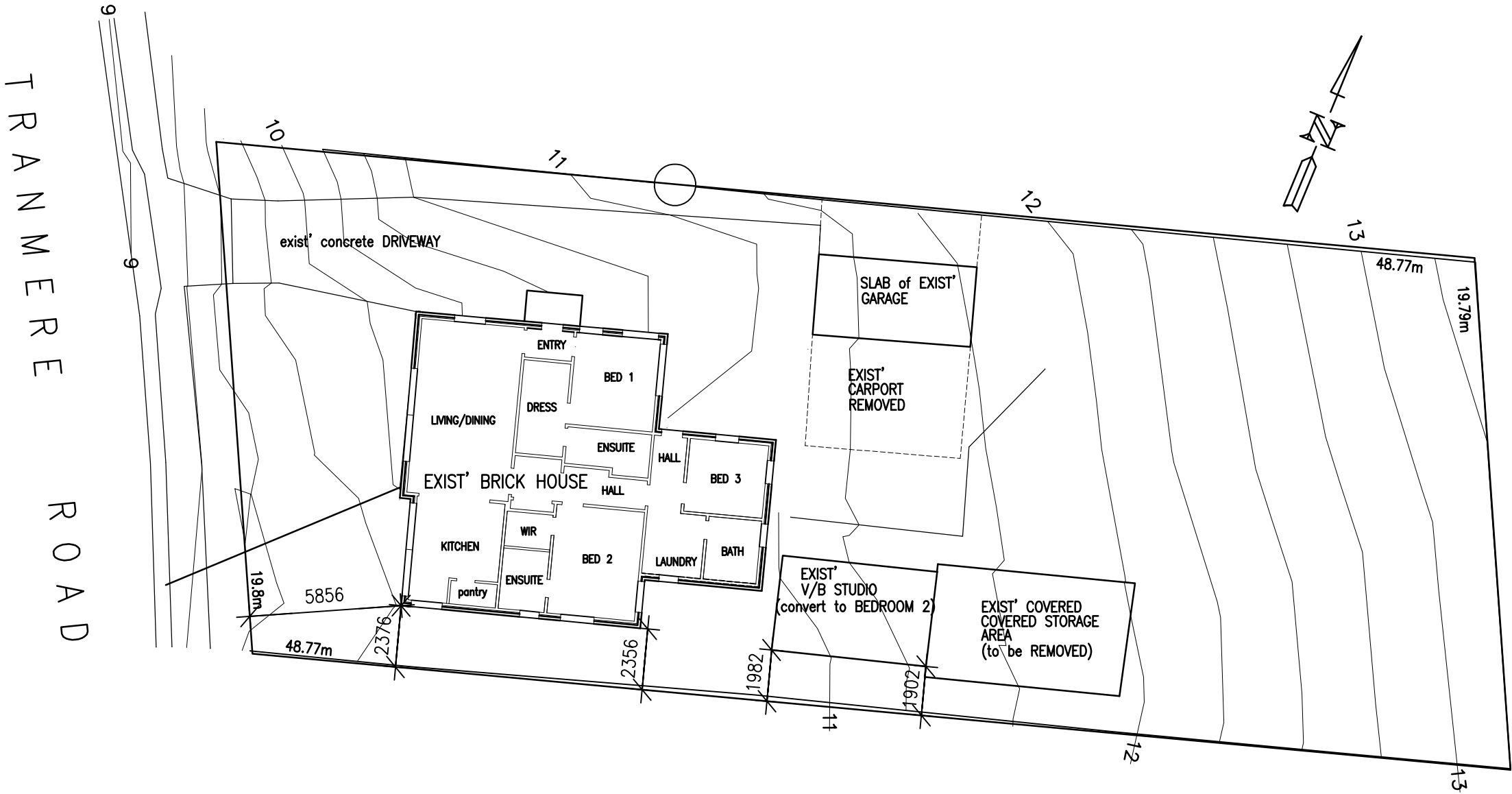
Glen Harris CC. 290'Q'  
24/521 Varley St,  
YORKEY'S KNOB, QLD.  
Mobile; 0402 867 929  
Email:  
southeastdesign@iprimus.com.au

client:  
JOHN GODDARD

project & address:  
**Proposed DEVELOPMENT  
APPLICATION for  
UNIT DEVELOPMENT  
@No96 Tranmere Road,  
HOWRAH.**

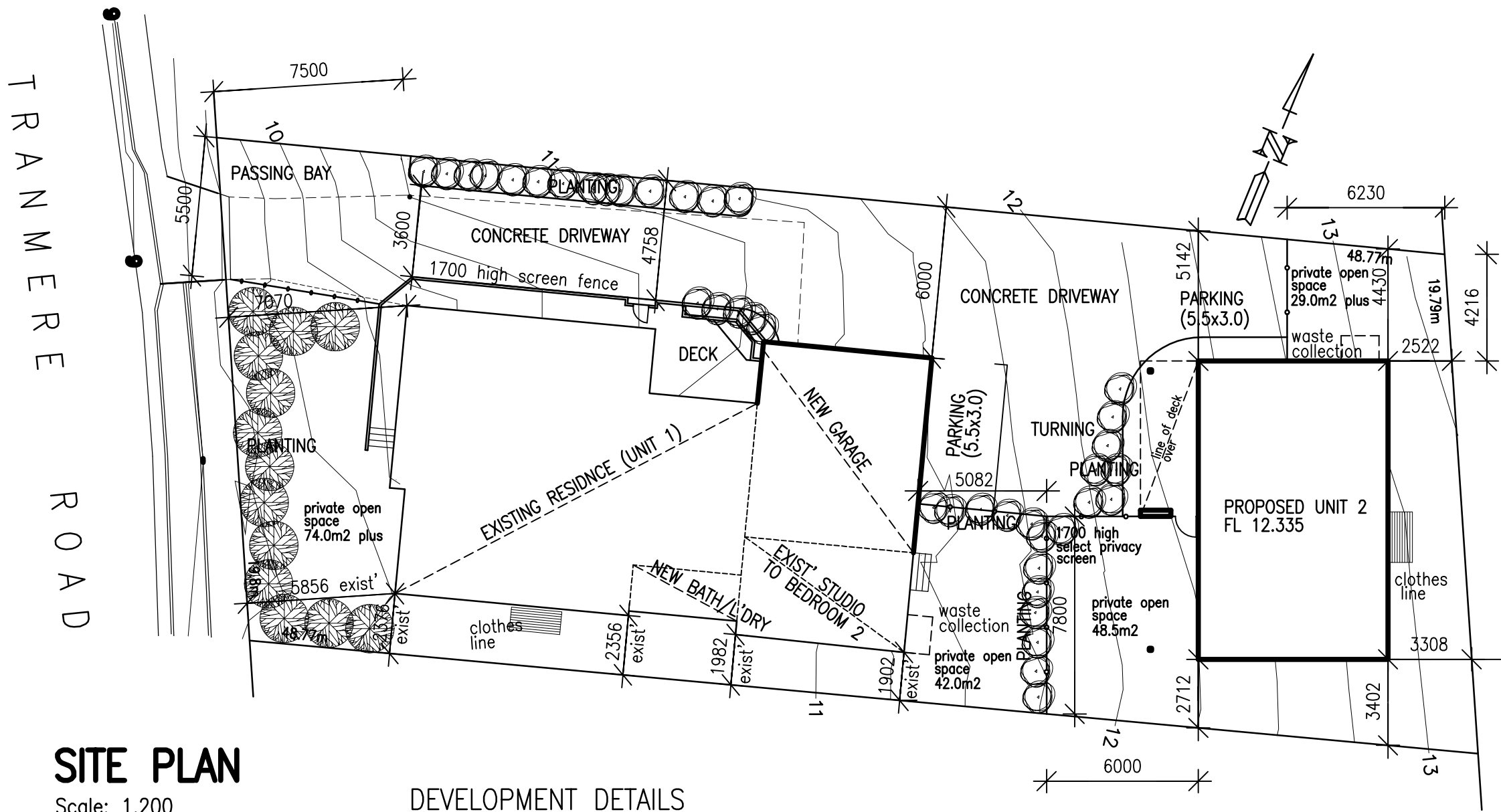
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**EXISTING CONDITIONS**

scale:	drawn:
1:200	GWH
date:	job no:
08/09/2017	40515
drawing no:	
<b>DA01</b>	



EXISTING CONDITIONS

Scale: 1.200



# SITE PLAN

Scale: 1.200

## DEVELOPMENT DETAILS

No96 Tranmere Road, HOWRAH.  
on folio ref CT 161759/2  
Site Area = 953.0m2

### GROSS FLOOR AREA'S (SITE COVER)

Existing Residence (Unit 1): 175.0m2  
Unit 1 (Proposed) : 233.2m2  
Unit 1 deck/patio : 23.0m2  
TOTAL (UNIT 1) : 256.2m2

Proposed UNIT 2 : 122.3m2  
TOTAL SITE COVER : 378.5m2 = 38.7%

Private Open Space.  
Unit 1 - 77.5m2  
Unit 2 - 116.0m2  
TOTAL - 193.5m2 (20.3%)

CAR PARKING  
Unit 1 - 2 spaces provided  
Unit 2 - 2 spaces provided  
TOTAL - 4No provided as required

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# use figure dimensions in preference to scale - all dimensions and levels to be verified on site

### AMENDMENTS:

'A'  
line of deck over added  
setback dimensions added  
'B'  
waste collection area added  
14/09/2014



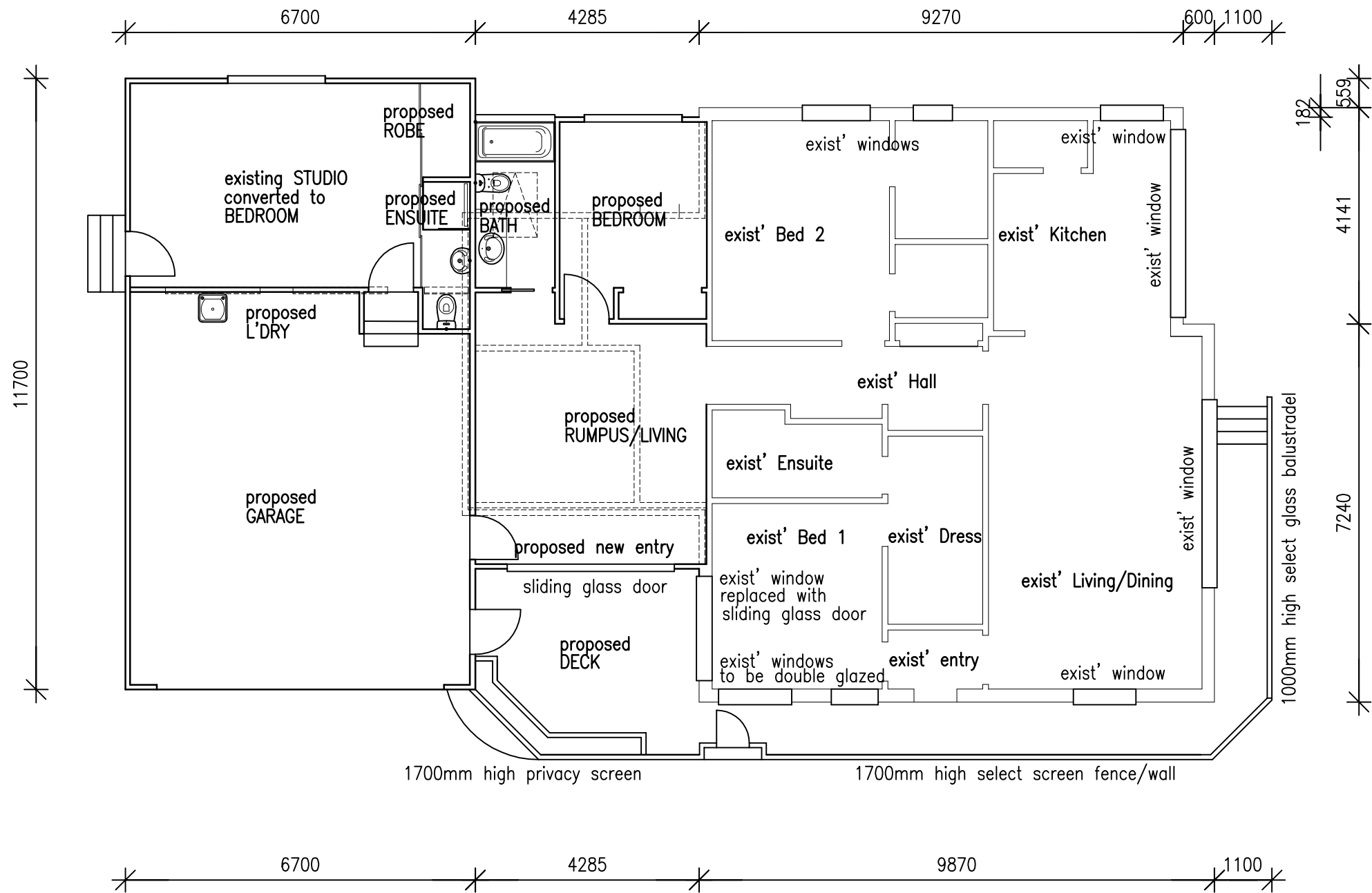
Glen Harris CC. 290'Q'  
24/521 Varley St,  
YORKEY'S KNOB, QLD.  
Mobile; 0402 867 929  
Email:  
southeastdesign@iprimus.com.au

client:  
JOHN GODDARD

project & address:  
**Proposed DEVELOPMENT  
APPLICATION for  
UNIT DEVELOPMENT  
@No96 Tranmere Road,  
HOWRAH.**

title:  
**SITE PLAN**

scale: 1:200  
drawn: GWH  
date: 08/09/2017  
job no: 40515  
drawing no: **DA02'B'**



# FLOOR PLAN (UNIT 1)

Scale: 1:100

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# use figure dimensions in preference to scale – all dimensions and levels to be verified on site

## AMENDMENTS:

'A'  
exist' windws shown  
privacy screen along  
driveway added



Glen Harris CC. 290'Q'  
24/521 Varley St,  
YORKEY'S KNOB, QLD.  
Mobile; 0402 867 929  
Email:  
southeastdesign@iprimus.com.au

client:  
JOHN GODDARD

project & address:  
**Proposed DEVELOPMENT  
APPLICATION for  
UNIT DEVELOPMENT  
@No96 Tranmere Road,  
HOWRAH.**

title:  
**FLOOR PLAN UNIT 1**

scale: 1:100  
date: 08/09/2017  
drawing no: **DA03'A'**  
drawn: GWH  
job no: 40515

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# use figure dimensions in preference to scale – all dimensions and levels to be verified on site

AMENDMENTS:



Glen Harris CC. 290'Q'  
24/521 Varley St,  
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Mobile; 0402 867 929  
Email:  
southeastdesign@iprimus.com.au

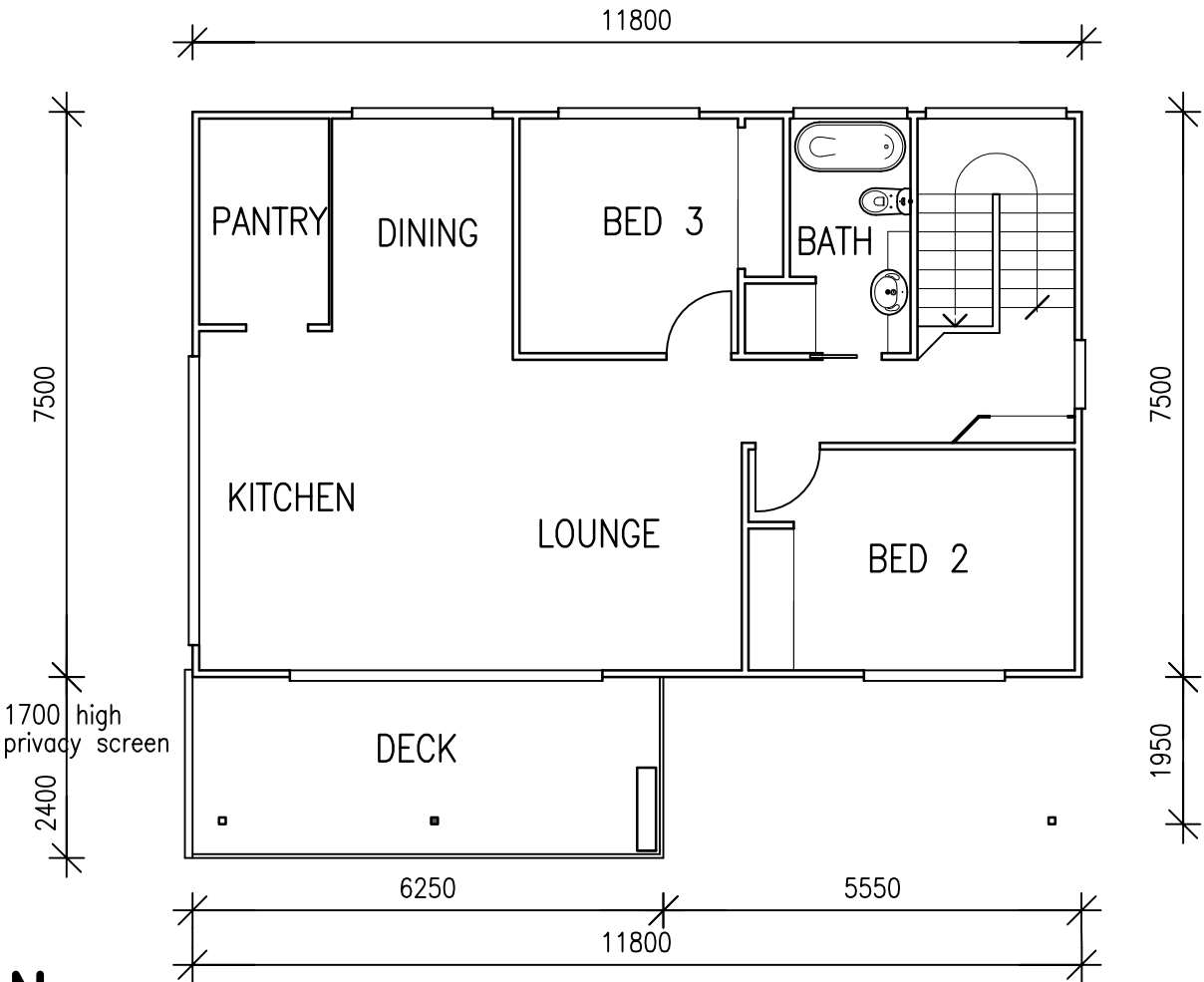
client:  
JOHN GODDARD

project & address:  
**Proposed DEVELOPMENT  
APPLICATION for  
UNIT DEVELOPMENT  
@No96 Tranmere Road,  
HOWRAH.**

title:  
FLOOR PLANS UNIT 2

scale: 1:100  
date: 25/04/2017  
drawing no: DA04  
drawn: GWH  
job no: 40515

FIRST FLOOR PLAN



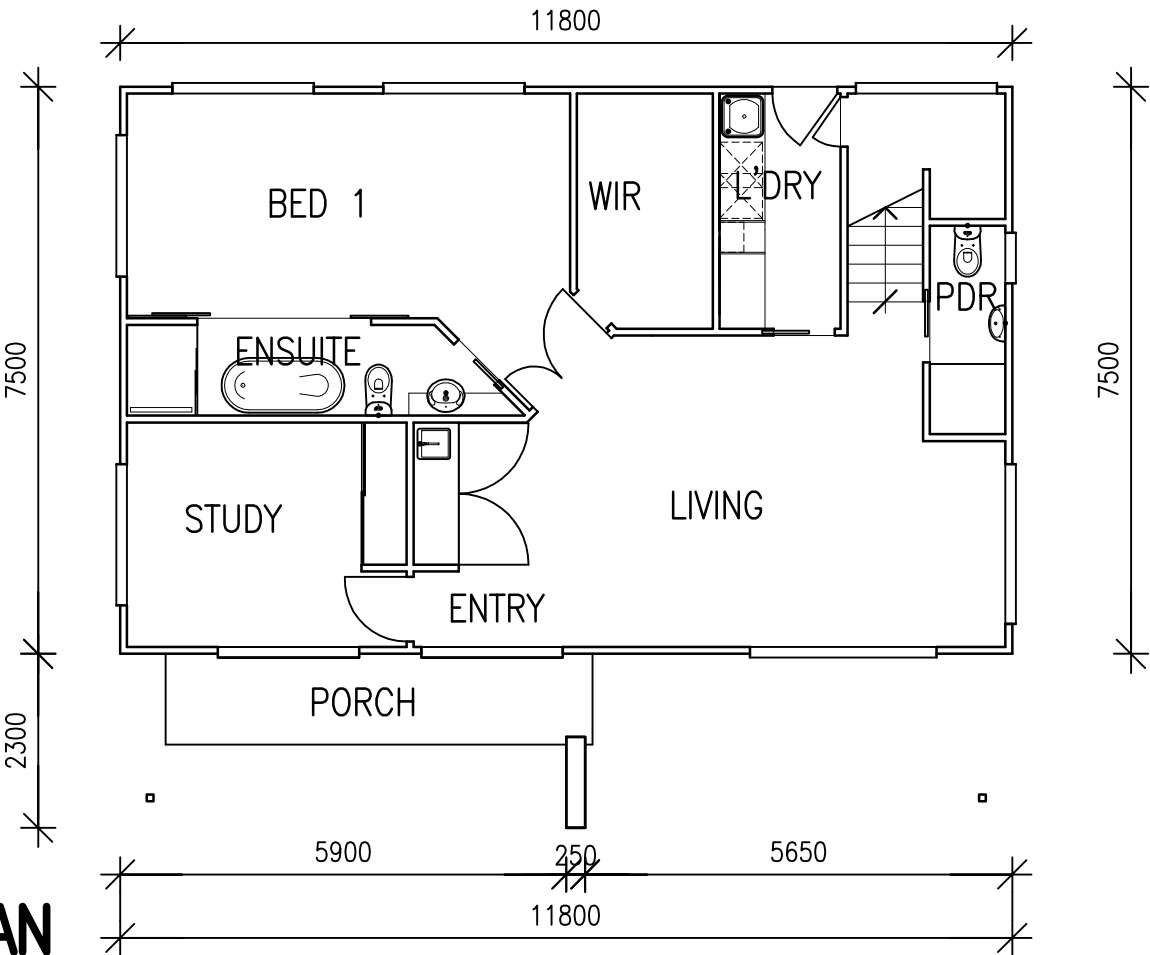
GROSS FLOOR AREA'S

GROUND FLOOR: 88.5m2  
FIRST FLOOR: 88.5m2  
DECKS: 15.0m2  
TOTAL: 192.0m2

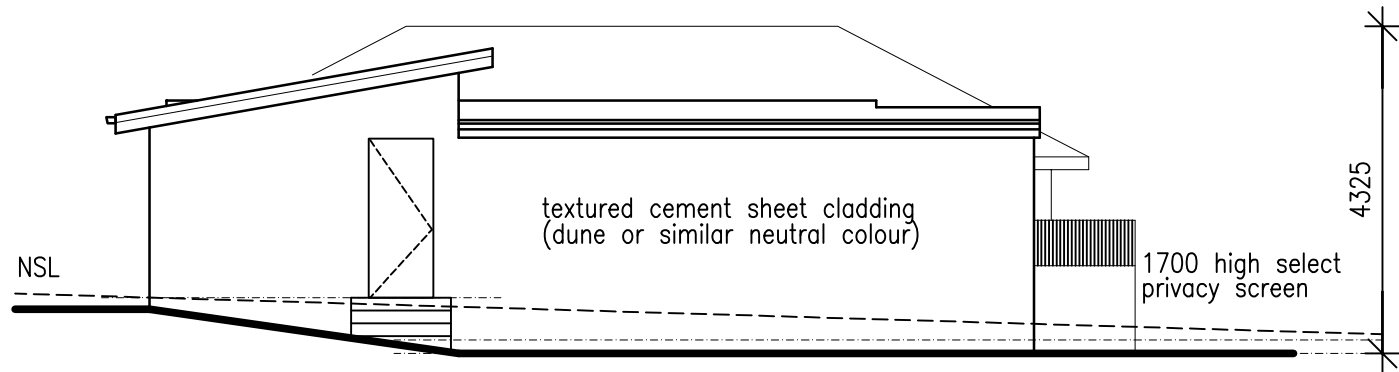
FLOOR PLANS (UNIT 2)

Scale: 1:100

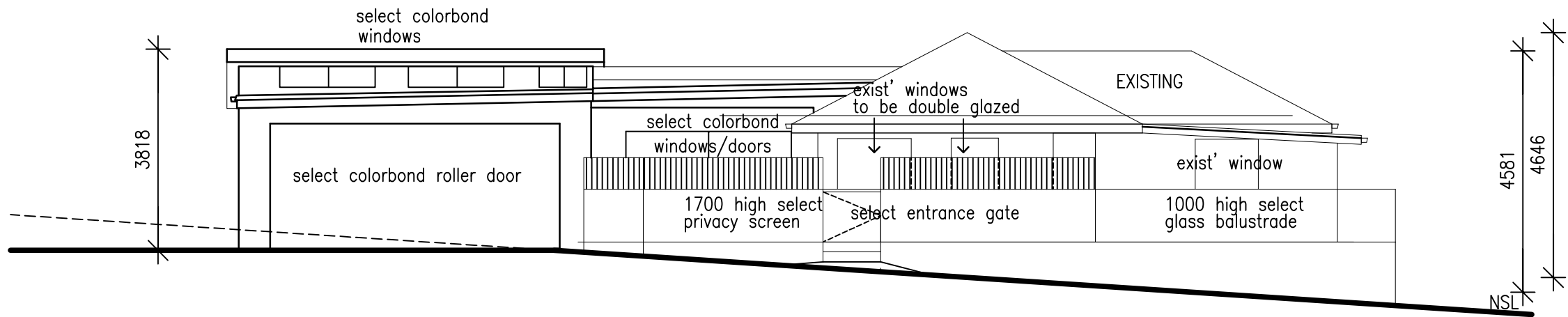
GROUND FLOOR PLAN







EAST ELEVATION



NORTH ELEVATION

Scale: 1:100

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# use figure dimensions in preference to scale – all dimensions and levels to be verified on site

AMENDMENTS:

'A'  
privacy screen added to north elevation  
'B'  
O/A heights added  
14/09/2014



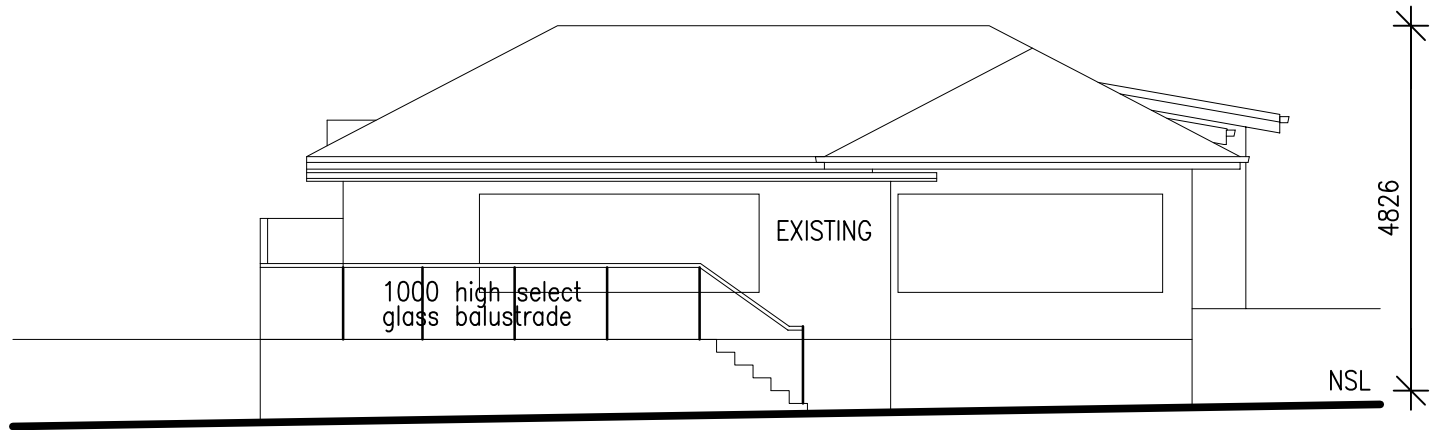
Glen Harris CC. 290'Q'  
24/521 Varley St,  
YORKEY'S KNOB, QLD.  
Mobile; 0402 867 929  
Email:  
southeastdesign@iprimus.com.au

client:  
JOHN GODDARD

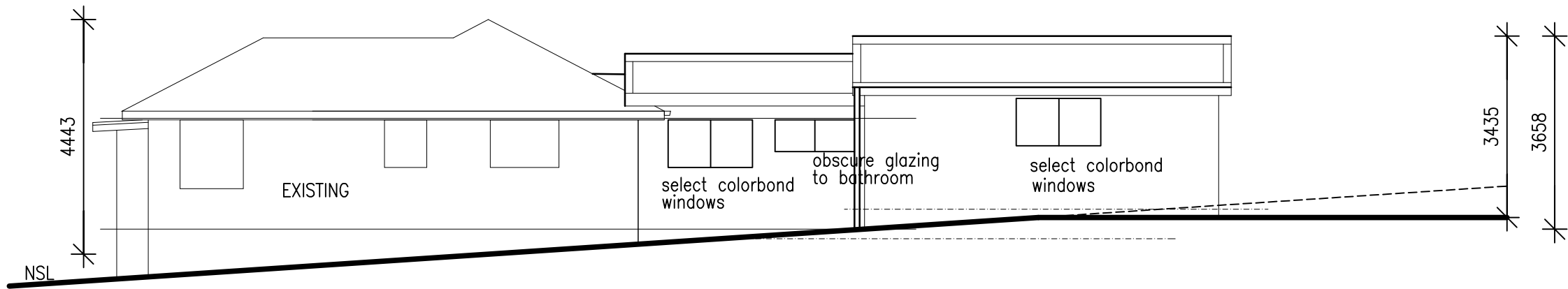
project & address:  
**Proposed DEVELOPMENT  
APPLICATION for  
UNIT DEVELOPMENT  
@No96 Tranmere Road,  
HOWRAH.**

title:  
**ELEVATIONS UNIT 1**

scale: 1:100  
date: 08/09/2017  
drawing no: **DA05'B'**  
drawn: GWH  
job no: 40515



WEST ELEVATION



SOUTH ELEVATION  
Scale: 1.100

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AMENDMENTS:

- 'A'  
privacy screen added to west elevation
- 'B'  
O/A heights added  
14/09/2014



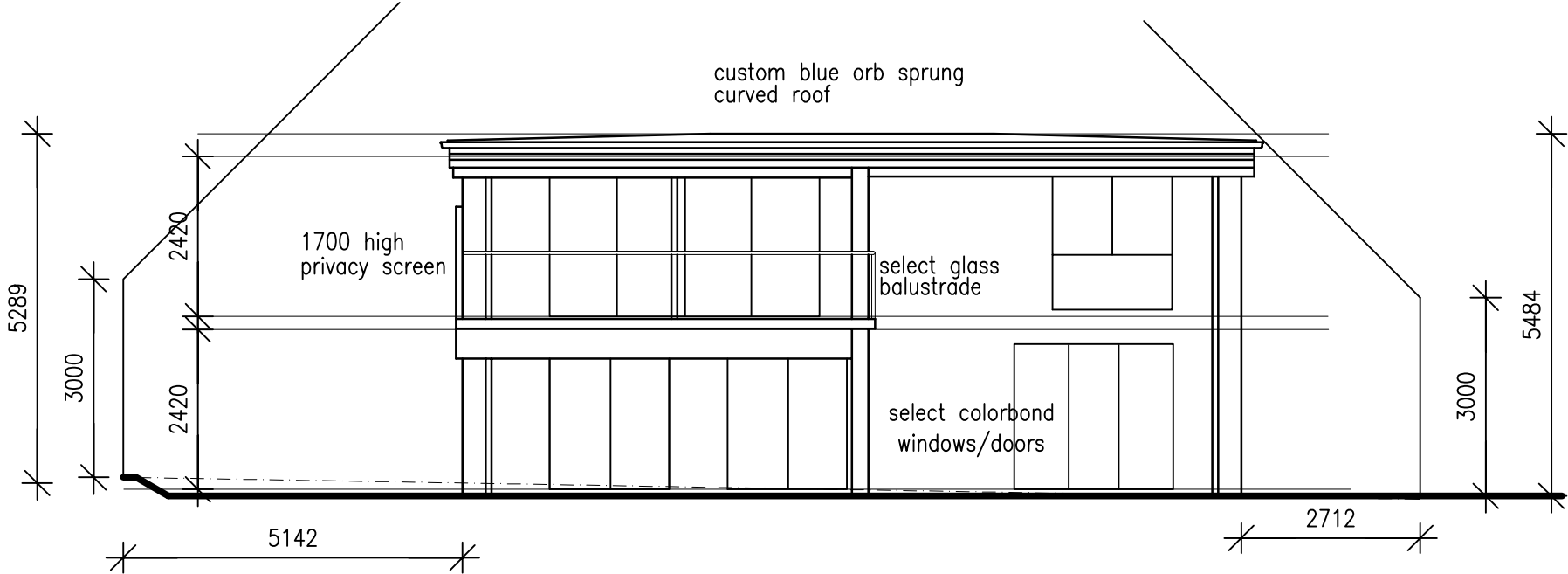
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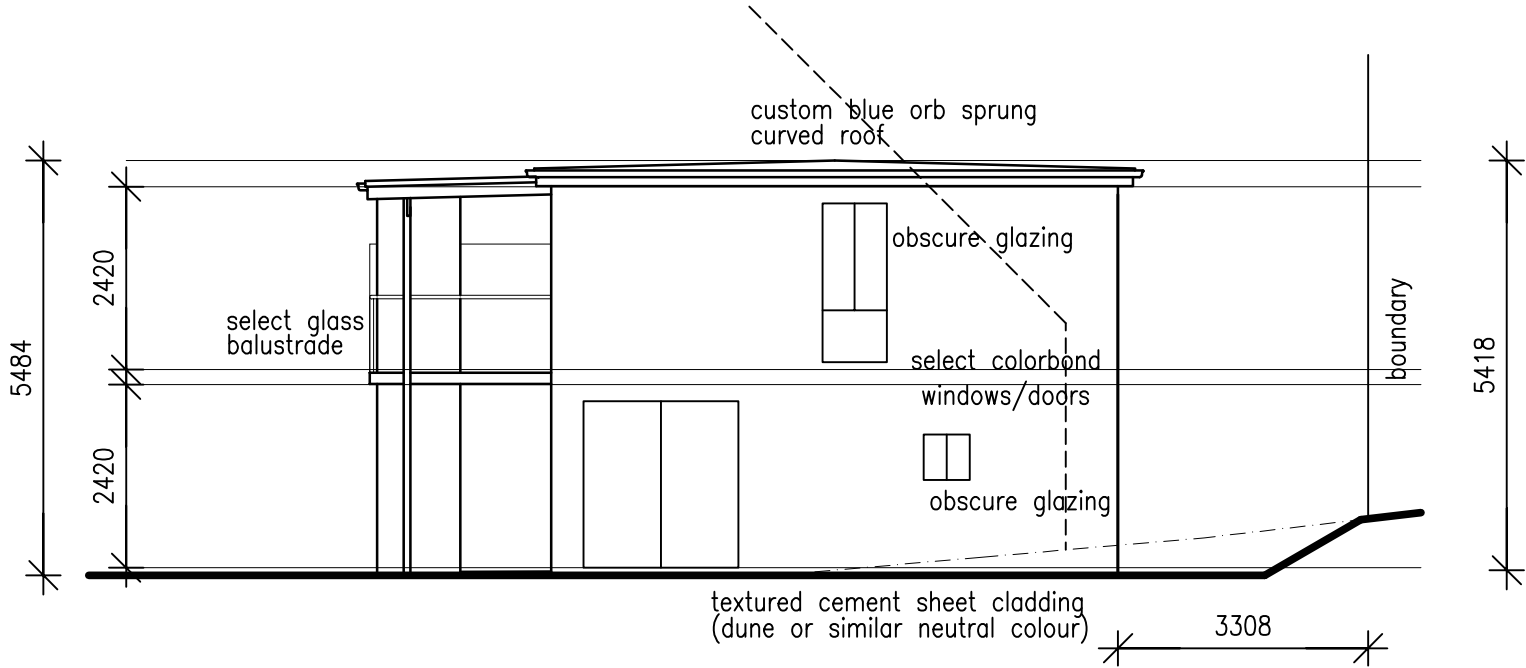
project & address:  
**Proposed DEVELOPMENT  
APPLICATION for  
UNIT DEVELOPMENT  
@No96 Tranmere Road,  
HOWRAH.**

title:  
**ELEVATIONS UNIT 1**

scale:	drawn:
1:100	GWH
date:	job no:
08/09/2017	40515
drawing no:	
<b>DA06'B'</b>	



WEST ELEVATION



SOUTH ELEVATION

Scale: 1:100

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AMENDMENTS:

'A'  
setback dimensions added



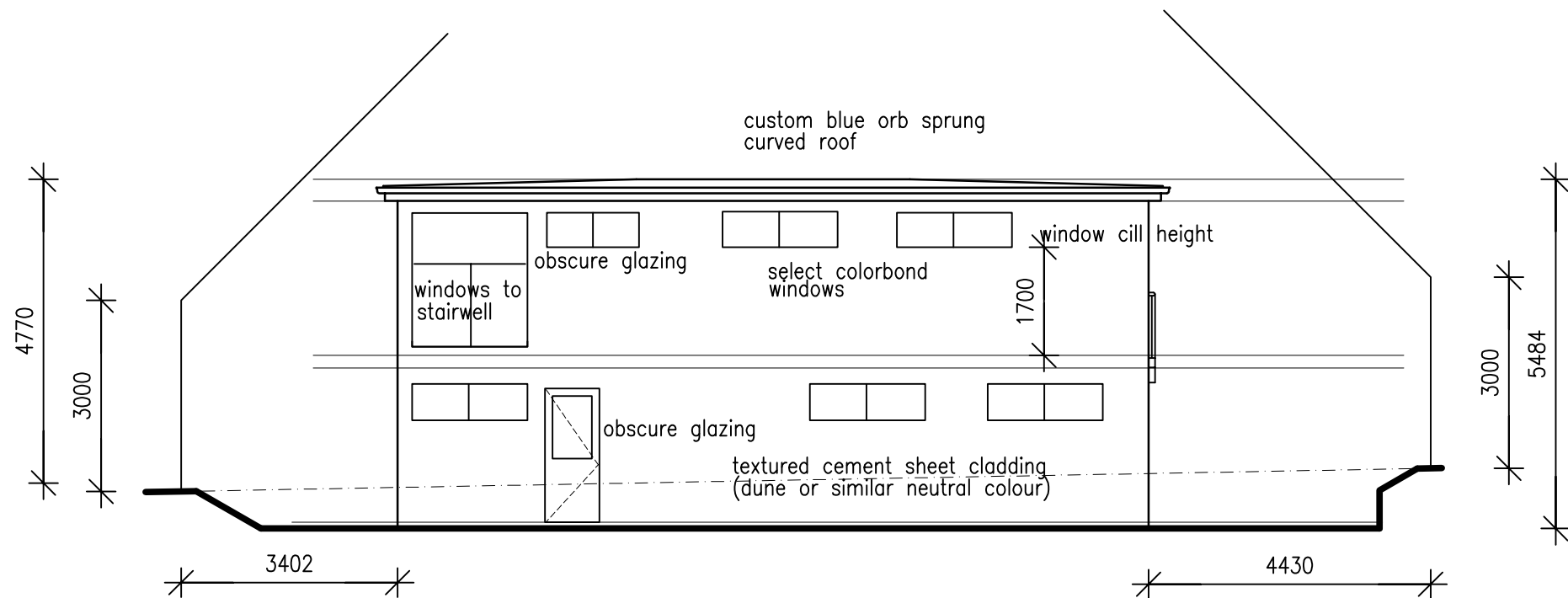
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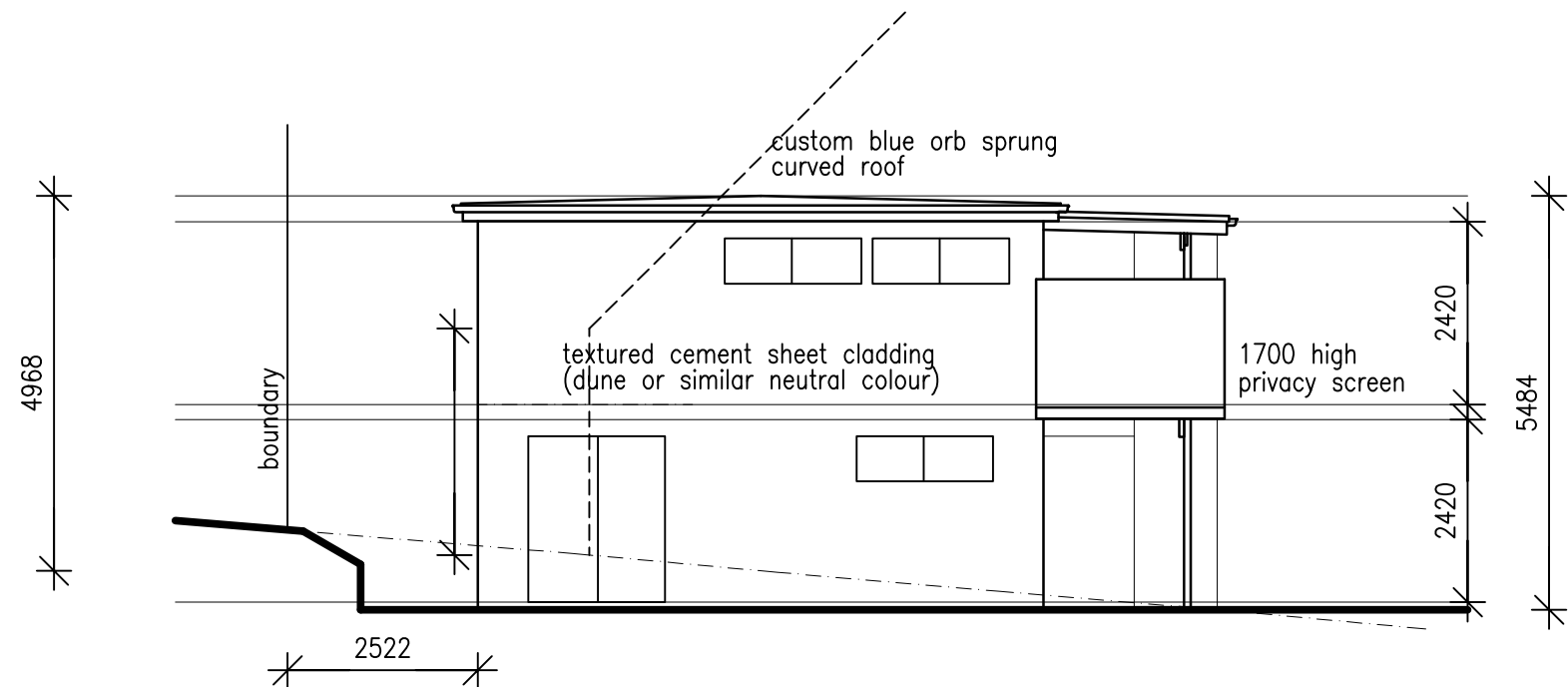
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**Proposed DEVELOPMENT  
APPLICATION for  
UNIT DEVELOPMENT  
@No96 Tranmere Road,  
HOWRAH.**

title:  
**ELEVATIONS UNIT 2**

scale: 1:100  
date: 08/09/2017  
drawing no: **DA07'A'**  
drawn: GWH  
job no: 40515



EAST ELEVATION



NORTH ELEVATION

Scale: 1:100

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AMENDMENTS:

'A'  
privacy screen added to north elevation  
setback dimensions added  
'B'  
window cill heights amended east elevation  
building envelope amended north elevation  
(20/09/2017)



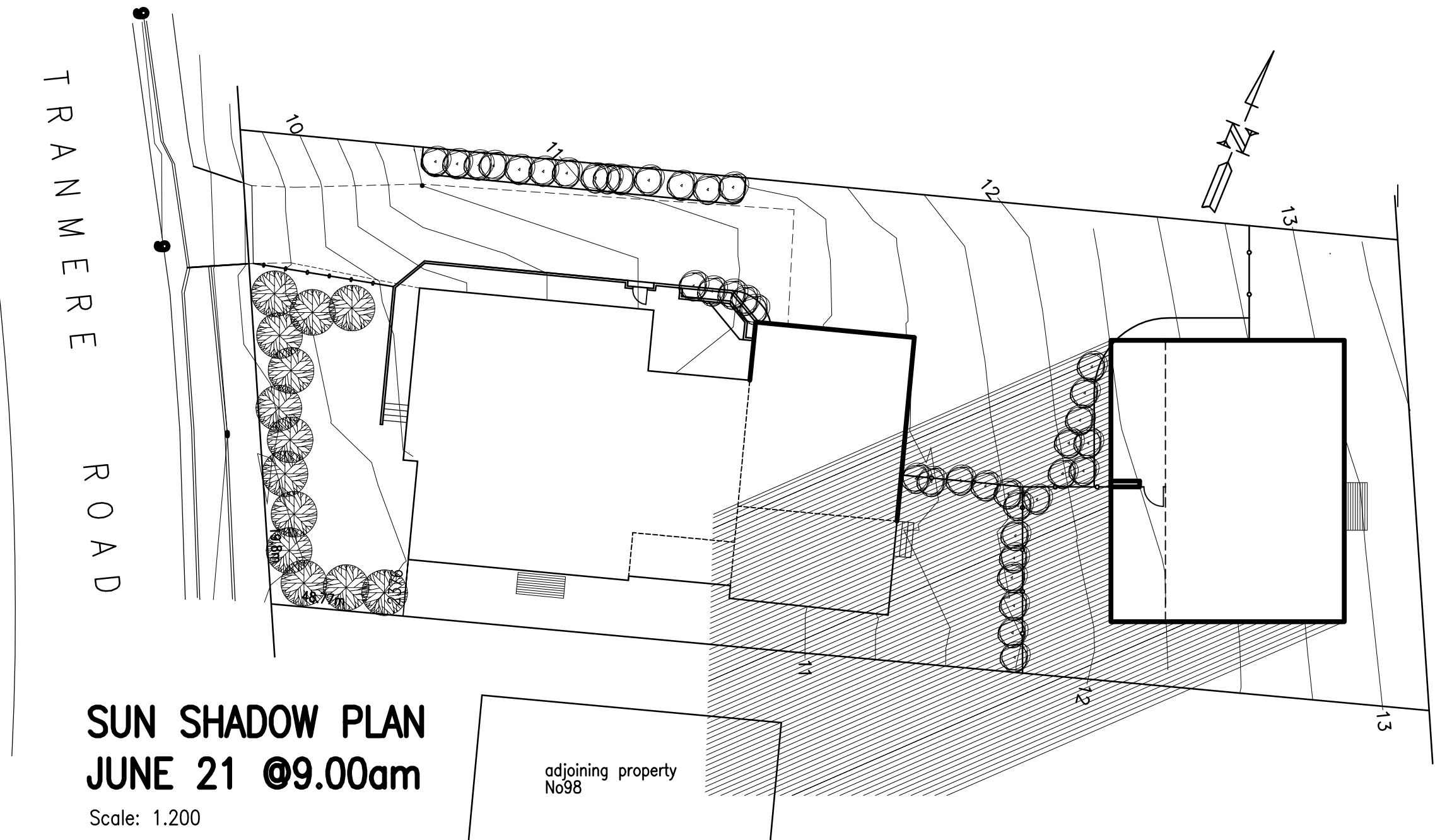
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southeastdesign@iprimus.com.au

client:  
JOHN GODDARD

project & address:  
**Proposed DEVELOPMENT  
APPLICATION for  
UNIT DEVELOPMENT  
@No96 Tranmere Road,  
HOWRAH.**

title:  
**ELEVATIONS UNIT 2**

scale:	drawn:
1:100	GWH
date:	job no:
08/09/2017	40515
drawing no:	
<b>DA08'B'</b>	



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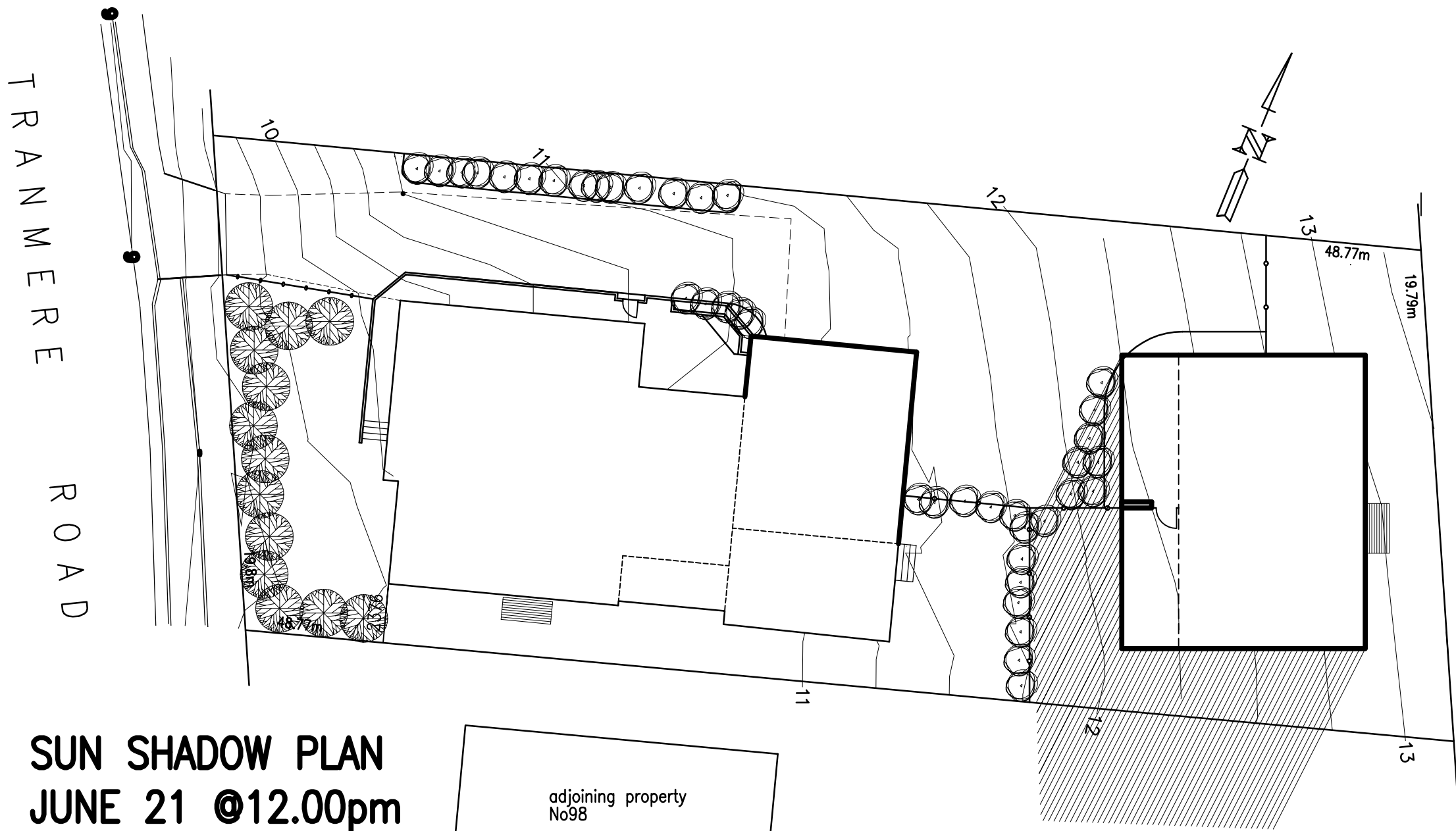
project & address:  
**Proposed DEVELOPMENT  
APPLICATION for  
UNIT DEVELOPMENT  
@No96 Tranmere Road,  
HOWRAH.**

title:  
**SUN SHADOW PLAN  
JUNE 21 @9.00am**

scale: 1:200 drawn: GWH

date: 08/09/2017 job no: 40515

drawing no:  
**DA09**



**SUN SHADOW PLAN  
JUNE 21 @12.00pm**

Scale: 1:200

adjoining property  
No98

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AMENDMENTS:



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Email:  
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client:  
JOHN GODDARD

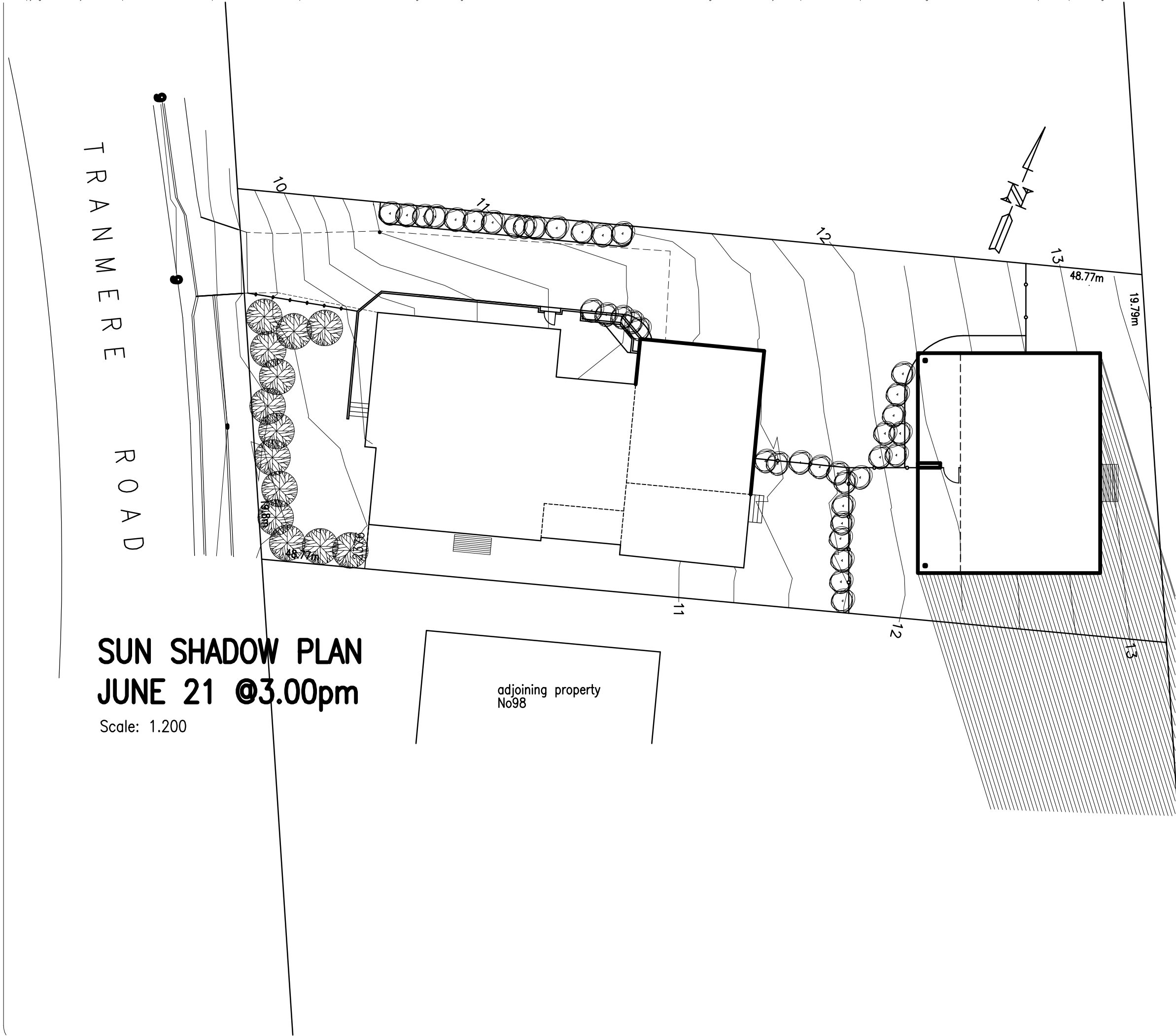
project & address:  
**Proposed DEVELOPMENT  
APPLICATION for  
UNIT DEVELOPMENT  
@No96 Tranmere Road,  
HOWRAH.**

title:  
**SUN SHADOW PLAN  
JUNE 21 @12.00pm**

scale: 1:200 drawn: GWH

date: 08/09/2017 job no: 40515

drawing no:  
**DA10**



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Email:  
southeastdesign@iprimus.com.au

client:  
JOHN GODDARD

project & address:  
**Proposed DEVELOPMENT  
APPLICATION for  
UNIT DEVELOPMENT  
@No96 Tranmere Road,  
HOWRAH.**

title:  
**SUN SHADOW PLAN  
JUNE 21 @3.00pm**

scale: 1:200  
drawn: GWH

date: 08/09/2017  
job no: 40515

drawing no:  
**DA11**







**11.3.6 DEVELOPMENT APPLICATION D-2017/353 - 79, 81, 83, 85, 87, 89 BASS STREET AND 36, 38, 40, 42, 44, 46 LA PEROUSE STREET, WARRANE – 23 MULTIPLE DWELLINGS (11 ADDITIONAL + 12 EXISTING)**  
(File No D-2017/353)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for 23 Multiple Dwellings (11 additional + 12 existing) at 79, 81, 83, 85, 87, 89 Bass Street and 36, 38, 40, 42, 44, 46 La Perouse Street, Warrane.

**RELATION TO PLANNING PROVISIONS**

The land is zoned General Residential and is subject to the Road and Rail Assets Code, Parking and Access Code and the Stormwater Management Code under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

**LEGISLATIVE REQUIREMENTS**

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 30 November 2017.

**CONSULTATION**

The proposal was advertised in accordance with statutory requirements and 2 representations were received raising the following issues:

- location of private open space for existing dwellings;
- fencing along road frontage;
- increased propensity for anti-social behaviour;
- future servicing capacity;
- location of shared access; and
- parking provision.

**RECOMMENDATION:**

- A. That the Development Application for 23 Multiple Dwellings (11 additional + 12 existing) at 79, 81, 83, 85, 87, 89 Bass Street and 36, 38, 40, 42, 44, 46 La Perouse Street, Warrane (Cl Ref D-2017/353) be approved subject to the following conditions and advice.

1. GEN AP1 – ENDORSED PLANS.
2. Unless a valid application is made under Section 31 of the Strata Titles Act 1998, all separate titles of the subject land must be consolidated into one title prior to the issue of a building completion certificate. The sealed strata plans and all relevant documentation must then be lodged with the Land Titles Office without delay.
3. A landscape plan must be submitted to and approved by Council's Manager City Planning prior to the issue of a building permit or a certificate of likely compliance (CLC) for building works. The plan must be to scale and show:
  - a north point;
  - proposed driveways, paths, buildings, car parking, retaining walls and fencing;
  - any proposed rearrangement of ground levels;
  - the landscaping of the car parking and circulation areas to an amount of no less than 5% of the area of the car parks;
  - details of proposed plantings including botanical names and the height and spread of canopy at maturity; and
  - estimated cost of the landscaping works.

The landscaping works must be completed prior to the commencement of the use.

4. LAND 2 – LANDSCAPE BOND (RESIDENTIAL).
5. ENG A2 – CROSSOVER CHANGE [TSD-R09(URBAN)].
6. ENG A5 – SEALED CAR PARKING.
7. ENG A7 – REDUNDANT CROSSOVER.
8. ENG S1 – INFRASTRUCTURE.
9. ENG S2 – SERVICES.
10. ENG M1 – DESIGNS DA [ACCESS, CARPARK AND DRIVEWAYS, SERVICE UPGRADES OR RELOCATIONS, LIGHTING].
11. ENG M3 – GARBAGE FACILITIES.
12. The development must meet all required Conditions of Approval specified by TasWater notice dated 1 September 2017 (TWDA 2017/01309-CCC).

**ADVICE**

As more than half the units do not rely on common property, it may not be possible to achieve title under the Strata Titles Act 1998.

- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

---

**ASSOCIATED REPORT****1. BACKGROUND**

No relevant background.

**2. STATUTORY IMPLICATIONS**

**2.1.** The land is zoned General Residential under the Scheme.

**2.2.** The proposal is discretionary because it does not meet the Acceptable Solutions under the Scheme relating to residential density, private open space, car parking provision and intensification of an existing access point.

**2.3.** The relevant parts of the Planning Scheme are:

- Section 8.10 – Determining Applications;
- Section 10.4 – General Residential Zone;
- Section E5.0 – Road and Rail Assets Code;
- Section E6.0 – Parking and Access Code; and
- Section E7.0 – Stormwater Management Code.

**2.4.** Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

### **3. PROPOSAL IN DETAIL**

#### **3.1. The Site**

The subject site collectively includes 12 adjoining properties comprising 79, 81, 83, 85, 87, 89 Bass Street and 36, 38, 40, 42, 44, 46 La Perouse Street, Warrane. The total area of the site is 6,295m<sup>2</sup>. The properties are in the ownership of Housing Tasmania and consist of single storey weatherboard duplex dwellings located on individual titles. The existing dwellings directly front the street resulting in the retention of a large, undeveloped individual rear gardens to the rear. The site is generally level with a slight north-westerly fall. A sewer and stormwater line run along the rear boundary connecting those properties fronting Bass Street and La Perouse Street.

The site is located within a walking distance (230m) from regionally significant indoor and outdoor sporting facilities located along Dampier Road. The Warrane Primary School is located 230m to the south of the site and 240m from public open space corridors providing convenient off-road access to Kangaroo Bay Rivulet, Cambridge Road and Bligh Street which serve as arterial roads to local services and facilities, including Eastlands Shopping Centre.

#### **3.2. The Proposal**

Application is made to construct 11 additional dwellings to the rear of 12 existing single dwellings lining Bass Street and La Perouse Street, Warrane.

The new dwellings would be arranged in a linear alignment to the rear of the uniform row of dwellings fronting Bass Street and La Perouse Street. The additional dwellings would be accessed via an existing access point servicing 42 and 46 La Perouse Street. The existing access is proposed to be widened to accommodate the necessary driveway width. The carriageway would return in an east/west direction to provide a service road to the additional dwellings.

The additional dwellings would be identical in form and would consist of a 62.06m<sup>2</sup> one bedroom building constructed from brick veneer walls and “Colorbond” roofing in a moderately pitched triangular hipped profile. The buildings are intended for singles and couples. Whilst identical in design, the buildings would be oriented differently to take advantage of aspect and solar orientation. Small landings would be included on each dwelling to provide access to the private open space.

With the exception of Unit 14 (existing dwelling), all dwellings will maintain in excess of 60m<sup>2</sup> of private open space.

Uncovered parking for the additional dwellings would be located adjacent to the internal carriageway servicing these dwellings and would include a total of 12 car parking spaces which amounts to 1 per dwelling and 1 visitor space. Turning provision will be made at either end of the internal carriageway to ensure vehicles can exit the site in a forward manner. Parking and access arrangements currently in place to service the existing dwelling would remain unchanged. Provision has been made for 1 motorcycle parking space.

No modifications are proposed to the existing dwellings as a result of the development other than internal refurbishments.

The 12 existing titles are proposed to be adhered to facilitate the proposed development.

It is proposed to landscape the car parking areas provided for the new units to a total of 5% of the total area of the car parking and circulation areas as required by Acceptable Solution E7.8 A1 of the Scheme. A permit condition is recommended requiring the submission of a more detailed Landscape Plan.

**4. PLANNING ASSESSMENT****4.1. Determining Applications [Section 8.10]**

*“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:*

*(a) all applicable standards and requirements in this planning scheme; and*

*(b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

*but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.*

Reference to these principles is contained in the discussion below.

**4.2. Compliance with Zone and Codes**

The proposal meets the Scheme’s relevant Acceptable Solutions of the General Residential Zone, Road and Rail Assets Code, Parking and Access Code and Stormwater Management Code with the exception of the following

**General Residential Zone**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
10.4.1 A1	Residential density for Multiple Dwellings	Multiple Dwellings must have a site area per dwelling of not less than: (a) 325m <sup>2</sup> ; or (b) if within a density area specified in Table 10.4.1 below and shown on the planning scheme maps, that specified for the density area.	The total area of the 12 titles is 6,295m <sup>2</sup> . The proposal does not satisfy the Acceptable Solution A1 of Clause 10.4.1 as the proposed site area of 273.6m <sup>2</sup> exceeds the Scheme’s minimum Acceptable Solution site area requirement of 325m <sup>2</sup> .

The proposed variation can be considered pursuant to the Performance Criteria (P1) of the Clause 10.4.1 for the following reasons.

<b>Performance Criteria</b>	<b>Comment</b>
<i>“P1 – Multiple Dwellings must only have a site area per dwelling that is less than 325m<sup>2</sup> , or that specified for the applicable density area in Table 10.4.1, if the development will not exceed the capacity of the infrastructure services and:</i>	There are no known capacity issues associated with existing infrastructure provision in the area as indicated by correspondence received from TasWater and Council’s Development Engineers.
<i>(a) is compatible with the density of the surrounding area; or</i>	<p>The Performance Criteria requires demonstration of compliance with either P1 (a) or (b). Clause P1(a) requires demonstration that the proposed density possesses a site area per dwelling that is “compatible with the density of the surrounding area”.</p> <p>The density of residential development within 100m of the site is characteristic of Single Dwellings on average sized allotments therefore, it is not possible to draw upon these properties for the purposes of density compatibility.</p> <p>It is therefore necessary for the application to demonstrate compliance with P1(b) below.</p>
<i>(b) provides for a significant social or community housing benefit and is in accordance with at least one of the following:</i> <i>(i) the site is wholly or partially within 400m walking distance of a public transport stop;</i> <i>(ii) the site is wholly or partially within 400m walking distance of a business, commercial, urban mixed use, village or inner residential zone”.</i>	With respect to Part (b), the Scheme allows for dwelling densification where it can be demonstrated that it will provide for significant social and community housing benefit and is located within an environment which is serviced with either public transport or local services and facilities. This is consistent with the Southern Tasmania Regional Land Use Strategy which requires Planning Scheme provisions to be developed which increase densities within 400m of integrated transport corridors and Principal and Primary Activity Centres (such as Rosny Park).

	<p>The proposed development is being undertaken by Catholic Care Tasmania (agency providing assistance to individuals, couples and families) and forms part of the Tasmanian Government's Community Housing Stock Leverage Programme. The development falls under the Affordable Housing Strategy as endorsed by the Minister for Housing. Under the Affordable Housing Strategy, the State Government intends to transfer the title of 500 state-owned public housing properties to the community sector in return for a commitment to build new housing to alleviate pressure on the Housing Tasmania waiting list. Catholic Care Tasmania aim to provide housing for those at the priority end of the waiting list.</p> <p>The increased density model aims to ensure the maximisation of Housing Tasmanian owned land to provide quality functional housing opportunities to those on the Housing Tasmania waiting list. Given the current undersupply of public housing options within southern Tasmanian and extensive waiting lists, the provision of 12 additional housing options will provide a significant social and community benefit to those in need of affordable housing.</p> <p>The proposal also satisfies P1(b)(i) in that the site is located within 400m of a public transport stop located along Dampier Street and Cambridge Road. The proposal also satisfies P1(b)(ii) in that the site is located 130m from Local Business zoned land to the north-west (9 Dampier Street).</p>
--	--



	<p>The increase in density is therefore considered appropriate under the Performance Criteria on the basis it provides for social and community housing for those seeking crisis care within an area which benefits from proximity to local services and facilities and public transport options.</p> <p>Whilst there is a case in increasing the density, the design outcome is poor in terms of proximity of the dwellings to car parking spaces and amenity in general. In particular these would be seen in terms of:</p> <ul style="list-style-type: none"> <li>• poor accessibility to car parks for some residents, especially those who may be aged or have mobility problems; and</li> <li>• poor outlooks from the internal units, which would generally overlook sealed car parks and back fences, without landscaping to soften or break that up</li> </ul> <p>However, these are not matters addressed by the Planning Scheme.</p>
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Clause	Standard	Acceptable Solution (Extract)	Proposed
10.4.3 A1	Site coverage and private open space for all dwellings	<p>Dwellings must have:</p> <p>(a) a site coverage of not more than 50% (excluding eaves up to 0.6m); and</p> <p>(b) for Multiple Dwellings, a total area of private open space of not less than 60m<sup>2</sup> associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p>	<p>complies</p> <p>Does not comply – The private open space allocated to Unit 14 (existing dwelling) would have a total area of 57m<sup>2</sup> therefore falls short of the required 60m<sup>2</sup>.</p>

		(c) a site area of which at least 25% of the site area is free from impervious surfaces.	complies
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The proposed variation can be considered pursuant to the Performance Criteria (P1) of the Clause 10.4.3 for the following reasons.

<b>Performance Criteria</b>	<b>Comment</b>
<i>“P1 – Dwellings must have: (a) private open space that is of a size and dimensions that are appropriate for the size of the dwelling and is able to accommodate:</i>	See below
<i>(i) outdoor recreational space consistent with the projected requirements of the occupants and, for multiple dwellings, take into account any communal open space provided for this purpose within the development; and</i>	The private open space allocated to Unit 14 (existing dwelling fronting La Perouse Street) is 3m <sup>2</sup> short of the required 60m <sup>2</sup> . This represents a small shortfall and the design of the private open space is considered to be of an appropriate size and dimension to facilitate outdoor recreational activity. The design will also enable sufficient space for the planting of gardens and is supplemented with a front yard area located between the existing dwelling and the street.
<i>(ii) operational needs, such as clothes drying and storage; and</i>	The private open space includes a narrow area between the dwelling and the street which will provide a convenient, screened space for the storage of equipment and installation of clothes drying facilities.
<i>(b) reasonable space for the planting of gardens and landscaping”.</i>	The private open space is considered sufficiently large and practical in terms of configuration to enable the development of gardens and landscaping.

Clause	Standard	Acceptable Solution	Proposed
10.4.3 A2	Site coverage and private open space	<p>A dwelling must have an area of private open space that:</p> <p>(a) is in one location and is at least:</p> <p>(i) 24m<sup>2</sup>; or</p> <p>(ii) 12m<sup>2</sup>, if the dwelling is a Multiple Dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(b) has a minimum horizontal dimension of:</p> <p>(i) 4m; or</p> <p>(ii) 2m, if the dwelling is a Multiple Dwelling with a finished floor level that is entirely more than 1.8 m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(c) is directly accessible from, and adjacent to, a habitable room (other than a bedroom); and</p> <p>(d) is not located to the south, south-east or south-west of the dwelling, unless the area receives at least 3 hours of sunlight to 50% of the area between 9.00am and 3.00pm on 21 June; and</p>	<p>complies</p> <p>complies</p> <p>Does not comply – The private open space allocated to Units 20 and 21 would not be directly accessible from, and adjacent to, a habitable room (other than a bedroom).</p> <p>complies</p>

		(e) is located between the dwelling and the frontage, only if the frontage is orientated between 30 degrees west of north and 30 degrees east of north, excluding any dwelling located behind another on the same site; and	complies
		(f) has a gradient not steeper than 1 in 10; and	complies
		(g) is not used for vehicle access or parking.	complies

The proposed variation can be considered pursuant to the Performance Criteria (P2) of the Clause 10.4.3 for the following reasons.

<b>Performance Criteria</b>	
<p><i>“P2 A dwelling must have private open space that:</i></p> <p><i>(a) includes an area that is capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children’s play and that is:</i></p>	See below
<p><i>(i) conveniently located in relation to a living area of the dwelling; and</i></p>	<p>The 24m<sup>2</sup> area of private open space allocated to Units 20 and 21 would be accessible from the kitchen door via a 3m wide strip of outdoor space located to the south of the respective dwelling. A short distance is required to be negotiated to reach 24m<sup>2</sup> area of private open space. The private open space has been designated in an offset manner from the kitchen door in the interests of ensuring the private open space receives reasonable solar access.</p> <p>The area of outdoor space located to the south of the dwelling beside the kitchen door is of sufficient dimensions to provide for the planting of gardens and landscaping therefore, forming a usable connection from the habitable room to the larger area of private open space.</p>

(ii) <i>orientated to take advantage of sunlight</i> ”.	<p>The private open space for Units 20 and 21 has been allocated to the east/west side of each respective unit in order to maximise solar access.</p> <p>Solar exposure diagrams have been submitted with the application demonstrating that the private open space allocated to Units 20 and 21 would receive between 4-6 hours of sunlight on 21 June, which confirms the private open space will be oriented to take advantage of sunlight.</p>
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**Road and Railway Asset Code**

Clause	Standard	Acceptable Solution	Proposed
E5.5.1 A3	Existing road accesses and junctions	The annual average daily traffic (AADT) of vehicle movements, to and from a site, using an existing access or junction, in an area subject to a speed limit of 60km/h or less, must not increase by more than 20% or 40 vehicle movements per day, whichever is the greater.	Does not comply - The proposed 11 new units would gain access from La Perouse Street via an existing access servicing 42 and 44 La Perouse Street (Units 13 and 14). The anticipated vehicle generation rate for this access will increase from 20 to 130 vehicle movements per day.

The proposed variation can be considered pursuant to the Performance Criteria (P3) of the Clause E5.5.1 for the following reasons.

Performance Criteria	Comment
<p><i>P3 - Any increase in vehicle traffic at an existing access or junction in an area subject to a speed limit of 60km/h or less, must be safe and not unreasonably impact on the efficiency of the road, having regard to:</i></p> <p><i>(a) the increase in traffic caused by the use;</i></p> <p><i>(b) the nature of the traffic generated by the use;</i></p> <p><i>(c) the nature and efficiency of the access or the junction;</i></p>	<p>Council’s Development Engineer has assessed the access arrangements for the site and considers that the development will meet all relevant Australian Standards for the location and design of the access, which will ensure that the development will not have an unreasonable impact on the safety or efficiency of La Perouse Street.</p>

<p>(d) <i>the nature and category of the road;</i></p> <p>(e) <i>the speed limit and traffic flow of the road;</i></p> <p>(f) <i>any alternative access to a road;</i></p> <p>(g) <i>the need for the use;</i></p> <p>(h) <i>any traffic impact assessment; and</i></p> <p>(i) <i>any written advice received from the road authority”.</i></p>	
---	--

**Parking and Access Code**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution</b>	<b>Proposed</b>
E6.6.1 A1	Number of car parking spaces	1 for each dwelling and 1 dedicated visitor parking space per 4 units.	<p>Does not comply – The existing dwellings would retain 2 car parking spaces each as per the existing arrangement. The existing dwellings are proposed to be converted from Single Dwellings on individual titles to a Multiple Dwelling development consisting of the 11 additional units. The existing units are therefore short 3 visitor parks.</p> <p>The proposed 11 units would be provided with 11 car parking spaces (1 for each unit in accordance with the Acceptable Solution) and 1 visitor space to share amongst the 11 units. The proposed units are therefore short 2 visitor car parks.</p> <p>The total parking deficit amounts to 5 visitor parking spaces.</p>

The proposed can be considered pursuant to the Performance Criteria (P1) of the Clause E6.6.1 for the following reasons.

<b>Performance Criteria</b>	<b>Comment</b>
<i>“P1 - The number of on-site car parking spaces must be sufficient to meet the reasonable needs of users, having regard to all of the following:</i>	Council’s Development Engineer has made the following comments in relation to the parking variation:
<i>(a) car parking demand;</i>	There is no record of parking issues in the immediate area and there is ample unrestricted on-street parking available to meet overflow demand without any significant impact upon the safety or efficiency of La Perouse Street.
<i>(b) the availability of on-street and public car parking in the locality;</i>	There is an availability of on-street and public car parking in the locality, in La Perouse Street and the surrounding road network. The significant site frontage onto Bass Street and La Perouse Street which provides convenient access to the dwellings. It is therefore accepted that there is adequate on-street car parking to satisfy overflow and visitor parking demand.
<i>(c) the availability and frequency of public transport within a 400m walking distance of the site;</i>	The site is within 400m of public transport route which extends along Dampier Street and Cambridge Road. A regular bus service is located within a short walkable distance from the site therefore reducing the reliance on private vehicles for access to employment centres, services and facilities.
<i>(d) the availability and likely use of other modes of transport;</i>	The site is within an urban environment, where occupants would have options to use bicycles and motorcycles, which could easily be parked on the site.
<i>(e) the availability and suitability of alternative arrangements for car parking provision;</i>	There are no alternative options.
<i>(f) any reduction in car parking demand due to the sharing of car parking spaces by multiple uses, either because of variation of car parking demand over time or because of efficiencies gained from the consolidation of shared car parking spaces;</i>	Car parking spaces are not proposed to be shared in this instance.

<i>(g) any car parking deficiency or surplus associated with the existing use of the land;</i>	The current use of the property contains a compliant number of car parking spaces, 2 per dwelling.
<i>(h) any credit which should be allowed for a car parking demand deemed to have been provided in association with a use which existed before the change of parking requirement, except in the case of substantial redevelopment of a site;</i>	As discussed above, current use contains a compliant number of car parking spaces.
<i>(i) the appropriateness of a financial contribution in-lieu of parking towards the cost of parking facilities or other transport facilities, where such facilities exist or are planned in the vicinity;</i>	As the site is not located within a commercial activity centre and there are no known parking pressures in the area, it would be inappropriate to require a financial contribution in-lieu of parking. There are no plans for public parking facilities in the vicinity of the site.
<i>(j) any verified prior payment of a financial contribution in-lieu of parking for the land;</i>	No previous financial contributions in-lieu of parking has been provided for the land.
<i>(k) any relevant parking plan for the area adopted by Council;</i>	The site is not located within an area affected by a parking plan.
<i>(l) the impact on the historic cultural heritage significance of the site if subject to the Local Heritage Code”.</i>	The site is not subject to the Historic Heritage Code.

**Stormwater Management Code**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution</b>	<b>Proposed</b>
E7.7.1 A2	Stormwater Management – Water Sensitive Urban Design	A stormwater system for a new development must incorporate water sensitive urban design principles R1 for the treatment and disposal of stormwater if any of the following apply: (a) the size of new impervious area is more than 600m <sup>2</sup> ; (b) new car parking is provided for more than 6 cars; (c) a subdivision is for more than 5 lots.	Does not comply – The proposal would increase new impervious areas by 600m <sup>2</sup> and would provide for 12 new car parking spaces.



The proposed variation can be considered pursuant to the Performance Criteria (P2) of the Clause E7.7.1 for the following reasons.

<b>Performance Criteria</b>	<b>Comment</b>
<i>“P2 - A stormwater system for a new development must incorporate a stormwater drainage system of a size and design sufficient to achieve the stormwater quality and quantity targets in accordance with the State Stormwater Strategy 2010, as detailed in Table E7.1 unless it is not feasible to do so”.</i>	On-site stormwater detention and treatment is proposed together with an extended stormwater main to Council’s piped stormwater system within Bass Street. The proposed stormwater management arrangement will therefore achieve the stormwater quality and quantity targets in accordance with the State Stormwater Strategy 2010 and therefore, furthering the requirements of the Performance Criteria.

## **5. REPRESENTATION ISSUES**

The proposal was advertised in accordance with statutory requirements and 2 representations were received. The following issues were raised by the representors.

### **5.1. Location of Private Open Space for Existing Dwellings**

The representor has raised concern that the reduction in backyard space for the existing dwellings will increase the likelihood of the front yard being used for parties, which will impact upon residential amenity. The representor has suggested that taller front fencing should line the road frontage to reduce noise impacts associated with future use.

- **Comment**

The existing units have been allocated adequate private open space areas that comply with the requirements of Clause 10.4.3 A2 and P2 of the Scheme for private open space. The behaviour within private open spaces is not a relevant planning consideration.

**5.2. Increased Propensity for Anti-social Behaviour**

The representor has raised concern that the proposal will encourage lower social economic tenants which will result in increased anti-social behaviour.

- **Comment**

The proposal is for the provision of social housing for those at the top of the Housing Tasmanian waiting list. At Clause 10.4.1 A1, the density standard of the Scheme seeks to promote the inclusion of affordable housing to promote better social integration.

**5.3. Increase Pressure on Reticulated Services will impact upon Future Developments in the Area**

The representor has raised concern that future developments in the area will be compromised by the uptake of available servicing capacity on such a large development.

- **Comment**

There are no known servicing constraints in the Warrane area that would limit or cap future developments in the area.

**5.4. Location of Shared Access**

The representor has raised concern relating to the location of the access servicing the 11 new units. Specifically, concern is raised over the number of users of this access, the lack of alternative access arrangements and headlight glare.

- **Comment**

Council's Development Engineer has advised that the access servicing the new units is appropriate in terms of location, design and sight distance and satisfies the relevant Australian Standards. The access presently exists therefore the controls in the Parking and Access Code relating to amenity impacts arising from the creation of a new access point (and associated headlight glare impacts) is not applicable in this case.

**5.5. Parking Provision**

The representor has raised concern that there is a shortfall of car parking allocated to the new units which place increased pressure on on-street parking within La Perouse Street.

- **Comment**

The proposed development seeks a variation of 5 visitor car parking spaces. An assessment of the appropriateness of the car parking variation is provided under Section 4 above. It is considered that the car parking provision is sufficient to meet the reasonable needs of the occupants of the 1 bedroom dwellings. The existing units fronting Bass Street and La Perouse Street would retain 2 car parking spaces each, which complies with the car parking requirements of the Parking and Access Code.

**6. EXTERNAL REFERRALS**

The proposal was referred to TasWater, which has provided a number of conditions to be included on the planning permit if granted.

**7. STATE POLICIES AND ACT OBJECTIVES**

**7.1.** The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

**7.2.** The proposal is consistent with the objectives of Schedule 1 of LUPAA.

**8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS**

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

**9. CONCLUSION**

The proposal seeks approval for 23 Multiple Dwellings (11 new + 12 existing) at 79, 81, 83, 85, 87, 89 Bass Street and 36, 38, 40, 42, 44, 45 La Perouse Street, Warrane.

The application meets the relevant acceptable solutions and performance criteria of the Scheme and is accordingly recommended for approval subject to conditions.

Attachments: 1. Location Plan (1)  
2. Proposal Plan (41)  
3. Site Photo (1)

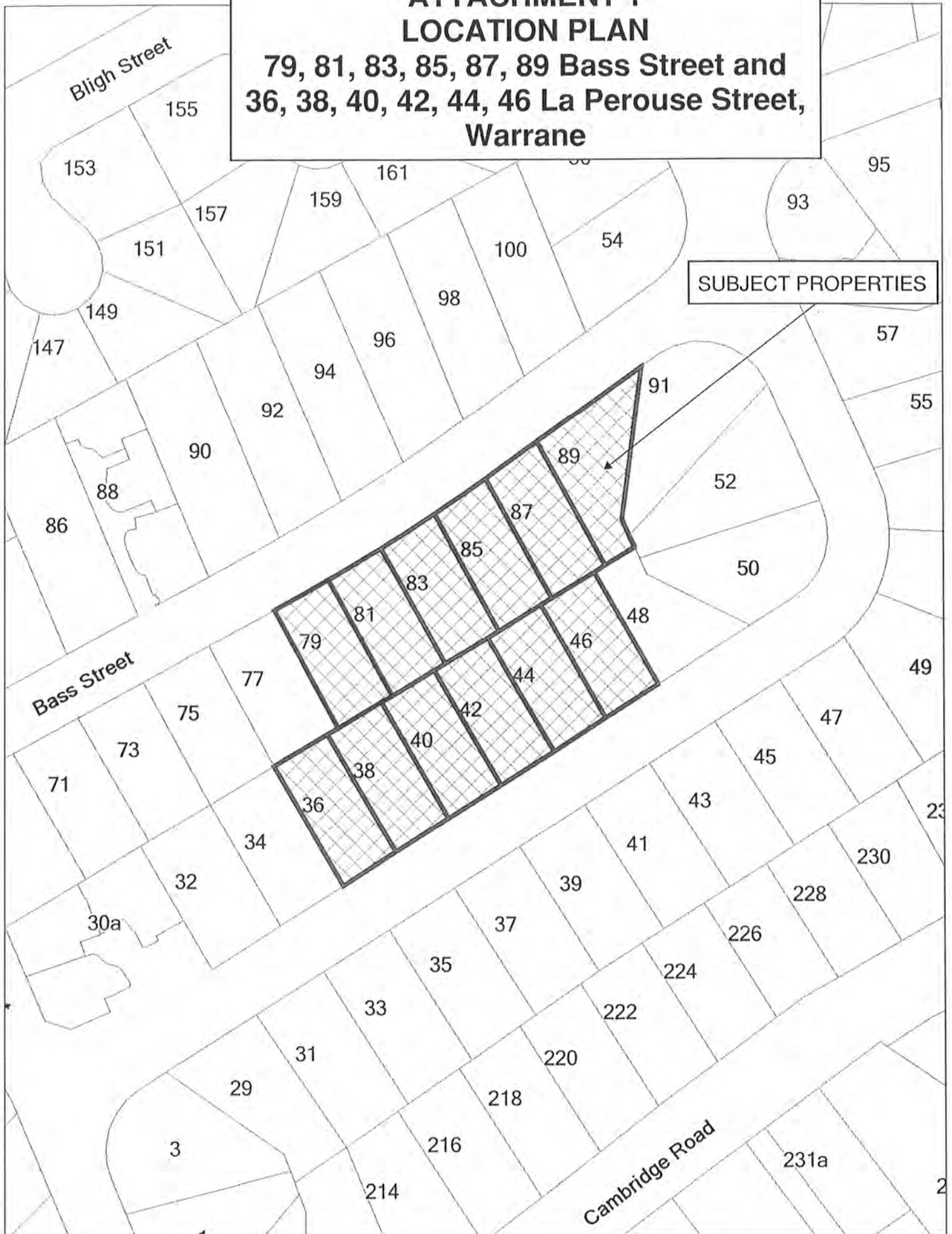
Ross Lovell  
**MANAGER CITY PLANNING**

Council now concludes its deliberations as a Planning Authority under the Land Use Planning and Approvals Act, 1993.

# ATTACHMENT 1 LOCATION PLAN

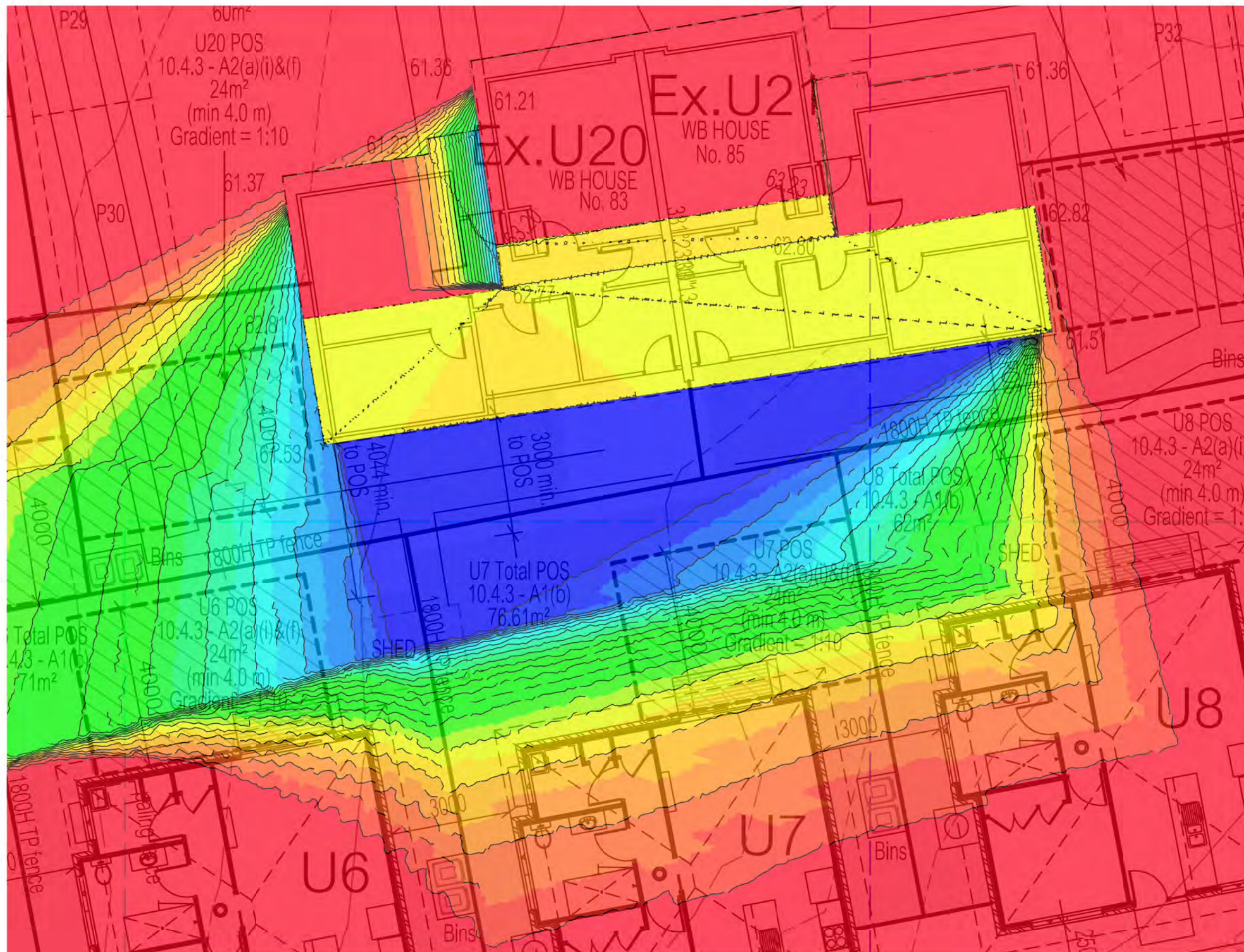
**79, 81, 83, 85, 87, 89 Bass Street and  
36, 38, 40, 42, 44, 46 La Perouse Street,  
Warrane**

**SUBJECT PROPERTIES**



**Disclaimer:** This map is a representation of the information currently held by Clarence City Council. While every effort has been made to ensure the accuracy of the product, Clarence City Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated. Copying or reproduction, without written consent is prohibited. **Date:** Monday, 6 November 2017 **Scale:** 1:1,192 @A4





## NOTES

- LATITUDE: -42° 51'
- LONGITUDE: 147° 23'
- No allowance for surrounding topography, trees, structures or fences
- Terrain surface derived from detail survey / LIDAR.

## Solar: Exposure

Not Applicable	0.00 Hours
24m² / 100%	0.25 Hours
23.7m² / 99%	0.50 Hours
21.8m² / 91%	0.75 Hours
20.3m² / 84%	1.00 Hours
19.1m² / 79%	1.25 Hours
17.8m² / 74%	1.50 Hours
16.6m² / 69%	1.75 Hours
15.8m² / 66%	2.00 Hours
15.1m² / 63%	2.25 Hours
14.2m² / 59%	2.50 Hours
13.3m² / 55%	2.75 Hours
12.4m² / 51%	3.00 Hours
11.0m² / 46%	3.25 Hours
9.8m² / 41%	3.50 Hours
8.4m² / 35%	3.75 Hours
6.6m² / 27%	4.00 Hours
4.7m² / 20%	4.25 Hours
2.2m² / 9%	4.50 Hours
0.1m² / 0.4%	4.75 Hours
Not Applicable	5.00 Hours
Not Applicable	5.25 Hours
Not Applicable	5.50 Hours
Not Applicable	5.75 Hours
Not Applicable	6.00 Hours



Solar Exposure Diagrams Prepared By:  
Another Perspective Pty Ltd  
Level 1, Biggins Building  
67 Letitia Street  
North Hobart TAS 7000



SOLAR EXPOSURE DIAGRAM  
SHADOWING OF U20, U21(ex) on U7 POS only  
36-46 LA PEROUSE STREET  
WARRANE

SOLAR EXPOSURE DIAGRAM  
June 21st 9.00am - 3.00pm

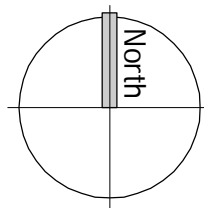
Drawn	AS	WH711059
Date	19 October 2017	Sheet
Scale	1:100 (A3)	





P2	PLANNING APPROVAL	SP	06-10-2017		
P1	PLANNING APPROVAL	SP	14-9-2017		
REV	DESCRIPTION	APP'D	DATE		

REV	DESCRIPTION	APP'D	DATE		



**GANDY AND ROBERTS**  
CONSULTING ENGINEERS

159 DAVEY ST, HOBART  
TASMANIA, AUSTRALIA 7000  
www.gandyandroberts.com.au  
mail@gandyandroberts.com.au  
ph 03 6223 8877 fx 03 6223 7183

**WILSON HOMES**  
79-89 BASS ST & 36-46 LA PEROUSE ST  
MULTIPLE DWELLINGS  
DRAWING TITLE  
STORMWATER CONCEPT

0 50mm		SCALE
1:300 @ A1		
DESIGNED ac	DRAWN ac	CHECKED SP
PROJECT 17.0072	DRAWING C010	REVISION P2

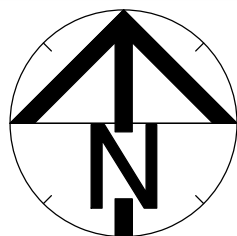




SHEET	DRAWING TITLE	SHEET	DRAWING TITLE	SHEET	DRAWING TITLE
o1: (C)	LOCATION PLAN	o2: (-)	UNIT 1 FLOOR PLAN	1o: (-)	UNIT 5 FLOOR PLAN
o1a: (C)	SITE PLAN A	o3: (B)	UNIT 1 ELEVATIONS	11: (B)	UNIT 5 ELEVATIONS
o1b: (C)	SITE PLAN B				
o1c: (C)	SITE PLAN C	o4: (-)	UNIT 2 FLOOR PLAN	12: (-)	UNIT 6 FLOOR PLAN
o1d: (C)	SITE PLAN D	o5: (B)	UNIT 2 ELEVATIONS	13: (B)	UNIT 6 ELEVATIONS
o1e: (C)	TURNING PLAN A				
o1f: (C)	TURNING PLAN B	o6: (-)	UNIT 3 FLOOR PLAN	14: (-)	UNIT 7 FLOOR PLAN
o1g: (A)	LANDSCAPE PLAN A	o7: (B)	UNIT 3 ELEVATIONS	15: (C)	UNIT 7 ELEVATIONS
o1h: (C)	LANDSCAPE PLAN B				
o1i: (C)	LANDSCAPE PLAN C	o8: (-)	UNIT 4 FLOOR PLAN	16: (-)	UNIT 8 FLOOR PLAN
o1j: (C)	LANDSCAPE PLAN D	o9: (B)	UNIT 4 ELEVATIONS	17: (B)	UNIT 8 ELEVATIONS
o1k: (A)	EXISTING UNITS 12 & 13 FLOOR PLAN			18: (-)	UNIT 9 FLOOR PLAN
o1l: (A)	EXISTING UNITS 14 & 15 FLOOR PLAN			19: (B)	UNIT 9 ELEVATIONS
o1m:(A)	EXISTING UNITS 16 & 17 FLOOR PLAN				
o1n: (A)	EXISTING UNITS 18 & 19 FLOOR PLAN			2o: (-)	UNIT 1o FLOOR PLAN
o1o: (A)	EXISTING UNITS 20 & 21 FLOOR PLAN			21: (B)	UNIT 1o ELEVATIONS
o1p: (A)	EXISTING UNITS 22 & 23 FLOOR PLAN				
				22: (-)	UNIT 11 FLOOR PLAN
				23: (B)	UNIT 11 ELEVATIONS

Agenda Attachments - Bass St & La Perouse Street, Warrane Page 4 of 43





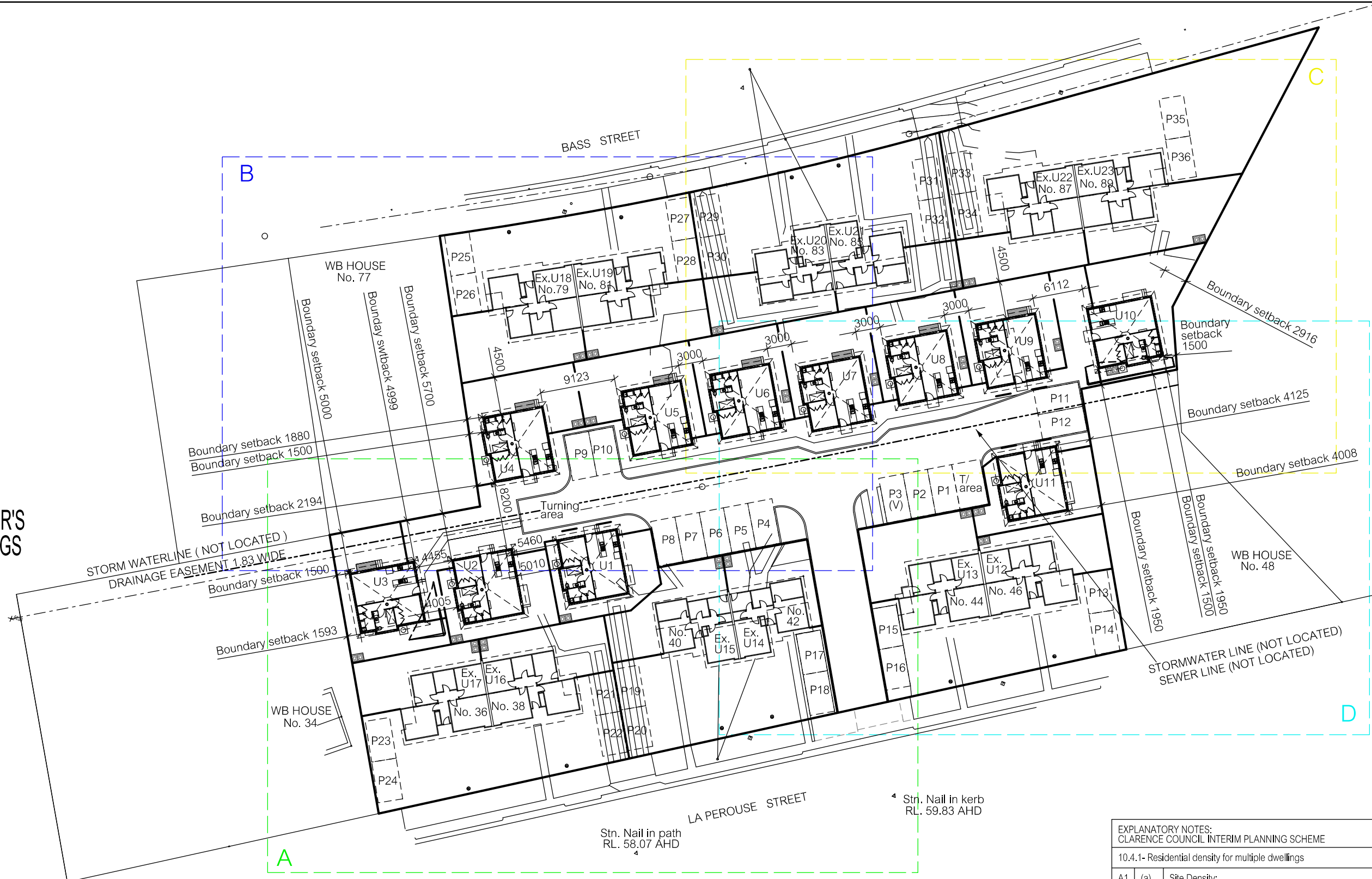
## PROPOSED DEVELOPMENT

U1 FFL: 57.58  
U2 FFL: 56.78  
U3 FFL: 55.78  
U4 FFL: 56.68  
U5 FFL: 57.88  
U6 FFL: 58.48  
U7 FFL: 58.81  
U8 FFL: 59.36  
U9 FFL: 59.60  
U10 FFL: 59.66  
U11 FFL: 60.58

FFL'S SUBJECT TO ENGINEER'S  
HYDRAULIC & CIVIL DRAWINGS

### TITLES REFERENCES:

64200/5 - 79 Bass St.  
64200/6 - 81 Bass St.  
64200/7 - 83 Bass St.  
64200/8 - 85 Bass St.  
64200/23 - 87 Bass St.  
64200/9 - 89 Bass St.  
64200/24 - 36 La Perouse St.  
64200/18 - 38 La Perouse St.  
64200/17 - 40 La Perouse St.  
64200/16 - 42 La Perouse St.  
64200/15 - 44 La Perouse St.  
64200/14 - 46 La Perouse St.



EXPLANATORY NOTES: CLARENCE COUNCIL INTERIM PLANNING SCHEME		
10.4.1- Residential density for multiple dwellings		
A1	(a)	Site Density: Min. 325m <sup>2</sup> per unit 6295.74m <sup>2</sup> / 23 (units) = 273.72m <sup>2</sup> provided
10.4.3 - Site coverage and private open space for all dwellings		
A1	(a)	Site Coverage: Max. 50% of Site = 3147.87m <sup>2</sup> Proposed site coverage: 1532.83m <sup>2</sup> (24.34%)
	(c)	Impervious Surfaces: Min. 25% of Site to be free of impervious surfaces = 1573.93m <sup>2</sup> Proposed area free of impervious surfaces: 3456.56m <sup>2</sup> (54.90%)

Waste Storage  
10.4.8 A1  
Min 1.5m<sup>2</sup> per unit (23 units)  
34.5m<sup>2</sup> provided

#### NOTES

- Builder to verify all dimensions and levels on site prior to commencement of work
- All work to be carried out in accordance with the current National Construction Code.
- Dimensions to take precedence over scale.
- Do not scale from these drawings.

#### Designer:

ANOTHER PERSPECTIVE PTY LTD  
PO BOX 21  
NEW TOWN  
LIC. NO. CC2204H (A. Strugnelli)  
Ph: (03) 6231 4122  
Fx: (03) 6231 4166  
Email:  
info@anotherperspective.com.au

#### Client / Project info:

PROPOSED CENTACARE EVOLVE DEVELOPMENT  
79, 81, 83, 85, 87, 89 BASS STREET WARRANE  
36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE

**WILSON HOMES**  
MULTI AWARD WINNING BUILDERS  
A Division of Wilson Homes Tasmania Pty Ltd  
ABN 76 126 636 897

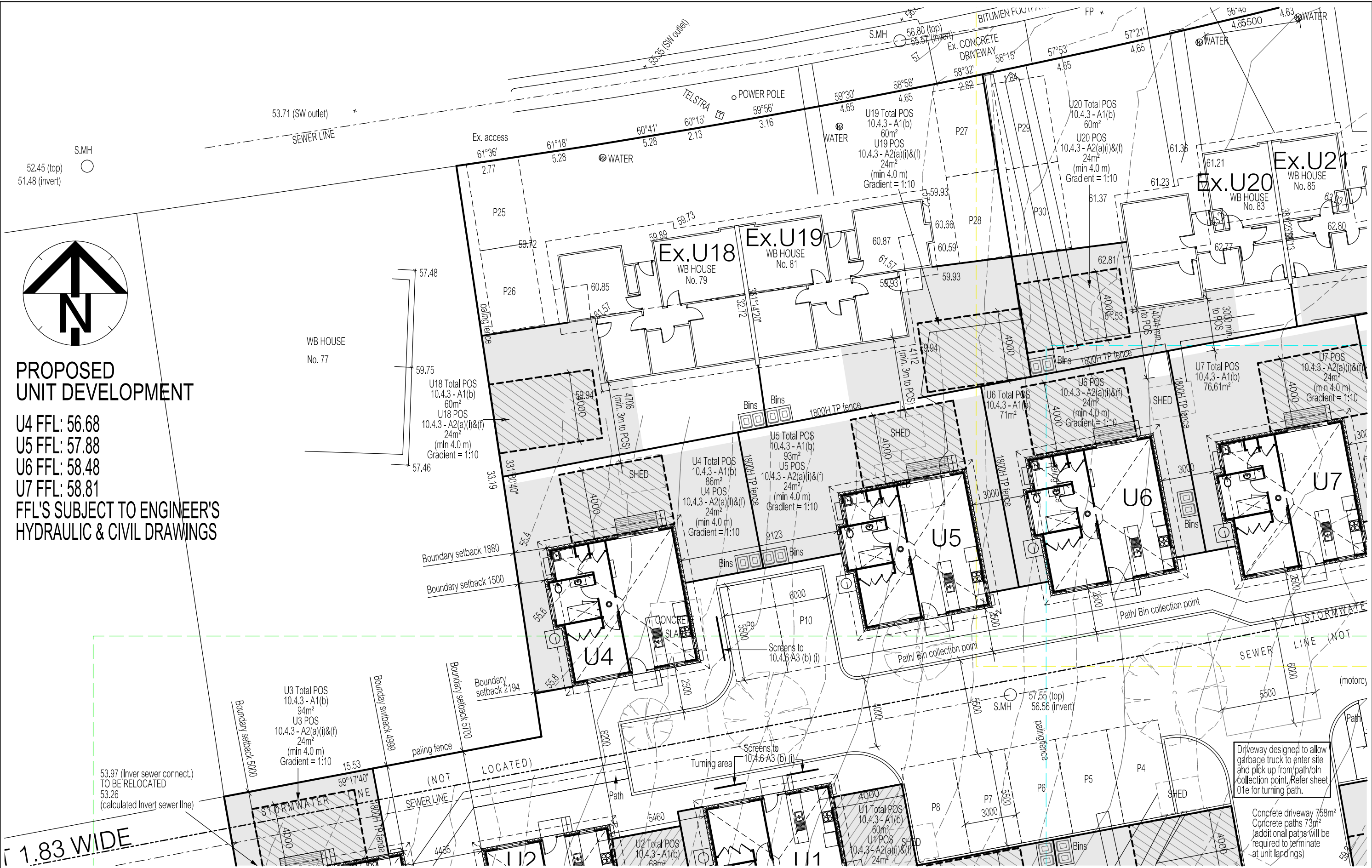
#### LOCATION PLAN

Drawn SS WH711059  
Date 10 August 2017 Sheet  
Scale 1:500

01/23







<div>NOTES</div> <ul style="list-style-type: none"><li>Builder to verify all dimensions and levels on site prior to commencement of work</li><li>All work to be carried out in accordance with the current National Construction Code.</li><li>Dimensions to take precedence over scale.</li><li>Do not scale from these drawings.</li></ul>				Designer:	Client / Project info:	<div><div>WILSON HOMES</div><div>MULTI AWARD WINNING BUILDERS</div><div>A Division of Wilson Homes Tasmania Pty Ltd</div><div>ABN 76 126 636 877</div></div>	SITE PLAN B			
				ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT  79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059	
	C	Changes as per cover sheet	19 Oct. 17	CK				Date	10 August 2017	Sheet
	A	Changes as per cover sheet	18 Sep. 17	SS				Scale	1:200	o1b/23
	No.	Amendment	Date	Init.						





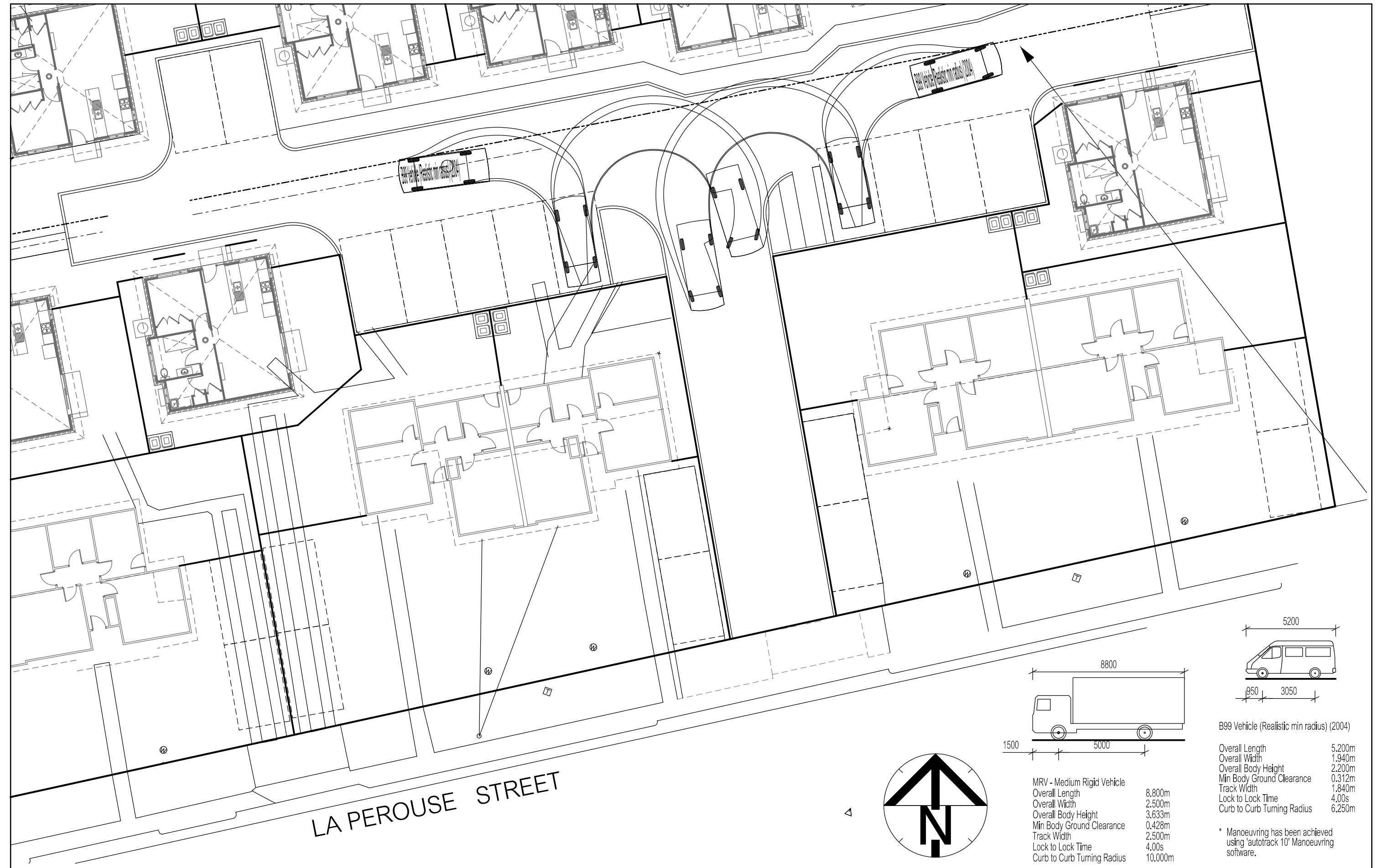
**PROPOSED  
UNIT DEVELOPMENT**

U6 FFL: 58.48  
U7 FFL: 58.81  
U8 FFL: 59.36  
U9 FFL: 59.60  
U10 FFL: 59.66  
FFL'S SUBJECT TO ENGINEER'S  
HYDRAULIC & CIVIL DRAWINGS

<b>NOTES</b> <ul style="list-style-type: none"><li>Builder to verify all dimensions and levels on site prior to commencement of work</li><li>All work to be carried out in accordance with the current National Construction Code.</li><li>Dimensions to take precedence over scale.</li><li>Do not scale from these drawings.</li></ul>				<b>Designer:</b> ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au		<b>Client / Project info:</b> PROPOSED CENTACARE EVOLVE DEVELOPMENT 79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		<b>WILSON HOMES</b> MULTI AWARD WINNING BUILDERS A Division of Wilson Homes Tasmania Pty Ltd ABN 76 126 630 897		<b>SITE PLAN C</b>	
C				Changes as per cover sheet	19 Oct. 17	CK	Drawn		SS	WH711059	
A				Changes as per cover sheet	18 Sep. 17	SS	Date		10 August 2017	Sheet	
No.				Amendment			Scale		1:200	01c/23	

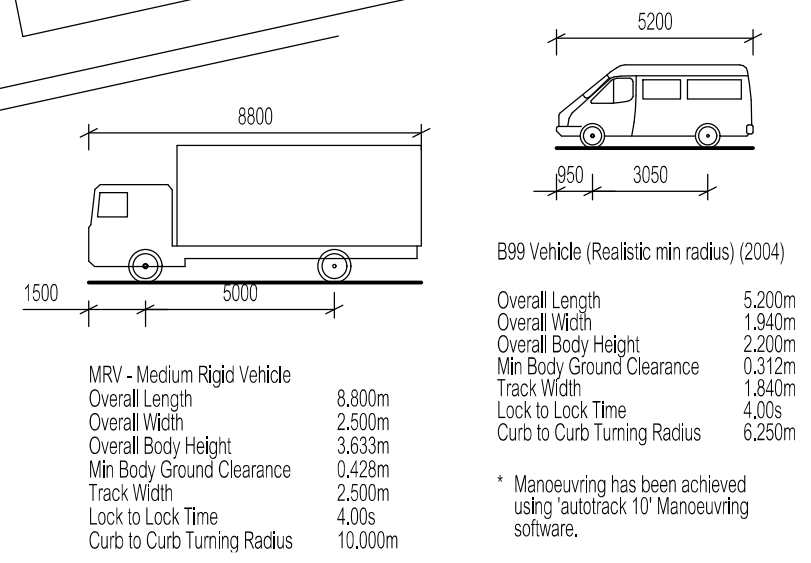
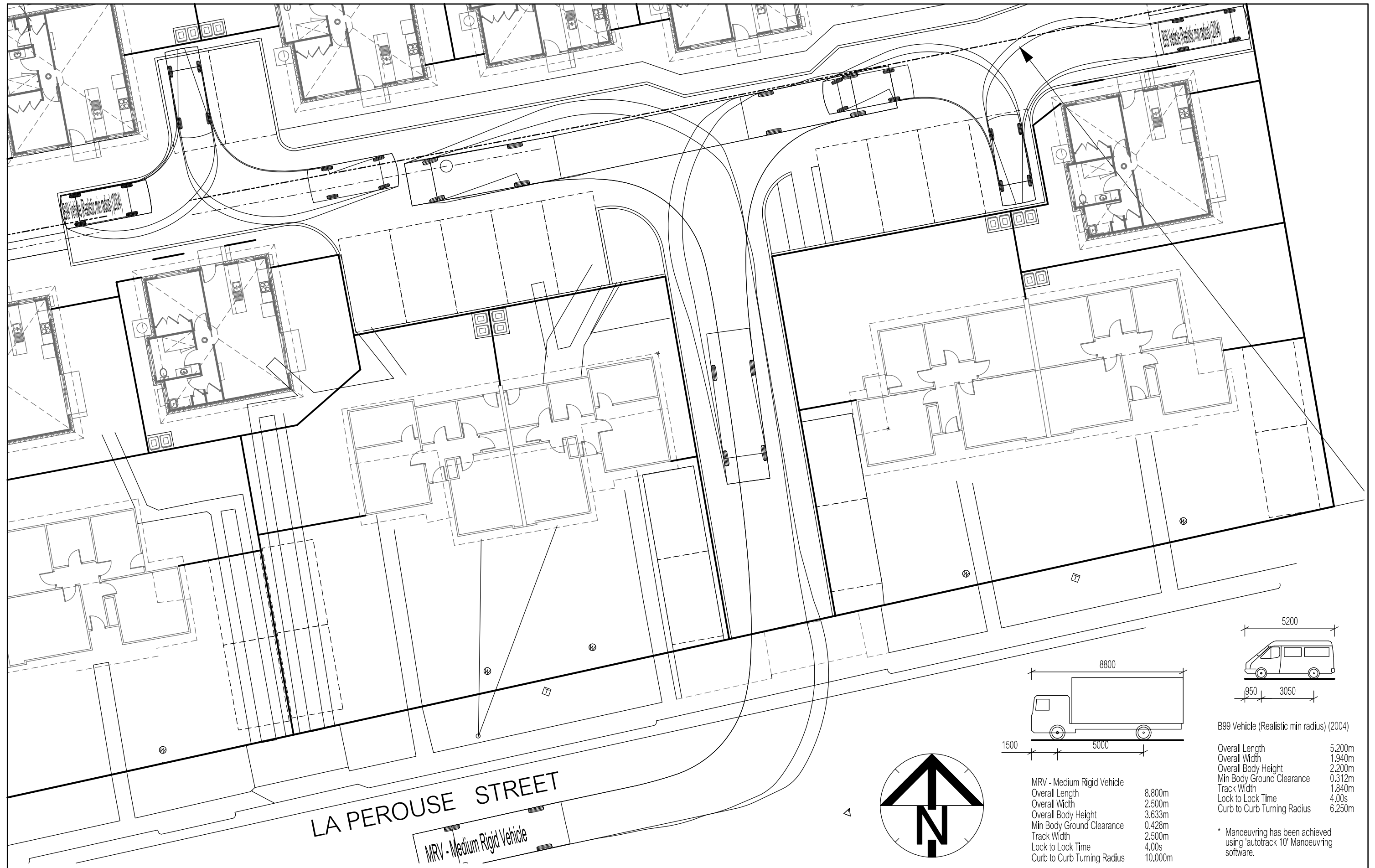






<div>NOTES</div> <ul style="list-style-type: none"><li>• Builder to verify all dimensions and levels on site prior to commencement of work</li><li>• All work to be carried out in accordance with the current National Construction Code.</li><li>• Dimensions to take precedence over scale.</li><li>• Do not scale from these drawings.</li></ul>					Designer:	Client / Project info:	<div><div><div>WILSON HOMES</div><div>MULTI AWARD WINNING BUILDERS</div><div>A Division of Wilson Homes Tasmania Pty Ltd</div><div>ABN 76 126 636 897</div></div></div>	TURNING PLAN A			
					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT 79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS WH711059		
	C	Changes as per cover sheet	19 Oct. 17	CK					Date	10 August 2017	Sheet
	A	Changes as per cover sheet	18 Sep. 17	SS					Scale	1:200	o1e/23
	No.	Amendment	Date	Init.							





MRV - Medium Rigid Vehicle

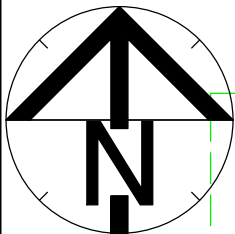
Overall Length	8.800m
Overall Width	2.500m
Overall Body Height	3.633m
Min Body Ground Clearance	0.428m
Track Width	2.500m
Lock to Lock Time	4.00s
Curb to Curb Turning Radius	10.000m

<div>NOTES</div> <ul style="list-style-type: none"><li>• Builder to verify all dimensions and levels on site prior to commencement of work</li><li>• All work to be carried out in accordance with the current National Construction Code.</li><li>• Dimensions to take precedence over scale.</li><li>• Do not scale from these drawings.</li></ul>					Designer:	Client / Project info:	<div><p>WILSON HOMES</p><p>MULTI AWARD WINNING BUILDERS</p><p>A Division of Wilson Homes Tasmania Pty Ltd</p><p>ABN 76 126 636 897</p></div>	TURNING PLAN B			
					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT  79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059	
	C	Changes as per cover sheet	19 Oct. 17	CK					Date	10 August 2017	Sheet
	A	Changes as per cover sheet	18 Sep. 17	SS					Scale	1:200	o1f/23
	No.	Amendment	Date	Init.							

B

CODE	SPECIES	No.
MEDIUM SIZED TREE/BUSH		
PT	Pittosporum Tenuifolium	8
SMALL - MEDIUM SIZED SHRUB		
Ph	Phormium	58
SMALL PLANT OR GRASS		
DT	Dianella Tasmanica	85

NOTES:  
- Lawns are top dressed with soil/loam, seeded, covered with lawn seed.  
- Garden beds are top dressed with soil/loam, covered with pine bark.  
- 1.8m high treated pine lapped paling fence.  
Required 5% of driveway = 38.15m²  
Provided = 208m² (27.26%)

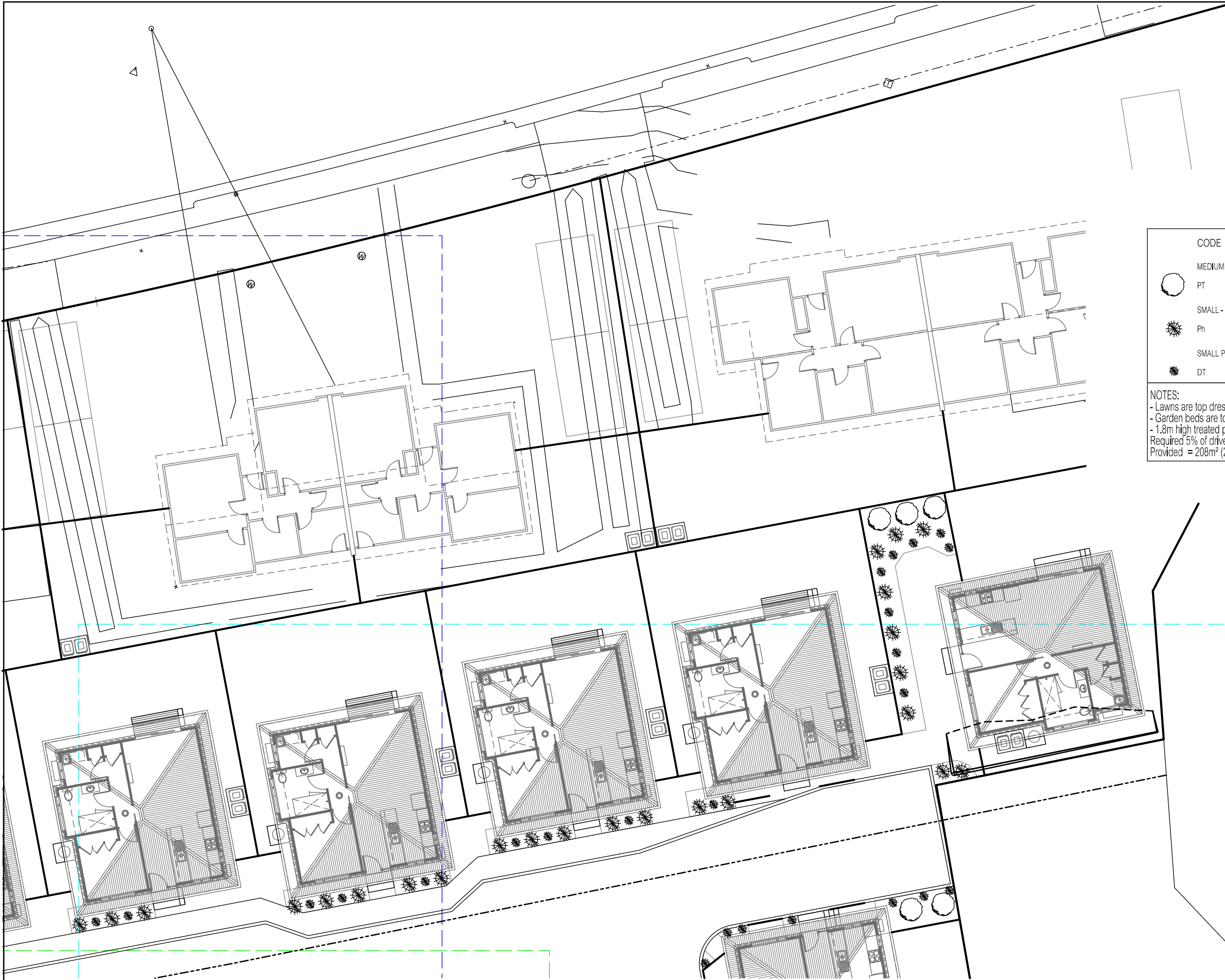


PROPOSED  
UNIT DEVELOPMENT

<div>NOTES</div> <ul style="list-style-type: none"><li>• Builder to verify all dimensions and levels on site prior to commencement of work</li><li>• All work to be carried out in accordance with the current National Construction Code.</li><li>• Dimensions to take precedence over scale.</li><li>• Do not scale from these drawings.</li></ul>					Designer:	Client / Project info:	<div><div><div>WILSON HOMES</div><div>MULTI AWARD WINNING BUILDERS</div><div>A Division of Wilson Homes Tasmania Pty Ltd</div><div>ABN 76 126 636 897</div></div></div>	LANDSCAPE PLAN B			
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									Date	11 September 2017	Sheet
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	No.	Amendment	Date	Init.							

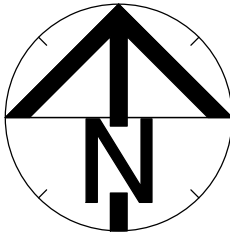
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					PO BOX 21	
					NEW TOWN	
C	Changes as per cover sheet	19 Oct. 17	CK		LIC. NO. CC2204H (A. Strugnelli)	79, 81, 83, 85, 87, 89 BASS STREET WARRANE
A	Changes as per cover sheet	18 Sep. 17	SS		Ph: (03) 6231 4122	36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE
					Fx: (03) 6231 4166	
					Email:	
					info@anotherperspective.com.au	





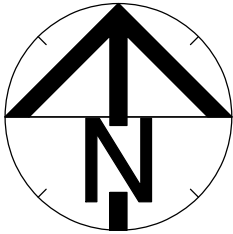
CODE	SPECIES	No.
MEDIUM SIZED TREE/BUSH		
PT	Pittosporum Tenuifolium	8
SMALL - MEDIUM SIZED SHRUB		
Ph	Phormium	58
SMALL PLANT OR GRASS		
DT	Dianella Tasmanica	85

NOTES:  
- Lawns are top dressed with soil/loam, seeded, covered with lawn seed.  
- Garden beds are top dressed with soil/loam, covered with pine bark.  
- 1.8m high treated pine lapped paling fence.  
Required 5% of driveway = 38.15m<sup>2</sup>  
Provided = 208m<sup>2</sup> (27.26%)



PROPOSED  
UNIT DEVELOPMENT

<div>NOTES</div> <ul style="list-style-type: none"><li>• Builder to verify all dimensions and levels on site prior to commencement of work</li><li>• All work to be carried out in accordance with the current National Construction Code.</li><li>• Dimensions to take precedence over scale.</li><li>• Do not scale from these drawings.</li></ul>					Designer:	Client / Project info:	<div><p>WILSON HOMES</p><p>MULTI AWARD WINNING BUILDERS</p><p>A Division of Wilson Homes Tasmania Pty Ltd</p><p>ABN 76 126 636 897</p></div>	LANDSCAPE PLAN C			
					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT 79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059	
	C	Changes as per cover sheet	19 Oct. 17	CK					Date	11 September 2017	Sheet
	A	Changes as per cover sheet	18 Sep. 17	SS					Scale	1:200	o1i/23
	No.	Amendment	Date	Init.							



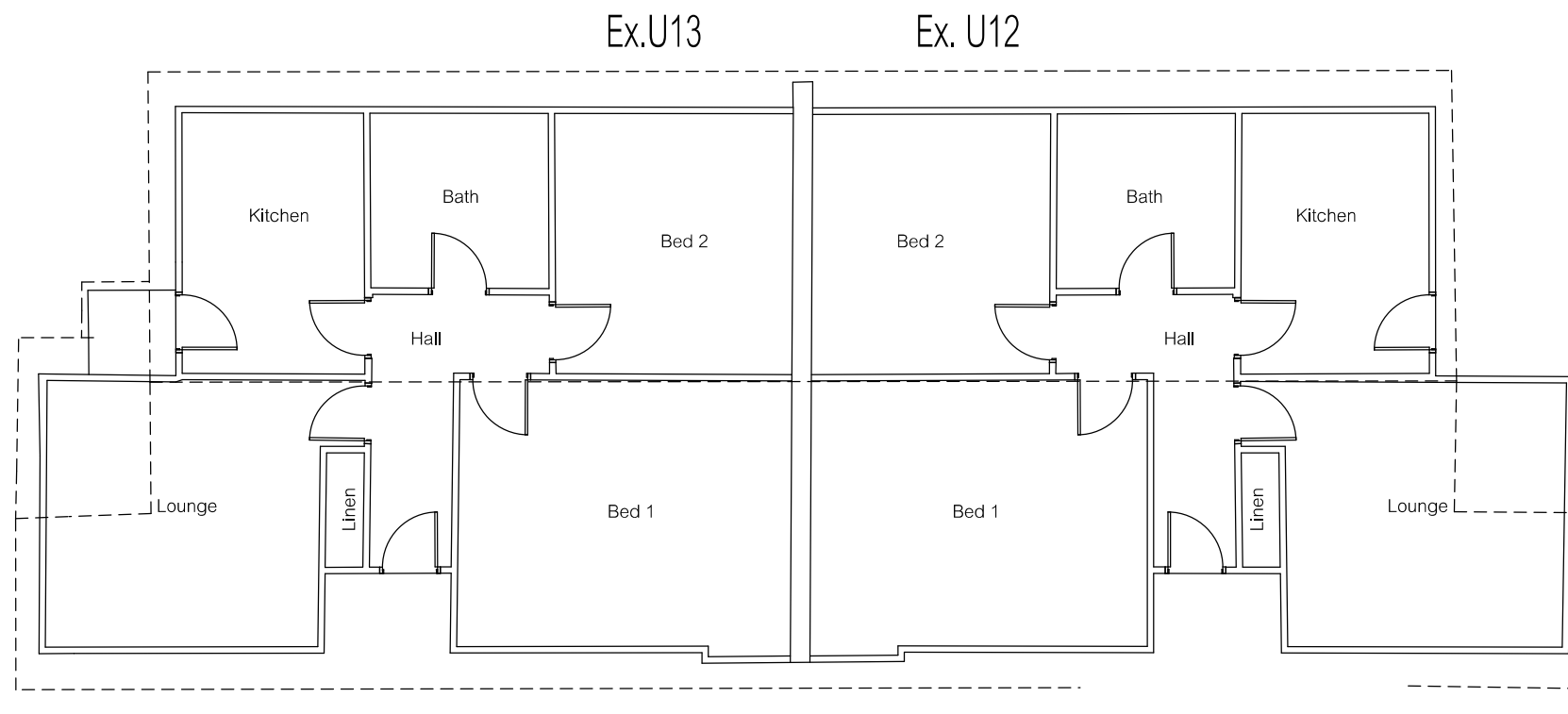
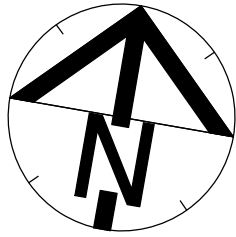
PROPOSED  
UNIT DEVELOPMENT

CODE	SPECIES	No.
	PT	Pittosporum Tenuifolium
		8
	Ph	Phormium
		58
	DT	Dianella Tasmanica
		85

NOTES:  
- Lawns are top dressed with soil/loam, seeded, covered with lawn seed.  
- Garden beds are top dressed with soil/loam, covered with pine bark.  
- 1.8m high treated pine lapped paling fence.  
Required 5% of driveway = 38,15m<sup>2</sup>  
Provided = 208m<sup>2</sup> (27.26%)

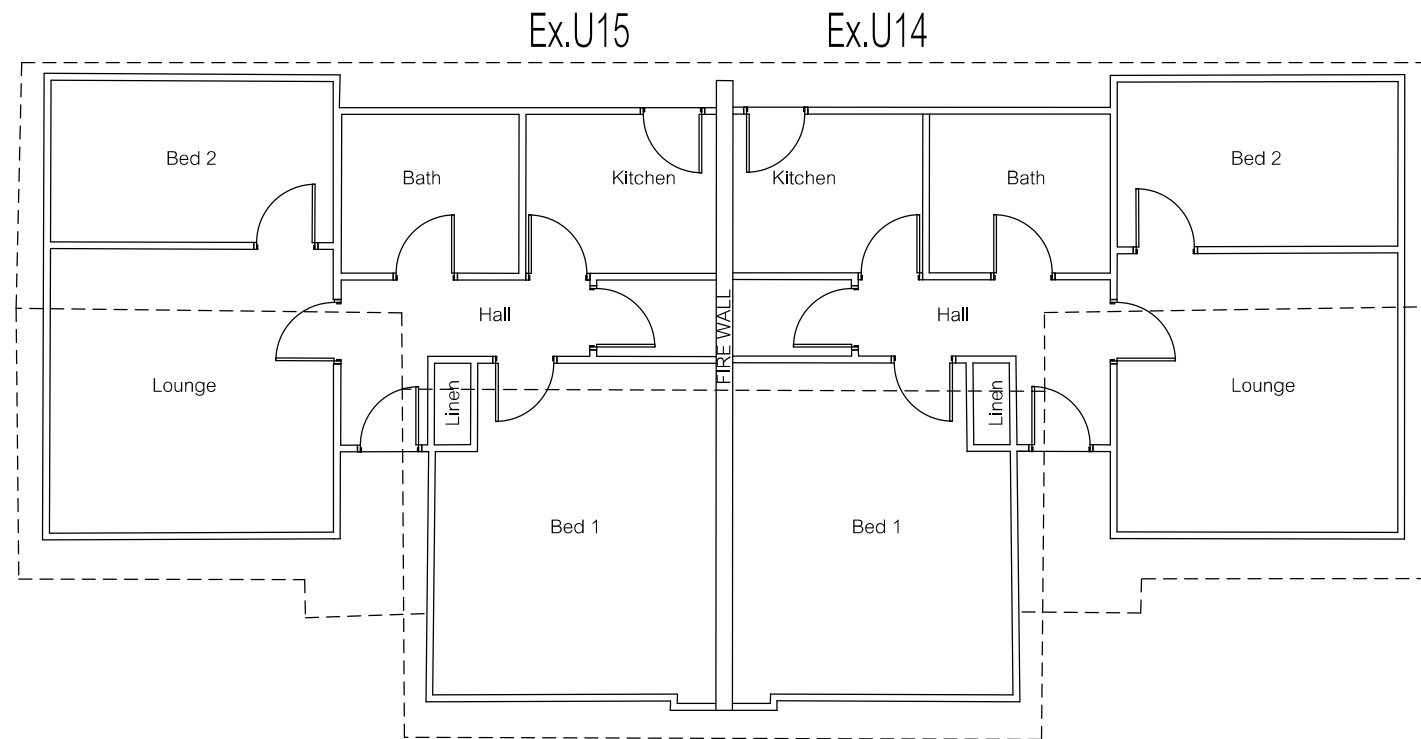
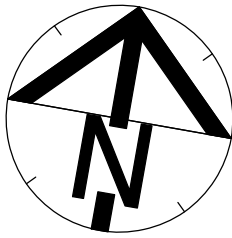
D

<div>NOTES</div> <ul style="list-style-type: none"><li>• Builder to verify all dimensions and levels on site prior to commencement of work</li><li>• All work to be carried out in accordance with the current National Construction Code.</li><li>• Dimensions to take precedence over scale.</li><li>• Do not scale from these drawings.</li></ul>					Designer:	Client / Project info:	<div><p>WILSON HOMES</p><p>MULTI AWARD WINNING BUILDERS</p><p>A Division of Wilson Homes Tasmania Pty Ltd</p><p>ABN 76 126 636 897</p></div>	LANDSCAPE PLAN D			
					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT 79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059	
	C	Changes as per cover sheet	19 Oct. 17	CK					Date	11 September 2017	Sheet
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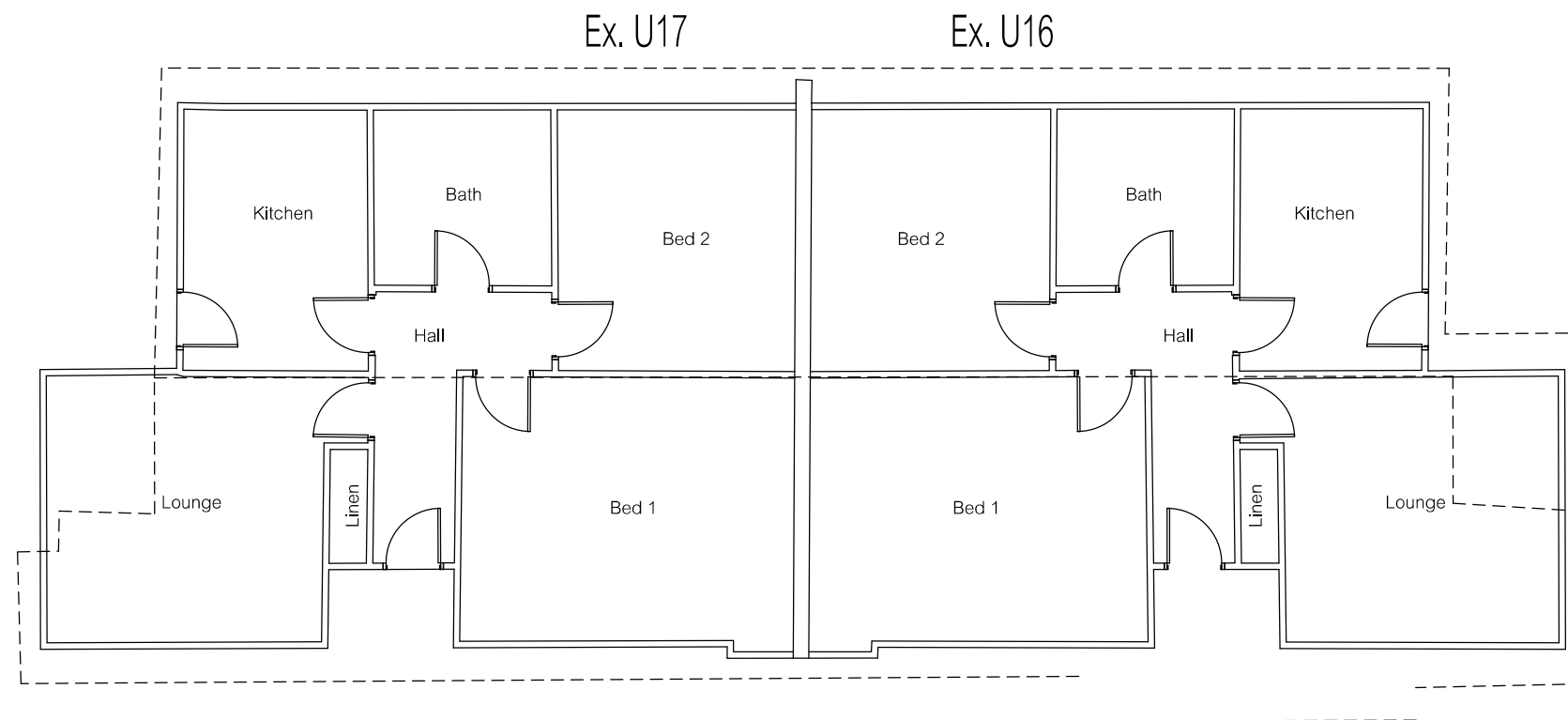
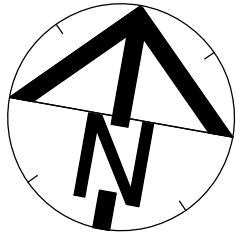


<div>NOTES</div> <ul style="list-style-type: none"><li>• Builder to verify all dimensions and levels on site prior to commencement of work</li><li>• All work to be carried out in accordance with the current National Construction Code.</li><li>• Dimensions to take precedence over scale.</li><li>• Do not scale from these drawings.</li></ul>					Designer:	Client / Project info:	<div><div><div>WILSON HOMES</div><div>MULTI AWARD WINNING BUILDERS</div><div>A Division of Wilson Homes Tasmania Pty Ltd</div><div>ABN 76 126 636 897</div></div></div>	EXISTING UNITS 12 & 13 FLOOR PLAN			
					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT 79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059	
									Date	18 September 2017	Sheet
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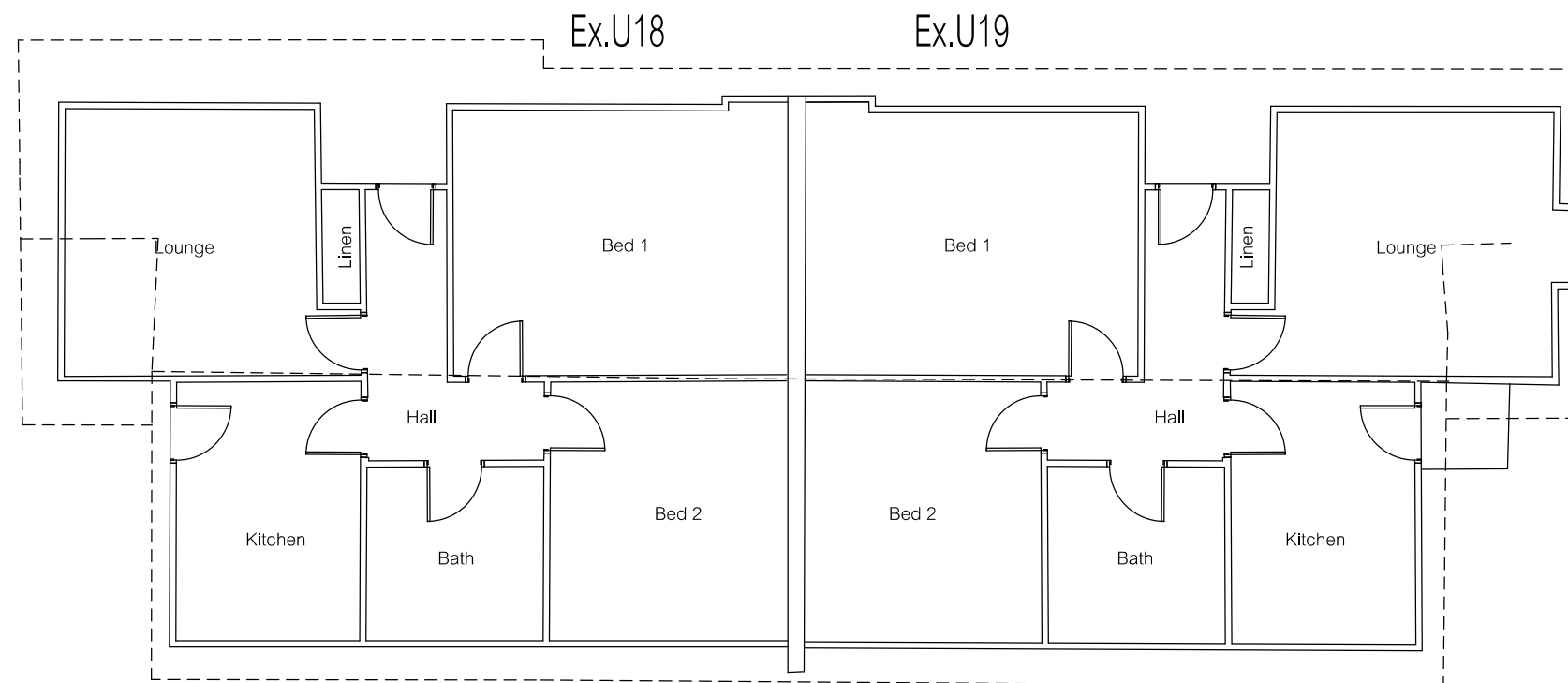
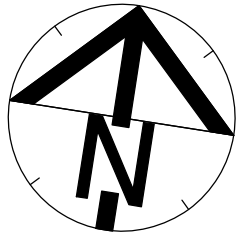




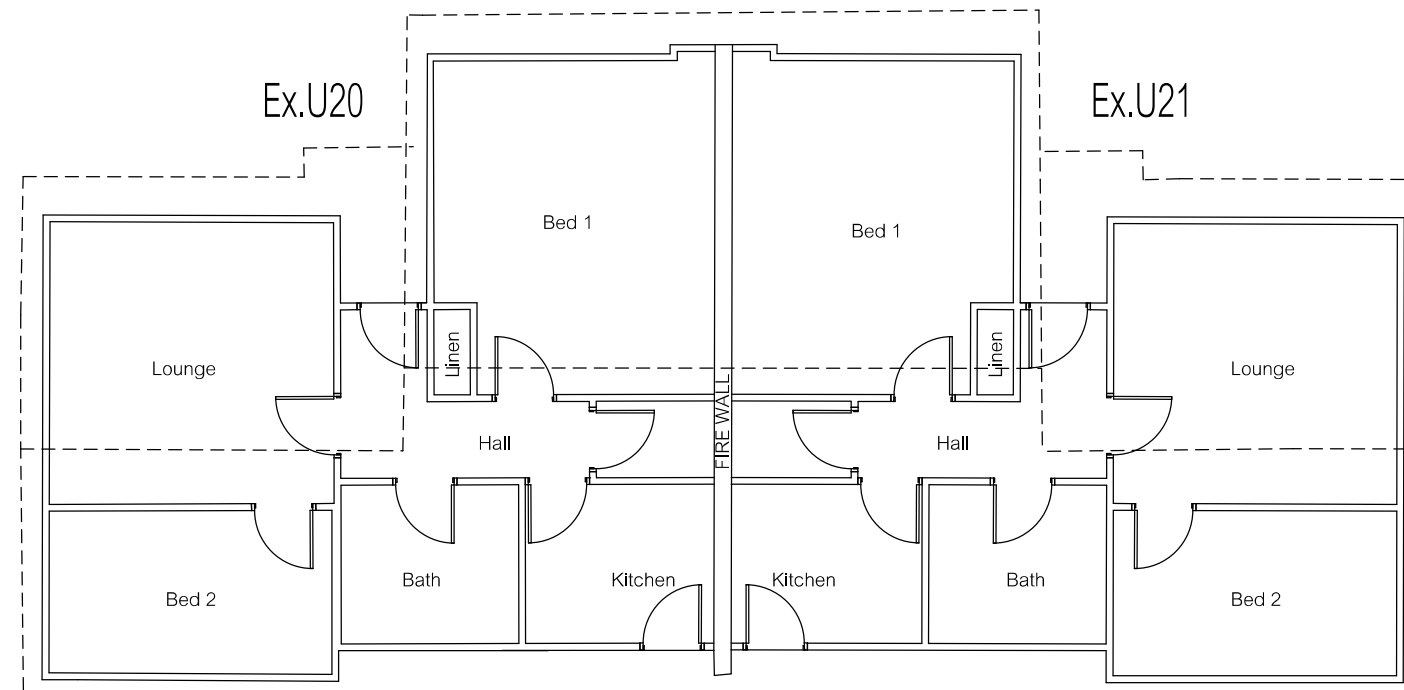
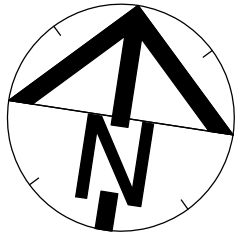
<div>NOTES</div> <ul style="list-style-type: none"><li>• Builder to verify all dimensions and levels on site prior to commencement of work</li><li>• All work to be carried out in accordance with the current National Construction Code.</li><li>• Dimensions to take precedence over scale.</li><li>• Do not scale from these drawings.</li></ul>					Designer:	Client / Project info:	<div><div><div>WILSON HOMES</div><div>MULTI AWARD WINNING BUILDERS</div><div>A Division of Wilson Homes Tasmania Pty Ltd</div><div>ABN 76 126 636 897</div></div></div>	EXISTING UNITS 14 & 15 FLOOR PLAN			
					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT 79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059	
									Date	18 September 2017	Sheet
									Scale	1:100	o11/23
									WILSON HOMES © 2017		



<div>NOTES</div> <ul style="list-style-type: none"><li>• Builder to verify all dimensions and levels on site prior to commencement of work</li><li>• All work to be carried out in accordance with the current National Construction Code.</li><li>• Dimensions to take precedence over scale.</li><li>• Do not scale from these drawings.</li></ul>					Designer:	Client / Project info:	<div><div>WILSON HOMES</div><div>MULTI AWARD WINNING BUILDERS</div><div>A Division of Wilson Homes Tasmania Pty Ltd</div><div>ABN 76 126 636 897</div></div>	EXISTING UNITS 16 & 17 FLOOR PLAN		
					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT 79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059
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No.	Amendment	Date	Init.							

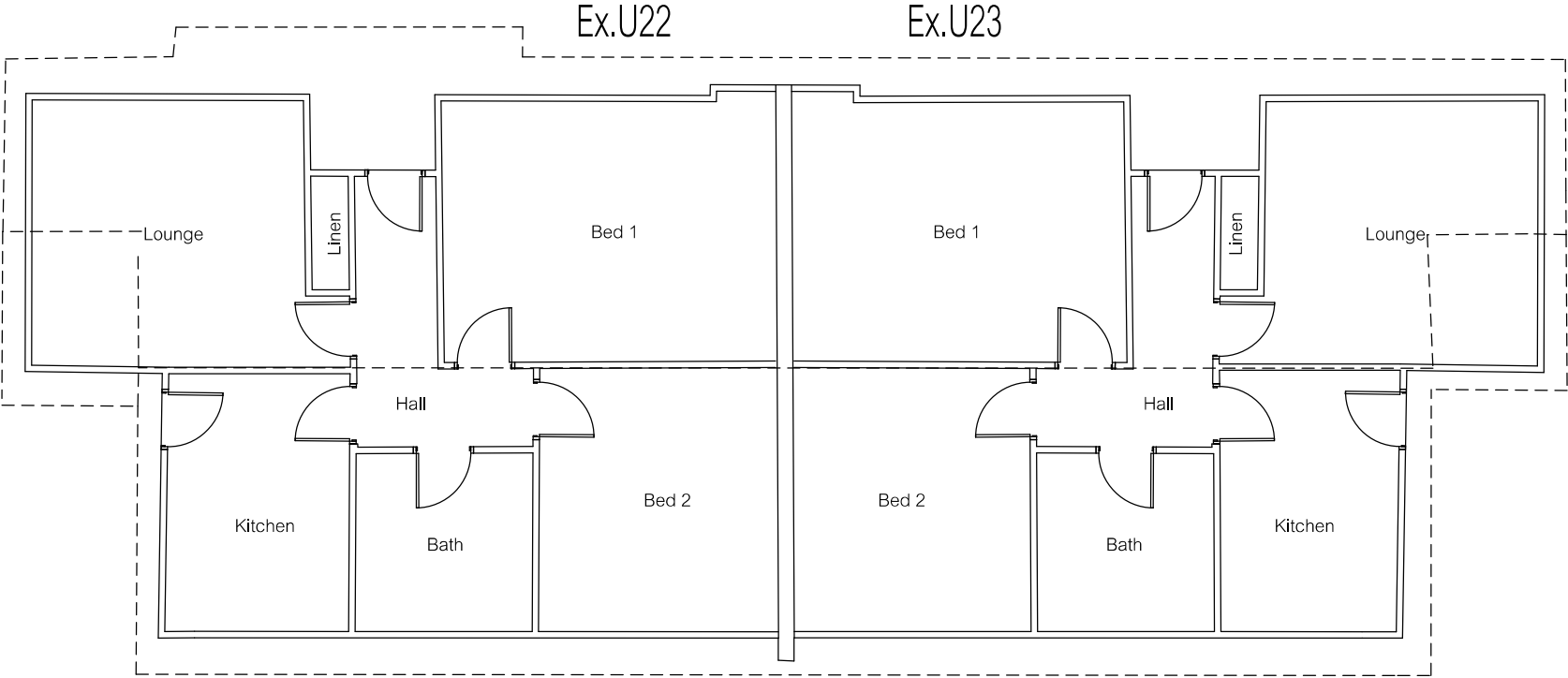
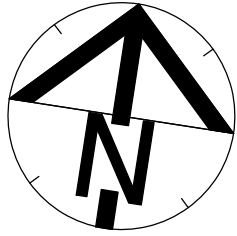


<div>NOTES</div> <ul style="list-style-type: none"><li>• Builder to verify all dimensions and levels on site prior to commencement of work</li><li>• All work to be carried out in accordance with the current National Construction Code.</li><li>• Dimensions to take precedence over scale.</li><li>• Do not scale from these drawings.</li></ul>					Designer:	Client / Project info:	<div><div><div>WILSON HOMES</div><div>MULTI AWARD WINNING BUILDERS</div><div>A Division of Wilson Homes Tasmania Pty Ltd</div><div>ABN 76 126 636 897</div></div></div>	EXISTING UNITS 18 & 19 FLOOR PLAN			
					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT 79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059	
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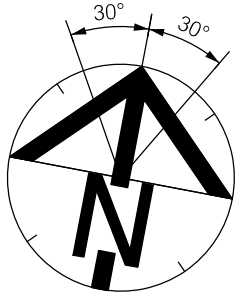


<div>NOTES</div> <ul style="list-style-type: none"><li>• Builder to verify all dimensions and levels on site prior to commencement of work</li><li>• All work to be carried out in accordance with the current National Construction Code.</li><li>• Dimensions to take precedence over scale.</li><li>• Do not scale from these drawings.</li></ul>					Designer:	Client / Project info:	<div><div><div>WILSON HOMES</div><div>MULTI AWARD WINNING BUILDERS</div><div>A Division of Wilson Homes Tasmania Pty Ltd</div><div>ABN 76 126 636 897</div></div></div>	EXISTING UNITS 20 & 21 FLOOR PLAN			
					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT 79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059	
									Date	18 September 2017	Sheet
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	A	Changes as per cover sheet	18 Sep. 17	SS							
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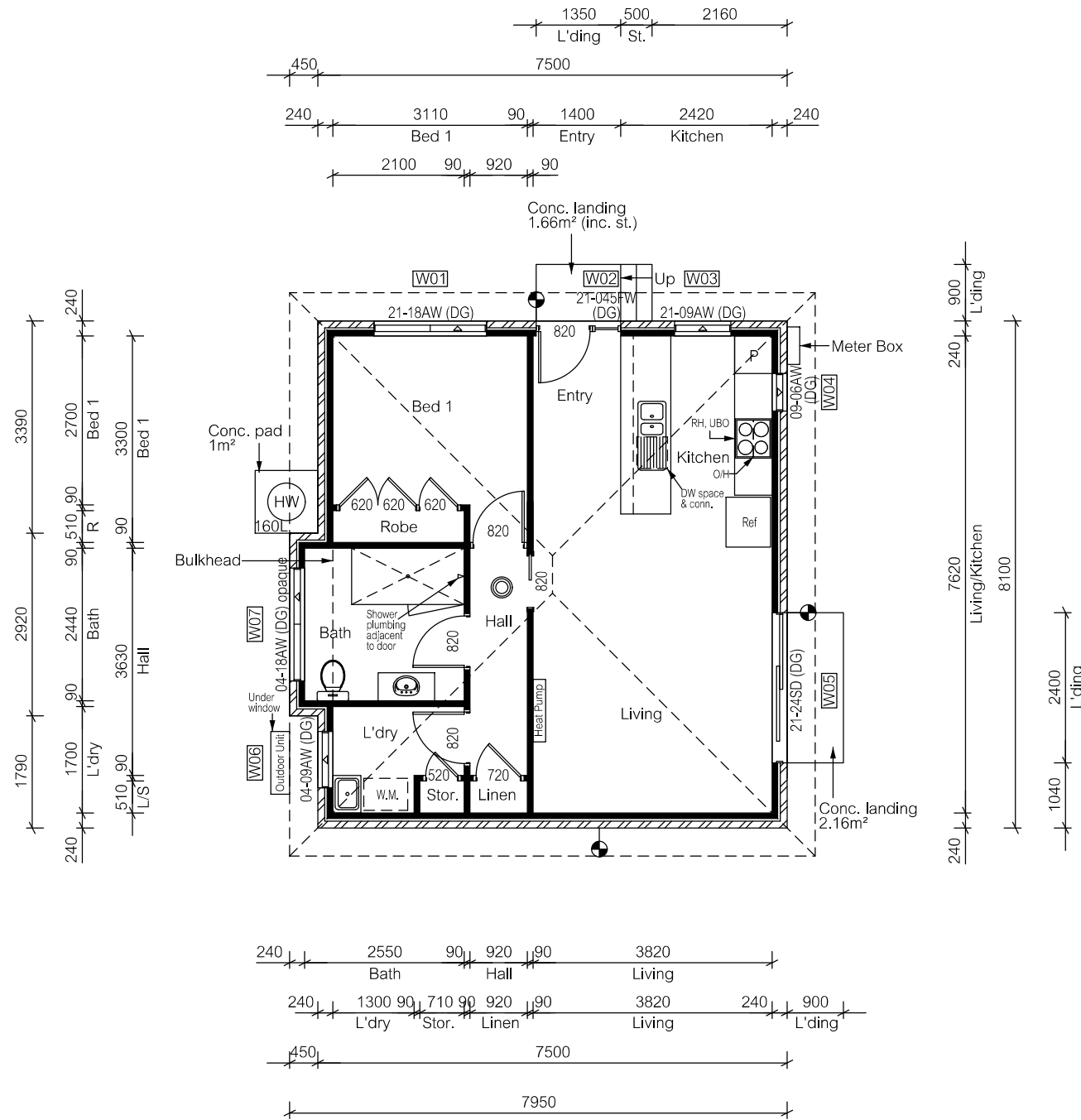




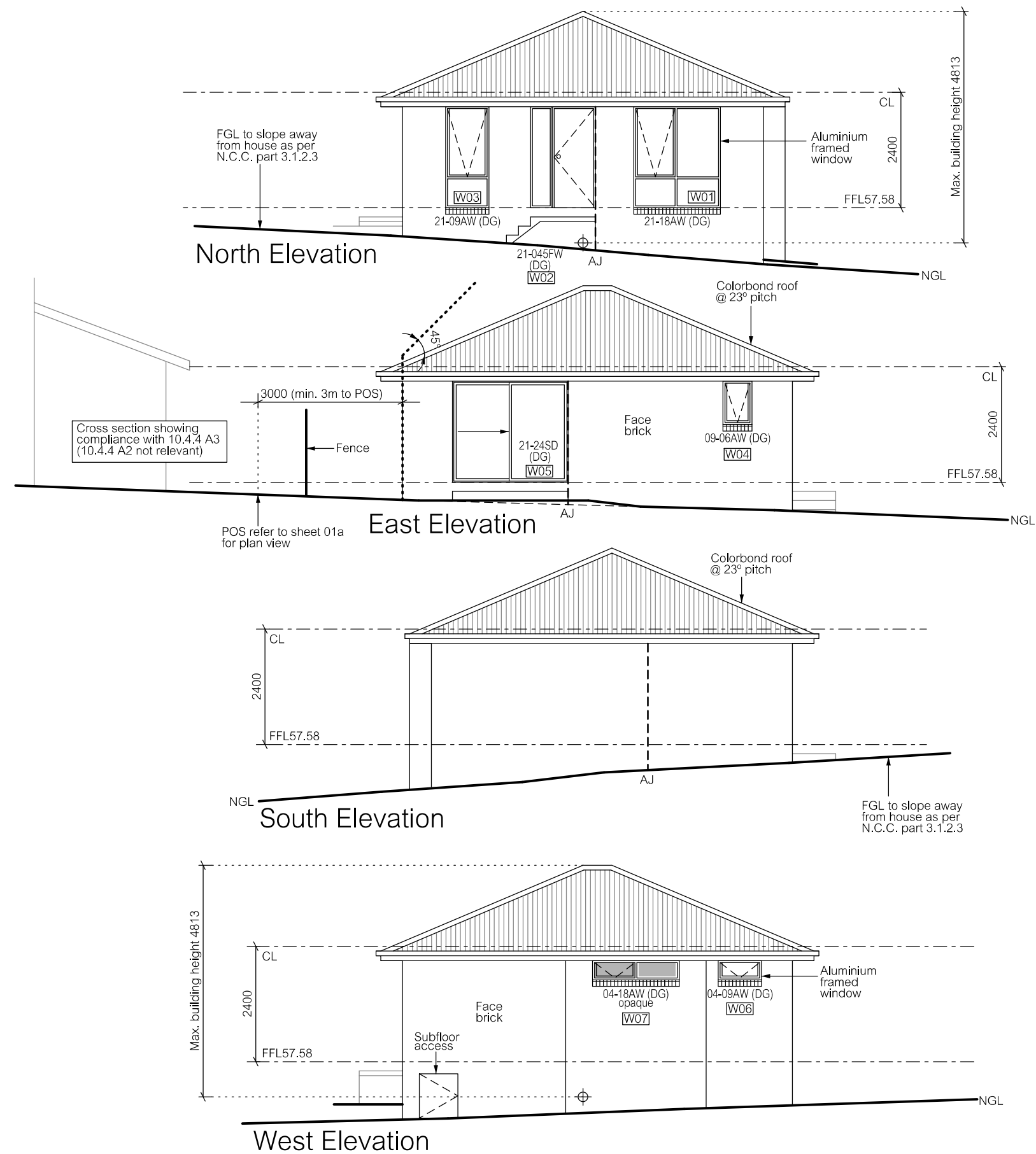
<div>NOTES</div> <ul style="list-style-type: none"><li>• Builder to verify all dimensions and levels on site prior to commencement of work</li><li>• All work to be carried out in accordance with the current National Construction Code.</li><li>• Dimensions to take precedence over scale.</li><li>• Do not scale from these drawings.</li></ul>					Designer:	Client / Project info:	<div><div><div>WILSON HOMES</div><div>MULTI AWARD WINNING BUILDERS</div><div>A Division of Wilson Homes Tasmania Pty Ltd</div><div>ABN 76 126 636 897</div></div></div>	EXISTING UNITS 22 & 23 FLOOR PLAN		
					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT 79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059
								Date	18 September 2017	Sheet
								Scale	1:100	o1p/23
								WILSON HOMES © 2017		



PD4.1 clause 10.4.4  
W02 & W03 satisfy A1.



<div>NOTES</div> <ul style="list-style-type: none"><li>Builder to verify all dimensions and levels on site prior to commencement of work</li><li>All work to be carried out in accordance with the current National Construction Code.</li><li>Dimensions to take precedence over scale.</li><li>Do not scale from these drawings.</li></ul>	<div>FLOOR AREA = 62.06 sqm</div> <div><div>Articulation joints</div><div>Smoke Alarm (interconnected where more than 1)</div></div>	<div>ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.</div>				Designer:	Client / Project info:	<div><div>WILSON HOMES</div><div>MULTI AWARD WINNING BUILDERS</div><div>A Division of Wilson Homes Tasmania Pty Ltd</div><div>ABN 76 126 636 877</div></div>	UNIT 1 FLOOR PLAN			
						ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT 79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059	
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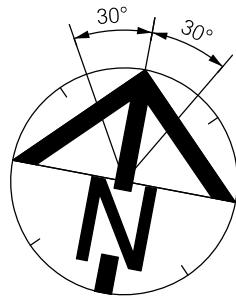
<div>NOTES</div> <ul style="list-style-type: none"><li>Builder to verify all dimensions and levels on site prior to commencement of work</li><li>All work to be carried out in accordance with the current National Construction Code.</li><li>Dimensions to take precedence over scale.</li><li>Do not scale from these drawings.</li></ul>	<div>ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.</div>	Designer:				Client / Project info:		UNIT 1 ELEVATIONS	
		ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au				PROPOSED CENTACARE EVOLVE DEVELOPMENT 79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS WH711059
		A Changes as per cover sheet 18 Sep. 17 SS						Date	10 August 2017 Sheet
		No. Amendment Date Init.						Scale	1:100 03/23
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WILSON HOMES

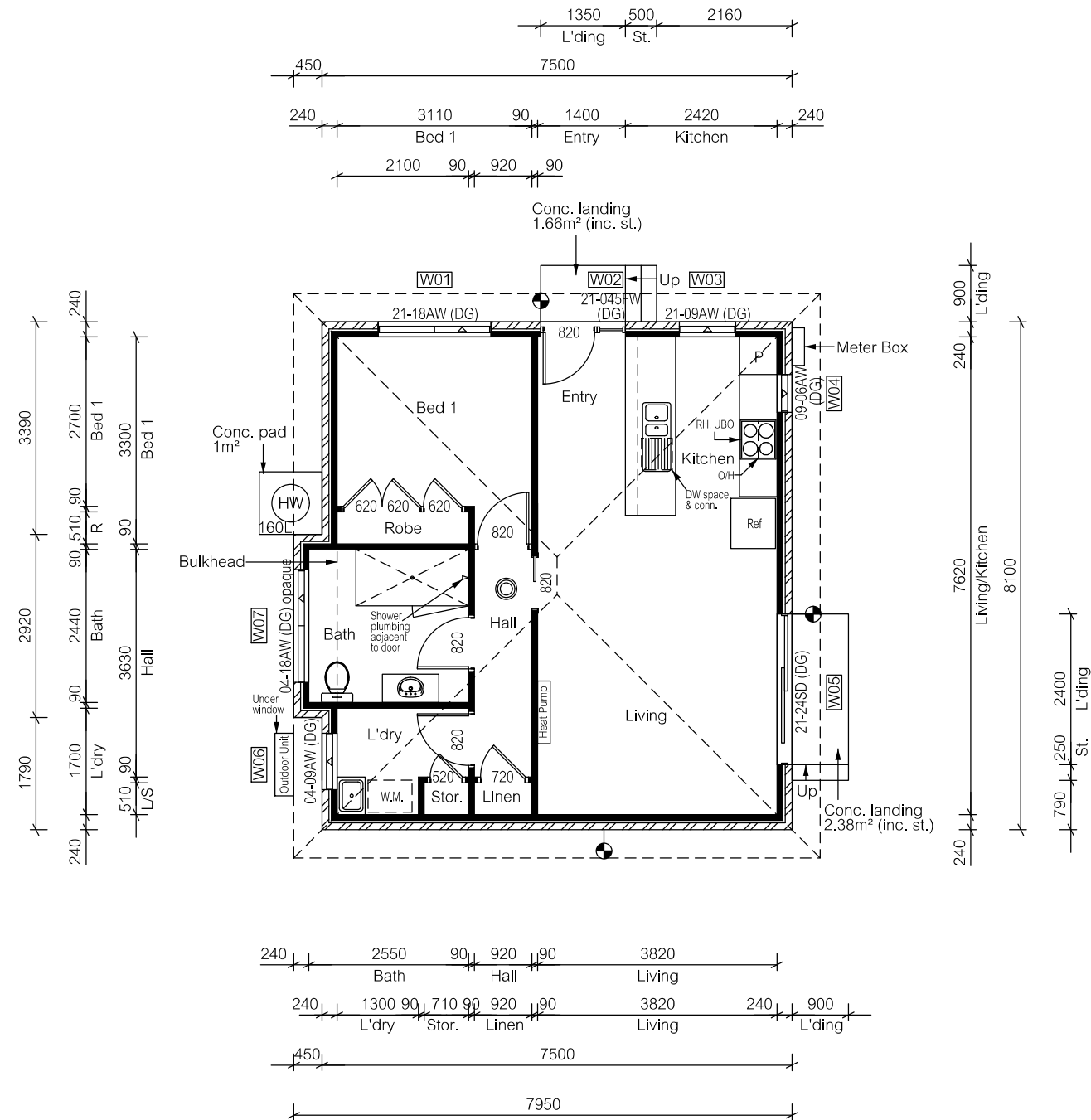
MULTI AWARD WINNING BUILDERS

A Division of Wilson Homes Tasmania Pty Ltd

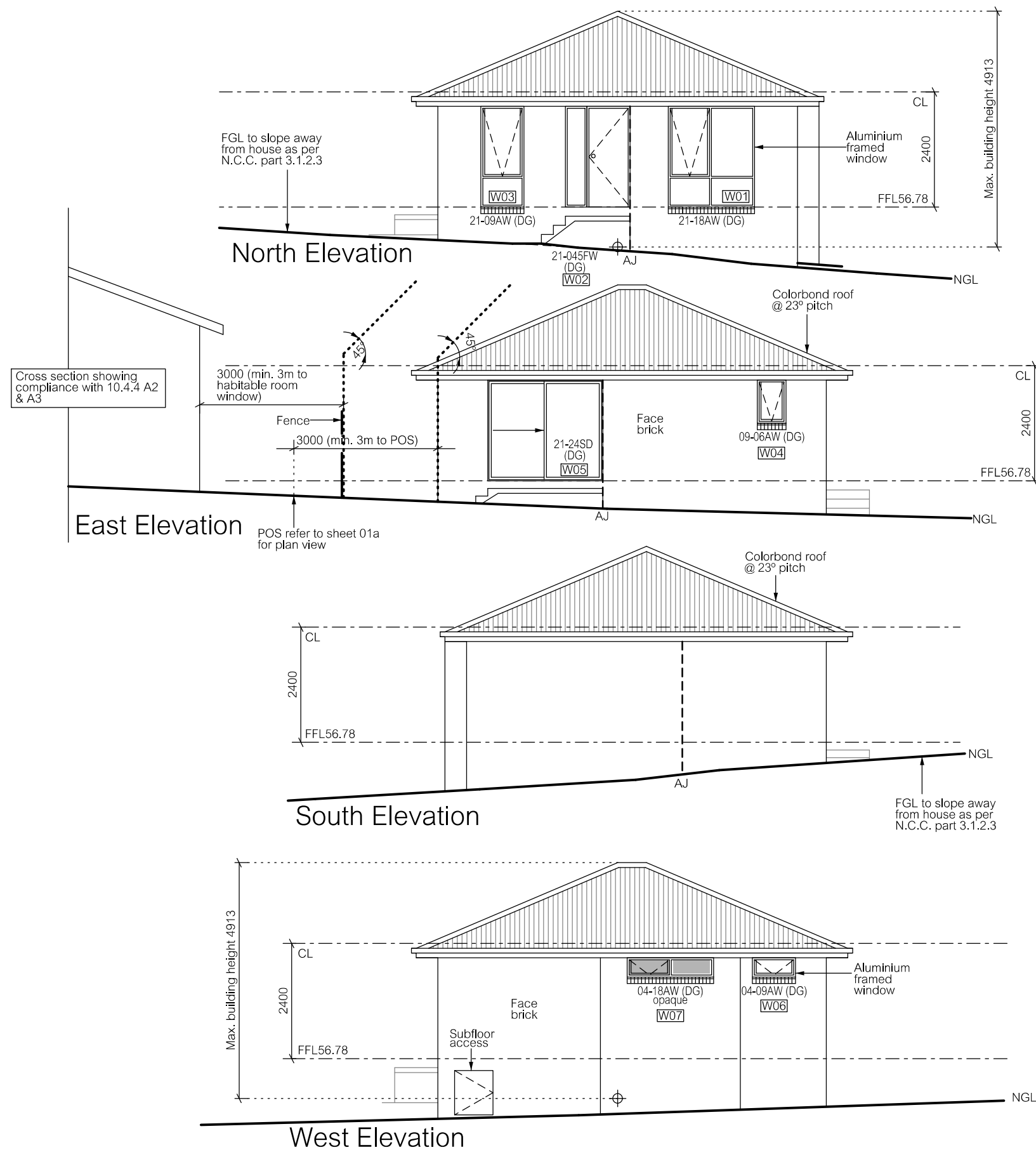
ABN 76 126 636 897



PD4.1 clause 10.4.4  
W02 & W03 satisfy A1.



<div>NOTES</div> <ul style="list-style-type: none"><li>Builder to verify all dimensions and levels on site prior to commencement of work</li><li>All work to be carried out in accordance with the current National Construction Code.</li><li>Dimensions to take precedence over scale.</li><li>Do not scale from these drawings.</li></ul>	<div>FLOOR AREA = 62.06 sqm</div> <div><div><div></div>Articulation joints</div><div><div></div>Smoke Alarm (interconnected where more than 1)</div></div>	<div>ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.</div>				Designer:	Client / Project info:	<div><div><div>WILSON HOMES</div><div>MULTI AWARD WINNING BUILDERS</div><div>A Division of Wilson Homes Tasmania Pty Ltd</div><div>ABN 76 126 636 877</div></div></div>	UNIT 2 FLOOR PLAN			
						ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT 79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059	
										Date	10 August 2017	Sheet
										Scale	1:100	04/23
			No.	Amendment	Date	Init.				WILSON HOMES © 2017		



- NOTES**
- Builder to verify all dimensions and levels on site prior to commencement of work
  - All work to be carried out in accordance with the current National Construction Code.
  - Dimensions to take precedence over scale.
  - Do not scale from these drawings.

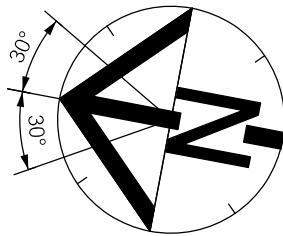
ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.

				Designer:
				ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au
A	Changes as per cover sheet	18 Sep. 17	SS	
No.	Amendment	Date	Init.	

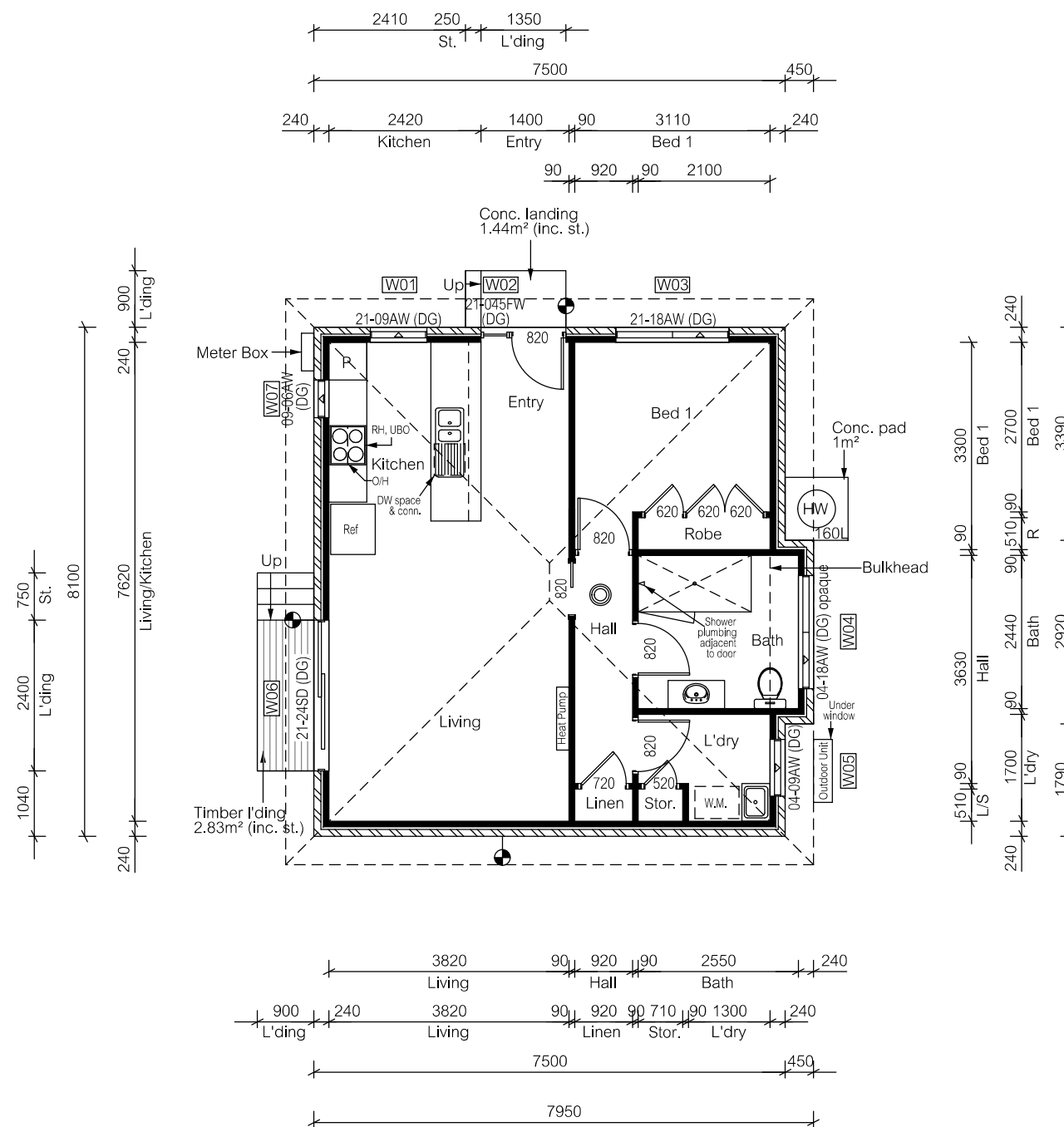
Client / Project info:
PROPOSED CENTACARE EVOLVE DEVELOPMENT 79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE



UNIT 2 ELEVATIONS		
Drawn	SS	WH711059
Date	10 August 2017	Sheet
Scale	1:100	05/23
WILSON HOMES © 2017		



PD4.1 clause 10.4.4  
W06 & W07 satisfy A1.



#### NOTES

- Builder to verify all dimensions and levels on site prior to commencement of work
- All work to be carried out in accordance with the current National Construction Code.
- Dimensions to take precedence over scale.
- Do not scale from these drawings.

FLOOR AREA = 62.06 sqm



Articulation joints



Smoke Alarm (interconnected where more than 1)

ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.

#### Designer:

ANOTHER PERSPECTIVE PTY LTD  
PO BOX 21  
NEW TOWN  
LIC. NO. CC2204H (A. Strugnelli)  
Ph: (03) 6231 4122  
Fx: (03) 6231 4166  
Email:  
info@anotherperspective.com.au

#### Client / Project info:

PROPOSED CENTACARE EVOLVE DEVELOPMENT  
79, 81, 83, 85, 87, 89 BASS STREET WARRANE  
36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE



#### UNIT 3 FLOOR PLAN

Drawn SS WH711059

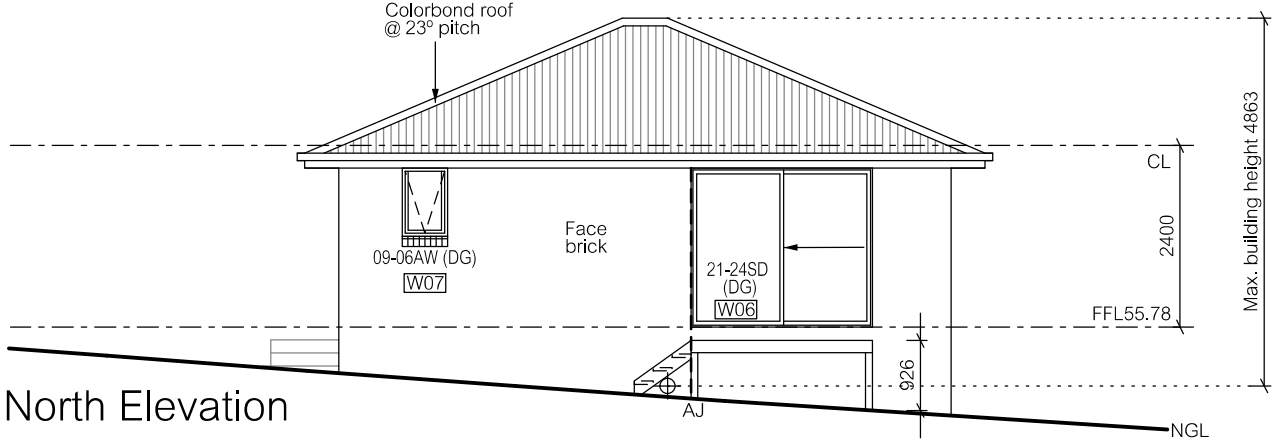
Date 10 August 2017 Sheet

Scale 1:100

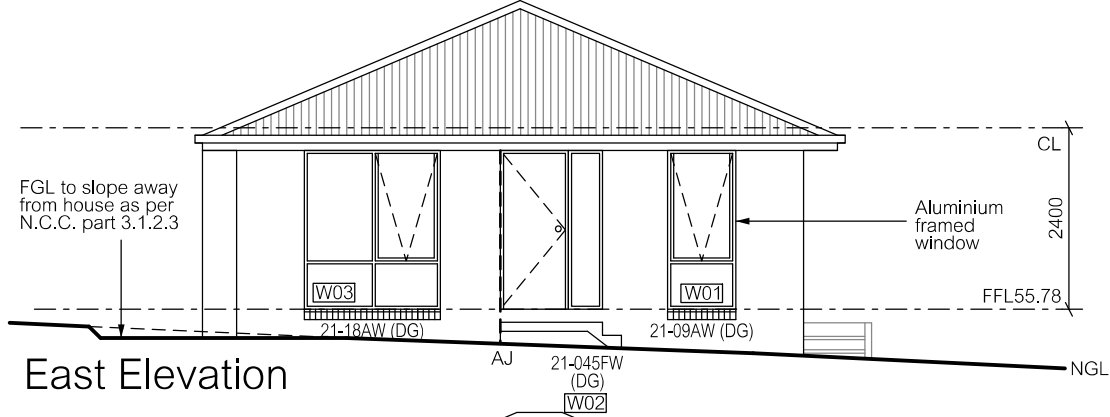
WILSON HOMES © 2017

06/23

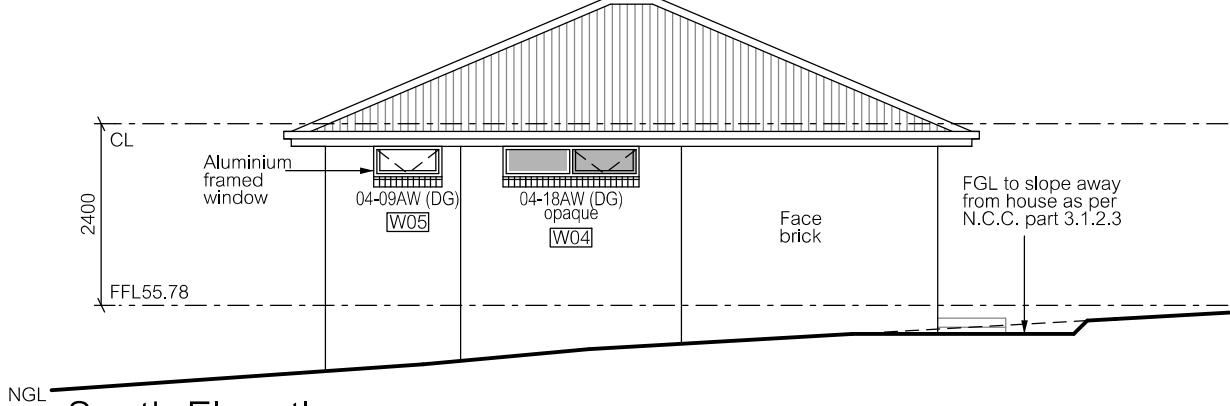




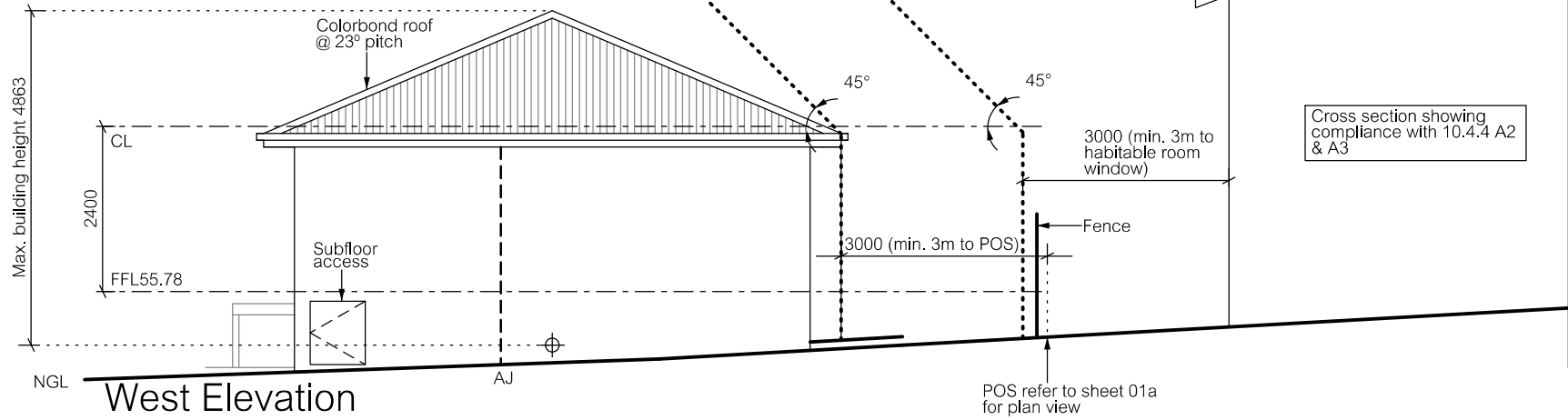
North Elevation



East Elevation

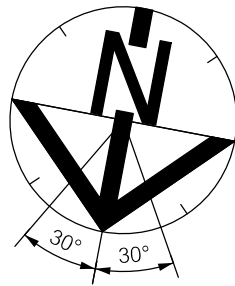


South Elevation

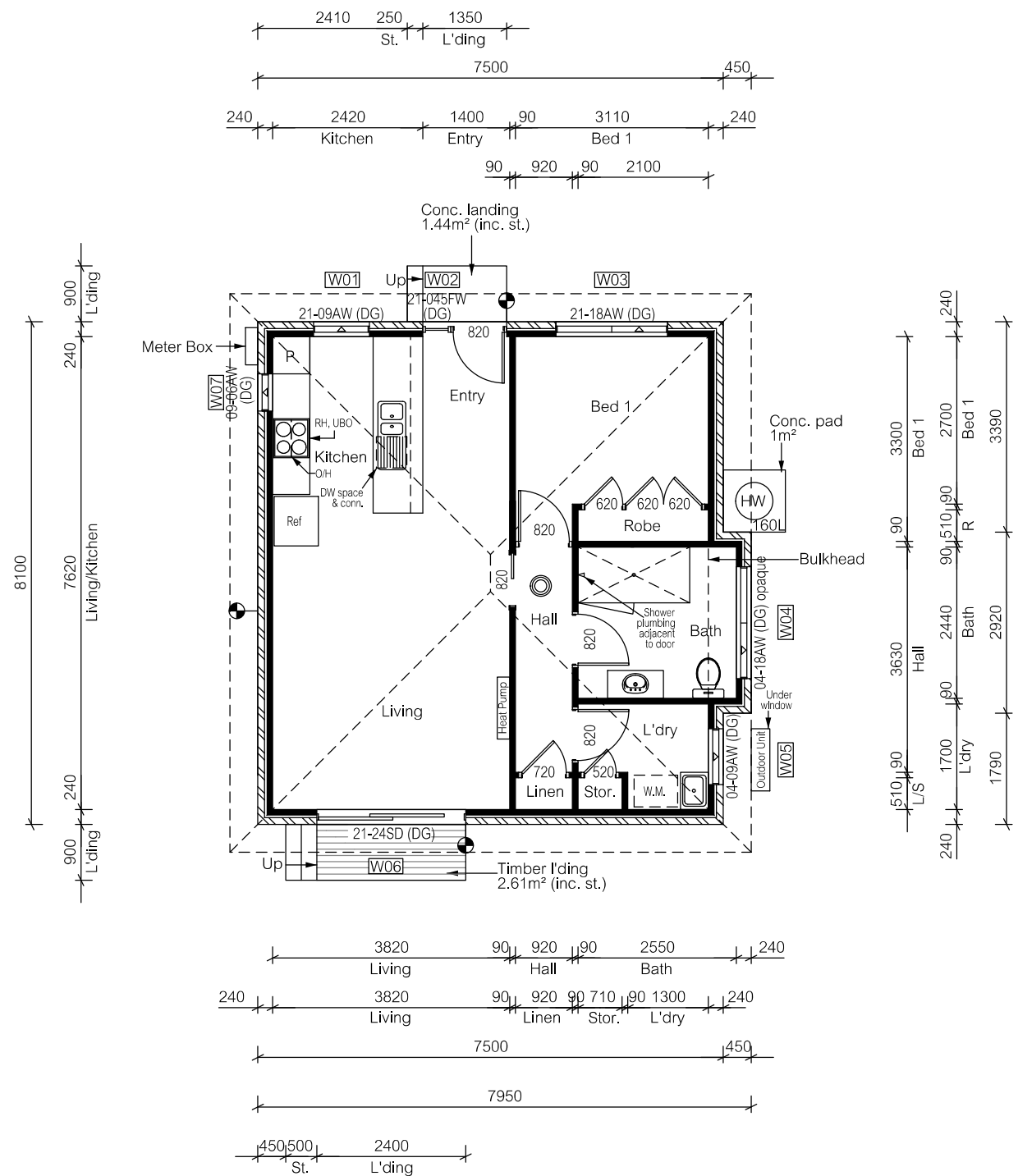


West Elevation

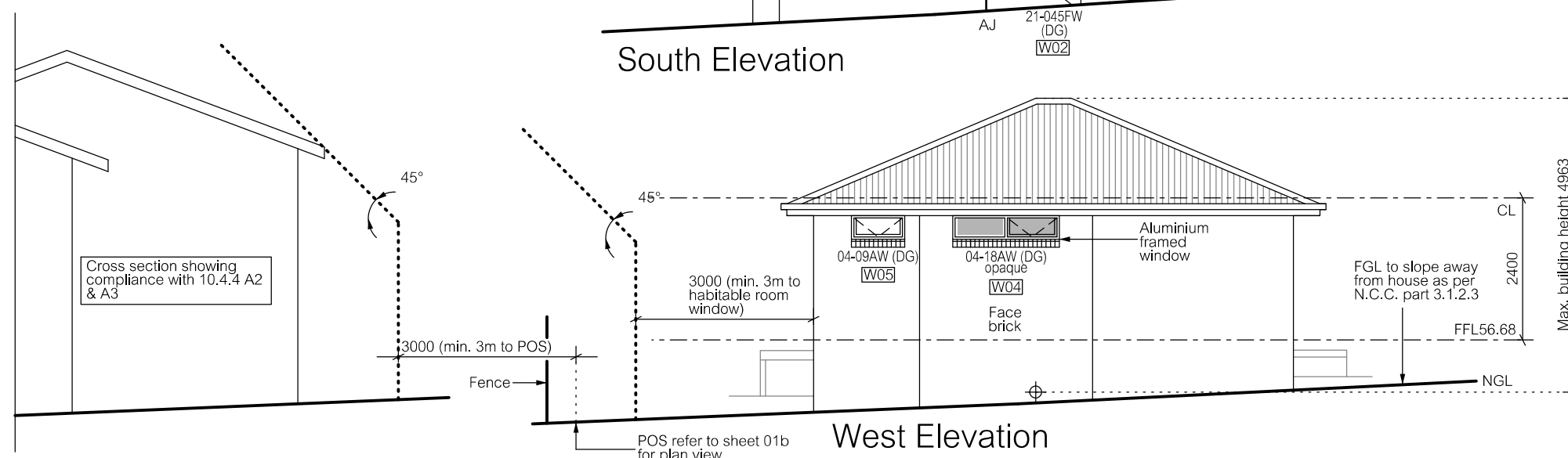
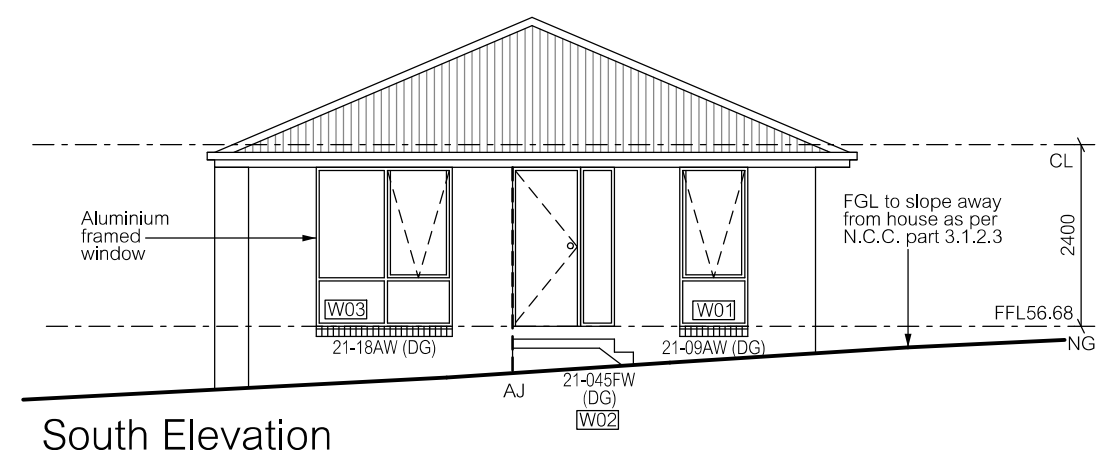
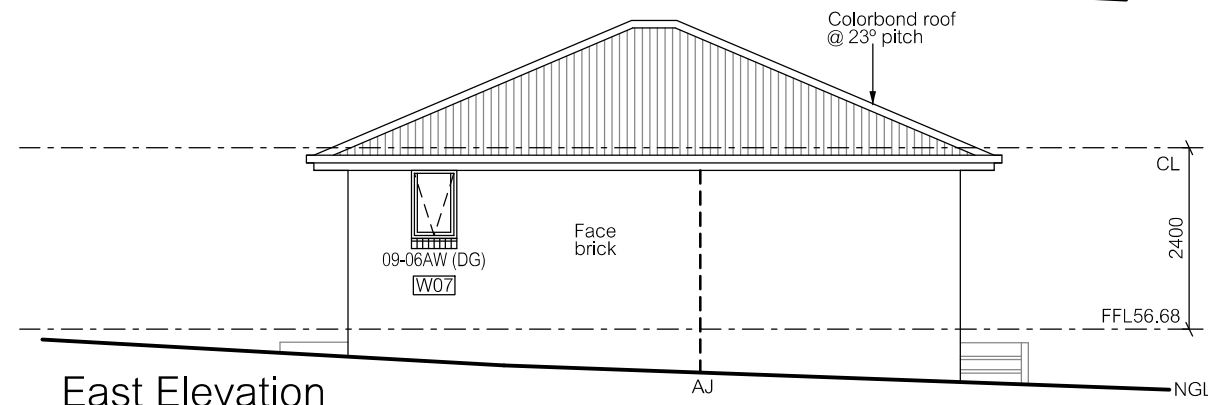
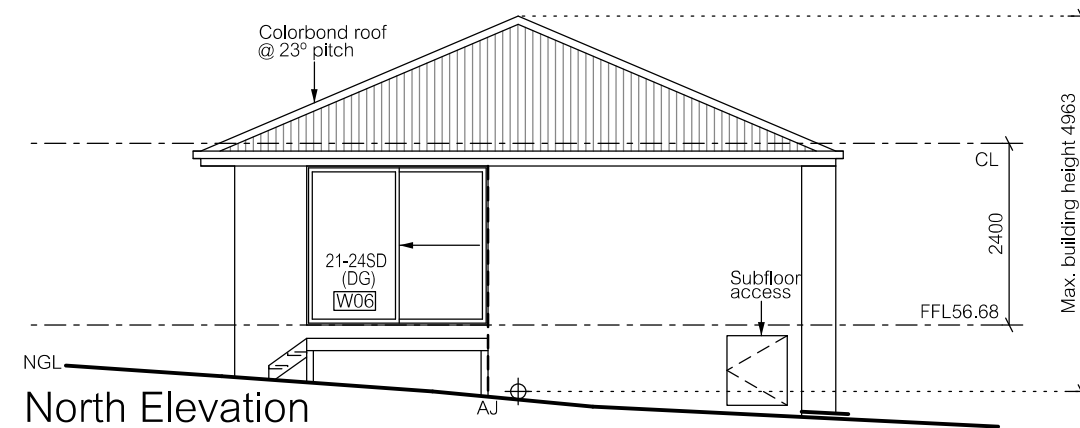
<div>NOTES</div> <ul style="list-style-type: none"><li>• Builder to verify all dimensions and levels on site prior to commencement of work</li><li>• All work to be carried out in accordance with the current National Construction Code.</li><li>• Dimensions to take precedence over scale.</li><li>• Do not scale from these drawings.</li></ul>	<div>ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.</div>				Designer:	Client / Project info:	<div><div>WILSON HOMES</div><div>MULTI AWARD WINNING BUILDERS</div><div>A Division of Wilson Homes Tasmania Pty Ltd</div><div>ABN 76 126 636 897</div></div>	UNIT 3 ELEVATIONS		
					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT 79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059
								Date	10 August 2017	Sheet
		A	Changes as per cover sheet	18 Sep. 17	SS			Scale	1:100	07/23
		No.	Amendment	Date	Init.			WILSON HOMES © 2017		



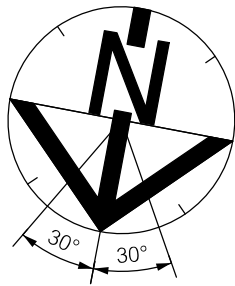
PD4.1 clause 10.4.4  
W06 satisfy A1.



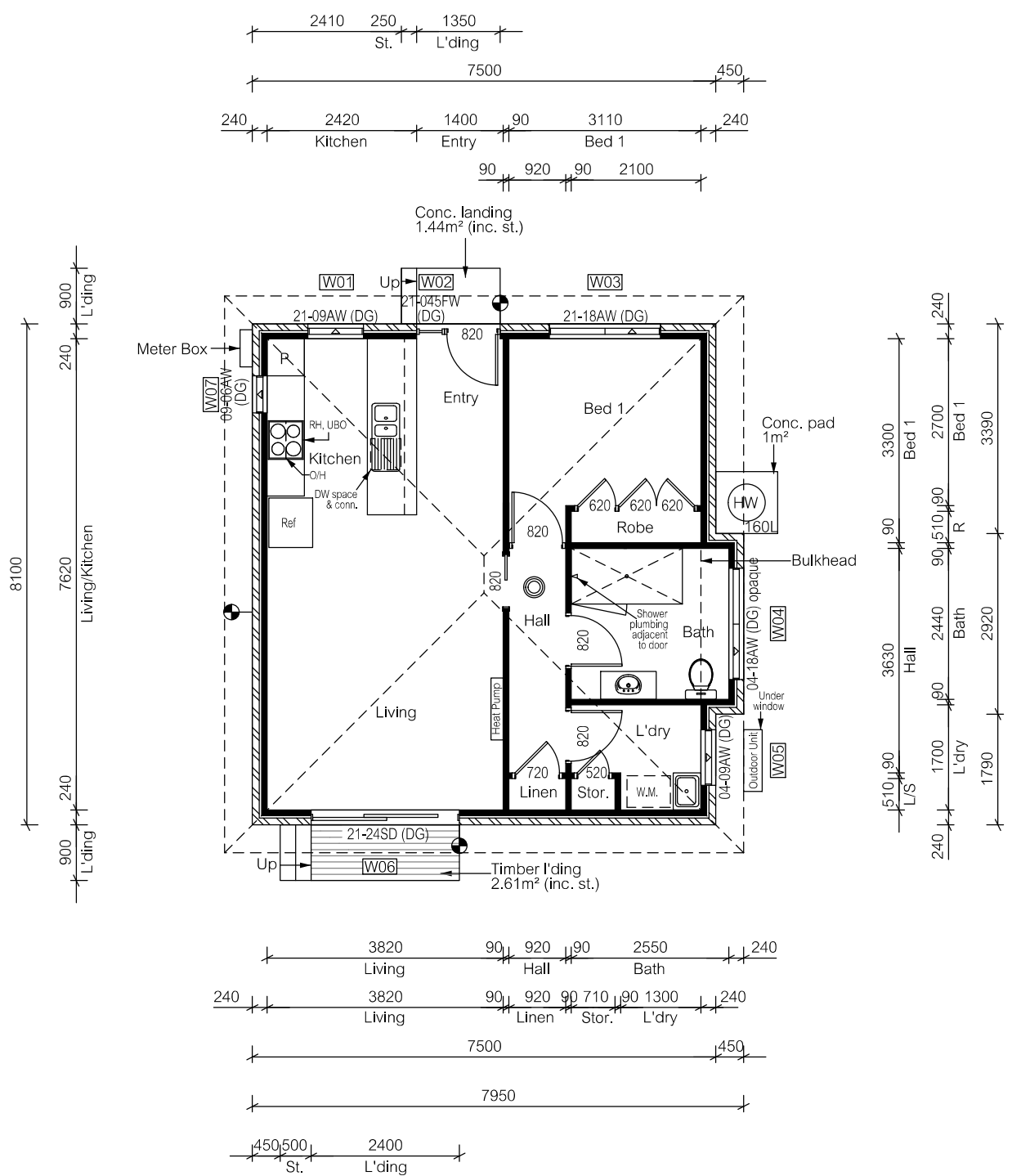
<div>NOTES</div> <ul style="list-style-type: none"><li>Builder to verify all dimensions and levels on site prior to commencement of work</li><li>All work to be carried out in accordance with the current National Construction Code.</li><li>Dimensions to take precedence over scale.</li><li>Do not scale from these drawings.</li></ul>	<div>FLOOR AREA = 62.06 sqm</div> <div> Articulation joints</div> <div> Smoke Alarm (interconnected where more than 1)</div>	<div>ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.</div>				Designer:	Client / Project info:	<div><div>WILSON HOMES</div><div>MULTI AWARD WINNING BUILDERS</div><div>A Division of Wilson Homes Tasmania Pty Ltd</div><div>ABN 76 126 636 897</div></div>	UNIT 4 FLOOR PLAN			
						ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT  79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059	
									Date	10 August 2017	Sheet	08/23
									Scale	1:100		
			No.	Amendment	Date	Init.			WILSON HOMES © 2017			



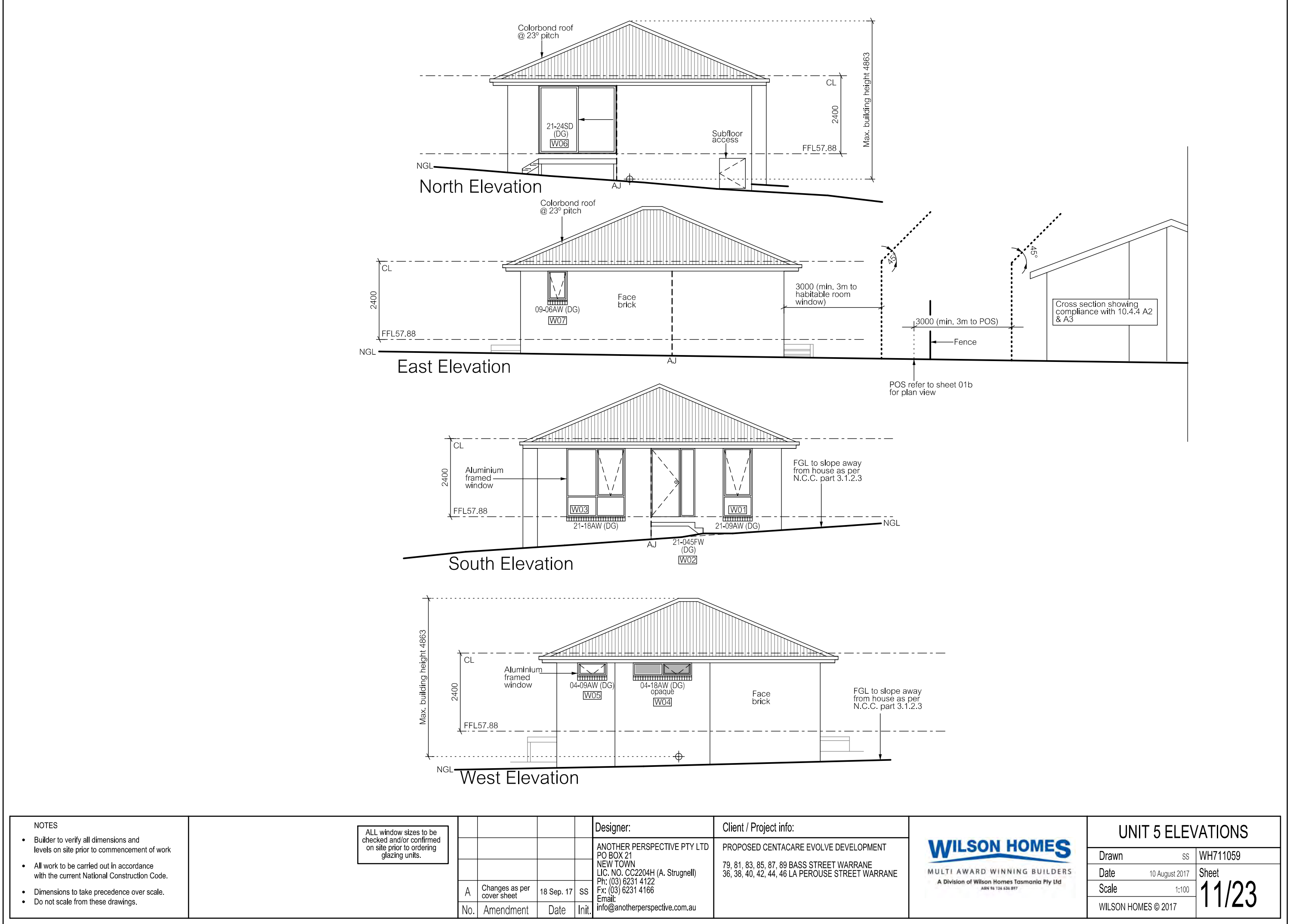
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						ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT  79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059	
										Date	10 August 2017	Sheet
		A	Changes as per cover sheet	18 Sep. 17	SS				Scale	1:100	09/23	
		No.	Amendment	Date	Init.							WILSON HOMES © 2017



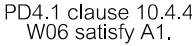
PD4.1 clause 10.4.4  
W06 satisfy A1.




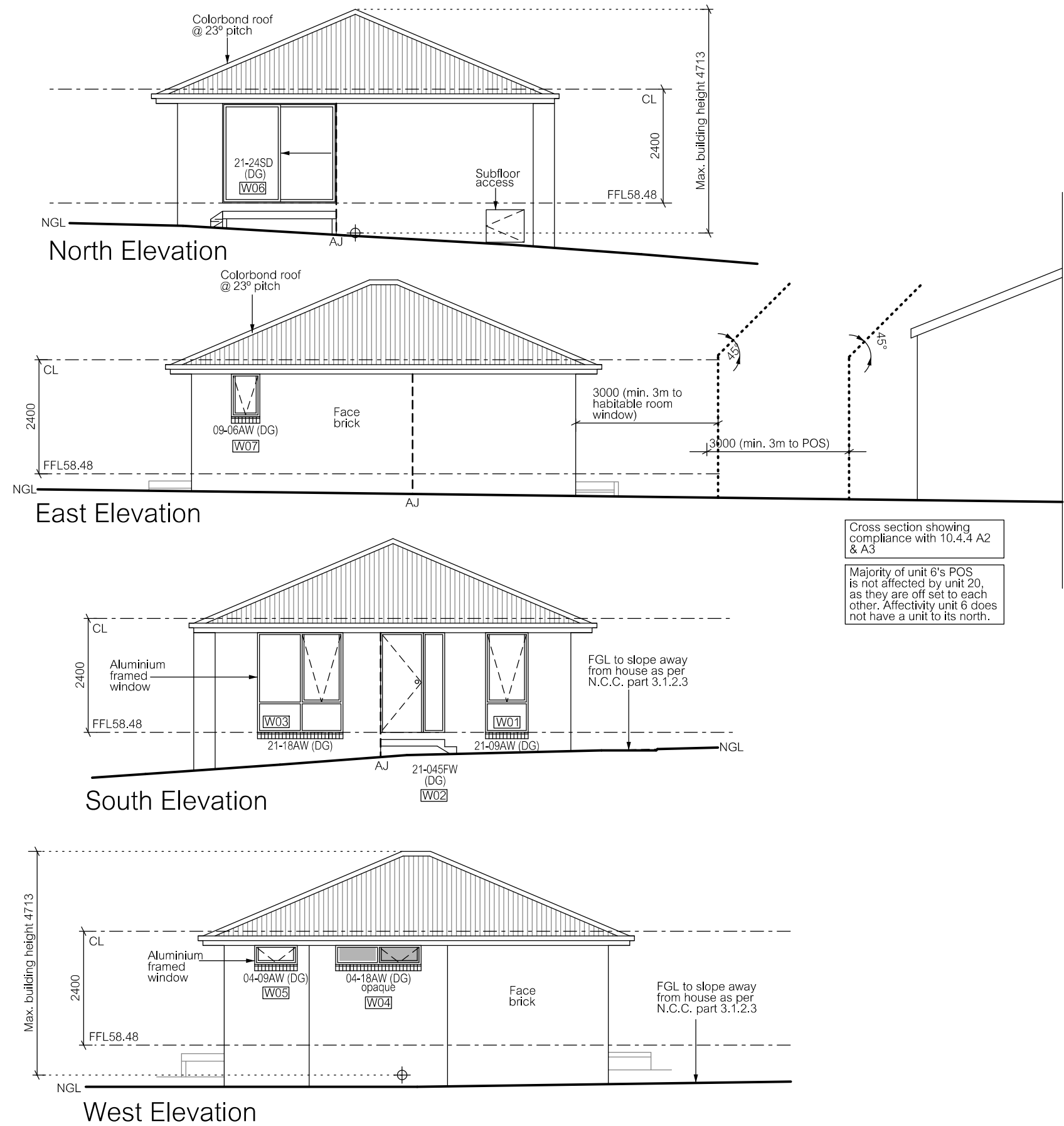
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					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT 79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059
								Date	10 August 2017	Sheet
								Scale	1:100	10/23
					No.	Amendment		Date	Init.	



NOTES <ul style="list-style-type: none"><li>Builder to verify all dimensions and levels on site prior to commencement of work</li><li>All work to be carried out in accordance with the current National Construction Code.</li><li>Dimensions to take precedence over scale.</li><li>Do not scale from these drawings.</li></ul>	ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.				Designer:	Client / Project info:	 <p>WILSON HOMES</p> <p>MULTI AWARD WINNING BUILDERS</p> <p>A Division of Wilson Homes Tasmania Pty Ltd</p> <p>ABN 76 126 636 897</p>	UNIT 5 ELEVATIONS	
					ANOTHER PERSPECTIVE PTY LTD	PROPOSED CENTACARE EVOLVE DEVELOPMENT		Drawn	SS WH711059
					PO BOX 21	79, 81, 83, 85, 87, 89 BASS STREET WARRANE		Date	10 August 2017 Sheet
					NEW TOWN	36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Scale	1:100
					LIC. NO. CC2204H (A. Strugnelli)			11/23	
		A	Changes as per cover sheet	18 Sep. 17	SS	Ph: (03) 6231 4122		WILSON HOMES © 2017	
		No.	Amendment	Date	Init.	Fx: (03) 6231 4166			
						Email: info@anotherperspective.com.au			

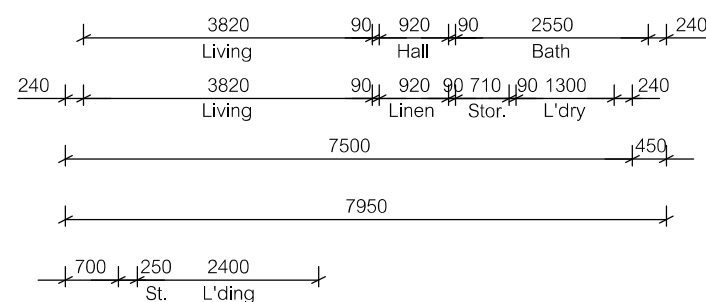
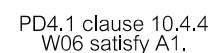


				Designer:	Client / Project info:	 <p><b>WILSON HOMES</b></p> <p>MULTI AWARD WINNING BUILDERS</p> <p>A Division of Wilson Homes Tasmania Pty Ltd</p> <p>ABN 96 126 636 897</p>	UNIT 6 FLOOR PLAN			
				ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT  79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059	
							Date	10 August 2017	Sheet	12/23
							Scale	1:100		
No.	Amendment	Date	Init.				WILSON HOMES © 2017			



<div>NOTES</div> <ul style="list-style-type: none"><li>Builder to verify all dimensions and levels on site prior to commencement of work</li><li>All work to be carried out in accordance with the current National Construction Code.</li><li>Dimensions to take precedence over scale.</li><li>Do not scale from these drawings.</li></ul>	<div>ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.</div>				Designer:	Client / Project info:	<div><div>WILSON HOMES</div><div>MULTI AWARD WINNING BUILDERS</div><div>A Division of Wilson Homes Tasmania Pty Ltd</div><div>ABN 76 126 636 897</div></div>	UNIT 6 ELEVATIONS			
					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT  79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059	
									Date	10 August 2017	Sheet
		A	Changes as per cover sheet	18 Sep. 17	SS				Scale	1:100	13/23
		No.	Amendment	Date	Init.				WILSON HOMES © 2017		





- Builder to verify all dimensions and levels on site prior to commencement of work.
- All work to be carried out in accordance with the current National Construction Code.
- Dimensions to take precedence over scale.
- Do not scale from these drawings.

 Smoke Alarm (interconnected where more than 1)

No.	Amendment	Date	Init.
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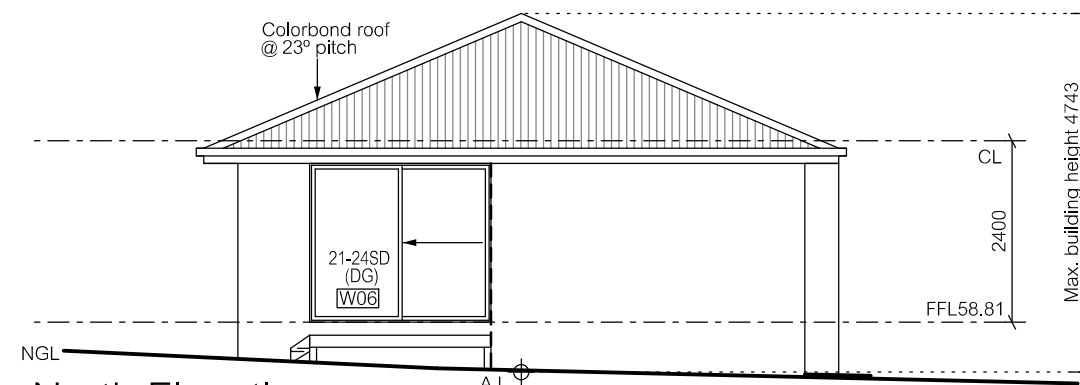
ANOTHER PERSPECTIVE PTY LTD  
PO BOX 21  
NEW TOWN  
LIC. NO. CC2204H (A. Strugnelli)  
Ph: (03) 6231 4122  
Fx: (03) 6231 4166  
Email:  
info@anotherperspective.com.au

PROPOSED CENTACARE EVOLVE DEVELOPMENT

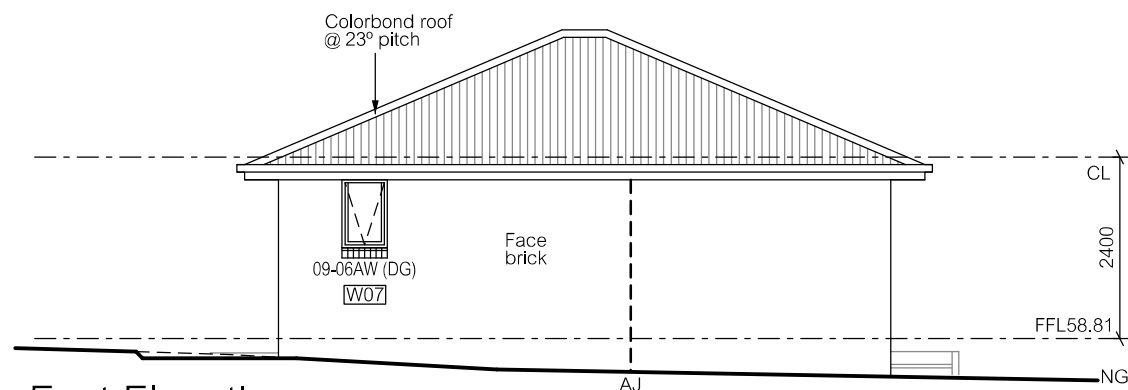
79, 81, 83, 85, 87, 89 BASS STREET WARRANE  
 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE



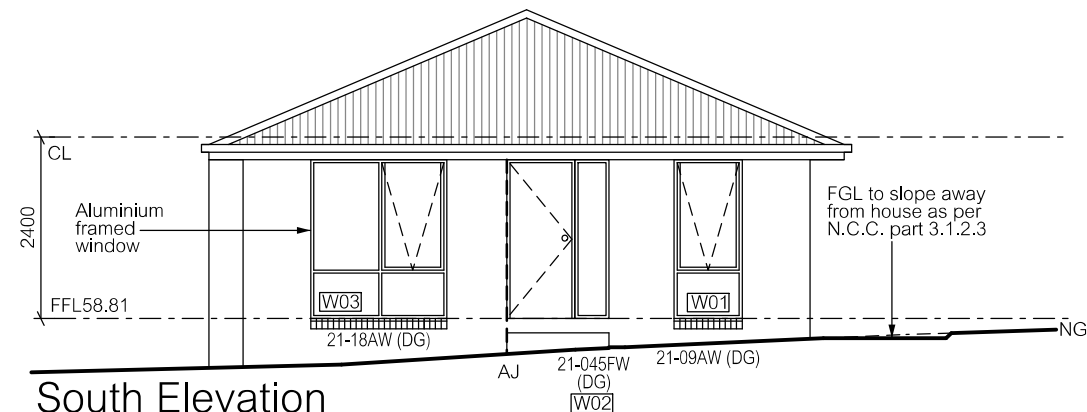
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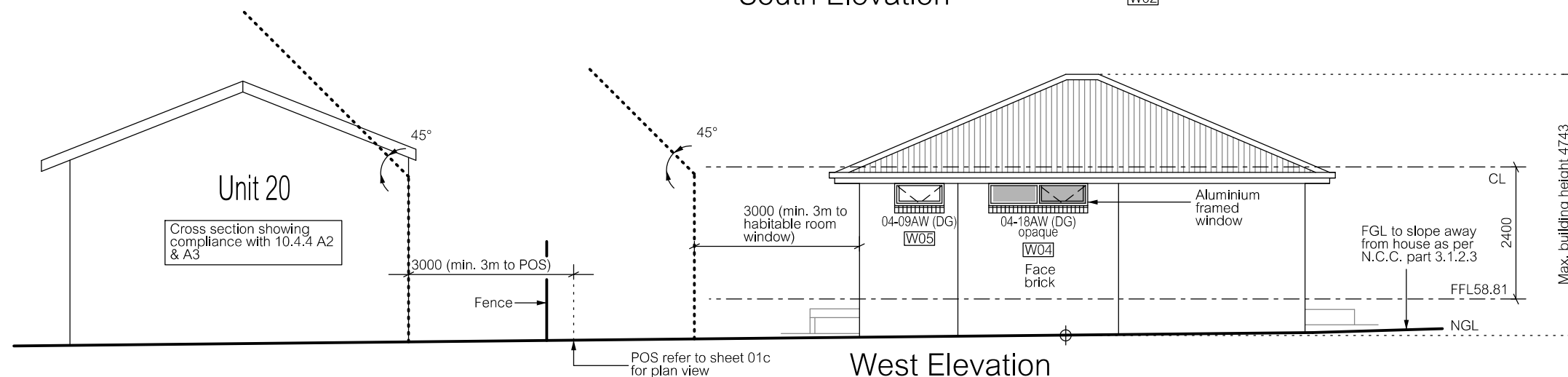
North Elevation



East Elevation



South Elevation



West Elevation

NOTES

- Builder to verify all dimensions and levels on site prior to commencement of work
- All work to be carried out in accordance with the current National Construction Code.
- Dimensions to take precedence over scale.
- Do not scale from these drawings.

ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.

No.	Amendment	Date	Init.	Designer:
C	Changes as per cover sheet	19 Oct. 17	CK	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au
B	Changes as per cover sheet	06 Oct. 17	SS	
A	Changes as per cover sheet	18 Sep. 17	SS	

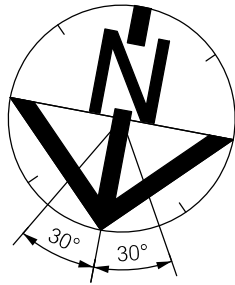
Client / Project info:

PROPOSED CENTACARE EVOLVE DEVELOPMENT  
79, 81, 83, 85, 87, 89 BASS STREET WARRANE  
36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE

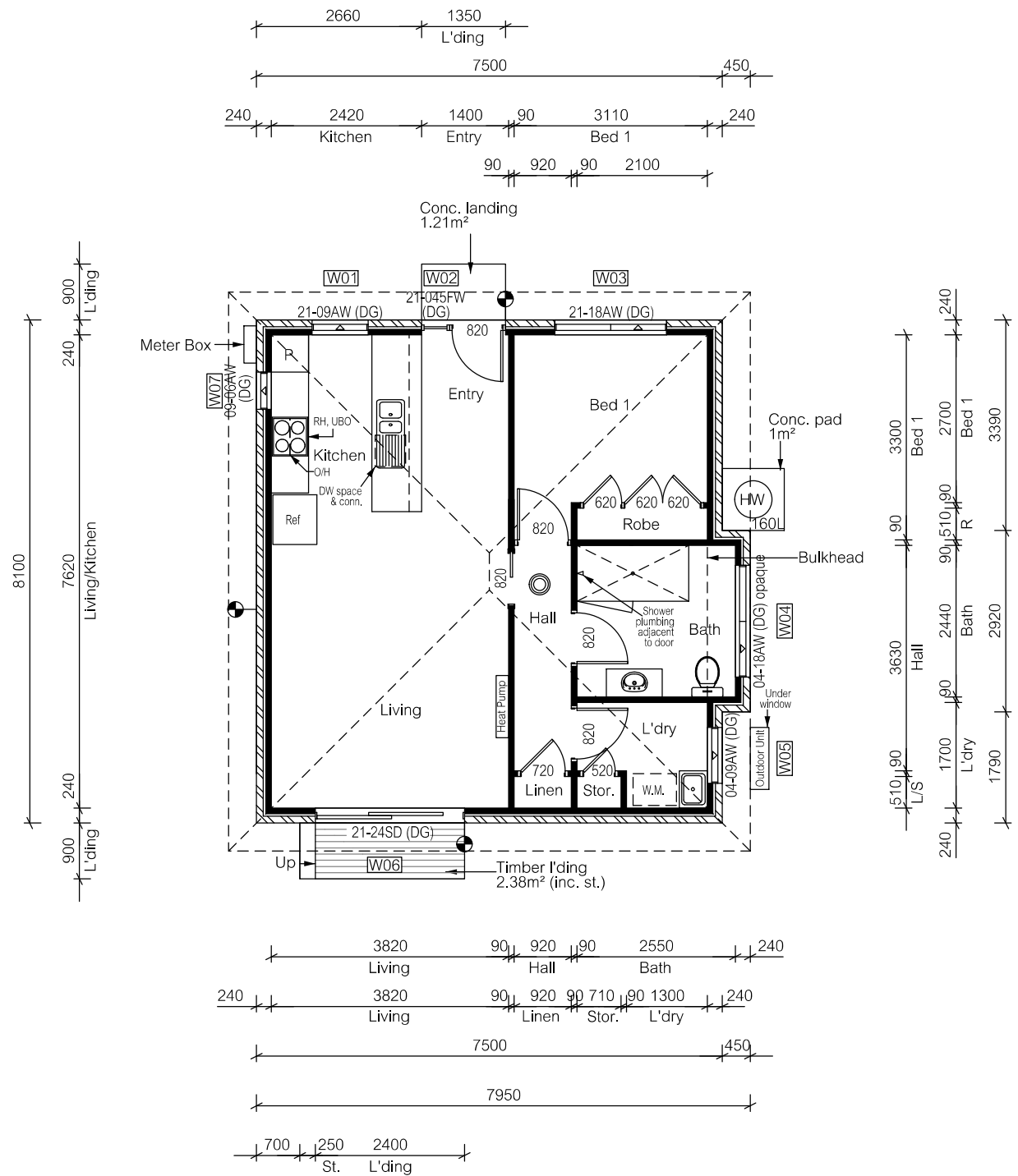


UNIT 7 ELEVATIONS

Drawn	SS	WH711059
Date	10 August 2017	Sheet
Scale	1:100	15/23
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PD4.1 clause 10.4.4  
W06 satisfy A1.



- NOTES
- Builder to verify all dimensions and levels on site prior to commencement of work
  - All work to be carried out in accordance with the current National Construction Code.
  - Dimensions to take precedence over scale.
  - Do not scale from these drawings.

FLOOR AREA = 62.06 sqm

- Articulation joints
- Smoke Alarm (interconnected where more than 1)

ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.

				Designer:
				ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au
No.	Amendment	Date	Init.	

Client / Project info:

PROPOSED CENTACARE EVOLVE DEVELOPMENT

79, 81, 83, 85, 87, 89 BASS STREET WARRANE  
36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE



## UNIT 8 FLOOR PLAN

Drawn SS WH711059

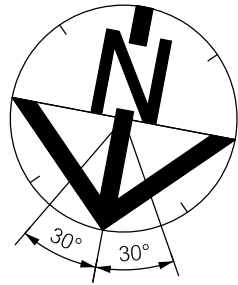
Date 10 August 2017 Sheet

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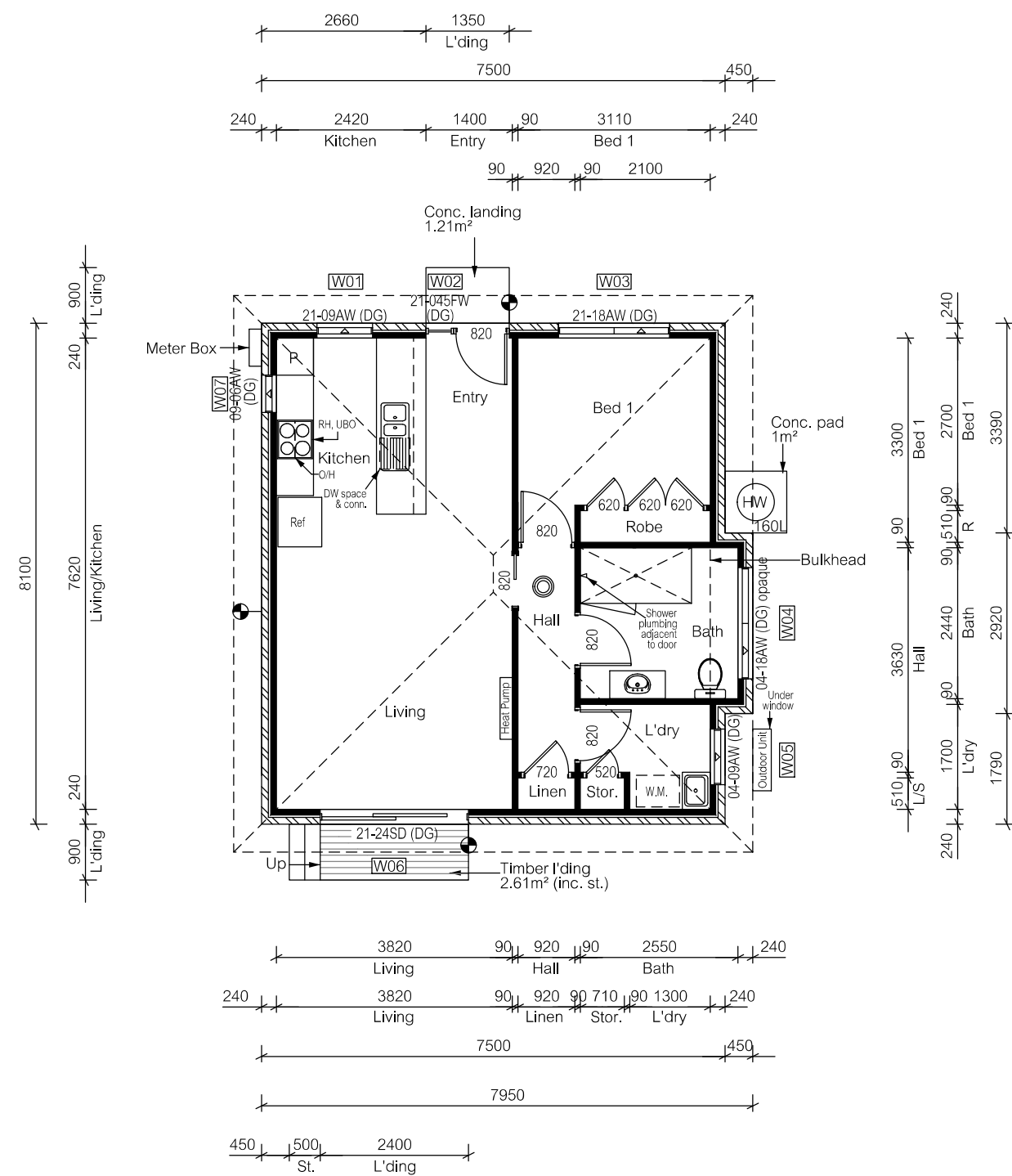
WILSON HOMES © 2017

16/23

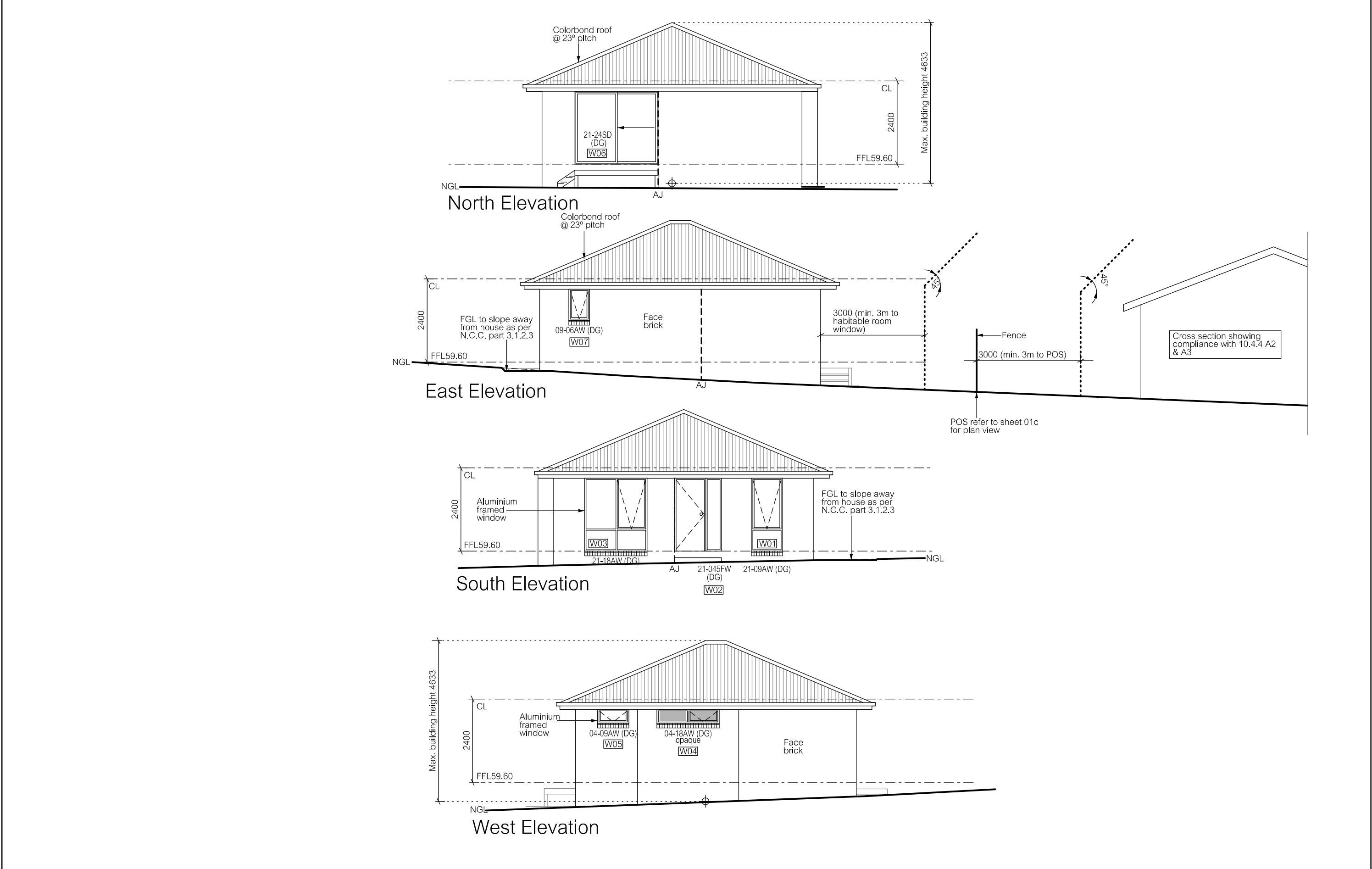




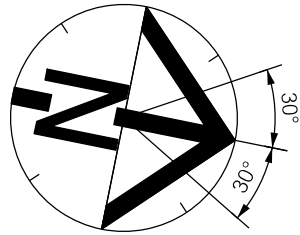
PD4.1 clause 10.4.4  
W06 satisfy A1.



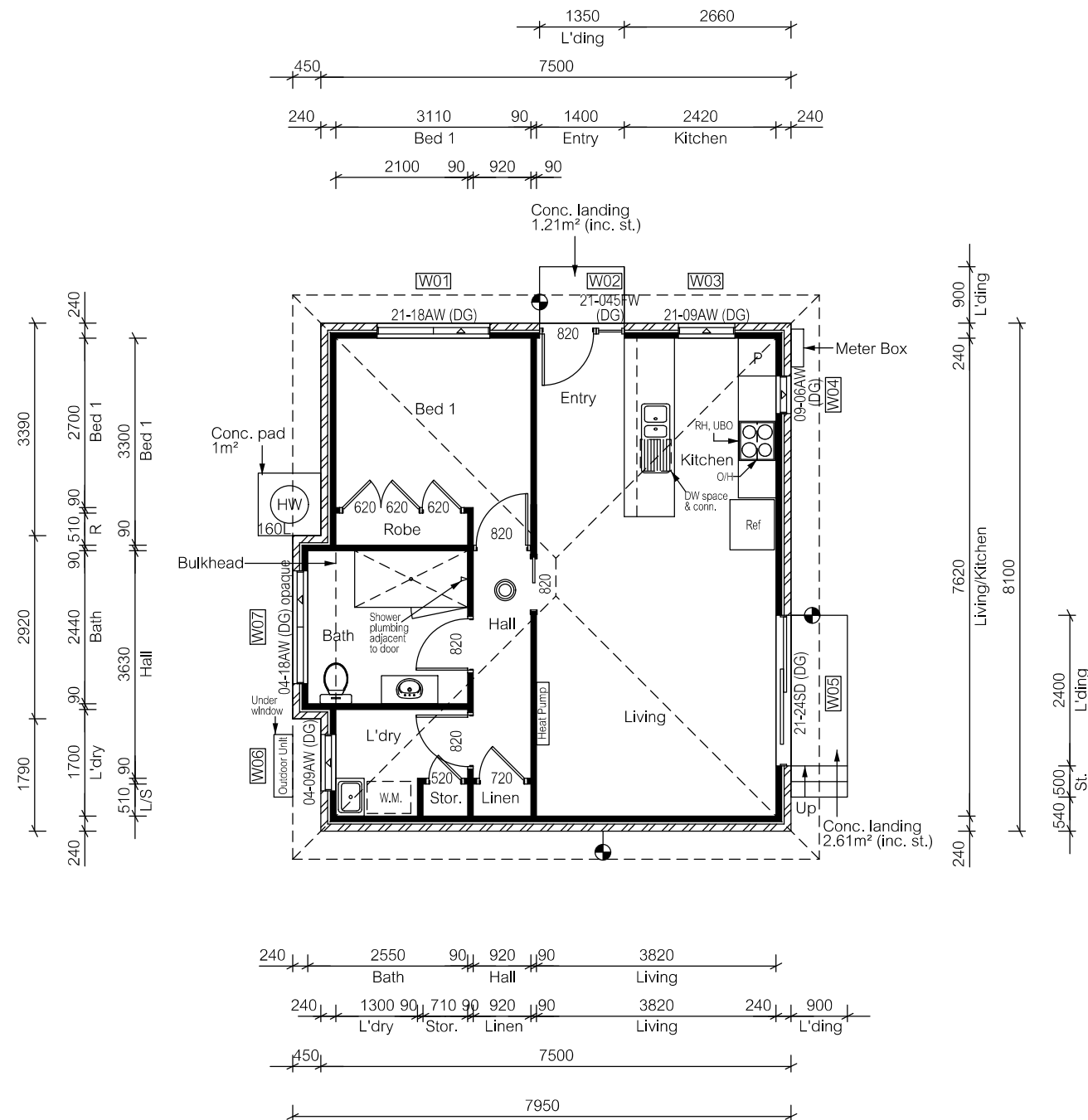
<div>NOTES</div> <ul style="list-style-type: none"><li>Builder to verify all dimensions and levels on site prior to commencement of work</li><li>All work to be carried out in accordance with the current National Construction Code.</li><li>Dimensions to take precedence over scale.</li><li>Do not scale from these drawings.</li></ul>	<div>FLOOR AREA = 62.06 sqm</div> <div><div> Articulation joints</div><div> Smoke Alarm (interconnected where more than 1)</div></div>	<div>ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.</div>					Designer:	Client / Project info:	<div><div>WILSON HOMES</div><div>MULTI AWARD WINNING BUILDERS</div><div>A Division of Wilson Homes Tasmania Pty Ltd</div><div>ABN 76 126 636 897</div></div>	UNIT 9 FLOOR PLAN		
							ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT  79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059
										Date	10 August 2017	Sheet
										Scale	1:100	18/23
			No.	Amendment	Date	Init.				WILSON HOMES © 2017		



<div>NOTES</div> <ul style="list-style-type: none"><li>• Builder to verify all dimensions and levels on site prior to commencement of work</li><li>• All work to be carried out in accordance with the current National Construction Code.</li><li>• Dimensions to take precedence over scale.</li><li>• Do not scale from these drawings.</li></ul>	<div>ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.</div>				Designer:	Client / Project info:	<div><div>WILSON HOMES</div><div>MULTI AWARD WINNING BUILDERS</div><div>A Division of Wilson Homes Tasmania Pty Ltd</div><div>ABN 76 126 636 897</div></div>	UNIT 9 ELEVATIONS	
					ANOTHER PERSPECTIVE PTY LTD	PROPOSED CENTACARE EVOLVE DEVELOPMENT		Drawn	SS WH711059
					PO BOX 21	79, 81, 83, 85, 87, 89 BASS STREET WARRANE		Date	10 August 2017 Sheet
					NEW TOWN	36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Scale	1:100
					LIC. NO. CC2204H (A. Strugnelli)			19/23	
		A	Changes as per cover sheet	18 Sep. 17	SS	Ph: (03) 6231 4122		WILSON HOMES © 2017	
		No.	Amendment	Date	Init.	Fx: (03) 6231 4166			
						Email: info@anotherperspective.com.au			



PD4.1 clause 10.4.4  
W04 & W05 satisfy A1.



#### NOTES

- Builder to verify all dimensions and levels on site prior to commencement of work
- All work to be carried out in accordance with the current National Construction Code.
- Dimensions to take precedence over scale.
- Do not scale from these drawings.

FLOOR AREA = 62.06 sqm



Articulation joints



Smoke Alarm (interconnected where more than 1)

ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.

#### Designer:

ANOTHER PERSPECTIVE PTY LTD  
PO BOX 21  
NEW TOWN  
LIC. NO. CC2204H (A. Strugnelli)  
Ph: (03) 6231 4122  
Fx: (03) 6231 4166  
Email:  
info@anotherperspective.com.au

#### Client / Project info:

PROPOSED CENTACARE EVOLVE DEVELOPMENT  
79, 81, 83, 85, 87, 89 BASS STREET WARRANE  
36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE



#### UNIT 10 FLOOR PLAN

Drawn SS WH711059

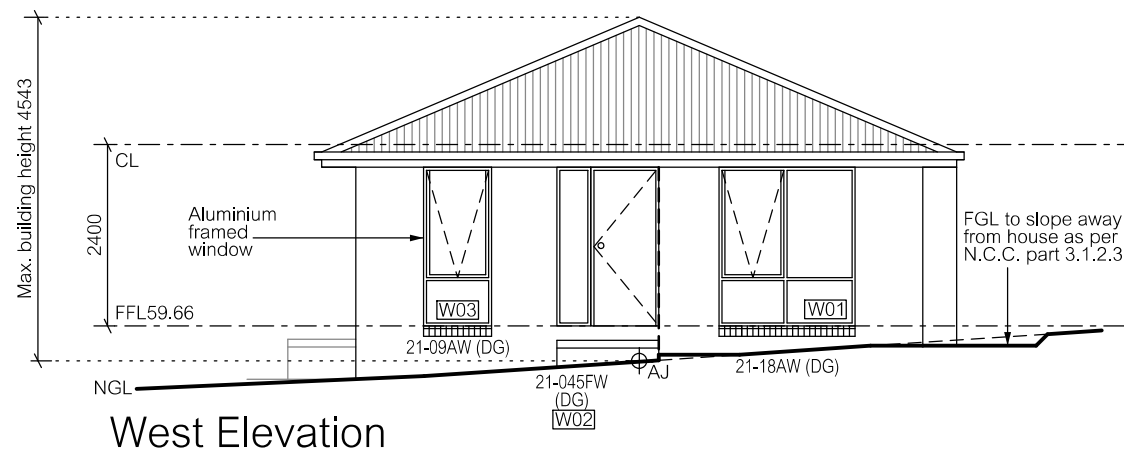
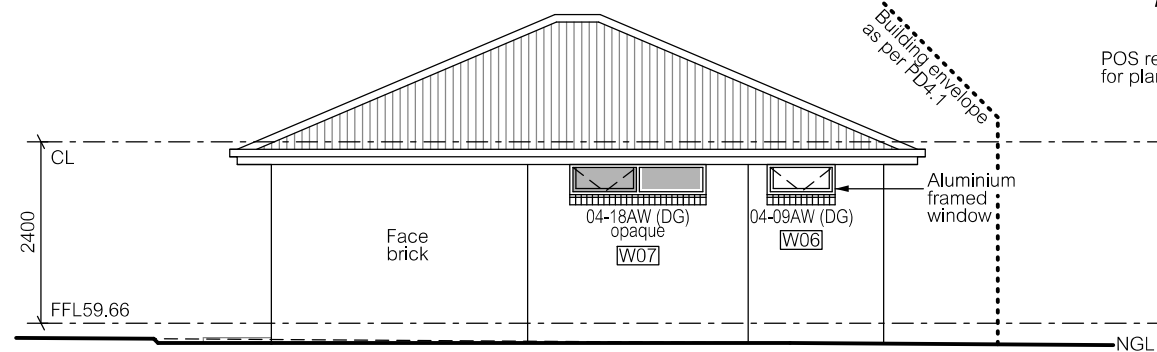
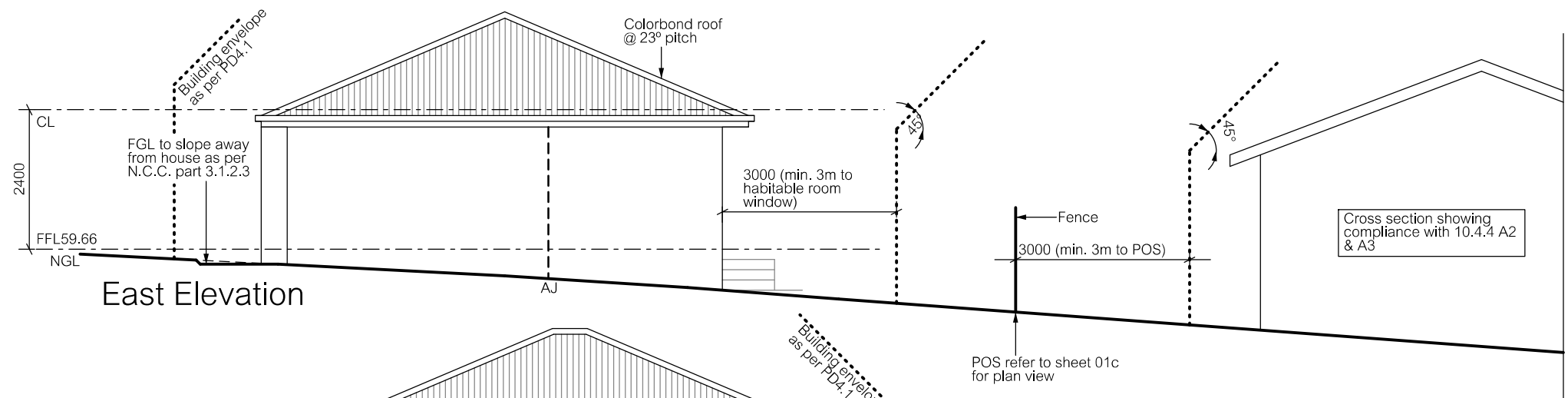
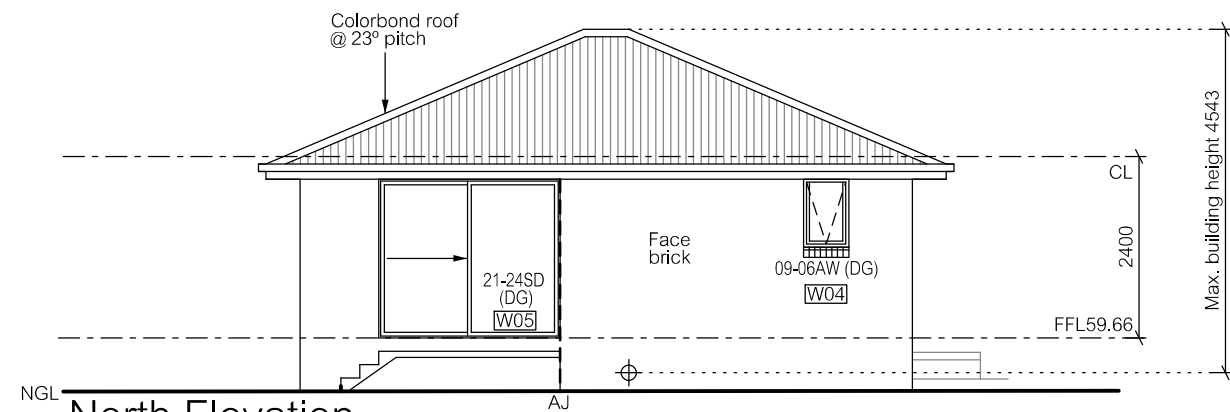
Date 10 August 2017 Sheet

Scale 1:100

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20/23





#### NOTES

- Builder to verify all dimensions and levels on site prior to commencement of work
- All work to be carried out in accordance with the current National Construction Code.
- Dimensions to take precedence over scale.
- Do not scale from these drawings.

ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.

#### Designer:

ANOTHER PERSPECTIVE PTY LTD  
PO BOX 21  
NEW TOWN  
LIC. NO. CC2204H (A. Strugnelli)  
Ph: (03) 6231 4122  
Fx: (03) 6231 4166  
Email:  
info@anotherperspective.com.au

#### Client / Project info:

PROPOSED CENTACARE EVOLVE DEVELOPMENT  
79, 81, 83, 85, 87, 89 BASS STREET WARRANE  
36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE

**WILSON HOMES**  
MULTI AWARD WINNING BUILDERS  
A Division of Wilson Homes Tasmania Pty Ltd  
ABN 76 126 636 897

#### UNIT 10 ELEVATIONS

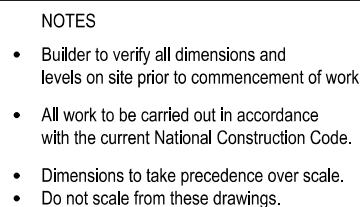
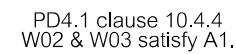
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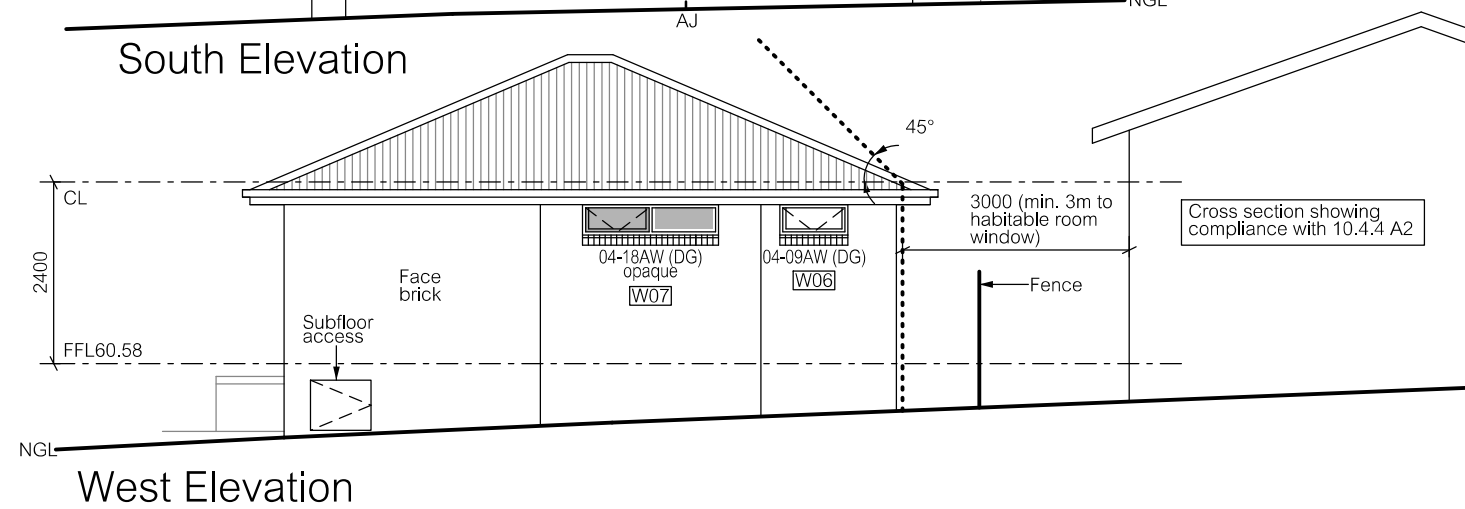
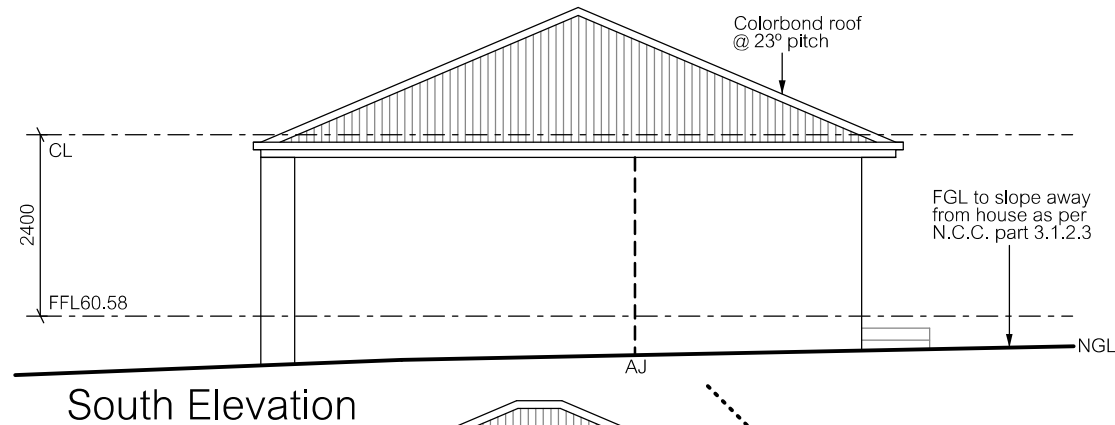
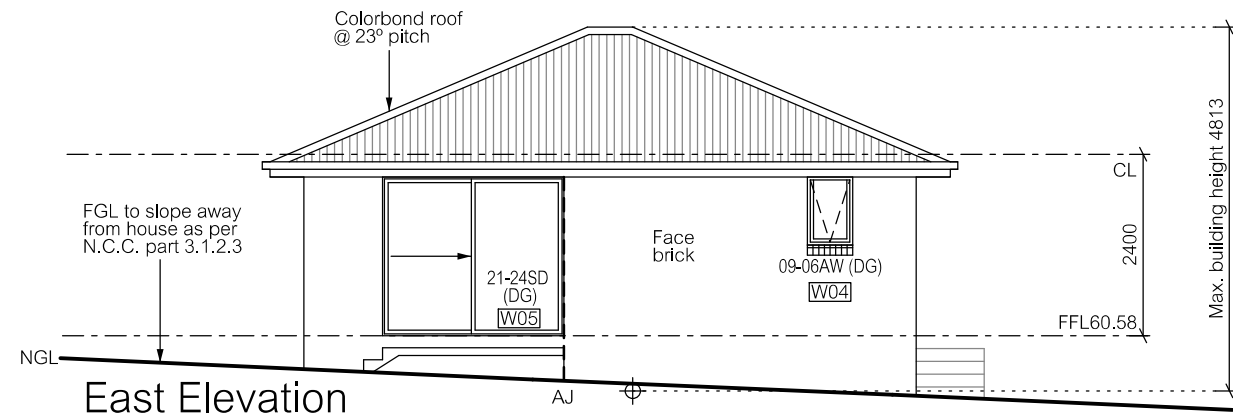
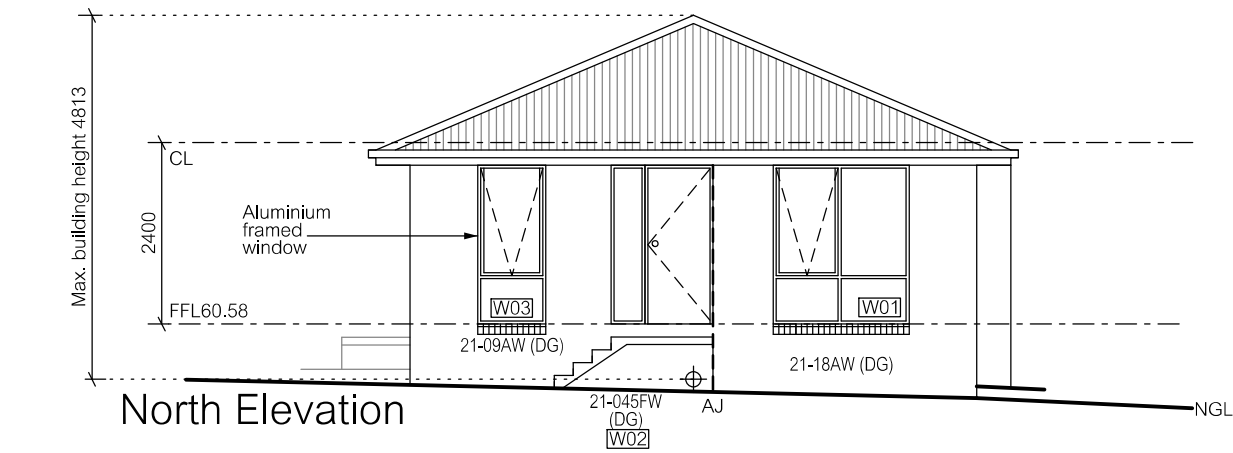
Date 10 August 2017 Sheet

Scale 1:100

WILSON HOMES © 2017

**21/23**





<div>NOTES</div> <ul style="list-style-type: none"><li>• Builder to verify all dimensions and levels on site prior to commencement of work</li><li>• All work to be carried out in accordance with the current National Construction Code.</li><li>• Dimensions to take precedence over scale.</li><li>• Do not scale from these drawings.</li></ul>	<div>ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.</div>				Designer:	Client / Project info:	<div><div><div>WILSON HOMES</div><div>MULTI AWARD WINNING BUILDERS</div><div>A Division of Wilson Homes Tasmania Pty Ltd</div><div>ABN 76 126 636 997</div></div></div>	UNIT 11 ELEVATIONS			
					ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. CC2204H (A. Strugnelli) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED CENTACARE EVOLVE DEVELOPMENT  79, 81, 83, 85, 87, 89 BASS STREET WARRANE 36, 38, 40, 42, 44, 46 LA PEROUSE STREET WARRANE		Drawn	SS	WH711059	
									Date	10 August 2017	Sheet
									Scale	1:100	23/23
		No.	Amendment	Date	Init.				WILSON HOMES © 2017		

**79, 81, 83, 85, 87, 89 Bass Street & 36, 38, 40, 42, 44, 46 La Perouse Street,  
Warrane**



***Photo 1:*** The shared carriageway proposed to service the 11 additional new units would be positioned between the existing dwellings located at 42 and 44 La Perouse Street, Warrane (the dwellings appearing in the image).

<b>11.4 CUSTOMER SERVICE</b>
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Nil Items.

**11.5 ASSET MANAGEMENT****11.5.1 RISDON VALE RECREATION AND COMMUNITY FACILITIES PLAN**

(File No)

**EXECUTIVE SUMMARY****PURPOSE**

To consider the adoption of the Risdon Vale Recreation and Community Facilities Plan following community consultation.

**RELATION TO EXISTING POLICY/PLANS**

Council's Strategic Plan 2016-2026 and Community Participation Policy are relevant.

**LEGISLATIVE REQUIREMENTS**

Nil.

**CONSULTATION**

Consultation with the community was undertaken in accordance with Council's Community Participation Policy.

**FINANCIAL IMPLICATIONS**

The adoption of the Risdon Vale Recreation and Community Facilities Plan has no direct financial impact. The implementation of the Risdon Vale Recreation and Community Facilities Plan is planned to be staged over a number of financial years, subject to Council approval of future Annual Plans. Council has adopted funds in the 2017/2018 Annual Plan for the change rooms and public toilets.

**RECOMMENDATION:**

- A. That Council adopts the Risdon Vale Recreation and Community Facilities Plan inclusive of the Recommendations contained in Clause 2.8 of this report.
- B. That Council authorises the General Manager to write to the residents of Risdon Vale advising of Council's decision.

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**ASSOCIATED REPORT****1. BACKGROUND**

- 1.1. Council allocated funds in the 2016/2017 Annual Plan for the development of the Risdon Vale Community Concept Design.

- 1.2. Council sought submissions from consultancy services to develop the Risdon Vale Recreation and Community Facilities Plan (Plan). Ross Planning Pty Ltd being awarded the project.
- 1.3. During January and February 2017 Ross Planning Pty Ltd undertook key stakeholder consultation with Aldermen, Council officers, community groups and other key stakeholders. This feedback formed the draft Plan which was presented to the Aldermen at the Council Workshop held on Tuesday, 14 March 2017.
- 1.4. Ross Planning Pty Ltd prepared Version 2 of the draft Plan which was distributed amongst Council officers for further comment before preparing the final draft Plan for public consultation.

## **2. REPORT IN DETAIL**

- 2.1. Council, at its Meeting held Monday, 13 June 2017 resolved the following:

*“A That Council authorise the General Manager to undertake community consultation on the draft Risdon Vale Recreation and Community Facilities Plan as outlined in this report.*

*B. That the results of the community consultation be reported back to Council”.*

- 2.2. The consultation period for the draft Risdon Vale Recreation and Community Facilities Plan was over 4 weeks commencing on Monday, 18 September 2017 and concluding on Friday, 13 October 2017.

- 2.3. Consultation was undertaken through the following options:

- display in the Council foyer and the Risdon Vale Neighbourhood Centre with feedback forms and box;
- copy of revised draft Master Plan on Council’s website with an electronic feedback form;
- letter to residents, property owners and key stake holders of Risdon Vale with a feedback form;



- advertisement in “The Mercury” newspaper; and
- public session at the Risdon Vale Neighbourhood Centre.

**2.4.** A total of 1,262 letters and feedback forms were mailed to Risdon Vale residents, property owners and key stake holders and 124 responses were received. Three residents attended the public session at the Risdon Vale Neighbourhood Centre held on Saturday, 7 October 2017.

**2.5.** The feedback form sought comment on the following key components of the plan and respondents were asked to circle yes or no and to provide comment.

- upgrade Community Hall to broaden usage;
- new change rooms and public toilets adjoining the Community Hall;
- relocate the Community Garden and Men’s Shed to NW corner of the oval;
- develop new playground adjacent to the Community Hall;
- extend the existing skate park;
- construct new path through Duke Park and install additional art works;
- construct picnic and sheltered areas between the oval and the Community Hall;
- develop pathways linking Heather and Sugarloaf Roads;
- install sub-surface drainage system for the oval;
- locate bike collective in the existing Neighbourhood Centre Building;
- formalise and landscape the car park including disabled parking; and
- create entry and naming signage to direct people to the network of walking/cycling trails.

**2.6.** The Consultation feedback response to each key component was as follows.

**Upgrade Community Hall to Broaden Usage**

YES	NO	NO COMMENT
116 (94%)	3 (2%)	5 (4%)

The respondents that provided a positive comment felt the existing hall was run down and underutilised and needed a facelift. Others were in support of combining the community hall with the neighbourhood centre and liked the idea of a lounge area.

Response – ensure the space is designed to accommodate all needs – social, physical activity, commercial, education and administrative needs.

**New Change Rooms and Public Toilets adjoining the Community Hall**

YES	NO	NO COMMENT
117 (95%)	3 (2%)	4 (3%)

**Comments**

- some had concerns about the design;
- needs to be visible;
- lockable;
- storage areas for the clubs that use them;
- with an ageing community and lots of parents using them, they need to be easily accessible; and
- majority were in support of the upgrade.

Response – reiterate design considerations to ensure the facilities are designed with the user groups and community's needs and concerns taken into consideration.

**Relocate the Community Garden and Men's Shed to NW Corner of the Oval**

YES	NO	NO COMMENT
93 (75%)	23 (19%)	8 (6%)

**Comments**

- concerns that the move will be a waste money;
- the facility will be broken into;
- those in support of the move feel that appropriate security measures still need to be undertaken to prevent vandalism and theft;
- others feel the new location is more accessible and would appreciate the new area designed for all abilities; and
- new location is visible – promotion of the facility.

Response – add/strengthen comments to support the community garden and Men's Shed. Ensure inclusion of a fence (lockable).

**Develop New Playground Adjacent to the Community Hall**

YES	NO	NO COMMENT
107 (87%)	9 (7%)	8 (6%)

**Comment**

- exercise equipment was mentioned by 1 respondent.

Response – no changes are required to the proposed playground and BBQ area.

**Extend the Existing Skate Park**

YES	NO	NO COMMENT
96 (77%)	23 (19%)	5 (4%)

**Comments**

- those that answered felt a bigger park would mean more mess;
- currently there are no bins at the skate park;
- it is not used enough to warrant an extension;
- it is already being over-run by older kids and the young ones cannot go there; and
- those in support said lighting needs to be included in the design. Also the children/teenagers need to be considered for consultation in the design! Lighting has been installed previously at the skate park but was vandalised.

Response – reiterate that the children must be involved in the development of the new skate park and lighting is to be included in the design (especially in the picnic shelters – to enhance casual surveillance). Ensure the design includes sections for all skill levels – potentially in separate ends of the skate park.

**Construct New Path through Duke Park and Install additional Art Works**

YES	NO	NO COMMENT
99 (80%)	17 (14%)	8 (6%)

**Comments**

- some believe the artwork to be a waste of money;
- feel it will get vandalised; and
- many were in support of the pathway, but not the artwork.

Response – retain artwork in the Plan, but note that it is a joint partnership with the school/Men's Shed/community neighbourhood centre. If these organisations wish to do a community art program, it should be displayed in Duke Park.

**Construct Picnic and Sheltered Areas between the Oval and the Community Hall**

<b>YES</b>	<b>NO</b>	<b>NO COMMENT</b>
107 (87%)	11 (9%)	6 (4%)

**Comments**

- some not in support feel it will just become a space for the youth to hang out and vandalise;
- the large uncovered area is still a small concern for some; and
- community are in support, especially of the BBQ areas – Lighting needs to be included in the design.

Response – include in the Plan for the large uncovered area to be considered in the later stages of works.

**Develop Pathways Linking Heather and Sugarloaf Roads**

<b>YES</b>	<b>NO</b>	<b>NO COMMENT</b>
107 (87%)	10 (9%)	6 (4%)

- community in support.

Response – no changes.

**Install Sub-surface Drainage System for the Oval**

<b>YES</b>	<b>NO</b>	<b>NO COMMENT</b>
111 (89%)	6 (5%)	7 (6%)

- community in support.

Response – no changes.

**Locate Bike Collective in the existing Neighbourhood Centre Building**

YES	NO	NO COMMENT
96 (78%)	19 (15%)	9 (7%)

- While many are in support of the move, those that use the Bike Collective or know about the service it provides feel it would be better to include it in the design of the new Neighbourhood Centre/hall. If it is included, the design should allow for easy visibility from the street, to provide a “shop” frontage and information point for those using the Risdon Vale mountain bike trails.

Response – with Council’s support, change report to note that the Bike Collective will be included in the redesign of the Neighbourhood Centre/Hall.

**Formalise and Landscape the Carpark including Disabled Car Parking**

YES	NO	NO COMMENT
111 (89%)	6 (5%)	7 (6%)

- community in support.

Response – no changes.

**Create Entry and Naming Signage to Direct People to Network of Walking/Cycling Trails**

YES	NO	NO COMMENT
114 (92%)	6 (5%)	4 (3%)

- community in support.

Response – add some comments to include dog bag dispensers.

- 2.7.** Correspondence was received from the Eastern Shore Homing Society, (Pigeon Racing) who currently lease a storage area in the change rooms at the Risdon Vale Oval. They are concerned that if the change rooms are demolished they will no longer have a space available. They have operated out of Risdon Vale for many years.

ROSS Planning will include the construction of a shed in the community garden to be leased to the Eastern Shore Homing Society; however, it should be designed so that other users can use the facility if or when the club ceases operation. The design will allow for vehicle access and the group would be given a key to the gate.

- 2.8.** Below is a consolidated list of recommended changes to be included in the final Risdon Vale Community and Recreation Facilities Plan.

<b>SUMMARY OF RECOMENDATIONS BY ROSS PLANNING TO BE INCLUDED WITHIN THE FINAL PLAN</b>	
<b>Element</b>	<b>Comment</b>
Upgrade Community Hall to broaden usage	Ensure the space is designed to accommodate all needs – social, physical activity, commercial, education and administrative needs.
New change rooms and public toilets adjoining the Community Hall	Reiterate design considerations to ensure the facilities are designed with the user groups and community's needs and concerns taken into consideration.
Relocate the community garden and Men's Shed to NW corner of the oval.	Add/strengthen comments to support the community garden and Men's Shed. Make sure that the mention of a fence (lockable) is included.
Extend the existing skate park	Reiterate that the children must be involved in the development of the new skate park and lighting is to be included in the design (especially in the picnic shelters – to enhance casual surveillance). Ensure the design includes sections for all skill levels – potentially in separate ends of the skate park. Retain



<b>SUMMARY OF RECOMENDATIONS BY ROSS PLANNING TO BE INCLUDED WITHIN THE FINAL PLAN</b>	
<b>Element</b>	<b>Comment</b>
Construct new path through Duke Park and install additional art works	Retain artwork comment in the Plan, but write that it is a joint partnership with the school/Men's Shed/community neighbourhood centre. If these organisations wish to do a community art program, it should be displayed in Duke Park.
Construct picnic and sheltered areas between the Oval and the Community Hall.	Retain the large covered area in the Plan for consideration in the later stages. Would be a good outdoor community asset, especially for the neighbourhood centre/hall, school and on wet weather days for the youth. There is concern that the space will become over-run by teenagers. Casual surveillance from the hall may reduce this.
Locate Bike Collective in the existing Neighbourhood Centre building.	With Council's support, change report to note that the Bike Collective will be included in the redesign of the Neighbourhood Centre/Hall.
Create entry and naming signage to direct people to network of walking/cycling trails.	Add some comments to include dog bag dispensers.
Eastern Shore Homing Society	Include the construction of a shed in the community garden to be leased to the Eastern Shore Homing Society; however, it should be designed so that other users can use the facility if or when the club ceases operation.

- 2.9.** The implementation of the Risdon Vale Recreation and Community Facilities Plan is estimated to cost - \$3,857,000, with implementation staged over a number of financial years.

An indicative program with 7 stages and estimates is:

<b>STAGE</b>	<b>PROJECT</b>	<b>ESTIMATED COST</b>
<b>Stage 1</b>	Replace change rooms and public toilets	\$970,000
<b>Stage 2</b>	Feasibility and design for community hall	\$60,000
	Upgrade paths Sugarloaf and Heather Roads	\$590,000
	Shade shelters, bench seats and tables	\$54,000
	<b>TOTAL</b>	<b>\$704,000</b>
<b>Stage 3</b>	Rivulet walking tracks	\$260,000
	Design extension to skate park	\$10,000
	Community Hall/Neighbourhood Centre	\$300,000
	Trailheads for existing trail network - Bike Collective	\$10,000
	Install sub surface irrigation for the Oval	\$80,000
	<b>TOTAL</b>	<b>\$660,000</b>
<b>Stage 4</b>	Construct extended skate park	\$140,000
	Formalise all-access car park to Hall	\$20,000
	Design new playground	\$10,000
	Construct and erect trailheads (Men's Shed)	\$50,000
	Demolish tennis courts and cricket nets	\$5,000
	<b>TOTAL</b>	<b>\$225,000</b>

<b>STAGE</b>	<b>PROJECT</b>	<b>ESTIMATED COST</b>
<b>Stage 5</b>	Relocate community garden and Men's Shed	\$50,000
	Construct cricket nets	\$50,000
	Construct new playground, BBQ's and shelter	\$400,000
	Design new sportsground lights	\$10,000
	<b>TOTAL</b>	<b>\$510,000</b>
<b>Stage 6</b>	Construct sportsground lights	\$220,000
	Construct tiered seating and grassed area	\$40,000
	Construct internal paths	\$180,000
	Fence the perimeter	\$48,000
	<b>TOTAL</b>	<b>\$488,000</b>
<b>Stage 7</b>	Design and construct car park	\$300,000
	<b>GRAND TOTAL</b>	<b>\$3,857,000</b>

- 2.10.** There was discussion at the Council Workshop, held on Monday, 30 October 2017, regarding the proposed covered communal space to be constructed between the Risdon Vale Oval and the new change room facility and if this might impact on the functionality of the change rooms and oval. Prior to the construction of the covered communal space the new change rooms will be constructed and the old change rooms demolished. It is considered that changes to this element of the plan would best be considered some time following the construction of the new change rooms and public toilets to determine the need for this element of the plan.

### **3. CONSULTATION**

#### **3.1. Community Consultation**

Consultation with the community was in accordance with the Council's Community Participation Policy.

#### **3.2. State/Local Government Protocol**

The Risdon Vale Neighbourhood Centre is owned by the State Government with funding to operate the centre coming predominantly from the Department of Health and Human Services.

Any decisions to relocate all or part of the Risdon Vale Neighbourhood Centre to the Risdon Vale Community Hall would need to be made in consultation with the State Government.

#### **3.3. Other**

Council officers and a staff member from ROSS Planning met with representatives from the Risdon Vale Neighbourhood Centre, the Risdon Vale Primary School and the Risdon Vale Bike Collective to discuss the draft Risdon Vale Recreation and Community Facilities Plan in detail.

**4. STRATEGIC PLAN/POLICY IMPLICATIONS**

**4.1.** Council's Strategic Plan 2016-2026 under the Strategy – A people City has the following: *“Clarence is a city which values diversity and encourages equity and inclusiveness, where people of all ages and abilities have the opportunity to improve their health and quality of life”.*

**4.2.** Council's Strategic Plan 2016-2026 under the Strategy – A well planned liveable city has the following Strategy to: *“Clarence will be a well-planned liveable city with services and supporting infrastructure to meet current and future needs”.*

**5. EXTERNAL IMPACTS**

Nil.

**6. RISK AND LEGAL IMPLICATIONS**

Nil.

**7. FINANCIAL IMPLICATIONS**

**7.1.** The adoption of the Risdon Vale Recreation and Community Facilities Plan has no direct financial impact. The implementation of the Risdon Vale Recreation and Community Facilities Plan is planned to be staged over a number of financial years, subject to Council approval of future Annual Plans.

**7.2.** A total of \$970,000 has been allocated in the 2017/2018 Annual Plan for the design and construction of the change rooms and public toilets.

**8. ANY OTHER UNIQUE ISSUES**

Nil.

**9. CONCLUSION**

**9.1.** The Risdon Vale Recreation and Community Facilities Plan provides guidance and direction for activities undertaken within the Risdon Vale Community Hub by Council, community groups, volunteers and the broader community.

**9.2.** It is recommended that the changes contained in Clause 2.8 be included in the final Risdon Vale Recreation and Community Facilities Plan for adoption by Council.

Attachments: 1. Draft Risdon Vale Recreation and Community Facilities Plan (1)

Ross Graham

**GROUP MANAGER ENGINEERING SERVICES**

# Risdon Vale Recreation and Community Facilities Plan - Concept Plan (Draft)

## Legend

- ① Risdon Vale Oval
- ② Skatepark, seating and shelter
- ③ Pump track
- ④ Shaded bench seats and tables
- ⑤ Play node
- ⑥ Informal grassed area
- ⑦ Tiered grassed seating
- ⑧ Covered picnic tables and barbecue shelter
- ⑨ Covered communal space with bench seats
- ⑩ Change rooms and public toilet facility, built onto/ under the Community Hall
- ⑪ Community Hall
- ⑫ Formalised all-access parking
- ⑬ Walk/cycle path network
- ⑭ Car park
- ⑮ Cricket practice nets
- ⑯ Community garden
- ⑰ Mens Shed
- ⑱ Vehicle access into the community garden and Mens Shed
- ⑲ Maintenance vehicle access to the informal grassed area and oval
- ⑳ Formalised walk/path down along the Rivulet
- ㉑ Bike Collective
- ㉒ Risdon Vale Primary School



Covered picnic and barbecue shelters



Lockable change room facilities



Neighbourhood Centre: reception / lounge area



Playground



Neighbourhood Centre: deck/outdoor area overlooking a playground



Covered picnic shelter



Skatepark



Walk along the rivulet



Grassed tiered seating



**11.5.2 SOUTH ARM OVAL REVISED MASTER PLAN AND APPROVAL TO CONSULT**

(File No)

**EXECUTIVE SUMMARY****PURPOSE**

To seek Council endorsement to release the South Arm Oval draft Revised Master Plan and skate park design for public consultation.

**RELATION TO EXISTING POLICY/PLANS**

Council's Strategic Plan 2016-2026 and Community Participation Policy are relevant.

**LEGISLATIVE REQUIREMENTS**

Nil.

**CONSULTATION**

The South Arm Oval Revised Master Plan and Skate Park plan will follow the same community consultation process as for the original South Arm Oval Master Plan but on this occasion will only be sent to residents and key stakeholders of South Arm and will not include Opossum Bay residents.

**FINANCIAL IMPLICATIONS**

The implementation of the South Arm Oval Revised Master Plan is planned to be staged over 3 financial years, subject to Council approval of future Annual Plans. Council, in the 2016/2017 Annual Plan allocated \$150,000 to implement Stage 2 of the previously adopted South Arm Oval Master Plan. In addition, a grant of \$50,000 has been obtained from the Tasmanian Community Fund making a total amount of \$200,000 for Stage 2.

**RECOMMENDATION:**

- A. Council authorises the General Manager to undertake community consultation with residents and keys stakeholders of South Arm to provide feedback on the South Arm Oval draft Revised Master Plan and skate park design.
- B. Following the community consultation, feedback be provided to Council so a final Master Plan and skate park design can be considered for adoption.



**SOUTH ARM OVAL REVISED MASTER PLAN AND APPROVAL TO CONSULT  
/contd...**

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**ASSOCIATED REPORT****1. BACKGROUND**

- 1.1.** The South Arm Oval and Calverton Hall have been leased to the South Arm Calverton Hall Inc since 18 November 1996.
- 1.2.** Local youths approached Aldermen for Council to consider the funding and construction of a skate park in South Arm. The South Arm Oval is central to the township of South Arm and is accessible to passing residents from Opossum Bay. The only recreational spaces in South Arm are the South Arm Oval and a playground along Blessington Street.
- 1.3.** In accordance with Council's Open Space Strategy Principles it was decided to develop a Master Plan for the South Arm Oval that would cater for the short term and long term goals for the provision of community and recreational facilities at the Oval.
- 1.4.** Council officers developed a draft Master Plan concept and met with key stakeholders on-site to discuss the draft Plan. The key stakeholders included representatives of South Arm Calverton Hall Inc, South Arm Peninsula Residents Association (SAPRA), local youths and an Alderman.
- 1.5.** A Briefing Report was sent to all Aldermen on 17 February 2015 outlining the public consultation process and an attached copy of the draft Master Plan.
- 1.6.** Public consultation was conducted in relation to the draft South Arm Oval Master Plan over the period from 14 March to 8 April 2015.  
The consultation included:
  - completing the feedback form available at the South Arm shop and placing in the feedback box; or
  - completing the feedback form on Council's website; or

- emailing to Council's general email address; or
- mailing the feedback form to the Council Offices.

**1.7.** Council received 198 submissions from the local community. Council considered all the submissions received and at its Meeting on 1 June 2015 resolved as follows:

- "A. That Council removes the following items from the draft South Arm Oval Master Plan, circulated as part of the community consultation process:*
- bollards and access gate adjacent to the Calverton Hall;*
  - 5 feature trees at the frontage of Calverton Hall and the Community Centre;*
  - 4 feature trees adjacent to the proposed car park upgrade; and*
  - 2 seats at the frontage of Calverton Hall and the Community Centre.*
- B. That Council adopts the South Arm Oval Master Plan based on the Master Plan as set out in Attachment 1 to the Associated Report and modified by the requirements of 'A' above.*
- C. That Council stage the development over 3 financial years as per the Associated Report and subject to funding approval in future Annual Plans.*
- D. That Council add the following items to the preliminary Capital Works Program for consideration as part of future Annual Plans:*
- upgrade of the existing toilet facility to include baby change room and accessible toilet;*
  - expansion of car parking; and*
  - additional BBQ/Picnic facilities".*

- 1.8.** A letter to all respondents to the initial community consultation advising them of the amendments adopted by Council was sent on 10 June 2015. Stage 1 of the South Arm Master Plan, which included the outdoor gym equipment and seats, were installed as per the plan during 2016.
- 1.9.** A Planning Permit was received 21 June 2016 for the construction of the multi-use hardstand area (skate/scooter/bike ramp, basketball court and tennis wall).
- 1.10.** On 11 May 2017, Council received a further Planning Permit for the same construction with a minor amendment to relocate the skate park 2m to the south.
- 1.11.** On 22 May 2017, a letter was written to nearby residents of South Arm Oval providing information relating to a number of concerns raised by the residents regarding the construction of the skate park at South Arm Oval with an enclosed site plan of the skate park. The letter addressed the main issues raised which were; Noise Levels, Lighting, Views, Toilet Facilities, Car Access and Time Restrictions.
- 1.12.** A Council Workshop was held on 29 May 2017 to discuss the concerns raised by nearby residents regarding the construction of the skate park. Council decided to proceed with the Tender process for the construction of the skate park.
- 1.13.** On 31 May 2017, a letter was sent to nearby residents addressing a number of concerns and advising that Council was seeking quotations on the construction of the skating facility.

- 1.14.** On 19 July 2017, a memo was distributed to Alderman from Council officers.

*“Following a recent Council Workshop discussion and written correspondence to South Arm residents who expressed interest/concerns on the South Arm Skate Park, Council officers engaged acoustic consultant Pearu Terts to provide advice on the proposed Skate Park adjacent South Arm Oval. We have now received the report and it recommends noise barriers be erected around three sides of the proposed skate facility. Considering this advice, the current approved Development Application, the Tenders received and the interest/concerns received from the nearby community, it is appropriate for Council Officers in association with the skate park designer review all the information, consider options and advise Council of a recommended course of action. At this stage Council Officers will review all the information and present options to the 31 July 2017 Council workshop for discussion and a recommended course of action”.*

## **2. REPORT IN DETAIL**

- 2.1.** Since July 2017, a new design for the skate park has been prepared taking into account previous concerns raised by residents. The proposed skate park location has been moved further from adjacent property boundaries, the height has been reduced from 1.6m to 1.2m and the skate park has been reduced in size/area.
- 2.2.** Council continue to receive representations from adjoining property owners concerned about the impact of the skate park. Concerns relate to the potential noise generated by the park and what Council will be doing to mitigate this and manage anti-social behaviour.
- 2.3.** A workshop presentation to Aldermen on 13 November 2017 provided an update on progress in relation to the South Arm Master Plan and Skate Park.
- 2.4.** The Noise Assessment Report prepared for Council by the Acoustic Engineer and a further less complex summary prepared by an independent engineer and approved by the Acoustic Engineer are now available on the Clarence City Council web site.

**2.5.** The Planning Permit issued for the skate park on 11 May 2017 contains the following conditions:

This permit is granted, subject to the following conditions:

**General Conditions:**

1. The use or development must only be undertaken in accordance with the endorsed plans and amended plans dated 11 May 2017 and any permit conditions and must not be altered without the consent of Council.

*Note: Condition 1 amended on the 11 May 2017 pursuant to Section 56 of the Land Use Planning and Approvals Act 1993 to reflect the relocation of the skate park 2m to the south of the originally approved location.*

2. The use of the skate park facility must be within the following hours:
  - (a) 8.00am to 8.00pm Monday to Fridays inclusive;
  - (a) 9.00am to 6.00pm Saturdays;
  - (b) 10.00am to 5.00pm Sundays and Public Holidays;
3. Any form of public address system must not be audible outside the property.
4. Outdoor lighting (except security lighting), where provided, must be located, designed and baffled to ensure that no direct light is emitted outside the boundaries of the site and be turned off between 9.00pm and 6.00am.
5. Flood lighting within 200m of a residential zone must not subject nearby residential lots to obtrusive light, as defined in *AS 4282-1997-1.4.7*.

**Environmental Health Conditions:**

6. Noise emissions associated with the use of the skate park facility measured at the boundary with a residential zone must not exceed the following:
  - (a) 55dB(A) (LAeq) between the hours of 7.00am to 7.00pm;
  - (a) 5dB(A) above the background (LA90) level or 40dB(A) (LAeq), whichever is the lower, between the hours of 7.00pm and 7.00am;
  - (b) 65dB(A) LAmax at any time.

Measurement of noise levels must be in accordance with methods in the Tasmanian Noise Measurement Procedures Manual issued by the Director of Environmental Management, including adjustment of noise levels for tonality and impulsiveness.

**2.6.** The hours of use for the skate park, contained in the above permit conditions, are difficult to enforce and as part of a new Development Application Council will seek to change the hours of use to daylight hours only. This change will result in the application being a Discretionary use and will require public advertising.

**2.7.** A public address system, outdoor lighting and flood lighting are not included in the design and therefore these conditions are not required to be met. These conditions are included as precautionary and must be met should any occasion warrant their compliance.

- 2.8.** A pre-construction noise assessment has been completed by an Acoustic Engineer to guide the design of the skate park and compliance requirements for this permit condition. It is unknown at this stage exactly what level of noise impact the use of the skate park will have on adjoining property owners. It is proposed that following the construction of the skate park that a regime of noise assessments be scheduled and the results of these assessments inform any need for noise attenuation of the skate park. This assessment is proposed to be included as a condition of a Planning Permit for the skate park. The pre-construction noise assessment indicates that a 2.4m high sound barrier may be required to attenuate the noise from the use of the skate park if the use of the skate park is similar to the North Hobart skate park.
- 2.9.** Included as part of Council's decision of 1 June 2015, was the removal of bollards and access gate across the frontage of Calverton Hall. The intent of the bollards and access gate is to restrict uncontrolled vehicular access to the oval and surrounds including the site of the skate park. The issue of unauthorised vehicles freely accessing the site of the skate park has been raised by local residents. It is proposed as part of the consultation to include the bollards and access gate as part of the South Arm Oval Revised Master Plan and seek community feedback on this element of the Master Plan.

### **3. CONSULTATION**

#### **3.1. Community Consultation**

The consultation process for the South Arm Oval Revised Master Plan and Skate Park plan will follow the same community consultation processes as for the original South Arm Oval Master Plan but on this occasion will only be sent to residents and key stakeholders of South Arm and will not include Opossum Bay residents.

The consultation will be undertaken through the following options:

- completing the feedback form available at the South Arm Shop and place in the drop box provided; or

- completing the feedback form on Council's website – [www.ccc.tas.gov.au](http://www.ccc.tas.gov.au) ; or
- emailing to Council's email address – [clarence@ccc.tas.gov.au](mailto:clarence@ccc.tas.gov.au) or
- mailing the feedback form to the General Manager, Council Offices, PO Box 96, Rosny Park, Tas, 7018.

Consultation will be open for 3 weeks.

### **3.2. State/Local Government Protocol**

Nil.

### **3.3. Other**

Nil.

## **4. STRATEGIC PLAN/POLICY IMPLICATIONS**

**4.1.** Council's Strategic Plan 2016-2026 under the Liveability has the following Strategy to: *"Enhance the liveability of activity centres, community hubs and villages through streetscape and urban design projects and local area master plans"*.

**4.2.** Council's Strategic Plan 2016-2026 under the Promoting Health has the following Strategy to: *"Promote active and healthy lifestyles through provision and support for active and passive recreation programs and activities"*.

**4.3.** Council's Strategic Plan 2016-2026 under Parks and Recreation Facility: *"Planning for and providing new sporting and recreation facilities to meet community demand"*.

## **5. EXTERNAL IMPACTS**

Nil.



**6. RISK AND LEGAL IMPLICATIONS**

The noise assessment report prepared by an Acoustic Engineer is now available on the Clarence City Council website. This is a complex report and representations have been received asking questions regarding interpretation of different elements of the report. Council will seek response from the Acoustic Engineer with regard to these questions so that the correct interpretation is forwarded to the residents.

**7. FINANCIAL IMPLICATIONS**

**7.1.** The implementation of the South Arm Oval Revised Master Plan is planned to be staged over 3 financial years, subject to Council approval of future Annual Plans. Council, in the 2016/2017 Annual Plan allocated \$150,000 to implement Stage 2 of the previously adopted South Arm Oval Master Plan. In addition, a grant of \$50,000 has been obtained from the Tasmanian Community Fund making a total amount of \$200,000 for Stage 1.

**7.2.** Council, in the 2017/2018 Annual Plan allocated \$223,000 to implement Stage 3 of the South Arm Master Plan. Stage 3 includes the development of play space, explore track, basketball half court, plantings around boundaries, car parking, Harmony Lane entry improvements, community market space and landscaped entry and feature trees.

**7.3.** Cost estimates for the construction of the revised skate park plan are \$227,000, without any sound walls. The cost estimate will be more realised when final quotations are received. In order to complete the revised skate park plan, it is likely some of the remaining components of the Master plan may have to be budget dependent on their delivery.

**8. ANY OTHER UNIQUE ISSUES**

Nil.

**9. CONCLUSION**

- 9.1.** The response to the original South Arm Oval Master Plan indicates that the community values this space and has indicated strong views for its development. The wider community has shown strong support for the elements of the South Arm Master Plan; however, there are some concerns with the proposed skate park.
- 9.2.** The proposal for the relocated and reduced size of the redesigned skate park are aimed at addressing the concerns of local resident in relation to noise and scope of the original skate park design.
- 9.3.** The South Arm Oval Revised Master Plan reinstates the bollards across the frontage of Calverton Hall to address the concern of vehicular access to the site of the skate park. The bollards were previously removed from the original Master Plan at the request of the Calverton Hall Committee.
- 9.4.** It is recommended further consultation and feedback from the community be sought on the revised draft Master Plan.

Attachments: 1. South Arm Oval Master Plan (1)  
2. South Arm Oval Revised Master Plan (1)  
3. Proposed Skate Park Plan (1)

Ross Graham  
**GROUP MANAGER ENGINEERING SERVICES**

# Attachment 1

## OPPORTUNITIES MASTER PLAN

This Plan shows the future opportunities available at the South Arm Oval site for improvements to open space, aesthetics, community infrastructure and recreation facilities. It aims to provide a guide for Council in undertaking maintenance and upgrade works in the short term and a master plan for the provision of additional facilities at the site in the long term. Some of the elements shown on the plan are subject to future demand and Council budget.



- ① **MULTI-USE HARDSTAND**  
Opportunity to utilise existing degraded land to provide a multi-purpose hardstand. Area may include facilities for kids on skateboards, scooters and bikes as well as integrating ball games such as basketball, handball and a hitting wall. Overall design to consider passive surveillance, noise attenuation for adjacent properties and multi-use fixtures. Layout shown indicative only.
- ② **PLAY SPACE**  
Existing vegetation provides opportunity to integrate small play space including equipment for all ages and nature based play items.
- ③ **EXPLORE TRACK**  
Opportunity for path through vegetation utilising the existing trees and sandy topography. Suitable for bikes and walking. Opportunity to integrate seating, art and play elements.
- ④ **NATIVE PLANTING**  
Additional native planting along property boundaries to filter views into oval, improve park aesthetics and provide buffer to play spaces (in consultation with property owners).
- ⑤ **FITNESS PATH**  
Gravel path with timber edging to create loop track around oval. Path will define the edge of the formal oval. Opportunity to provide in-ground distance markers for runners and walkers. Approximate length of loop - 300m.
- ⑥ **HITTING WALL**  
Opportunity to provide masonry hitting wall to separate tennis court from skate and scoot space. Provides visual and noise separation and can be multi-use. Opportunity to integrate basketball hoop or various ball game line markings on wall to be used from either side.
- ⑦ **OUTDOOR FITNESS STATIONS**  
Opportunity to provide separated exercise stations along fitness path that focus on various strength and stretching activities. Each station to include under-surfacing and multiple equipment items.
- ⑧ **CALVERTON HALL SURROUNDS**  
*Item deleted following Council decision 1 June 2015.*
- ⑨ **CARPARK**  
Formalise existing gravel carpark. Surrounding land remains available for future carpark extension (when required).
- ⑩ **LANDSCAPE ENTRY**  
Install trees and low landscaping to formalise main entry driveway. Maintain open area adjacent carpark for informal parking.
- ⑪ **FEATURE TREES**  
Opportunity to provide feature trees to surrounds of oval to provide sense of space and define edge (tree locations indicative.)
- ⑫ **HARMONY LANE PEDESTRIAN ENTRY**  
Upgrade native plantings, traffic control bollards and footpaths to improve street frontage and pedestrian access to oval.
- ⑬ **EXISTING COMMUNITY GARDEN AREA**
- ⑬a **FUTURE COMMUNITY GARDEN EXPANSION AREA**
- ⑭ **PROPOSED MENS SHED - FUTURE (Shown indicative only)**
- ⑮ **PASSIVE GAMES AREA**  
Opportunity to provide facilities for games such as outdoor chess or bocce.
- ⑯ **COMMUNITY MARKET SPACE + GRAVEL ACCESS ROAD**  
Open area in forecourt for community market space.
- SEATING**  
Additional bench seating to oval and surrounds.



Multi-use play wall



Explore track with art



Multi-use hardstand for skating, scooting and ball games



Fitness path distance markers



Outdoor fitness stations



## Attachment 2

### OPPORTUNITIES MASTER PLAN

This Plan shows the future opportunities available at the South Arm Oval site for improvements to open space, aesthetics, community infrastructure and recreation facilities. It aims to provide a guide for Council in undertaking maintenance and upgrade works in the short term and a master plan for the provision of additional facilities at the site in the long term. Some of the elements shown on the plan are subject to future demand and Council budget.



- ① **MULTI-USE HARDSTAND**  
Utilise existing degraded land to provide a multi-purpose hardstand. Area may include facilities for kids games such as basketball, handball and a hitting wall.
- ①a **SKATE PARK**  
Overall design to consider passive surveillance, noise attenuation for adjacent properties. Layout shown indicative only.
- ② **PLAY SPACE**  
Existing vegetation provides opportunity to integrate small play space including equipment for all ages and nature based play items.
- ③ **EXPLORE TRACK**  
Opportunity for path through vegetation utilising the existing trees and sandy topography. Suitable for bikes and walking. Opportunity to integrate seating, art and play elements.
- ④ **NATIVE PLANTING**  
Additional native planting along property boundaries to filter views into oval, improve park aesthetics and provide buffer to play spaces (in consultation with property owners).
- ⑤ **FITNESS PATH**  
Gravel path with timber edging to create loop track around oval. Path will define the edge of the formal oval. Opportunity to provide in-ground distance markers for runners and walkers. Approximate length of loop - 300m.
- ⑥ **HITTING WALL**  
Opportunity to provide masonry hitting wall to separate tennis court from skate and scoot space. Provides visual and noise separation and can be multi-use. Opportunity to integrate basketball hoop or various ball game line markings on wall to be used from either side.
- ⑦ **OUTDOOR FITNESS STATIONS**  
Opportunity to provide separated exercise stations along fitness path that focus on various strength and stretching activities. Each station to include under-surfacing and multiple equipment items.
- ⑧ **CALVERTON HALL SURROUNDS**  
Provide bollards to manage vehicle traffic onto oval. Removable bollards allow for vehicle access to be gained to oval space for use as overflow parking during events.
- ⑨ **CARPARK**  
Formalise existing gravel carpark. Surrounding land remains available for future carpark extension (when required).
- ⑩ **LANDSCAPE ENTRY**  
Install trees and low landscaping to formalise main entry driveway. Maintain open area adjacent carpark for informal parking.
- ⑪ **FEATURE TREES**  
Opportunity to provide feature trees to surrounds of oval to provide sense of space and define edge (tree locations indicative.)
- ⑫ **HARMONY LANE PEDESTRIAN ENTRY**  
Upgrade native plantings, traffic control bollards and footpaths to improve street frontage and pedestrian access to oval.
- ⑬ **EXISTING COMMUNITY GARDEN AREA**
- ⑬a **FUTURE COMMUNITY GARDEN EXPANSION AREA**
- ⑭ **PROPOSED MENS SHED - FUTURE (Shown indicative only)**
- ⑮ **PASSIVE GAMES AREA**  
Opportunity to provide facilities for games such as outdoor chess or bocce.
- ⑯ **COMMUNITY MARKET SPACE + GRAVEL ACCESS ROAD**  
Open area in forecourt for community market space.
- SEATING**  
Additional bench seating to oval and surrounds.



Multi-use play wall



Explore track with art



Multi-use hardstand for skating, scooting and ball games



Fitness path distance markers



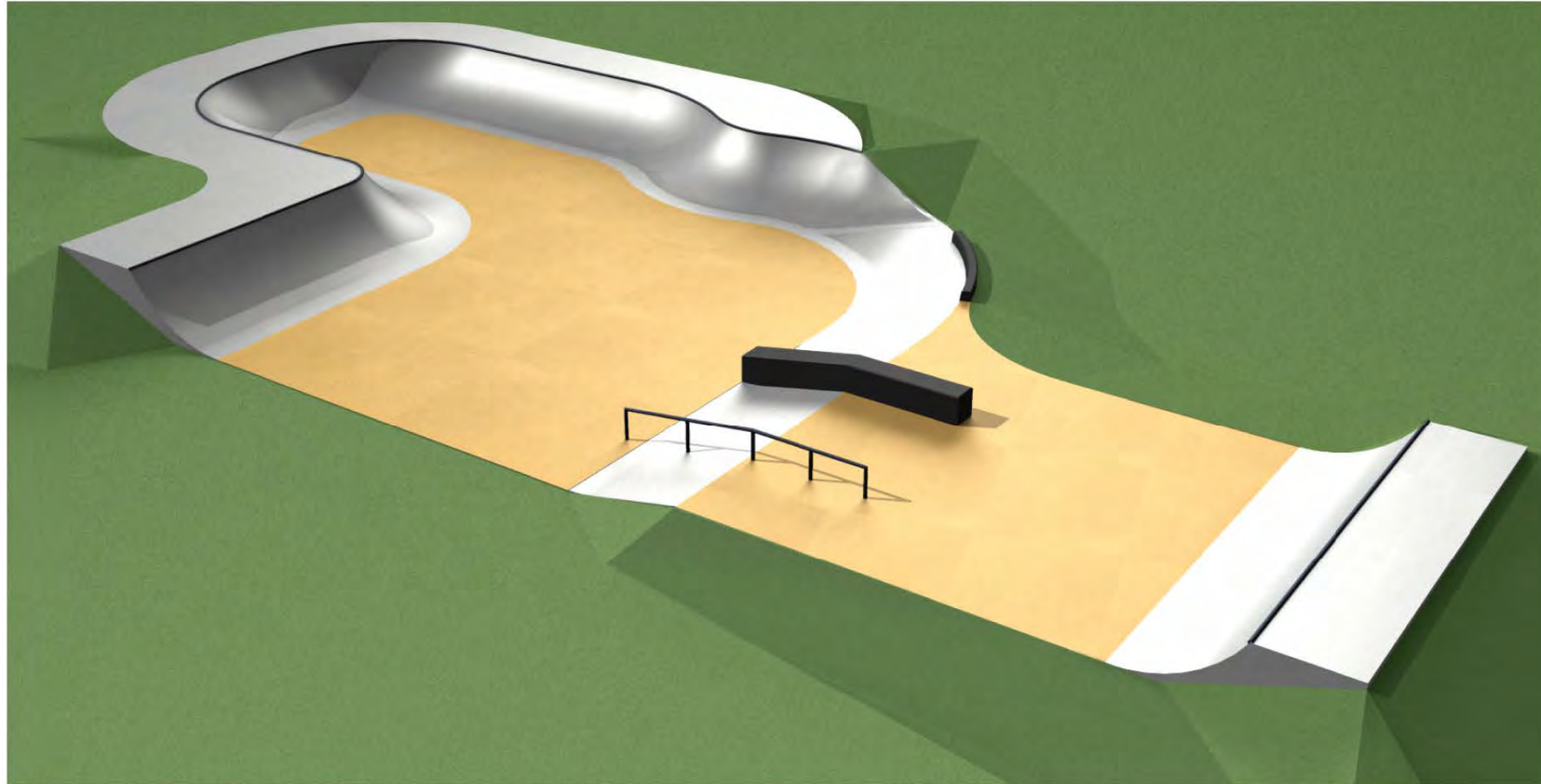
Outdoor fitness stations



# PERSPECTIVE IMAGE

PROPOSED NEW CONCRETE SKATE PARK

SOUTH ARM - TASMANIA



SEPTEMBER 2017

	
<b>PERSPECTIVE IMAGE</b>	
PROJECT SOUTH ARM SKATEPARK	
LOCATION SOUTH ARM - TASMANIA	
ISSUE	DRAFT DA
CLIENT	Concrete Dreams
ENGINEER	
BUILDING SURVEYOR	
SCALE	N/A
PAGE	02

**11.5.3 WAVERLEY FLORA PARK – AVENUE OF HONOUR**

(File No)

**EXECUTIVE SUMMARY****PURPOSE**

To consider the adoption of the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan.

**RELATION TO EXISTING POLICY/PLANS**

Council's Strategic Plan 2016-2026 and Community Participation Policy are relevant.

**LEGISLATIVE REQUIREMENTS**

Nil.

**CONSULTATION**

Consultation to form the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan has been undertaken with residents of Warrane and Mornington.

**FINANCIAL IMPLICATIONS**

Adoption of the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan has no financial impact. The implementation of the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan is planned to be staged over a number of financial years, subject to Council approval of future Annual Plans.

**RECOMMENDATION:**

- A. That Council adopts the Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan as outlined in this report.
- B. That Council adopts to proceed with Stages 1 and 2 as outlined in this report.
- C. That Council consider Stages 3 to 5 at a future Council Meeting before proceeding with the design and construction of these components of the Concept Landscape Plan.
- D. That Council authorises the General Manager to write to residents of Warrane and Mornington advising of Council's decision.

**WAVERLEY FLORA PARK – AVENUE OF HONOUR /contd...**

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**ASSOCIATED REPORT****1. BACKGROUND**

- 1.1.** The Waverley Flora Park Reserve Activity Plan 2013-2018 was adopted by Council at its Meeting held Monday, 27 May 2013. Included in the Reserve Activity Plan was the recommendation to develop a Master Plan for the proposed Soldiers Memorial Park and Avenue of Honour at 60 Quarry Road based on historical research and extensive community consultation.
- 1.2.** The location of the former Bellerive Rifle Range and the Avenue of Honour is not widely known in the community. The development of a memorial and recreational park in the Waverley Flora Park at 60 Quarry Road entrance is to commemorate the history of the former Bellerive Rifle Range and those members who served in World War 1 and World War 2.
- 1.3.** John Wadsley was engaged to undertake historical research relating to the former Bellerive Rifle Range and the Avenue of Honour established almost 100 years ago. Mr Wadsley completed his research and along with Council officers prepared a concept plan for the development of a new park and recreational area at the Quarry Road entrance to Waverley Flora Park.
- 1.4.** The Master Plan reflects the historic, cultural and recreational values of the former quarry, rifle range and Commemorative Avenue for the Clarence community with a goal to have early stages of the proposed park completed for the centenary of the planting of the original Avenue of Honour, 7 September 2018.
- 1.5.** Council allocated funds in the 2016/2017 Annual Plan for the development of the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan.



- 1.6.** Inspiring Place were engaged to prepare a detailed landscape plan for the Avenue of Honour and consult with the local residents and key stakeholders to consider options for siting of the Avenue of Honour and other recreational activities at the Quarry Road entrance to Waverley Flora Park.
- 1.7.** Two options for the siting of the Avenue of Honour were considered as part of the consultation. They being:

  - Quarry Road entrance to Waverley Flora Park; and
  - Quarry Road at the Department of Defence property, 155 Cambridge Road.
- 1.8.** Local residents were invited to a Community Walk and Talk held on Sunday, 13 November 2016 and Tuesday, 15 November 2016 to discuss options and provide feedback to the consultants.
- 1.9.** To meet the timeline of completing the Avenue of Honour by 7 September 2018, Council provided funding of \$166,000 as part of the 2017/2018 Annual Plan.
- 1.10.** The Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan was presented to Aldermen at the Council Workshop held on Monday, 10 July 2017 and a field trip to the site held on Monday, 7 August 2017.
- 1.11.** Aldermen indicated that the preferred site for the Avenue of Honour to be at the Quarry Road entrance to Waverley Flora Park. It was felt that the option at the Department of Defence site did not provide the appropriate ambiance for such a reflective space being close to a busy roadway.

**1.12.** Council, at its Meeting held 4 September 2017 resolved the following:

- “A. That Council authorise the General Manager to undertake community consultation on the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan as outlined in this report.*
- B. That the results of the community consultation be reported back to Council”.*

**1.13.** Community consultation was undertaken through the following options:

- copy of the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan and associated feedback forms will be on display at Council Offices;
- copy of the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan and associated feedback forms will be on Council’s web site;
- a letter to local residents of Warrane and Mornington and key stakeholders asking them to comment on the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan by either:
  - completing the feedback form available at the Council Offices and placing in the feedback box; or
  - completing the feedback form on Council’s website;
- advertisements in “The Mercury” newspaper and Eastern Shore Sun advising of the display at the Council office and on the Council website and the seeking comment on the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan by either:
  - completing the feedback form available at the Council Offices and placing in the feedback box; or
  - completing the feedback form on Council’s website.

- 1.14.** Thirty seven responses were received following the community consultation which closed Monday, 6 November 2017.

## **2. REPORT IN DETAIL**

- 2.1.** A total of 438 letters were mailed to residents of Warrane and Mornington; 35 written responses were received along with 2 telephone responses. Percentage of responses from letters mailed was 8.45%.

- 2.2.** The results of the consultation in relation to the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Plan were.

<b>Supportive</b>	<b>Not Supportive</b>
34 (89%)	3 (11%)

- 2.3.** A summary of comments in support of the proposed Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Plan are:

- the need for better recreational facilities within the local area;
- the appeal of the nature play park, bike track and public facilities;
- the ability to address some existing issues such as car parking overflow into the streets;
- proposed use of native plant species for Avenue of Honour; and
- the opportunity for interpretation of the local history.

- 2.4.** A summary of comments for not supporting the proposed Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Plan are:

- proposal was an intrusion into the park and would impact natural values;
- proposed facilities would encourage anti-social behaviour;

- the Avenue of honour would be best located at the Department of Defence site;
- use existing natural features for play area rather than introduced man-made play structures;
- high cost and on-going maintenance requirements;
- potential impact on neighbouring properties in Carawa Street;
- increased traffic along Quarry Road; and
- inappropriate to invest in major recreational facilities at this little known site.

**2.5.** Further general comments were provided by respondents and they are summarised as:

<b>Comment</b>	<b>Response</b>
Control unauthorised trail bikes	Control is difficult due to multiple entry points into the Park. New access will make access more difficult for trail bikes.
Rubbish bins	Will be included in Landscape Plan.
Maintain as dog friendly area	Will be consistent with other like Reserves.
Install dog bins	Will be included in Landscape Plan.
Need for shelter	Will be included in Landscape Plan.
Narrow width of Quarry Road	Proposed restricted parking on southern side of Quarry Road near entry to Park if water pressure can be obtained. Council Engineers to check with TasWater.
Increase fire risk with visitor numbers	Include fire hydrant in detailed design of park.
Need for drinking water and bike racks	Will be included in Landscape Plan.
Over provision of car parking	Initial proposal is for 5 parking spaces. Should Council proceed with the play area then additional car parking will be required so the local streets are not impacted.

**2.6.** Some respondents made comment that they are supportive of the Avenue of Honour component but have reservations about the need for the play area as part of any future stage of this proposal. The first priority will be to complete the Avenue of Honour component of the Landscape Plan and to monitor visitation of the site to inform a review of future stages of the Landscape Plan, in particular the play area concept.

**2.7.** It is proposed to implement the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Plan over 5 stages.

#### **Stage 1**

• Implement Avenue of Honour	\$130,000
• Formal dedication ceremony	\$ 5,000
• Construct 5 space car park	\$ 58,000
Total Stage 1	\$193,000

#### **Stage 2**

• Research and install interpretation material	\$ 20,000
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#### **Stage 3**

• Survey	\$ 4,000
• Design of nature play area	\$ 30,000
• Compliance assessment of play area	\$ 30,000
• Design infrastructure – toilets & shelters	\$ 30,000
Total Stage 3	\$ 94,000

#### **Stage 4**

• Extend car parking area	\$245,000
---------------------------	-----------

**Stage 5**

- Construct infrastructure incl. play area \$690,000

**Total Cost Stages 1-5** **\$1,242,000**

- 2.8.** Council allocated funding, as part of the 2017/2018 Annual Plan, of \$166,000. The estimated cost to implement Stage 1 is \$193,000 and therefore there is an estimated shortfall in funding of \$27,000 to complete Stage 1. Council officers will seek to source these funds from savings in the Passive Recreation Program or Roads Program depending on the nature of the remaining work to complete.

**3. CONSULTATION****3.1. Community Consultation**

Consultation with the community was in accordance with the Council's Community Participation Policy.

**3.2. State/Local Government Protocol**

Consultation was held with relevant representatives of the Department of Defence as part of the development of the Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan.

**3.3. Other**

Nil.

**4. STRATEGIC PLAN/POLICY IMPLICATIONS**

- 4.1.** Council's Strategic Plan 2016-2026 under the Strategy – Liveability: *“Develop and implement a public open space network including quality public spaces, parks, reserves and tracks and trails”.*

- 4.2.** Council's Strategic Plan 2016-2026 under the Strategy – Parks and Recreation Facilities: *“Create safe, well connected and high quality public open spaces that meet the needs of the community and visitors, with a focus on accessibility and safe design principles.”*

**5. EXTERNAL IMPACTS**

Nil.

**6. RISK AND LEGAL IMPLICATIONS**

There are no risk and legal implications from carrying out public consultation.

**7. FINANCIAL IMPLICATIONS**

- 7.1.** The implementation of the Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Plan is planned to be staged over a number of financial years, subject to Council approval of future Annual Plans.

- 7.2.** Council has adopted \$166,000 in the 2017/2018 Annual Plan for implementing Stage 1 Works for the Centenary event.

- 7.3.** It is anticipated a further \$27,000 is required from savings in the relevant Program to complete this Stage of Works.

**8. ANY OTHER UNIQUE ISSUES**

Nil.

**9. CONCLUSION**

- 9.1.** The concept of the Avenue of Honour is widely accepted and it is recommended that Council proceed to complete Staged 1 and 2 over the next 2 years, with completion of Stage 1 - the Avenue of Honour by 7 September 2018.



**9.2.** There has been concern raised regarding any future play area and associated infrastructure at this site. It is recommended that following completion of Stages 1 and 2 that further consideration be given to proceeding with Stages 3 to 5.

**9.3.** As a result of the recent community consultation there are no major changes to the Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Plan, and therefore it is recommended this Plan be endorsed as the final Plan.

Attachments: 1. Concept Landscape Plan for Waverley Flora Park Quarry Road Entrance and Avenue of Honour Concept Plan (21)

Ross Graham

**GROUP MANAGER ENGINEERING SERVICES**

## Attachment 1

inspiring place



# CONCEPT LANDSCAPE PLAN FOR WAVERLEY FLORA PARK QUARRY ROAD ENTRANCE AND AVENUE OF HONOUR CONCEPT PLAN

*Prepared for the City of Clarence*

AUGUST 2017

## Attachment 1

# LANDSCAPE CONCEPT PLAN FOR WAVERLEY FLORA PARK QUARRY ROAD ENTRANCE AND AVENUE OF HONOUR

prepared for the City of Clarence



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# Attachment 1

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# Attachment 1

## SECTION 1 BACKGROUND

### 1.1 CONTEXT TO PROJECT

The *Waverley Flora Park Reserve Activity Plan 2013-2018* was adopted by Council in May 2013. The Plan recommended that Council develop a Master Plan for the proposed Soldiers Memorial Park and Avenue of Honour based on historical research and extensive community consultation.

Heritage Consultant John Wadsley was engaged by Council to undertake historical research relating to the former Bellerive Rifle Range and the Avenue of Honour established almost 100 years ago. The report *Master Plan for Waverley Flora Park – Former Bellerive Rifle Range and Avenue of Honour 2015* provides the historic context of the former quarry and rifle range. A summary of the key findings from the historical research is outlined below.

Aboriginal people (one of the Oyster Bay clans) are known to have accessed and used the site for traversing, shelter and food.

Land grants in the general area were issued to settlers from the 1830's. Quarrying for sandstone started in the mid 1840's and was used for buildings in Hobart, Melbourne and New Zealand (including Wirksworth in Wentworth Street) - ownership of the quarry changed hands and the quarry operations closed in 1894, then re-opened before being scaled down by 1921.

In 1905 the Bellerive Rifle Club was established, initially near Wentworth Street in Howrah, but due to complaints from neighbours, new sites for the Rifle Club were investigated. The new rifle range at Mornington was surveyed in 1916 and extended from the northern end of Quarry Road and beyond there towards Knopwood Hill – some 242 acres of land in total.

The Bellerive Rifle Club conducted working bees to clear the land, dig target pits and set up the shooting area. The rifle range was officially opened in November 1917.

In September 1918, the Bellerive Rifle Club planted an avenue of trees to remember the service and sacrifice by its members in the Great War.

## Attachment 1

Some 23 macrocarpa cypress (*Cupressus macrocarpa*) were planted at the northern end of Quarry Road. The trees no longer remain.



The above photograph was taken in 1951-52 prior to major housing development in Warrane. It suggests that the original Avenue of Honour tree plantings (darker trees being *Cupressus macrocarpa*) were located towards the northern end of Quarry Road. (Photo from the Maritime Museum of Tasmania Collection provided by John Wadsley)

The Club remained active with shooting events (inter-club and regional) for about 40 years but by 1960 the Army decided it was no longer tenable given the development of houses within Warrane and sold the land to the State Government for residential development. The balance of the land was put up for public tender, but with no offers, Council purchased the land for public purposes in 1962 and it was integrated into the Waverley Flora Park.

The Council are keen to commemorate the former Bellerive Rifle Range and those that served in World War 1 and World War 2. The centenary occurs on the 7<sup>th</sup> September 2018 being 100 years after the official opening.

The Council is also keen to address the limited provision for access and parking at Waverley Flora Park. The top end of Quarry Road provides the opportunity to enhance access in the future.

Council engaged Inspiring Place to investigate the options for the Avenue of Honour at the entry to Waverley Flora Park or within the vicinity of Quarry Road.

## **1.2 PURPOSE OF THE PROJECT**

The purpose of the project has been to:

consult with the local community and key stakeholders about the potential to improve access into Waverley Flora Park; and

investigate the opportunities for reinstating and interpreting an Avenue of Honour to mark the centenary.

## **1.3 TASKS UNDERTAKEN**

The following tasks have been undertaken:

briefing with Council staff;

review of background reports and information;

organising invitations (e.g. Council letters and advertising) to all residents within the general area and community interest groups to participate in two community 'walk and talk' events held at the entry to Waverley Flora Park and at Quarry Road;

assessment of various options for the siting of the Avenue of Honour including the advantages and disadvantages of each option;

consultation with the Department of Defence and Heritage Consultant John Wadsley about the potential options;

drafting of the Landscape Concept Plan for Waverley Flora Park Quarry Road entrance and Avenue of Honour for review and further discussion with Council; and

finalising the recommendations for for Waverley Flora Park Quarry Road entrance and Avenue of Honour.



## SECTION 2

### PRELIMINARY CONCEPT PLANS

#### 2.1 AVENUE OF HONOUR

##### 2.1.1 Introduction

The Heritage Consultant<sup>1</sup> proposed that Council consider:

- new street plantings along Quarry Road;
- vehicle entry off Quarry Road into a car park;
- having the Avenue of Honour located behind the Carawa Street properties; and
- construction of themed walking trails for interpretation of the Rifle Range and quarry within the Waverley Flora Park.

The Consultant envisaged that the Avenue of Honour would involve planting 23 trees either planted as a single line or in two lines. It was suggested that the trees could be *Cupressus macrocarpa* (Monterey Pine), similar to what was originally planted. The Consultant's master plan shows a gravel path installed along the avenue with plaques commemorating each soldier placed in front of each tree (similar to the Soldiers Memorial Avenue Walk on the Queens Domain).

Site visits and consultation with the local community (walk and talk) indicated issues with the above proposed siting of the Avenue of Honour. The main issues were:

- the substantial earthworks and costs involved with constructing a new entry road, a vehicle parking area and vehicle barriers to cater for visitors to the Avenue of Honour and Waverley Flora Park given the distance and uneven ground surfaces;
- limited potential to be seen and have some presence as a memorial feature; and

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<sup>1</sup> Master Plan for Waverley Flora Park – Former Bellerive Rifle Range and Avenue of Honour 2015

## Attachment 1

there was limited support expressed by some local residents for the location – the points raised were that this was not an appropriate location given the impact on natural values/qualities of Waverley Flora Park, that it was not the original location of the Avenue of Honour and these memorials should be consolidated elsewhere in the City, the potential impacts given proximity to houses and that the high costs could not be justified.

Consequently, further investigations were undertaken into the potential of locating the proposed Avenue of Honour elsewhere along Quarry Road. This possibility was also discussed with local residents attending the Quarry Road walk and talk. These discussions along with further site visits indicated various options:

along the south western (upper side) of Quarry Road on land forming part of Waverley Flora Park; or

installing street tree plantings that may be fitted into the nature strip of Quarry Road; or

the northern end (lower side) of Quarry Road in proximity to the Department of Defence property.

There are a several constraints with the upper side of Quarry Road. The road there is narrow, just accommodating two way traffic and parking for residents. In addition the road is part of the Metro bus route within Warrane. The constraints effectively reduce the capacity for avenue tree planting along the whole of Quarry Road.

The first option would also require substantial removal of existing native trees to create an Avenue of Honour and this is likely to generate some community concern similar to that expressed previously about protecting the natural values of Waverley Flora Park.

The second option is not considered feasible given the narrow road reserve, the location of underground services, potential implications for the functionality of the road (Metro bus service, parking) and the potential difficulty involved in negotiating approval with multiple adjoining landowners about the placement of the trees.

The third option was investigated but would require Department of Defence approval for acquisition of land to allow for the avenue of tree plantings to be offset from the overhead powerlines.

## **2.1.2 Alternative Avenue of Honour Site Option**

Discussions with Council indicated the need to also consider an alternative option for the Avenue of Honour in case the location adjoining the Department of Defence site was not approved by either the Department of Defence or Council.

It was also recognized that the time involved in securing approval may not allow for the works to be designed, tendered and completed ready for the Centennial celebrations on the 7<sup>th</sup> September 2018.

Further investigations associated with the proposed upgrading of the entry to Waverley Flora Park (as outlined in Section 2.2) indicated the potential to align the Avenue of Honour with the existing shared trail from the proposed new car park. The concept option is presented in Figure 2.1 within Section 2.2 of this report.

## **2.2 ENTRY TO WAVERLEY FLORA PARK**

Currently there is no on-site parking at the entry to Waverley Flora Park off Quarry Road.

Most of the visitors to Waverley Flora Park are expected to be local residents walking to the site. Other visitors may drive to this location to walk, jog or exercise the dog on the trails. Occasionally walking clubs or other community groups are known to access the Park from this location. Parking of vehicles generally occurs along Quarry Road but this is informal and not designated.

The *Master Plan for Waverley Flora Park – Former Bellerive Rifle Range and Avenue of Honour 2015* indicates the potential to add a nature/adventure based recreation area into the Park. This is to be subject to a detailed design process outside of the scope of this report. However, it is envisaged that a nature/adventure may include provision for:

- new entry off Quarry Road and car parking area;
- a day use shelter with picnic and barbeque facilities;
- public toilets;
- paths leading from the car park to the visitor facilities;
- a range of nature play spaces that will cater for different age groups and activities;

interpretation of the Bellerive Rifle Range;

the Avenue of Honour; and

upgrading and connection to existing trails within the Park

Map 2.1 shows an overall concept plan for the longer term use and development of the entry into Waverley Flora Park subject to available funding for the development of the nature play park. The nature play park has the potential to become a regional play attraction, similar to Simmons Park, Wentworth Park and Bellerive Beach Park.

The proposed car park is along the existing fire trail to minimise the extent of earthworks and levelling required given the slope of the land. It would allow for 35 car parking spaces.

Map 2.2 presents an indicative concept plan for the nature play park, toddlers nature play and visitor facilities near the proposed car park. The plan is indicative of the nature play design elements that could be included in the park but these would need to be determined during detailed design and community consultations. It is proposed that, where possible, the nature play space and facilities have all abilities access.

As indicated previously, the Avenue of Honour could be aligned with the existing trail.

The concept plan is shown in Figure 2.1 and indicates:

upgrading of the shared trail surface from the proposed car park (as shown in Map 2.1);

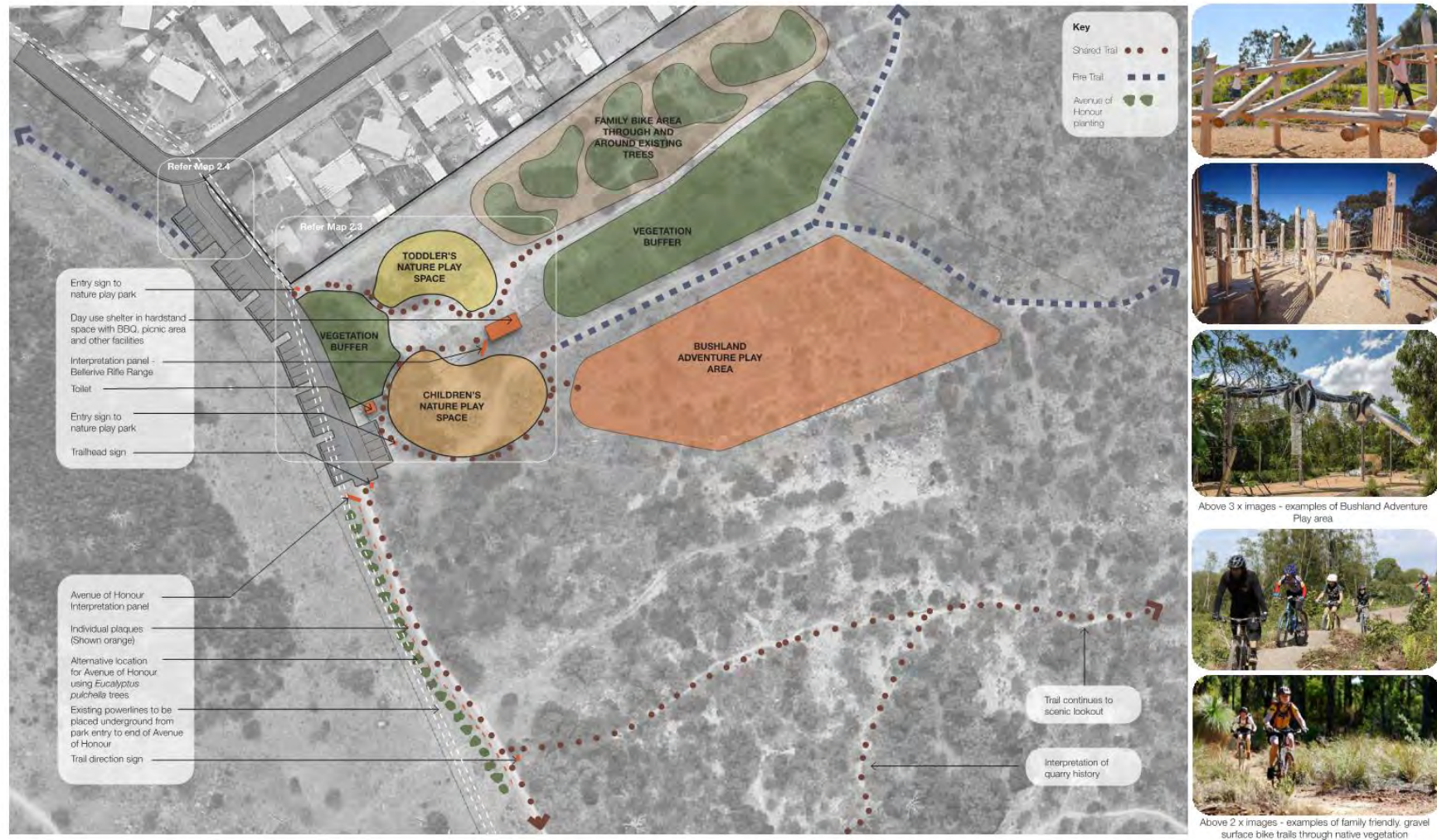
the undergrounding of the existing powerlines from the entry into the Park for the length of the proposed Avenue of Honour tree plantings;

locating the trees on the southern side of the shared trail with the memorial plaques easily viewed from the trail;

use of native tree species such as White Peppermint Gum (*Eucalyptus pulchella*) or White Gum (*Eucalyptus viminalis*) in preference to introduced species;

spacing of the trees about 6m apart given the canopy spread; and

## Attachment 1



**Map 2.1 Waverley Flora Park - Overall Concept Plan for Entry**  
Quarry Road, Warrane

JUNE 2017 1:1000 @ A3





## Attachment 1



Low timber balance beams - items 2 and 16 on plan



Logs for play - items 2 and 16 on plan



Mounded soft fall play feature - item 3 on plan



Exposed aggregate concrete bike path, and timber 'bridges', items 6 and 22 on plan



Pump for water play, items 5 and 21 on plan



Inground water channel with boulder hop, items 5 and 21 on plan



Climbing feature, with nature play surrounds, item 19 on plan



Natural sand pit - item 20 on plan



Slide with boulder climb - item 18 on plan

## Map 2.2 Waverley Flora Park - Nature Play Concept Plan

\*Where possible all abilities access will be considered in the detailed design of the nature play spaces

JUNE 2017 1:1500 @ A3





## Attachment 1





rehabilitation of the open space to maintain the visual presence of the Avenue of Honour plantings whilst maintaining the remnant bushland in the background.

An interpretation panel could be located at the start of the shared trail near the proposed car park.

This would allow the Avenue of Honour to have some visual prominence with the memorial plaques being located close to the walking trail for ease of viewing and reading.

Map 2.3 shows a concept plan for improving the entry to the Park and providing dedicated space for some parking in the short term. It indicates that the current entry road can be widened to provide five car parking spaces. This would require some retaining walls to accommodate the minor cut and fill involved. Any overflow car parking could occur along the eastern side of Quarry Road.

This is considered as a realistic and relatively low cost solution to meet immediate parking needs for visitors at the entry to the Park. It would create a stronger entry into Waverley Flora Park with the parking, relocation of the entry sign and installing of a trackhead sign.

## Attachment 1



**Map 2.3 Waverley Flora Park - Entry Concept** (short term option)

**Quarry Road, Warrane**

MARCH 2017. 1:200 @ A4



## Attachment 1

### **SECTION 3**

### **RECOMMENDED ACTIONS**

#### **3.1 RECOMMENDED ACTIONS**

1. Council review the draft Landscape Concept Plan for Waverley Flora Park Quarry Road entrance and Avenue of Honour.

##### INITIATING ACTIONS AND RESPONSIBILITIES:

Review by Council staff.

Meeting with Heritage Advisory Committee about the Avenue of Honour Concept Plan.

Revision of the Landscape Concept Plan as required.

Prepare initial cost estimates for the proposed works.

2. Proceed to allow implementation of the Avenue of Honour to coincide with the centenary on the 7<sup>th</sup> September 2018.

##### INITIATING ACTIONS AND RESPONSIBILITIES:

Seek Council approval to proceed to community review of the Avenue of Honour Concept Plan.

Undertake advertising and community review.

Review the community feedback and undertake any further investigations as may be required.

Undertake a more detailed design of the Avenue of Honour including selection of tree species and sourcing of trees from a nursery.

Review and revise cost estimates.

Lodge a development application (if required) and follow approval processes.

Identify funding for proposed works.

Seek tenders for proposed works.

Commence works.

3. Upgrade the entry and parking arrangements to Waverley Flora Park at the southern end of Quarry Road in the short term.

INITIATING ACTIONS AND RESPONSIBILITIES:

Undertake detailed engineering design for proposed works.

Review cost estimates.

Identify funding for proposed works.

Seek tenders for proposed works.

Commence works.

4. Prepare detailed design plan for the proposed nature play park and visitor facilities in the longer term.

INITIATING ACTIONS AND RESPONSIBILITIES:

Undertake detailed design plan for the nature play park and visitor facilities.

Undertake detailed engineering design for proposed works.

Review cost estimates.

Identify funding for proposed works.

Seek tenders for proposed works.

Commence works.

## 3.2 STAGING OF WORKS

### 3.2.1 Stage 1 Five Year Plan

	Works	Indicative Costing
1	Implement Avenue of Honour works as per Attachment 1 to allow for upgrading the shared trail, undergrounding of powerlines, advanced trees, plaques, interpretation (total \$96,850) and allowance for preliminaries, earthworks and design contingency.	\$127,842
2	Research and development of interpretation material	\$20,000
3	Formal event for dedication of Avenue of Honour in September 2018	\$5,000
4	Implement short term improvements to the entry into Waverley Flora Park as per Attachment 1	\$58,000
	INDICATIVE COSTS	\$210,842

### 3.2.2 Stage 2 Ten Year Plan

	Works	Indicative Costing
5	Undertake survey of site features	\$4,000
6	Prepare concept design for the nature play park including cost estimates	\$30,000
7	Assessment by independent playground auditors and provide certifications	\$10,000
8	Prepare detailed engineer design for infrastructure works	Council to do
9	Implement works to extend the entry road, increase car parking and install signage as per Attachment 1	\$245,000
10	Design and construct visitor infrastructure and development elements* including: Toilets \$150,000 Day use shelter \$100,000 Childrens Nature Play Space and Toddlers Nature Play Space \$320,000 Paths \$100,000 Family Bike Area \$50,000	\$720,000
	INDICATIVE COSTS	\$1,009,000

\* These cost estimates for point 10 do not provide estimates for allowance for the Bushland Adventure Play Area or allowance for preliminaries, earthworks and design contingency.

## **Attachment 1**

### **ATTACHMENT 1 COST ESTIMATES**

## Attachment 1

### Waverley Flora Park - Entry Carpark (Short Term) Concept Cost Plan 04.04.2017 (-/+25%)

Item	Amount	Unit	Unit \$	Sub-total
Bitumen (base + sub-base + line marking)	185	sq.m.	\$ 150.00	\$27,750.00
Wheel stops (concrete + pinned)	5	item	\$ 250.00	\$ 1,250.00
Low blockwork retaining wall 14m x 1.2 x 290 + 24m x 1.2 x 290	13.272	m3	\$ 450.00	\$ 5,972.40
Garden beds (native shrubs & mulch) (includes preparation, topsoil re-use & treatment as required & mulch)	25	sq.m.	\$ 35.00	\$ 875.00
Kerb and channel	65	l.m.	\$ 90.00	\$ 5,850.00
Culvert and drain pipe (300 diameter)	12	l.m.	\$ 200.00	\$ 2,400.00
Relocate Waverley Flora Park sign	1	item	\$1,500.00	\$ 1,500.00
<b>Total - Above Works</b>				<b>\$45,597.40</b>
plus				
Preliminaries 12%				\$ 5,471.69
Earthworks 5%				\$ 2,279.87
Design contingency 10%				\$ 4,559.74
Sub-total preparation, preliminaries, contingencies				\$12,311.30
<b>Total all works, preparation, preliminaries, contingencies</b>				<b>\$57,908.70</b>

Excludes GST

Excludes major drainage works

Excludes FFE

Excludes Site Infrastructure (stormwater, water, sewer) and demolition 10%

Excludes Design and documentation fees

Excludes Traffic & Pedestrian Management



# Attachment 1

## Waverley Flora Park - Entry Road and Carpark (Long Term) Concept Cost Plan 04.04.2017 (-/+25%)

Item	Amount	Unit	Unit \$	Sub-total
<b>Avenue of Honour</b>				
Avenue of Honour to allow for advanced trees (\$14,000), plaques (\$10,350), interpretation panel (\$1500), upgrading shared trail up to trail intersection(200m compacted gravel 3m wide at \$21,000), underground powerlines for 200m (\$50,000) , advanced trees/plaques/interpretation panel ( allow \$28,000)	1	item	\$ 96,850.00	\$ 96,850.00
<b>Entry Road and Carpark (Long term)</b>				
Bitumen (base + sub-base + line marking)	758	sq.m.	\$ 150.00	\$ 113,700.00
Wheel stops (concrete + pinned)	30	item	\$ 250.00	\$ 7,500.00
Retaining wall 70m x 1.5m	105	m3	\$ 450.00	\$ 47,250.00
Garden beds (native shrubs & mulch) (includes preparation, topsoil re-use & treatment as required & mulch)	60	sq.m.	\$ 35.00	\$ 2,100.00
Kerb and channel	70	l.m.	\$ 90.00	\$ 6,300.00
Culvert to capture and divert run-off above car parking areas	70	l.m.	\$ 100.00	\$ 7,000.00
Trailhead sign	1	item	\$ 500.00	\$ 500.00
<b>Total - Entry Road and carpark</b>				\$ 184,350.00
<b>Total - Above Works - Avenue of Honour and Entry Road and carpark</b>				\$ 281,200.00
plus				
Preliminaries 12%				\$ 33,744.00
Earthworks 10%				\$ 28,120.00
Design contingency 10%				\$ 28,120.00
Sub-total preparation, preliminaries, contingencies				\$ 89,984.00
<b>Total all works, preparation, preliminaries, contingencies</b>				<b>\$ 371,184.00</b>

Excludes GST

Excludes major drainage works

Excludes all visitor and nature play park infrastructure including toilets, shelter, paths, play features (nature play park costs to be determined by detailed de

Excludes FFE

Excludes site infrastructure (stormwater, water, sewer) and demolition other than underground power

as listed

Excludes Traffic & Pedestrian Management

**11.5.4 ROCHES BEACH – BEACH ENTRY MANAGEMENT AT LAUDERDALE CANAL**

(File No 12-17-06)

**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this Report is to consider the 16 October 2017 Notice of Motion in relation to options for providing Kayaks, Canoes and trailer able Dinghies (up to 5m) beach access to Roches Beach near Lauderdale Canal.

**RELATION TO EXISTING POLICY/PLANS**

Council's Strategic Plan 2016-2026 and Community Participation Policy are relevant.

**LEGISLATIVE REQUIREMENTS**

There are no specific legislative requirements.

**CONSULTATION**

Council expressed interest at the 20 November 2017 Workshop in seeking community feedback on the 16 October 2017 Notice of Motion for Roches Beach Access Options through a public information session.

**FINANCIAL IMPLICATIONS**

There are no funds currently approved for this project.

**RECOMMENDATION:**

- A. That Council authorises the General Manager to co-ordinate a public information session on the Roches Beach access options noted in this Report, to inform and seek community feedback.
- B. That the results of the feedback from the public information session be reported at a future Council Meeting.

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**ASSOCIATED REPORT****1. BACKGROUND**

- 1.1.** The section of dune which incorporates the existing concrete ramp access at the eastern end of the Lauderdale Canal is regarded as the most vulnerable location along Roches Beach due to the low level of dune and limited sand volume. It is highly susceptible to future storm erosion and inundation.

- 1.2. Council has several assets at the rear of the dune including a car park, roadway and parkland. Just to the north of the access is a public toilet built on the dune system.
- 1.3. Following the storm event in July 2011 Council engaged Water Research Laboratory of the University of New South Wales (WRL) to inspect both Roches Beach and Cremorne Beach and provide a priority list of works to assist with the following remedial actions. This site was identified as requiring additional volume and height for the dunes each side of the access. It was also identified as being at risk of immediate coastal erosion for a present day 1 in 100 year Average Return Interval (ARI) erosion event with the extent of the erosion to impact on Council's infrastructure at the rear of the dunes.
- 1.4. Council engaged WRL to investigate options for the site and provide a report to Council on its findings. Council received the report from WRL in March 2013.
- 1.5. The Tasmanian Coastal Adaptation Pathways project (TCAP) identified that this site was vulnerable and maintaining the design height of the dune above storm surge levels from Frederick Henry Bay is necessary.
- 1.6. Council at its meeting of 30 September 2013 approved the following in relation to the Beach Entry Management at Lauderdale Canal:

*"A. That Council authorise the General Manager to consult with the community in relation to the following options;*

- 1. Fill the existing access with a core of sand filled 2.5m<sup>3</sup> bags and cover the core with sand to 3m AHD (an increase of 750mm in height) and revegetate the dune. Provide a DDA compliant access over the constructed dune to the beach that allows for carriage of small water craft and those with mobility difficulty; and*
- 2. The existing access to remain as is.*

*B. The responses from the community consultation to be taken to a future Council Workshop".*

- 1.7.** The community consultation was undertaken in accordance with the above resolution and Aldermen discussed the findings of the consultation process at the Council Workshop held Tuesday 28 January 2014.
- 1.8.** Adopted from the Council Meeting of 17 March 2014:
- “A. *That Council approves, in principle, of the construction of the proposed sand dune and DDA compliant access at the Lauderdale Canal access.*
- B. *That Council authorises the General Manager to obtain approval from Crown Land Services for the proposed sand dune and DDA compliant access at the Lauderdale Canal access.*”
- C. *That Council considers the construction of the proposed sand dune and DDA compliant access at the Lauderdale Canal access as part of the 2014-2015 budget process.*”
- 1.9.** Following a consultant quotation process GHD was engaged and designed a timber DDA ramp from the car park to the beach.
- 1.10.** Quotations for construction of the DDA ramp were sought through Council’s Multi-use Register. Batchelors Construction Pty Ltd were awarded the contract and after obtaining formal Crown Approval built up the dunes to the required level and installed a timber DDA ramp.
- 1.11.** A further 10m extension of the beach access ramp is required to ensure the ramp is embedded into the sand.
- 1.12.** The Roches Beach access options noted in this Report are located at 89A South Terrace, Lauderdale. This is Crown Land held under lease by Council for 99 years from 1 April 1970.

## 2. REPORT IN DETAIL

**2.1.** At the 16 October 2017 Council Meeting, Council resolved (Notice of Motion):

*“That Clarence Council provide beach access to Lauderdale Beach suitable for, but not limited to, Kayaks. Canoes and trailer able Dinghies (up to 5m). Officers to investigate options:*

- *Re-open recently closed access;*
- *Provide a new access North of the previous access;*
- *Provide a new access South of the previous access;*
- *Rectification of the use and safety community concerns of the current ramp including costs and options for access for water craft up to 5m to the Frederick Henry Bay beach in the immediate vicinity of the Lauderdale canal;*
- *The legal/insurance issues related to the opening up of a dune which Council previously resolved to be created, following expert reports and recommendations.*

*by April 2018.*

- *A report be provided to Council by 30 November 2017 informing which of the above options is the most feasible to pursue and whether April 2018 may be affected by the need for Crown approval”.*

**2.2.** Council in its actions has been trying to protect the reserve, services (water main, NBN, sewer) and land behind the previous beach access from coastal inundation from the Roches Beach side.

Erosion of the dune on Roches Beach will result in inundation of the land behind the dune. The boat ramp site would act as a funnel during a storm event, eroding the dune either side, flooding the land and properties along North and South Terrace.

### **Roches Beach side**

Temporary Inundation due to storm surge, can impact on property and services.

**Ralphs Bay Side**

Permanent Inundation due to sea level rise over a period of time, resulting in loss of land.

- 2.3.** Weather events over the years have resulted in significant retraction of the dune face, including approximately 12m depth of dune lost in the 1984 storm event and a further 7 to 8 in 2011. It is likely the existing dune face will suffer the effects of storm event in future years.

- 2.4.** From Climate Change Impacts on Clarence Coastal Areas Report (WRL):

*“Page 58*

- Inundation of low lying areas of Lauderdale is most likely to arise from Ralphs Bay. This side of the isthmus lacks the dunes of Roches Beach. In general, land levels to the Ralphs Bay shore are lower, however in the event that the dunes are lost due to erosion, inundation is also possible from the Roches beach side.*
- Many houses below the 2.0m contour would have only a few centimetres of water with few consequences. However 101 houses are on sites that would have more than 0.3m below the flood level”.*

- 2.5.** Attachment 1 shows the surface ground levels around the eastern end of the canal.
- 2.6.** Attachment 2, Figure 22.8a from WRL Report Coastal Processes, Coastal Hazards, Climate Change and Adaptive Responses for preparation of a Coastal Management Strategy for Clarence City, Tasmania, October 2008 shows potential inundation areas from the Roches Beach side, when houses and Council’s road may be affected.

**2.7.** Climate change impacts on Clarence Coastal Areas Report:

Page 114 – Summary of recommendations: *Assess dune heights along priority beaches (Roches Beach, Cremorne) in detail from LIDAR data, field confirmation. Nourish and revegetate any low, narrow areas. Beach scraping may be sufficient for short term actions.*

**2.8.** From this, Council officers co-ordinated a detailed survey of the dune frontage at the time in 2011 and this identified the previous dune access east of the canal end as the lowest point of dune frontage along the beach.

**2.9.** The WRL Report – Assessment of Beach Entry Management Options at Lauderdale Canal, Roches beach, Tasmania, Report 28 February 2013 stated the following:

- *The study site was identified by Shand et al (2009) as being at risk of immediate coastal erosion for the present day 1 in 100 year average recurrent interval erosion event, with the extent of erosion predicated to impact the Council parking area at the back of the dune and potentially South Terrace Road.*
- *Shand et al (2009) recommends dune reconstruction as a first priority of the study site in order to avoid the immediate erosion and overtopping hazard.*

**2.10.** From the studies WRL recommend:

Design wave run up level: 2.5m AHD

Target Dune Crest Level: 3.0m AHD

The aim of Council's beach scraping work has been to achieve a consistent dune crest of at least 3.0m AHD along Roches Beach.



**2.11.** James Burbury, Maritime Engineer, was engaged to assess the three options included in the Notice of Motion. He notes:

- “• *The design criteria should not conform with the Australian Standards for boat ramps or local recommendations (MAST) as it's not intended to be a formal boat ramp but provide beach access.*
- *The beach access being for cars, trailers, kayaks, canoes etc. to launch from the beach.*
- *Recommends the use of Flexmat – flexible concrete block mattresses”.*

The following options work on the premise of working to a crest level of RL 3.

**2.12. Option – North of Previous Access**

Refer to Attachment 3 for a proposed access North of previous access.

Shown at the location where the existing toilet is to be demolished, this is a flexmat ramp at 1 in 9 grade. It is cut approximately 0.5m into the crest of the existing dune crest; working on the RL 3 ramping down to RL 1.

Comments:

- “• *This option has the advantage of having some existing slope to work with on the car park side.*
- *The disadvantage is the construction consists of hard surfaces into a mobile dune, and therefore subject to erosion on both sides.*
- *WRL suggest rotating the ramp to the North to reduce the gradient and wave run-up.*
- *Timing is dependent on building the new toilet block and decommissioning the existing facility and soakage trenches”.*

**2.13. Option – At Previous Access**

Attachment 4 shows the removal of the existing DDA timber ramp, building up the car park to RL 3 for a flexmat ramp to the beach.

Comments:

- “• *Removes DDA access and a timber ramp which some users may prefer.*
- *Requires significant raising of the car park and road.*
- *The disadvantage is the construction consists of hard surfaces into a mobile dune, and therefore subject to erosion on both sides”.*

#### **2.14. Option – South of Previous Access**

Attachment 5 shows an option South of the previous access. This involves building up the car park to RL 3 at an area between the DDA timber ramp and the location of the new toilet block.

Comments:

- “• *Places greater vehicular traffic movements near the new toilet block.*
- *Requires the road and car park level to be raised.*
- *The disadvantage is the construction consists of hard surfaces into a mobile dune, and therefore subject to erosion on both sides”.*

#### **2.15. WRL Comments**

The University of New South Wales Water Research Laboratory (WRL) was asked to provide some brief comments on the proposals. They advised:

- “• *Generally this type of ramp is protected by a headland or sea-wall to reduce wave impacts when launching and retrieving boats.*
- *Does not comply with Australian Standards for boat ramp design.*
- *Does not comply with MAST requirements for boat launching facility.*
- *Provides a beach access only to allow for launching of small boats.*
- *May increase wave run-up because of relative smoother surface of ramp.*

- *The foreshore will require continual sand nourishment from the impacts of wave action as has been witnessed with the DDA ramp”.*

**2.16.** WRL’s initial recommendations were:

- Recommend to bury the end of the ramp at a depth of 0.5m into the sand, same process as with the timber steps. This will assist with mitigating any curl back of the Flexmat through strong wave action.
- Suggested rotating the ramp anti-clockwise to reduce wave-overtopping and provide more length and lessen the gradient.

**2.17.** Some preliminary costings for these proposals:

North of previous access	\$50k-\$60k
At previous access	\$100k-\$120k
South of Previous access	\$100k-\$120k

Council officers will undertake further work on these costings to review them in readiness for the proposed public information session.

**2.18.** All options are dependent on design and approvals. This could take in the order of 12 months. Estimated construction period depending on the option is 2-3 months.

**2.19. Crown Land Approval**

- Any modifications to the site require Crown consent and approval.
- The DDA ramp work went through a 12 month approval process, with post construction monitoring of the beach.
- Further works to provide beach access could take in the order of 12 months for design and approvals. Estimated construction depending on the option is 2-3 months. Further liaison with Crown Land Services is required.

### **3. CONSULTATION**

#### **3.1. Community Consultation**

Council expressed interest at the 20 November 2017 Workshop in seeking community feedback on the Notice of Motion for Roches Beach Access Options through a public information session.

#### **3.2. State/Local Government Protocol**

Approval from Crown Land Services will be required prior to any further work being undertaken in this area.

#### **3.3. Other**

Nil.

### **4. STRATEGIC PLAN/POLICY IMPLICATIONS**

**4.1.** Council's Strategic Plan 2016/2026 under the A well-planned liveable city, Parks and recreation facilities: *"Create safe, well connected and high quality public open spaces that meet the needs of the community and visitors, with a focus on accessibility and safe design principles"*.

**4.2.** Council's Strategic Plan 2016/2026 under the Goal Area An environmentally responsible city: *"developing climate change adaptation and mitigation action plans to meet the agreed response to climate change impacts"*.

### **5. EXTERNAL IMPACTS**

**5.1.** WRL note the foreshore will require continual sand nourishment from impacts of wave action as has been witnessed with the present built DDA ramp.

**5.2.** Should one of the proposed Roches Beach accesses be installed, Council will hold continual responsibility to undertake this.

**5.3.** The cost to Council from this responsibility cannot be quantified.

**6. RISK AND LEGAL IMPLICATIONS**

- 6.1.** Should Council make the decision to re-open the dunes and reinstate the area the way it was before the recommendation made by WRL Consultants, then there needs to be an assessment to look at the possibility of exposing persons and property to injury/damage or other financial claims by persons (whether caused by water inundation or erosion of the banks and/or private land).
- 6.2.** LMI believes that it is Council's role to ensure that all the necessary and correct advice has been sought by the right entities, consultants and solicitors etc., in order to back up any decision making by the Council.
- 6.3.** WRL recommend embedding the Flexmat to RL 0.5 AHD. There is the possibility of the Flexmat being lifted during a storm event.

**7. FINANCIAL IMPLICATIONS**

There are minimal financial implications in undertaking a public information session to seek community feedback on options for providing further beach access to Roches Beach.

**8. ANY OTHER UNIQUE ISSUES**

Residents have expressed concerns in there being vehicular/trailer beach access to Roches Beach to attend to emergencies.

**9. CONCLUSION**

- 9.1.** During the installation of the DDA ramp at the previous access a number of residents expressed concerns with not being able to launch their kayaks, canoes and dinghies at this location of Roches Beach.
- 9.2.** Council officers presented the Notice of Motion options to Council at 20 November 2017 Workshop.

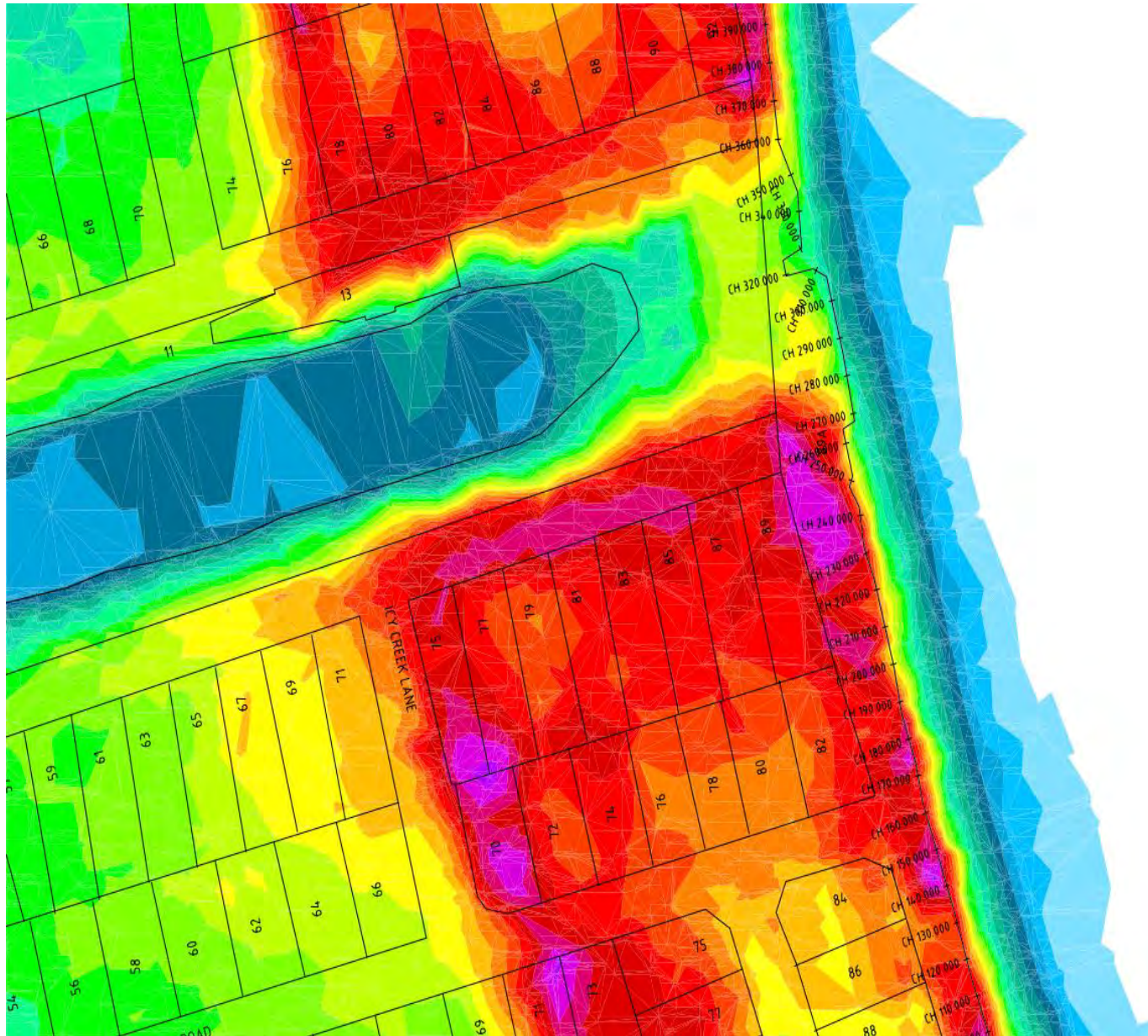
- 9.3.** It is recommended Community feedback be sought on the options of providing access to Roches Beach near the eastern end of the Canal.

- Attachments:
1. Lauderdale Levels around Canal (1)
  2. Potential Inundation Areas from Roches Beach side (1)
  3. Option – North of Previous Access (1)
  4. Option – At Previous Access (1)
  5. Option – South of Previous Access (1)

Ross Graham

**GROUP MANAGER ENGINEERING SERVICES**

# Attachment 1



No.	From Level	To Level	Colour
1	-0.500	-0.250	Light Blue
2	-0.250	0.000	Blue
3	0.000	0.250	Dark Blue
4	0.250	0.500	Teal
5	0.500	0.750	Dark Green
6	0.750	1.000	Green
7	1.000	1.250	Light Green
8	1.250	1.500	Yellow-Green
9	1.500	1.750	Yellow
10	1.750	2.000	Light Yellow
11	2.000	2.250	Yellow
12	2.250	2.500	Orange
13	2.500	2.750	Light Orange
14	2.750	3.000	Orange
15	3.000	3.250	Red-Orange
16	3.250	3.500	Red
17	3.500	3.750	Dark Red
18	3.750	4.000	Magenta
19	4.000	4.250	Pink
20	4.250	4.500	Light Purple
21	4.500	4.750	Purple
22	4.750	5.000	Dark Purple



## Attachment 2



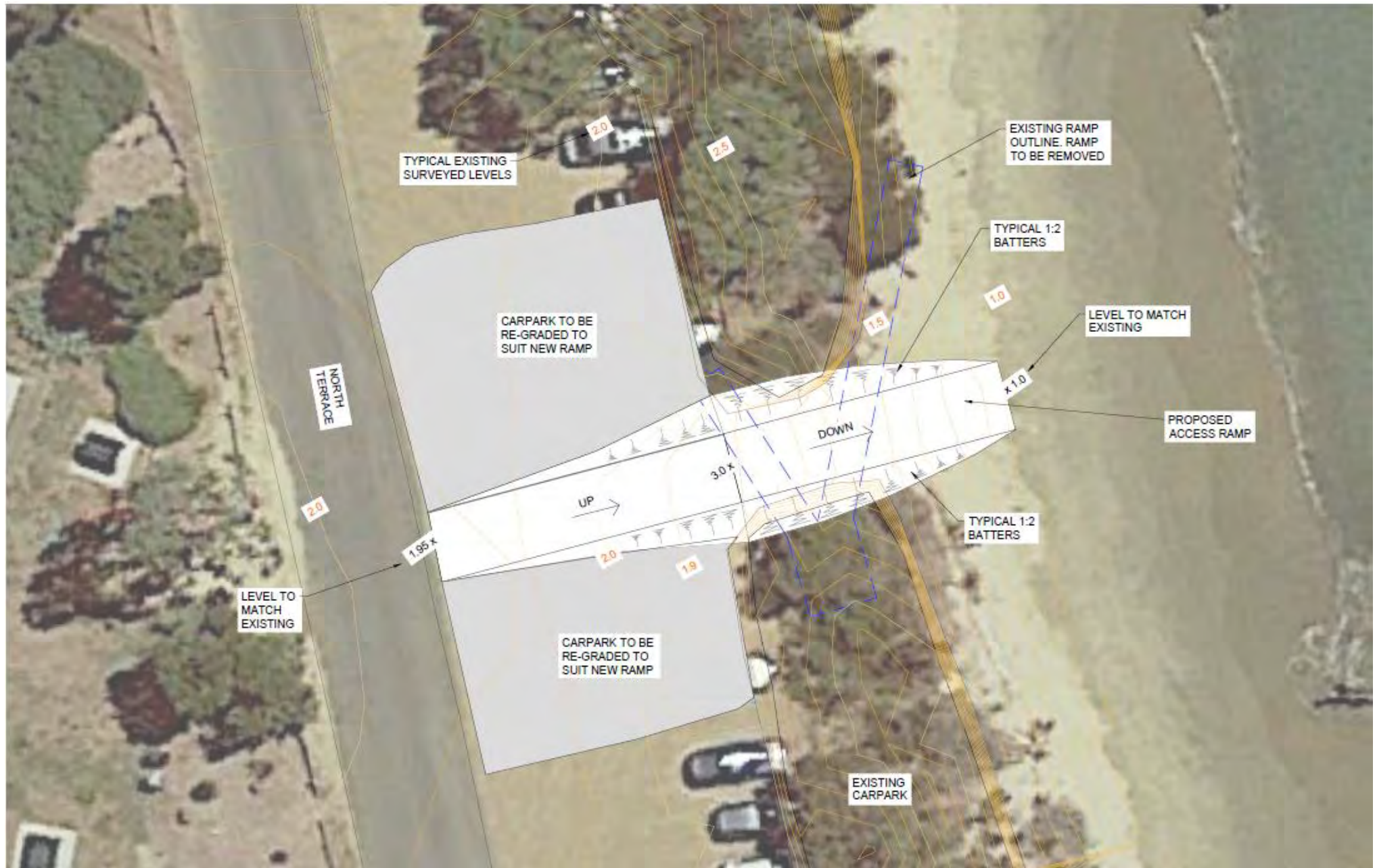


### Attachment 3





# Attachment 4





## ATTACHMENT 5



**11.6 FINANCIAL MANAGEMENT**

Nil Items.

**11.7 GOVERNANCE****11.7.1 CULTURAL HISTORY PLAN REVIEW**

(File No 24-03-06)

**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is for Council to consider adopting the draft revised Cultural History Plan. The plan will provide strategic direction for Council in the area of cultural history and associated activities and events, through emphasis on the stories that are important to the history and development of Clarence.

**RELATION TO EXISTING POLICY/PLANS**

- Cultural Arts Plan 2012-16;
- Cultural Heritage Interpretation Plan 2012;
- Economic Development Plan 2016-2021;
- Clarence Events Plan 2014-2018;
- Clarence Tracks and Trails Strategy 2012;
- Clarence Bushland and Coastal Strategy 2011;
- Clarence Interim Planning Scheme 2015;
- Collections Management Policy 2010;
- Community Health and Wellbeing Plan 2013-2018;
- Reserve Activity Plans;
- Positive Ageing Plan 2012-2016;
- Public Art Code;
- Public Open Space Policy 2013;
- Richmond Bridge Conservation Management Plan 2010 (DIER);
- Richmond Cultural Resource Management Plan: Volume 1 – Key Issues; Recommendations (2001), Volume 3 – A thematic History of the Cultural Resources of the Township of Richmond and Statement of Cultural Significance (2000);
- Richmond Townscape Study 2014 (updated 2017);
- Disability Access Plan 2014-2018; and
- Youth Plan 2008-2012.

**LEGISLATIVE REQUIREMENTS**

Nil.

**CONSULTATION**

Internal consultation and consultation with key stakeholder groups has occurred during the review of the Cultural History Plan.

**FINANCIAL IMPLICATIONS**

Implementation of the strategies in the Cultural History Plan will be through the Annual Plan - Communities and People.

**RECOMMENDATION:**

That Council adopts the revised Cultural History Plan 2018 – 2023.

---

**ASSOCIATED REPORT****1. BACKGROUND**

- 1.1. Council's first Cultural History Plan 2009 – 2013 was adopted in 2008.
- 1.2. The purpose of the 5 year plan was to provide strategic direction for Clarence City Council for the preservation and promotion of the city's Cultural History, including the active engagement of the community.
- 1.3. The aim of the Plan was to provide direction in the area of cultural history and associated activities and events through emphasis on the stories that are important to the history and development of Clarence, including indigenous and non-indigenous history.
- 1.4. The plan was developed through rigorous community consultation to determine key strategies and actions for the City's Cultural History and as a result the Plan provided an environment for the development of a range of activities and events to celebrate and preserve the City's cultural history.

**2. REPORT IN DETAIL**

- 2.1. The review of the Cultural History Plan and its associated strategies is consistent with Council's Strategic Plan 2016 – 2026: A Creative and Innovative City: Goal: *"Clarence is a city that fosters creativity, innovation and enterprise"*. Strategy 5.7: *"Develop a framework for the identification, preservation and promotion of the unique cultural history of Clarence and the further development of cultural tourism"*.



- 2.2.** The review of the plan has allowed evaluation of what we achieved and what we did not. The revised plan identifies new activities and programs that can be considered in the context of Annual Plans for the next 5 years. It has also identified where the Cultural History Plan sits in relation to other more recent Council plans.

### **3. CONSULTATION**

#### **3.1. Community Consultation**

A consultant was engaged to assist with a community consultation program and present a report summarising the key findings. Consultation with identified stakeholders took the form of:

- a workshop with community members (including Cultural History Advisory Committee members) to gather feedback on the performance of the existing plan and seek ideas and priorities for new plan;
- targeted interviews with those stakeholders who were unable to attend the workshop; and
- invitations to provide written feedback from community and stakeholders.

#### **3.2. State/Local Government Protocol**

The consultation process involved liaison with Tasmanian Parks and Wildlife, Heritage Tasmania and Aboriginal Heritage Tasmania.

#### **3.3. Other**

Internal discussions were held with key Council officers on the development of the Cultural History Plan.

**4. STRATEGIC PLAN/POLICY IMPLICATIONS**

The implementation of the Cultural History Plan and its associated strategies is consistent with Council's Strategic Plan 2016 – 2026: A Creative and Innovative City: Goal: *“Clarence is a city that fosters creativity, innovation and enterprise”*. Strategy 5.7: *“Develop a framework for the identification, preservation and promotion of the unique cultural history of Clarence and the further development of cultural tourism”*.

**5. EXTERNAL IMPACTS**

Maintaining and developing working partnerships with external organisations is identified in the Plan.

**6. RISK AND LEGAL IMPLICATIONS**

Nil.

**7. FINANCIAL IMPLICATIONS**

Implementation of the strategies in the Cultural History Plan will be through the annual plan and capital works program, with priorities identified annually.

**8. ANY OTHER UNIQUE ISSUES**

Nil.

**9. CONCLUSION**

**9.1.** The Cultural History Plan provides a strategic framework and identifies specific opportunities and projects to be addressed over a 5 year period.

**9.2.** The Plan will facilitate more effective cross work group collaborations within Council areas including Health and Community Development, Asset Management and City Planning.

Attachments: 1. Draft Cultural History Plan 2018-2023 (28)

Andrew Paul  
**GENERAL MANAGER**

# CULTURAL HISTORY PLAN

2018–2023



Clarence...  
a brighter place

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# CULTURAL HISTORY PLAN

2018–2023

## BACKGROUND

In 2008 Council endorsed the Clarence Cultural History Plan 2009-2013 (2009 Plan). The 2009 Plan was developed following comprehensive community consultation. This ensured that it had a specific focus on the areas of cultural history that were identified by the community as having the greatest importance and relevance.

## KEY STATEMENT

The purpose of the Cultural History Plan 2018–2023 (2018 Plan) is to provide strategic direction for Clarence City Council (CCC) for the recognition, management and promotion of cultural history within the City.

The focus of the 2009 Plan was on sharing the stories, both indigenous and non-indigenous, that are important to the history and development of Clarence.

As a result of the 2009 Plan a Cultural History Advisory Committee (CHAC) was formed in 2009 to assist with implementation, monitoring and review of the strategies and actions contained within the plan.

## REVIEW

A review of the 2009 Plan has been undertaken. Whilst the aim of the 2009 Plan and the intent of the strategies contained within it are still relevant, there was a need to review and update the actions in light of what had (and hadn't) been achieved and to identify new actions to take the Plan into the next five years.

It is also acknowledged that the current 'planning landscape' is quite different to when the original plan was written in 2008. Since the 2009 Plan was endorsed the CHAC was created, a part-time History Officer has been employed by Council, technology has changed and social media is now much more prevalent. In addition, when the original plan was written there was no earlier plan to work from thus the plan was breaking new ground for Clarence City Council in this area.

Despite these differences the 2009 Plan has proven to be both a useful and well-used framework for the preservation and promotion of the City's Cultural History. It provides an excellent basis from which to develop a new plan to take CCC and the community into the next five years and beyond.

## WHY IS A CULTURAL HISTORY PLAN NEEDED?

The recognition, preservation and promotion of the cultural history of a community encourages a sense of pride and participation in that community's cultural life. The conservation of cultural history includes not only the preservation of the old but also the need to acknowledge the evolution of the new. It is this balance between old and new that is the hallmark of a rich and productive culture.

Recognising, valuing and sharing the rich inheritance from the past enables and encourages participation in the cultural history of Clarence.

Historical values are found in a variety of forms within any community, for example:

- landscape;
- sites of significance to the Aboriginal people of Tasmania;
- influences and contributions of different migrations;
- places that reflect the cultural memory of diverse groups within the community; and
- the cultural icons of settlement.

The specific focus of the 2018 Plan relates to those areas of cultural history that have been identified by the community as having most importance and relevance to them.

*\*See Note on page 8 regarding natural and built heritage*

## WHAT DID THE 2009 PLAN ACHIEVE?

The 2009 Plan resulted in a number of significant achievements including:

### **Establishing the Cultural History Advisory Committee**

This committee, established in 2009, meets quarterly to assist Council with implementing the actions of the 2009 Plan.

### **Engaging a part time History Officer**

Council employed a part time (2.5 days/week) History Officer in 2010 to assist with implementation of the 2009 Plan, support local history groups and societies and respond to community requests.

### **Instigating a city wide interpretation project**

The street names interpretation project commenced in Bellerive and has subsequently been implemented in Lindisfarne, Rokeby, Lauderdale, Risdon Vale and South Arm. Each year the CHAC nominates a new area for the interpretive signage. Originally the project focused on explaining the origins of important street names. The scope has since been broadened to include general historical information and features of interest. Funding is allocated for one new location per year.

### **Staging three major and several smaller exhibitions**

Three major exhibitions relating to cultural history have been staged during the life of the 2009 Plan.

*'A City Divided: The Tasman Bridge Disaster'* which included rarely seen memorabilia and specially recorded oral histories. This exhibition, held at Rosny Barn, attracted record crowds of 3400 people to its first showing. Due to its popularity it was subsequently shown in a trimmed down version in January 2015 for the 40th anniversary of the disaster. A further 1100 people attended the second showing.

*'Centenary of Anzac: Service at Home and Abroad'* to mark the 100th anniversary of the Gallipoli campaign.

*'What would you take: The 67 Bushfires'* retold the stories of the 1967 Black Tuesday bushfires through a unique mix of community participation and archival material.

Other smaller exhibitions have included Art Deco and the Jazz Age held in the Schoolhouse Gallery.

### **Hosting or participating in a number of special events**

A very successful gala dinner was held to celebrate the 150th anniversary of Australia's first cookbook which was written by Edward Abbot, the first Warden of Clarence.

Other events included:

- the Bicentennial celebration of Governor Lachlan Macquarie's 1811 tour of Van Dieman's Land held in November 2011 at Lauderdale.
- a walk and talk along the South Arm Heritage Trail titled 'Tragedy, transportation and triumph - a rediscovery of the life of James Kelly' was held for Heritage Month 2016.



**Receiving \$44 650 in Federal and State funding to assist with major projects**

Funding of \$22 350 was received to develop an exhibition and commission a sculpture at Montagu Bay Park to commemorate the Tasman Bridge disaster and the impacts of the disaster for the eastern shore and community of Clarence. Under a separate grant, \$10 000 was received to develop the major Anzac Centenary Exhibition. \$12 000 was received to assist in the development of a project to commemorate the 50th anniversary of the 1967 Bushfires which was held at the Schoolhouse Gallery in January 2017.

**Developing an Interpretation Plan for the city**

A Cultural Heritage Interpretation Plan was produced in 2012. It identified key messages/themes to be presented and reinforced citywide whilst still allowing site-specific stories to be told.

**Improving the history content on the CCC website and providing articles for various newsletters**

To complement the actions in the Plan, Council has improved the history content on its website and included regular stories of historical interest in its rates newsletter, Arts newsletter, eNewsletter and Council's social media platforms. Oral histories recorded for the 'Tasman Bridge Disaster' exhibition have also been added to the CCC website.

**Providing advice and assistance to many individuals and groups within the community**

The History Officer has given an average of 45 presentations per year to history and other interest groups. He also assisted community groups with preparing grant applications and newsletters, event promotion, collection advice and technical support.

## WHAT DIDN'T THE 2009 PLAN ACHIEVE?

Whilst the review of the 2009 Plan revealed some significant achievements, it also helped identify areas where further action is required, including:

**Resolution around a history room/visitor information centre**

The 2009 Plan identified a strong desire by some members of the community for a history room/visitor information centre. During the life of the original plan (and indeed prior to the development of the plan) various proposals have been put forward and some investigations have been undertaken but there has as yet been no resolution as to the best way to proceed.

**Interpreting Aboriginal heritage**

In terms of interpreting Aboriginal heritage, there are differing views within the Aboriginal community, as there are within any community group. This has unfortunately resulted in less focus on Aboriginal heritage than might otherwise have been the case. However there is no reason why this should impede Council from progressing sensitive interpretation of the rich Aboriginal heritage within Clarence. Recent discussions with Aboriginal Heritage Tasmania (AHT) have opened a positive path forward, which is identified in Strategy 1, Action 4 of the new plan (see page 10).

**Promotion of the Bowen Historical Site**

This site is historically significant but challenging to promote and interpret due to the issues raised above. Land ownership and access issues are also part of the challenge here (see scoping report by Gabrielle Balon 2013). Resolution of this issue would best be approached by the proposed Aboriginal heritage consultant (See Strategy 1, Action 4, page 10).

## OBJECTIVES AND PURPOSE OF THE 2018 PLAN

The Cultural History Plan aims to characterise Clarence as a place, both today and in the past. It seeks to bring history to life, to encourage active engagement with it and make history both accessible and relevant to the community.

The objectives and intention of the 2009 Plan are still relevant and have been retained with minor modifications in response to findings of the consultation process. However, the delivery of these objectives will change in the 2018 Plan with a new set of actions to move into the next five year planning cycle and beyond.

### Key Objectives

**The 2018 Plan has the following objectives:**

Identify the stories that hold significant cultural/historical value for the people of Clarence

---

Recognise the places, events and objects that reflect the cultural memory and history of the diverse groups that make up the Clarence community

---

Develop a framework for the preservation and promotion of the unique cultural history of Clarence

---

Encourage the community to participate in the history of their city

---

Consider the scope for further development of cultural tourism within the City of Clarence

---

Find better pathways for acknowledging and interpreting the city's Aboriginal heritage and history

---

**It is intended that the 2018 Plan will provide Council with:**

- A **framework** for the development of programs which value the living history of Clarence
- A strategic, long-term approach for **engagement** with the community
- An opportunity to make the most of available **resources**
- Direction for seeking and attracting **funding** from State and Federal governments
- Direction to develop strategic **alliances** with business, tourism ventures and community groups
- Direction to meet the **expectations and aspirations** of a target community within Clarence

\*Note: It is beyond the practical scope and outside the area of responsibility of the 2018 Plan to include approaches to the built or natural heritage of Clarence (as was the case with the 2009 Plan). This area is the responsibility of Council's City Planning Group with advice from Council's heritage architect and informed by the Clarence Interim Planning Scheme 2015.

However this plan recognises that CHAC members may from time to time wish to make recommendations to different Council areas in regard to such matters as development in areas of high cultural significance as well as parks, reserves and monuments.

## ABBREVIATIONS/ACRONYMS

Cultural History Plan for Clarence 2009 – 2013	2009 Plan
Cultural History Plan for Clarence 2018 – 2023	2018 Plan
Clarence City Council	CCC or 'Council'
Cultural History Advisory Council	CHAC
Parks and Wildlife Service	PWS
Aboriginal Heritage Tasmania	AHT
Aboriginal Heritage Council	AHC

# KEY STRATEGIES

## STRATEGY 1

### Capture and retell stories

**Capture and retell the stories of Clarence's rich and diverse living and evolving history.**

## ACTIONS

### High priority actions

- 1. Consult with history and community groups as to the envisaged usage of a community history centre, storage and display facility, and what resources would be required, for local history collections in a local context.**

LONG  
TERM

\*All considerations must be made in the context of ongoing debate regarding possible council amalgamations/shared services and it is not appropriate to progress this action until resolution is reached.

\*Any consideration for a community history facility has to be made in the context of previous research conducted by Council as to the feasibility of a 'Visitor Information Centre' which clearly concluded that the combination of history centre and visitor information centre has now been rendered obsolete by advances in digital technology. However, as discussed in *Key Findings* there is a very strong desire in the community for a central history centre which could allow for a shared space for all history groups in the city to meet, store collections, and mount displays. Refer to *Business Case Analysis into the Establishment of a Visitor Information Centre at Richmond Historic Village* (Creating Preferred Futures 2011)

\*In addition, any discussion regarding such a facility must be made in the context of the *Kangaroo Bay – Rosny Park Cultural Precinct Strategic Development Framework* which is being developed by Council. (Creating Preferred Futures Draft 2016)

**2. A formal offer has been received from the State Government for the transfer of the managing authority of the Kangaroo Bluff Historic Site from Tasmanian Parks and Wildlife Service to Council.**

**MEDIUM  
TERM**

Prior to a formal consideration of consent to transfer the Council will undertake further due diligence regarding the proposal. Council has committed funds to carry out due diligence including the updating of the Strategic Asset Management Plan.

Any proposals for the future use of the site must be considered in the context of the *Kangaroo Bay – Rosny Park Cultural Precinct Strategic Development Framework* and *Economic Development Plan 2016-2021*. Such proposals should seek the input of Aboriginal Heritage Tasmania to ensure the inclusion of Aboriginal cultural heritage.

**3. Ensure that the ongoing redevelopment of Kangaroo Bay includes creative interpretation of the rich history associated with this site.**

**LONG  
TERM**

This history includes Aboriginal heritage, ferries, railways and more. Consider how these stories could be reflected through design elements, art installations, performance and events rather than just panels. Interpretation of Aboriginal cultural heritage to be undertaken with the input of Aboriginal Heritage Tasmania. Interpretation to be included in Council assets and private developments where possible. Council to liaise with private developers on the inclusion of interpretive elements and public art.

**4. Engage the services of a suitably qualified person with expertise in Aboriginal heritage on a needs basis to liaise between Council and Aboriginal communities, organisations and individuals.**

**SHORT  
TERM**

A key role of this consultant will be to develop and implement a plan to interpret Aboriginal heritage within Clarence and provide advice to Council on culturally appropriate content in Council projects.

The proposed Aboriginal heritage consultant will engage with Aboriginal Heritage Tasmania, which is the organisation responsible for the protection of Aboriginal cultural heritage in Tasmania under the Aboriginal Heritage Act 1975. The AHT and associated Aboriginal Heritage Council have expressed an interest in working with Council in this area.

Two of the key issues that such a plan should consider are:

- Interpretation options for Bedlam Walls. This reserve is now wholly managed by CCC, after PWS completed removal of the old walkway infrastructure in 2012 (due to safety issues) and cancelled their lease over this area.
- Opportunities to better promote the Risdon Cove Historical Site in cooperation with Aboriginal communities, organisations and individuals.

- 5. Develop an action plan for Richmond which identifies the priority actions for celebrating, promoting and interpreting cultural history for the next 5 years in collaboration with existing stakeholders such as the Richmond Advisory Committee and Richmond and Coal River Valley Promotions Group.**

LONG  
TERM

Examples of such actions might include:

- A well researched self guided walk for Richmond (see [www.stanleyheritagewalk.com.au](http://www.stanleyheritagewalk.com.au) for an example of such a walk) available as a phone/tablet app.
- A cycle/drive trail through the Coal River Valley to explore the agricultural heritage, both past and present.
- Explore options for the interpretation of Aboriginal heritage in the Coal River Valley.

### Lower priority actions

- 6. Consider the following aspects when planning for interpreting Clarence's history:**

ONGOING

- What is the best way to tell the story? Static panels are often used but is there a better way e.g. through design elements as part of an associated structure, through art installations, a performance or an event? Think creatively.
- Explore options for promoting community interest in Clarence's history through emerging digital media.
- Be responsive to the setting and consider how the interpretation will 'sit' within the site. It can sometimes be good to include some interpretation which is slightly hidden or provides a sense of discovery or reward for those people who look more closely.
- Ensure that for all new interpretation structures there is a budget allocation for future maintenance and replacement.
- Carefully consider the need for publications, as these can often end up stockpiled/unused. Where/how will hard copies be distributed? Is there a better alternative e.g. web based information, QR codes etc.

- 7. Identify which of the reserves that CCC manages have significant cultural heritage values and advise Council's Asset Management staff of this list.**

ONGOING

When Reserve Activity Plans are being prepared or reviewed for these reserves Asset Management staff should liaise with the History Officer and Aboriginal heritage consultant to enable consideration of how the site/area's history could be incorporated into these plans and interpreted onsite in whatever manner is appropriate to that site.

- 8. Encourage and support history groups and community members to record and preserve the knowledge/stories/information/photos of life in Clarence held by Clarence residents who have a rich/extensive knowledge base before it is lost.**

ONGOING

- 9. Remove the out of date '150 year' signs at the airport and on the Tasman Bridge exit.**

SHORT  
TERM

- 10. Explore ways to utilise new media and digital platforms to provide regular history articles and also allow community members to upload their own stories, images, etc., in order that they may be shared with the community and safely stored for posterity. This action may include the use of websites, social media and smart phone 'apps', depending on the suitability of any given platform to the tasks required of it.**

SHORT  
TERM

## HOW SHALL WE MEASURE THE PLAN'S SUCCESS?

Consultations have been carried out with history and other community groups and other relevant stakeholders to ensure their views are considered in the ongoing development of the Cultural/Creative precinct

Council to consider options for the management of the Bellerive Bluff Fort based on the completion of due diligence

The history of Kangaroo Bay has been interpreted in varied and creative ways

An Aboriginal heritage consultant has been engaged and a plan to interpret Aboriginal heritage has been developed and is being implemented

An action plan to interpret cultural history at Richmond has been produced and is being implemented

Cultural history interpretation in Clarence is creative, responsive to setting, provides a sense of discovery and has an attached allocation for future maintenance and replacement

All historically themed publications produced by Council are well used and not stockpiled

A list of reserves that CCC manages that have significant cultural heritage values has been compiled and this information is being used by Asset Management staff when preparing Reserve Activity Plans

The '150 year' signs at the airport and on the Tasman Bridge exit have been removed/replaced

Appropriate new media platforms have been established which allow for digital publication of regular history articles and allow for the storage and sharing of contributions from the community such as stories and images



## STRATEGY 2

### Encourage participation

Invoke a sense of identity and place in the community by encouraging the community (and visitors) to participate in the cultural history of Clarence in meaningful and relevant ways.

#### ACTIONS

##### Higher priority actions

1. Improve public access to Council's History Officer.

SHORT  
TERM

2. Continue to provide support to history groups and societies with regular talks, assistance with grant applications and newsletters, events and event promotion, collection advice and technical support in any manner that will assist them to preserve and promote the City's history.

ONGOING

3. Continue to support the CHAC.

ONGOING

4. Raise awareness of the CHAC, CHP and History Officer across Council, Aldermen and broader community.

Explain what the CHAC does (and doesn't do) and how people can raise issues for consideration. Do this via the Council website, media articles, letters to history groups and via internal staff communication opportunities. Investigate opportunities for holding CHAC meetings in the community.

SHORT  
TERM

5. Participate in Heritage Month, coordinated by the National Trust (Tasmania), each year and any other significant and relevant events coordinated by other bodies.

ONGOING

## Lower priority actions

6. Where possible, link events into existing celebrations e.g. hold a History Walk during Seniors Week. This will maximise promotion and potentially attract new audiences.	ONGOING
7. Aim for a mixture of events across Clarence.	ONGOING
8. Develop a timeline of significant dates in Clarence to enable events to be planned around these. John Sargent's publication 'Days gone by in Clarence – a chronological history of significant dates and events' is a useful resource for this.	SHORT TERM
9. Contact local schools to raise awareness about what Council can provide to help support their teaching about local history e.g. publications, presentations by the History Officer etc.	SHORT TERM
10. Actively seek opportunities to cross promote activities across Council committees and programs. The CHP and its associated activities have natural links to Council's policies relating to positive ageing, community health and wellbeing, tracks and trails amongst others.	MEDIUM TERM
11. Investigate ways to encourage younger members of the community to engage with cultural history.	MEDIUM TERM
12. Ensure that the celebration of the cultural history of Clarence is both inclusive and representative. Be aware that some aspects of our history e.g. our multicultural heritage or some locations in Clarence may have been overlooked in the past, yet their history is equally valid and important.	ONGOING
13. Regularly consider and actively seek out opportunities to partner with other organisations/groups/private industry on history projects. This can help limited resources to stretch further and increase the number and range of people involved with, and aware of, a project.	ONGOING

## HOW SHALL WE MEASURE THE PLAN'S SUCCESS?

Access to the History Officer has been increased

225 (45 /year based on current estimates) talks/presentations have been given to history groups and societies

Assistance with grant applications and newsletters, events and event promotion, collection advice and technical support has been provided where needed to history groups and societies

5 events have been held during Heritage Month

5 events during Seniors Week have been held

A mixture of events across Clarence have been held

20 meetings of the CHAC have been held – several of these have been held in the community

Each of the Aldermen have received a copy of the final 2018 Plan with an associated letter outlining the role of the CHAC and History Officer

Each of the history groups and societies in Clarence have received a letter advising that the 2018 Plan has been finalised and outlining the role of the CHAC and History Officer

Information about the role of the CHAC and History Officer has been placed on the CCC website

A timeline of significant dates in Clarence has been compiled and events to acknowledge these have been held

All local schools have been contacted to raise awareness about what Council can provide to help support their teaching about local history e.g. publications, presentations by the History Officer etc.

Links between the CHP and other areas of Council (e.g. positive ageing, community health and wellbeing, asset management and city planning etc.) have been strengthened

An increased number of younger members of the community are engaging with cultural history

Celebration of the cultural history of Clarence is both inclusive and representative

Partnership opportunities with other organisations/groups/private industry involved with cultural history have occurred

## STRATEGY 3

# Improve collection management

Improve the management and preservation of collections and records.

## ACTIONS

### Higher priority actions

1. Encourage and facilitate sharing of skills and knowledge between history groups and societies about recording oral histories and maintaining these recordings.	ONGOING
2. Continue to assist local history groups where required in the conservation, promotion and cataloguing of their collections.	ONGOING
3. Coordinate with local history groups to encourage digital storage of oral histories on Council facilities in order to provide a backup system.	ONGOING

### Lower priority actions

4. Acknowledge that collections management is a huge task, especially for volunteer groups. Assist groups to prioritise collection management tasks.	ONGOING
--	---------

## HOW SHALL WE MEASURE THE PLAN'S SUCCESS?

History groups and societies are sharing their skills and knowledge about recording oral histories and how to maintain these recordings

A digital database has been created by Council to store backup copies of oral history recordings held by history groups and societies

Groups have been assisted to prioritise collection management tasks

# DEFINING CULTURE, HERITAGE AND HISTORY

For the purposes of this Plan, cultural history is taken to mean the community's inheritance from the past, relating to stories and knowledge, whether this is in written or oral form.

## CULTURE

There are many definitions of culture. However the common feature is a recognition of the integral relationship of culture to human society – it is evolutionary, it is diverse, it is an essential part of who we are and a way of defining who we are. It is about how the environment impacts on us and how we react to our environment as individuals and as a community.

Culture includes:

- Education
- Religion and beliefs
- Urban and environmental design
- Heritage
- Arts and entertainment
- Sports and leisure
- Tourism
- Politics
- The media (TV, radio, social media)

## CULTURAL HERITAGE

Cultural heritage is the community's inheritance from the past which provides evidence of human occupation or endeavour. Cultural heritage can exist in many forms including:

- Built heritage
- Cultural landscapes
- Moveable heritage (artefacts)
- Intangible heritage (folklore, ideas, customs and knowledge)
- Rituals and ways of life
- Archaeological sites

## HISTORY

History is the stories and knowledge of the past, whether this is in written or oral form. History contributes to the understanding and awareness of places of cultural heritage.

# SCOPE

This Plan is intended to value the living history of the City of Clarence.

The main historical themes identified during the consultation for the 2009 Plan were:

- Indigenous relationship with the land and early European activity
- Early settlers, farming and townships
- The development of Clarence
- Times of hardship
- Shipping and transport
- Industry
- Significant events in the history of Clarence e.g. the Tasman Bridge disaster

In developing the 2009 Plan there were also a number of key aspects of cultural heritage that were considered for inclusion. These were:

- Built heritage and urban character
- Cultural landscapes
- Moveable heritage (artefacts)
- Intangible heritage (folklore, ideas, customs and knowledge)
- Rituals and ways of life

These themes and key aspects also apply to the 2018 Plan.

The above themes and aspects of cultural heritage are, to some extent, represented in this Plan. However, the extent of each varies, and has been informed by the results of consultation with the community, Aldermen and Council staff.

As outlined on page 8 it is beyond the practical scope of the 2018 Plan to include approaches to the built or natural heritage of Clarence. Built heritage is the responsibility of Council's City Planning group with advice from Council's heritage architect and informed by the Clarence Interim Planning Scheme 2015 and natural heritage is the responsibility of the Asset Management Group.

However, it is acknowledged that this was a concern that presented itself during community consultation for both plans and this concern is addressed on page 8 of this plan.

# CONSULTATION

## Consultation for the 2009 Plan

There was thorough community consultation during the preparation of the 2009 Plan including:

- A call for written submissions from a large number of stakeholder groups
- 15 interviews with selected key stakeholder representatives
- Distribution of 130 questionnaires

There was also consultation with Council staff across all areas that the plan was expected to intersect.

Key findings from this consultation process demonstrated that the current management of cultural history in Clarence by Council was regarded as good in some areas, though lacking in others. The strengths were considered to include the interest that CCC is taking in its cultural history and the implementation of interpretation signs. Weaknesses included a lack of strategic direction. Built heritage was of a particular concern, including the threat of inappropriate development. Lack of management and the threat of loss of records, stories and photographs were also of concern.

## Consultation for the 2018 Plan

Due to the comprehensive nature of consultation for the 2009 Plan the themes and key findings were not expected to have changed significantly. The focus of the consultation for the review of the plan was to assess how the existing plan had performed and generate ideas and actions to take the plan into the next five years.

The review process for the current Plan is outlined below.

## Strategy review of the 2009 Plan

Each action under the three strategies in the 2009 Plan were examined to determine what progress had occurred and whether the action should be included in the 2018 Plan.



### Consultation with Council staff

A workshop and meeting with CCC staff from work areas that interact with the 2009 Plan were conducted in December 2015. Staff from the following areas attended: *Marketing and Communications, Arts and Events, Asset Management, City Planning and Youth and Community Development*.

Council staff were asked to:

- Identify the area/s of the plan relevant to, or that had crossovers with their work area
- Provide feedback or input on actions that had impacted upon their area
- Offer suggestions on how better to take an integrated approach across work groups
- Report on how the plan impacted on or was impacted upon by other Council plans relevant to their area
- Provide suggestions on possible new programs/strategies for taking the plan into the next five years.

This event generated a range of ideas and revealed some interesting crossovers with different work areas.

### Alderman workshop

A workshop was held with Aldermen to seek input and approve the community consultation approach for the review.

### Community consultation workshop

A community consultation workshop was held on 5 April 2016 at the Rosny LINC. Letters of invitation were sent out to key stakeholders including: CHAC members, local history group representatives, relevant state government agencies, Aboriginal organisations and interested community members.

The workshop was advertised in The Mercury and Eastern Shore Sun newspapers, through Council newsletters and social media platforms. People who were unable to attend the workshop were invited to send written or verbal comments.

A list of workshop attendees and people who submitted feedback after the workshop can be found in Appendix A.

At the workshop a summary of what the 2009 Plan had achieved was presented and an explanation of why a review was needed was discussed. Each of the actions under the three strategies in the 2009 Plan were assessed to determine what was still relevant, what wasn't complete and what should be carried forward into the new plan. This was followed by a brainstorming session to generate new ideas to take the 2018 Plan into the next five years.

# SUMMARY OF KEY FINDINGS

The key findings from the CCC staff workshop and meeting, the community workshop, plus a small number of written comments from people who were unable to attend the community workshop are listed below:

## History room/Visitor information centre

Over the years there have been a number of community representations for a history room/visitor information centre. The community workshop strongly supported addressing this once again in the 2018 Plan. It was acknowledged that a centre would require significant resources to establish and staff. It was also acknowledged that the audiences for local history interpretation and visitor information, whilst having some overlap, are quite different. A need to scope all the different options was identified with particular recognition that the landscape for interpretation has changed significantly since the 2009 plan, and it was widely recognised that there is a much greater emphasis now on digital resources rather than a 'bricks and mortar' approach.

## Aboriginal heritage

There is an incredibly rich and significant Aboriginal heritage in Clarence e.g. Risdon Cove, Bedlam Walls, numerous midden sites etc. Interpreting and celebrating this has always been challenging for CCC as there are differing views within the Aboriginal community. There is a strong desire to acknowledge and interpret this better but uncertainty as to how best to approach this.

## Working with other agencies/organisations

How can CCC strengthen links and work better with agencies such as Parks and Wildlife Service. (PWS)

## Richmond

There is significant potential/need to increase the interpretation of the cultural history of the town plus the Aboriginal and agricultural heritage of the region.

## Community Halls and other buildings/assets

Council holds a stock of community halls and other assets some of which have a rich history but are underutilised. (refer Appendix B)

## SUMMARY OF KEY FINDINGS

### Design and maintenance of interpretation

Interpretation needs to be responsive to the setting, creative and allow for discovery i.e. think beyond 'signs on sticks'.

### Cultural History Advisory Committee

Agreement that this is working well but there is a need to raise awareness about its existence/ role (and what it doesn't do) in the wider community and with Council's elected members.

### History Officer

There is strong support for the History Officer role.

### Celebrating/acknowledging lesser known aspects of Clarence's cultural history

Clarence's cultural history includes often overlooked areas such as multicultural heritage and the cultural heritage of areas of lower privilege such as some of the broad acre housing developments from the 1950s onwards.

## PRINCIPLES

### The Plan is based on six principles:

1. Council recognises that the cultural history of Clarence is a living and evolving history, comprising both oral and material sources. It includes the significance of indigenous and non-indigenous (both early and more recent) stories, artefacts, rituals, ways of life and land use.
2. Council recognises that Clarence has a rich and diverse history, encompassing the city as a whole, as well as individual areas, places and stories within it. Council also recognises that there are many pasts, and many different stories of the past. Different perceptions, places, people and experiences all combine to tell us different aspects of our past, and each is valid.
3. Council recognises that appropriate management and conservation is fundamental to preserving the collections and records of the cultural history of Clarence.
4. Council recognises that the cultural history of Clarence provides the community with a sense of identity and place. As such, cultural history needs to be accessible to the community in relevant and meaningful ways, to further their understanding and appreciation.
5. Council will encourage the participation of the community in their cultural history, and will seek to support and promote activities and events which foster this in order to enrich the community and their sense of pride.
6. Council will offer support to local groups and organisations to further the collection, documentation and preservation of the rich and diverse heritage of Clarence. Council will also seek the involvement and consultation of groups in Council's approach to cultural history.

# STRATEGIC CONTEXT

The review of the 2009 Plan and development of the 2018 Plan is consistent with Council's Strategic Plan 2016-2026. It is strongly linked to Council's vision and mission statements, viz:

## Vision

Clarence... a vibrant, prosperous, sustainable city

## Mission

Responding to the changing needs of the community through a commitment to excellence in leadership, advocacy, innovative governance and service delivery

**Goal:** Clarence is a city that fosters creativity, innovation and enterprise.

**Strategy 5.7:** Develop a framework for the identification, preservation and promotion of the unique cultural history of Clarence and further development of cultural tourism.

## RELATED POLICY

This Cultural History Plan relates to and intersects with a number other Council plans, studies and policies including:

- Cultural Arts Plan 2012-16
- Cultural Heritage Interpretation Plan 2012
- Economic Development Plan 2016-2021
- Clarence Events Plan 2014-2018
- Clarence Tracks and Trails Strategy 2012
- Clarence Bushland and Coastal Strategy 2011
- Clarence Interim Planning Scheme 2015
- Collections Management Policy 2010
- Community Health and Wellbeing Plan 2013-2018
- Reserve Activity Plans
- Positive Ageing Plan 2012-2016
- Public Art Code
- Public Open Space Policy 2013
- Richmond Bridge Conservation Management Plan 2010 (DIER)
- Richmond Cultural Resource Management Plan: Volume 1 – Key Issues and Recommendations (2001), Volume 3 – A thematic History of the Cultural Resources of the Township of Richmond & Statement of Cultural Significance (2000)
- Richmond Townscape Study 2014 (updated 2017)
- Disability Access Plan 2014-2018
- Youth Plan 2008-2012

# IMPLEMENTATION MONITORING AND REVIEW

The 2018 Plan identifies a number of strategic actions which aim to protect, promote and celebrate the cultural heritage of Clarence. The 2018 Plan should not be considered an end in itself, but a living and evolving document.

Each action in the 2018 Plan has a clear review timeline and indicators for measuring its success.

It is the role of the Cultural History Advisory Committee to assist Council with the practical implementation and review of the Plan.

## Reporting

**Community and organisations will be provided updates through the following avenues:**

- Annual Report
- Quarterly newsletters
- Other means as appropriate throughout the year i.e. regular updates in council rates newsletter, website etc.

**Council:**

- Minutes will be distributed quarterly for all committee and working party meetings to all committee members, aldermen, relevant council officers, other relevant council advisory committees, and relevant organisations associated with the plan.
- An annual report shall be submitted to the Council outlining the committee's operations and activities and its forward objectives.
- The activities of the committee will also be highlighted in Council's quarterly reports and Annual Report.
- Any other reports required will be on an as needed basis.

## Funding

Activities and projects in support of the 2018 Plan's strategies should be implemented and funded through Council's Annual Plan and capital works program.

In addition, funding and grant opportunities through other organisations, including Arts Tasmania, the Tasmanian Community Fund and various Commonwealth Government grants should be sought where applicable.

## Communication on Budget matters

The committee, when forward planning and considering upcoming actions should communicate recommendations to Council on a timely basis prior to annual budget deliberations.

# APPENDIX A

## Community workshop (5 April 2016) attendees plus list of people who submitted written/verbal comments:

Anna Hodgman	Student & resident
Lois Green	Coal River Valley Historical Society
Maurice Appleyard	Tas Family History Society
Jenni Burdon	Parks & Wildlife Service, Heritage Officer
Allan Smith	Bellerive Historical Society
Anne Marmion	Bellerive Historical Society
Pene Marshall	Cultural History Advisory Committee/South Arm Peninsula History
Philip Sweetingham	Lindisfarne Historical Society
Jim Lamont	Hobart Vintage Machinery Society
Andy Hocken	Hobart Vintage Machinery Society
Malcolm Dillon	Hobart Vintage Machinery Society
John Sargent	Bellerive Historical Society
Margaret Petrovic	Aboriginal Heritage Tasmania
Steve Gall	Aboriginal Heritage Tasmania
Kaye McPherson	Lia Pootah Community
Alan Townsend	History Officer CCC
Tracey Cockburn	Arts & Cultural Development Coordinator CCC
Gabrielle Balon	Workshop facilitator/interpretation consultant

### Written/verbal comments were provided by:

Allan Smith	Member, Bellerive Historical Society
Margaret Reynolds	Member, Coal River Valley and Richmond Promotion Group
Jane Armstrong	Resident, Dulcot
Margaret Petrovic	On behalf of Steve Gall, Director, Aboriginal Heritage Tasmania
John Wadsley	Heritage Consultant

# APPENDIX B

## **Key findings – actions which fall outside the area of the CHP**

Some of the findings identified in the consultative process would require actions which either fall outside the scope of the CHP or require actions coordinated across multiple business units within Council.

Three such actions are:

- Work with Council's Asset Management Group to undertake an audit of assets (e.g. community halls, public buildings, event spaces) owned by CCC to identify those which are underutilised. Once identified, promote these assets for use by community groups and individuals. Using these assets helps keep their history alive.
- Investigate ways to increase the use of community halls in Clarence. These were once the centres of their communities and they have the potential to fulfil this role again. Using these buildings helps to keep their history, and the history of the surrounding community, alive.
- Develop a corporate policy framework for dealing with cultural heritage issues within the city.

## ACKNOWLEDGEMENTS

Clarence City Council would like to thank the staff and community members who assisted with the review of the Plan through the consultation process and by providing feedback on the draft plan.







**12. ALDERMEN'S QUESTION TIME**

An Alderman may ask a question with or without notice at Council Meetings. No debate is permitted on any questions or answers.

**12.1 QUESTIONS ON NOTICE**

(Seven days before an ordinary Meeting, an Alderman may give written notice to the General Manager of a question in respect of which the Alderman seeks an answer at the meeting).

Nil.

**12.2 ANSWERS TO QUESTIONS ON NOTICE**

Nil.

**12.3 ANSWERS TO PREVIOUS QUESTIONS TAKEN ON NOTICE**

Nil.

**12.4 QUESTIONS WITHOUT NOTICE**

An Alderman may ask a Question without Notice of the Chairman or another Alderman or the General Manager. Note: the Chairman may refuse to accept a Question without Notice if it does not relate to the activities of the Council. A person who is asked a Question without Notice may decline to answer the question.

Questions without notice and their answers will not be recorded in the minutes.

The Chairman may refuse to accept a question if it does not relate to Council's activities.

The Chairman may require a question without notice to be put in writing. The Chairman, an Alderman or the General Manager may decline to answer a question without notice.

**13. CLOSED MEETING**

Regulation 15 of the Local Government (Meetings Procedures) Regulations 2015 provides that Council may consider certain sensitive matters in Closed Meeting.

The following matters have been listed in the Closed Meeting section of the Council Agenda in accordance with Regulation 15 of the Local Government (Meeting Procedures) Regulations 2015.

13.1 APPLICATIONS FOR LEAVE OF ABSENCE

13.2 T1174/17 - ANNUAL FOOTPATH RECONSTRUCTION PROGRAM

13.3 PROPERTY MATTER - BELLERIVE

This report has been listed in the Closed Meeting section of the Council agenda in accordance with Regulation 15 of the Local Government (Meeting Procedures) Regulation 2015 as the detail covered in the report relates to:

- contracts and tenders for the supply of goods and services;
- proposals to acquire land or an interest in land or for the disposal of land;
- applications by Aldermen for a Leave of Absence.

**Note: The decision to move into Closed Meeting requires an absolute majority of Council.**

**The content of reports and details of the Council decisions in respect to items listed in “Closed Meeting” are to be kept “confidential” and are not to be communicated, reproduced or published unless authorised by the Council.**

**PROCEDURAL MOTION**

“That the Meeting be closed to the public to consider Regulation 15 matters, and that members of the public be required to leave the meeting room”.