

Prior to the commencement of the meeting, the Mayor will make the following declaration:

*“I acknowledge the Tasmanian Aboriginal Community as the traditional custodians of the land on which we meet today, and pay respect to elders, past and present”.*

The Mayor also to advise the Meeting and members of the public that Council Meetings, not including Closed Meeting, are audio-visually recorded and published to Council’s website.

**COUNCIL MEETING**  
**MONDAY 16 OCTOBER**

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**BUSINESS TO BE CONDUCTED AT THIS MEETING IS TO BE CONDUCTED IN THE ORDER IN WHICH IT IS SET OUT IN THIS AGENDA UNLESS THE COUNCIL BY ABSOLUTE MAJORITY DETERMINES OTHERWISE**

**COUNCIL MEETINGS, NOT INCLUDING CLOSED MEETING, ARE AUDIO-VISUALLY RECORDED AND PUBLISHED TO COUNCIL’S WEBSITE**



**1. APOLOGIES**

Ald Cusick (Leave of Absence)

**2. CONFIRMATION OF MINUTES**

(File No. 10/03/01)

**RECOMMENDATION:**

That the Minutes of the Council Meeting held on 25 September 2017, as circulated, be taken as read and confirmed.

**3. MAYOR'S COMMUNICATION****4. COUNCIL WORKSHOPS**

In addition to the Aldermen's Meeting Briefing (workshop) conducted on Friday immediately preceding the Council Meeting the following workshops were conducted by Council since its last ordinary Council Meeting:

**PURPOSE****DATE**

Droughty Point Jetty

Possible Vehicle Restrictions on Forth Street

Kangaroo Bay Breakwater

Centenary Grants Program

Public Places By-law

2 October

Seven Mile Beach Recreation Area

Annual Hardwaste Collection Service

Greater Hobart Strategic Alliance

9 October

**RECOMMENDATION:**

That Council notes the workshops conducted.

<b>5. DECLARATIONS OF INTERESTS OF ALDERMAN OR CLOSE ASSOCIATE</b> (File No)
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In accordance with Regulation 8 of the Local Government (Meeting Procedures) Regulations 2015 and Council's adopted Code of Conduct, the Mayor requests Aldermen to indicate whether they have, or are likely to have a pecuniary interest (any pecuniary benefits or pecuniary detriment) or conflict of interest in any item on the Agenda.

## **6. TABLING OF PETITIONS**

(File No. 10/03/12)

(Petitions received by Aldermen may be tabled at the next ordinary Meeting of the Council or forwarded to the General Manager within seven (7) days after receiving the petition.

Petitions are not to be tabled if they do not comply with Section 57(2) of the Local Government Act, or are defamatory, or the proposed actions are unlawful.

The General Manager will table the following petitions which comply with the Act requirements:

## **7. PUBLIC QUESTION TIME**

Public question time at ordinary Council meetings will not exceed 15 minutes. An individual may ask questions at the meeting. Questions may be submitted to Council in writing on the Friday 10 days before the meeting or may be raised from the Public Gallery during this segment of the meeting.

The Chairman may request an Alderman or Council officer to answer a question. No debate is permitted on any questions or answers. Questions and answers are to be kept as brief as possible.

### **7.1 PUBLIC QUESTIONS ON NOTICE**

(Seven days before an ordinary Meeting, a member of the public may give written notice to the General Manager of a question to be asked at the meeting). A maximum of two questions may be submitted in writing before the meeting.

Questions on notice and their answers will be included in the minutes.

Nil.

### **7.2 ANSWERS TO QUESTIONS ON NOTICE**

The Mayor may address Questions on Notice submitted by members of the public.

Nil.

### **7.3 ANSWERS TO PREVIOUS QUESTIONS TAKEN ON NOTICE**

Nil.

### **7.4 QUESTIONS WITHOUT NOTICE**

The Chairperson may invite members of the public present to ask questions without notice.

Questions are to relate to the activities of the Council. Questions without notice will be dependent on available time at the meeting.

Council Policy provides that the Chairperson may refuse to allow a question on notice to be listed or refuse to respond to a question put at a meeting without notice that relates to any item listed on the agenda for the Council meeting (note: this ground for refusal is in order to avoid any procedural fairness concerns arising in respect to any matter to be determined on the Council Meeting Agenda.

When dealing with Questions without Notice that require research and a more detailed response the Chairman may require that the question be put on notice and in writing. Wherever possible, answers will be provided at the next ordinary Council Meeting.

**8. DEPUTATIONS BY MEMBERS OF THE PUBLIC**

(File No 10/03/04)

(In accordance with Regulation 38 of the Local Government (Meeting Procedures) Regulations 2015 and in accordance with Council Policy, deputation requests are invited to address the Meeting and make statements or deliver reports to Council)

**9. MOTIONS ON NOTICE****9.1 NOTICE OF MOTION- ALD JAMES  
ACCESS TO LAUDERDALE BEACH**

(File No 10-03-05)

In accordance with Notice given Ald James intends to move the following Motion:

“That Clarence Council provide beach access to Lauderdale Beach suitable for access for, but not limited to, Kayaks, Canoes, and trailer able Dinghies (up to 5m). Officers to investigate options including, but not limited to, those listed below:

- re-open recently closed access;
- provide a new access on the northern side of the previous access, adjacent to the current toilet block; and
- provide a new access south of the previous access, adjacent to the recently closed access.

A report be provided to Council by officers by 30 November 2017, informing Council as to which of the above options is the most feasible to pursue.

That this access be provided by April 2018”.

**EXPLANATORY NOTES**

The previous beach access was the only access to Frederick Henry Bay from Cremorne Beach to Dodges Ferry. Cremorne Beach is inaccessible at high tide and launching and retrieving boats can be problematic due to strong tidal flow.

Having looked further south, the Bayview Park region would not seem suitable as road to beach distance is significantly further than at the end of the canal.

Frederick Henry Bay is a boating mecca for persons, young and old, wanting to paddle a kayak, a canoe, or catch a table fish, often with their young children or grandchildren.

The closing of such access has denied countless residents the opportunity to enjoy this pleasure. We maintain Clarence is a desirable place to live and enjoy, let us not diminish this enjoyment.

R James  
**ALDERMAN**

**GENERAL MANAGER’S COMMENTS**

*A matter for Council determination*

**10. REPORTS FROM OUTSIDE BODIES**

This agenda item is listed to facilitate the receipt of both informal and formal reporting from various outside bodies upon which Council has a representative involvement.

**10.1 REPORTS FROM SINGLE AND JOINT AUTHORITIES**

Provision is made for reports from Single and Joint Authorities if required

Council is a participant in the following Single and Joint Authorities. These Authorities are required to provide quarterly reports to participating Councils, and these will be listed under this segment as and when received.

- **SOUTHERN TASMANIAN COUNCILS AUTHORITY**

Representative: Ald Doug Chipman, Mayor or nominee

**Quarterly Reports**

September Quarterly Report pending.

**Representative Reporting**

- **COPPING REFUSE DISPOSAL SITE JOINT AUTHORITY**

Representatives: Ald Jock Campbell  
(Ald James Walker, Deputy Representative)

**Quarterly Reports**

The Copping Refuse Disposal Site Joint Authority has distributed the Quarterly Summary of its Meetings for the period ending 30 September 2017 (Attachment 1).

The Copping Refuse Disposal Site Joint Authority has also distributed its Quarterly Report for the period 1 April to 30 June 2017.

In accordance with Regulation 15 of the Local Government (Meeting Procedures) Regulations 2015 the Report will be tabled in Closed Meeting.

**Representative Reporting**

- **TASWATER CORPORATION**

**10.2 REPORTS FROM COUNCIL AND SPECIAL COMMITTEES AND OTHER REPRESENTATIVE BODIES**



# Copping Refuse Disposal Site Joint Authority

4 September 2017

Mr A Paul  
General Manager  
Clarence City Council  
PO Box 96  
ROSNY PARK TAS 7018

Mr Robert Higgins  
General Manager  
Tasman and Sorell Councils  
PO Box 126  
SORELL TAS 7172

Mr Gary Arnold  
General Manager  
Kingborough Council  
Locked Bag 1  
KINGSTON TAS 7050

Dear General Manager,

## **COPPING REFUSE DISPOSAL SITE JOINT AUTHORITY REPORTS**

Participating Councils and the Director of Local Government have reached agreement on the establishment of consistent reporting arrangements for the Authority. The following advice regarding matters discussed at recent Authority and Board meetings is now provided for inclusion in your General Manager's routine report to your Council.

### **Authority Meeting (electronic) held on 27 July 2017**

Matters dealt with:

- Approval to commence the formal process to amend the Authority's Rules.

### **Authority Meeting held on 31 August 2017**

Matters dealt with:

- The Minutes of the Authority's General Meeting held on 25 May 2017 and the electronic meeting of 27 July 2017 were accepted.
- The Minutes of the Southern Waste Solutions Board for meetings held on 18 April 2017, 17 May 2017, 21 June 2017 and 24 July 2017 were noted.
- The Minutes of the C Cell Pty Ltd Board for meetings held on 28 April 2016, 10 June 2016, 15 July 2016; 31 August 2016, 19 October 2016 and 15 November 2016 were noted.
- The June 2017 Quarterly Report was presented and accepted.
- The proposed amended Authority Rules were approved, with remaining steps to finalise the approval process authorised to be completed by the Secretary;

.....  
*Copping Refuse Disposal Site Joint Authority trading as* SOUTHERN WASTE SOLUTIONS

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## Copping Refuse Disposal Site Joint Authority

- The SWS Board Chair provided an update on Board activities including financial performance for FY2016/17, the proposed Waste Contract for Participating Councils, the wetland proposal and WAIV transfer to C Cell Pty Ltd.
- The C Cell Pty Ltd Board Chair provided an update on Board activities including that construction of the C Cell is on schedule and the remaining, vacant Board position.

The following reports are attached in accordance with the decisions of the Authority at its 31 August 2017 meeting:

- June 2017 Quarterly Report (**Attachment 1**).

(**Note:** Minutes of meeting of the Authority may be tabled in open Council meeting unless they contain confidential material. Given its commercial in confidence content The Quarterly Report, Business Plan, Budget and Contractual, Statutory and other obligations reports are requested to be tabled in Closed Meeting). Any Closed Meeting items considered by the Authority should also be tabled only in Closed Meeting of Council.

### Board Meeting held on 18 April 2017

Matters dealt with:

- The Minutes of the Board meeting held 22 March 2017 were accepted.
- The Monthly Operational Overview and Financial Report for March 2017 was received and noted.
- The Authority Quarterly Report to March 2017 was provided and noted.
- The Strategic Plan 2016/17 – 2020/21 was updated and approved for communication to the next Authority meeting.
- A revised Business Plan and Budget for 2017/18 was provided and approved, including revised fees and charges.
- A Contractual Obligations report was received, noted and approved for communication to the next Authority meeting.
- A report to the Authority addressing key considerations for admission of a new Participating Council to the Authority was noted and approved for communication to the next Authority meeting.

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# Copping Refuse Disposal Site Joint Authority

## **Board Meeting held on 17 May 2017**

Matters dealt with:

- The Minutes of the Board meeting held 18 April 2017 were accepted.
- The Monthly Operational Overview and Financial Report for April 2017 was received and noted.
- The new Environment Policy was considered and feedback provided.

## **Board Meeting held on 21 June 2017**

Matters dealt with:

- The Minutes of the Board meeting held 17 May 2017 were accepted.
- The Monthly Operational Overview and Financial Report for May 2017 was received and noted.

## **Board Meeting held on 24 July 2017**

Matters dealt with:

- The Minutes of the Board meeting held 21 June 2017 were accepted.
- The Monthly Operational Overview and Financial Report for June 2017 was received and noted.
- The Authority Quarterly Report to June 2017 was provided and noted.

## **C Cell Pty Ltd Board Meetings**

C Cell Pty Ltd Board Meeting Minutes for all meetings since inception were tabled and noted. The Minutes covered the following meetings:

- 28 April 2016
- 10 June 2016 (Electronic)
- 15 July 2016 (Electronic)
- 31 August 2016 (Electronic)
- 19 October 2016
- 15 November 2016 (Electronic)

.....  
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## Copping Refuse Disposal Site Joint Authority

The Minutes cover:

- Appointment of a Secretary
- Approval of formal documents including Trust Deed, Unitholders Agreement and Management Agreement, including a Deed of Dissolution and amendment of other documents to reflect the change in Investor.
- Approval of loan agreements.
- The opening of commercial bank accounts.
- Allocation and transfer of Units within the C Cell Unit Trust.
- Awarding of construction contracts and associated arrangements.
- Appointment of legal advisors.

(Note: As minutes of meetings of the Board are commercial in confidence it is requested that these be held on file and may be perused by Aldermen / Councillors but not tabled at Council meetings)

Yours sincerely,

Ian Nelson  
**Secretary**

.....  
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## **11. REPORTS OF OFFICERS**

### **11.1 WEEKLY BRIEFING REPORTS**

(File No 10/02/02)

The Weekly Briefing Reports of 25 September and 2 and 9 October 2017 have been circulated to Aldermen.

#### **RECOMMENDATION:**

That the information contained in the Weekly Briefing Reports of 25 September and 2 and 9 October 2017 be noted.

**11.2 DETERMINATION ON PETITIONS TABLED AT PREVIOUS COUNCIL MEETINGS****11.2.1 PETITION – 1 CREMORNE AVENUE, CREMORNE**

(File No D-2016/517)

**EXECUTIVE SUMMARY****PURPOSE**

To consider the petition presented at Council's Meeting on 25 September 2017, containing 202 signatories opposing Development Application D-2016/517.

**RELATION TO EXISTING POLICY/PLANS**

Not applicable.

**LEGISLATIVE REQUIREMENTS**

Section 60 of the Local Government Act, 1993 requires Council to formally consider petitions within 42 days of receipt.

**CONSULTATION**

Not applicable.

**FINANCIAL IMPLICATIONS**

Not applicable.

**RECOMMENDATION:**

That the petitioners be advised that Council refused Development Application D-2016/517 at its Meeting of 25 September 2017.

---

**ASSOCIATED REPORT****1. BACKGROUND**

**1.1.** At Council's Meeting of 25 September 2017, a petition containing 202 signatories was received opposing Development Application D-2016/517.

**1.2.** At its Meeting, Council also heard submissions from or on behalf of the applicant and the public.

**2. REPORT IN DETAIL**

Development Application D-2016/517 sought a permit for the development of 5 Multiple Dwellings. The application was considered and refused at its Meeting of 25 September 2017.

**3. CONSULTATION**

**Community Consultation**

The application for the permit was advertised in accordance with statutory requirements and 126 representations were received.

**4. STRATEGIC PLAN/POLICY IMPLICATIONS**

Not applicable.

**5. EXTERNAL IMPACTS**

Not applicable.

**6. RISK AND LEGAL IMPLICATIONS**

Not applicable.

**7. FINANCIAL IMPLICATIONS**

Nil.

**8. ANY OTHER UNIQUE ISSUES**

Not applicable.

**9. CONCLUSION**

At Council's Meeting of 25 September 2017, a petition containing 202 signatories was received in relation to a development application was determined at the same meeting.

Attachments: Nil.

Andrew Paul  
**GENERAL MANAGER**

### **11.3 PLANNING AUTHORITY MATTERS**

In accordance with Regulation 25 (1) of the Local Government (Meeting Procedures) Regulations 2015, the Mayor advises that the Council intends to act as a Planning Authority under the Land Use Planning and Approvals Act 1993, to deal with the following items:

**11.3.1 DEVELOPMENT APPLICATION D-2017/350 - 50 BRIDGE STREET, RICHMOND - WINERY SIGNAGE**  
(File No D-2017/350)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for winery signage at 50 Bridge Street, Richmond.

**RELATION TO PLANNING PROVISIONS**

The land is zoned General Business and subject to the Historic Heritage and Signs codes under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

**LEGISLATIVE REQUIREMENTS**

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 13 October 2017 and was extended with the consent of the applicant until 18 October 2017.

**CONSULTATION**

The proposal was advertised in accordance with statutory requirements and 1 representation was received raising the following issues:

- the proposal is not in keeping with the Richmond township;
- the signage relates to businesses outside of the Richmond township;
- removal of tree; and
- the proposal will be unsightly and cover a heritage wall.

**RECOMMENDATION:**

A. That the Development Application for winery signage at 50 Bridge Street, Richmond (Cl Ref D-2017/350) be approved subject to the following conditions and advice.

1. GEN AP1 – ENDORSED PLANS.



2. The sign must be maintained at all times in good repair and in a clean, tidy and safe condition to the satisfaction of Council's Manager City Planning.
  3. External surfaces and finishes must be in accordance with the approved plans. Any change to the materials or colour scheme must be submitted and approved by Council's Manager City Planning prior to construction.
- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

---

## **ASSOCIATED REPORT**

### **1. BACKGROUND**

No relevant background.

### **2. STATUTORY IMPLICATIONS**

**2.1.** The land is zoned General Business under the Scheme.

**2.2.** The proposal is discretionary because it does not meet the Acceptable Solutions under the Scheme.

**2.3.** The relevant parts of the Planning Scheme are:

- Section 8.10 – Determining Applications;
- Section 10 – General Business Zone; and
- Section E13.0 – Historic Heritage Code; and
- Section E17.0 – Signs Code.

**2.4.** Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

### **3. PROPOSAL IN DETAIL**

#### **3.1. The Site**

The site is a 2372m<sup>2</sup> parcel which has frontages to Edward Street, Bridge Street and Forth Street. The site supports a heritage listed building which contains a number of commercial shops and take-away businesses. Much of the property is surrounded by high sandstone walls that enclose the centre landscaped courtyard, which is utilised for outdoor dining and seating.

#### **3.2. The Proposal**

The proposal is for an interpretive sign which is to be in the form of a timber wine barrel display. The wine barrels will be supported on a timber hardwood frame and will include the logo or “branding” on the outward face of local vineyards that choose to participate. The display will be located on the inside of the western sandstone wall adjacent to Forth Street and will sit on an existing garden bed. The display will only be visible to patrons within the courtyard area.

### **4. PLANNING ASSESSMENT**

#### **4.1. Determining Applications [Section 8.10]**

*“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:*

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

*but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.*

Reference to these principles is contained in the discussion below.

#### **4.2. Compliance with Zone and Codes**

- **General Business Zone**

The development is for an interpretive sign; therefore the provisions of the zone do not apply.

- **Signs Code**

The provisions of this code do not apply to the proposal, as the sign is within the site and cannot be seen from outside of the property.

- **Historic Heritage Code**

The proposal meets the Scheme's relevant Acceptable Solutions of the Historic Heritage Code with the exception of the following.

Clause	Standard	Acceptable Solution (Extract)	Proposed
E13.7.2 A1, A2, A3	Building and Works other than Demolition	No acceptable solution	As previously described

The proposed variation must be considered pursuant to the Performance Criteria P1, P2, P3 and P4 of the Clause E13.7.2 as follows.

Performance Criteria	Proposal
<p><i>"P1 Development must not result in any of the following:</i></p> <p><i>(a) loss of historic cultural heritage significance to the place through incompatible design, including in height, scale, bulk, form, fenestration, siting, materials, colours and finishes;</i></p> <p><i>(b) substantial diminution of the historic cultural heritage significance of the place through loss of significant streetscape elements including plants, trees, fences, walls, paths, outbuildings and other items that contribute to the significance of the place.</i></p>	<p>Council's Heritage Officer has assessed the application and considers that the proposed works are complimentary to the cultural heritage values of the subject property.</p> <p>The proposal is considered to be of appropriate scale and form against the existing sandstone wall, and as no footings will be required there will be no physical impact to the existing heritage fabric.</p> <p>The proposal has been designed to preserve the existing sandstone retaining wall around the garden and the removal of 2 small trees is considered reasonable as neither are listed as significant under the code.</p> <p>The proposal is screened from view from outside the subject premises and will therefore have no impact on the streetscape and will therefore not conflict with the listed buildings when viewed from the street.</p>

<p><i>P2</i>  <i>Development must be designed to be subservient and complementary to the place through characteristics including:</i>  <i>(a) scale and bulk, materials, built form and fenestration;</i>  <i>(b) setback from frontage;</i>  <i>(c) siting with respect to buildings, structures and listed elements;</i>  <i>(d) using less dominant materials and colours.</i></p>	<p>The proposal is considered complimentary to the cultural heritage values of the subject property. The signage is considered an appropriate scale and bulk for the courtyard setting, and will be subservient against the sandstone wall backdrop.</p>
<p><i>P3</i>  <i>Materials, built form and fenestration must respond to the dominant heritage characteristics of the place, but any new fabric should be readily identifiable as such”.</i></p>	<p>The signage will be constructed from a hardwood timber frame and wine barrels, which is considered appropriate and easily identifiable as being a new addition to the place.</p>

## **5. REPRESENTATION ISSUES**

The proposal was advertised in accordance with statutory requirements and 1 representation was received. The following issues were raised by the representor.

### **5.1. The Proposal is not in Keeping with the Richmond Township**

The representor has expressed concern that the proposal is not in keeping with the town and is “not what Richmond is about”.

- **Comment**

Richmond is a well-established tourist destination, known for its Georgian architecture and setting within the rural Coal River Valley and winery region. It is considered the signage is in keeping with this character and appropriate for displaying information about wineries in the surrounding area.

### **5.2. The Signage Relates to Businesses Outside of the Richmond Township**

The representor has expressed concern that the display will include logos and branding of vineyards that are not associated with the site.

- **Comment**

The proposal is for an interpretive sign which is to provide centralised information for the public on local vineyards in the surrounding area. This type of sign is allowable under the Scheme and as it is not visible from outside the property, is exempt from assessment against the Signs code, therefore allowing businesses outside of the property to be included.

### **5.3. Removal of Tree**

The representor has expressed concern that a tree will be removed to make way for the proposal.

- **Comment**

There are 2 trees, a pencil pine and lemon tree, which are to be removed from the garden bed to make way for the winery signage. As neither tree is listed as significant under the Historic Heritage code it is considered reasonable that they be removed.

### **5.4. The Proposal will Resemble a Billboard Sign and will be Unsightly and Cover the Heritage Wall**

The representor has expressed concern that the winery signage will be unsightly and cover the sandstone wall.

- **Comment**

The winery signage is a 3 dimensional display and will cover approximately three quarters of the sandstone wall, with the wall still visible between the barrels and framing, enabling the heritage values of the wall to continue to be appreciated, and not be damaged by the structure.

## **6. EXTERNAL REFERRALS**

The proposal was referred to the Tasmanian Heritage Council (THC) who provided notice that it had no interest in the development application. The THC issued a Certificate of Exemption under Section 42(3)(a) of the Historic Cultural Heritage Act 1995 for the proposed works.

**7. STATE POLICIES AND ACT OBJECTIVES**

**7.1.** The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

**7.2.** The proposal is consistent with the objectives of Schedule 1 of LUPAA.

**8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS**

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

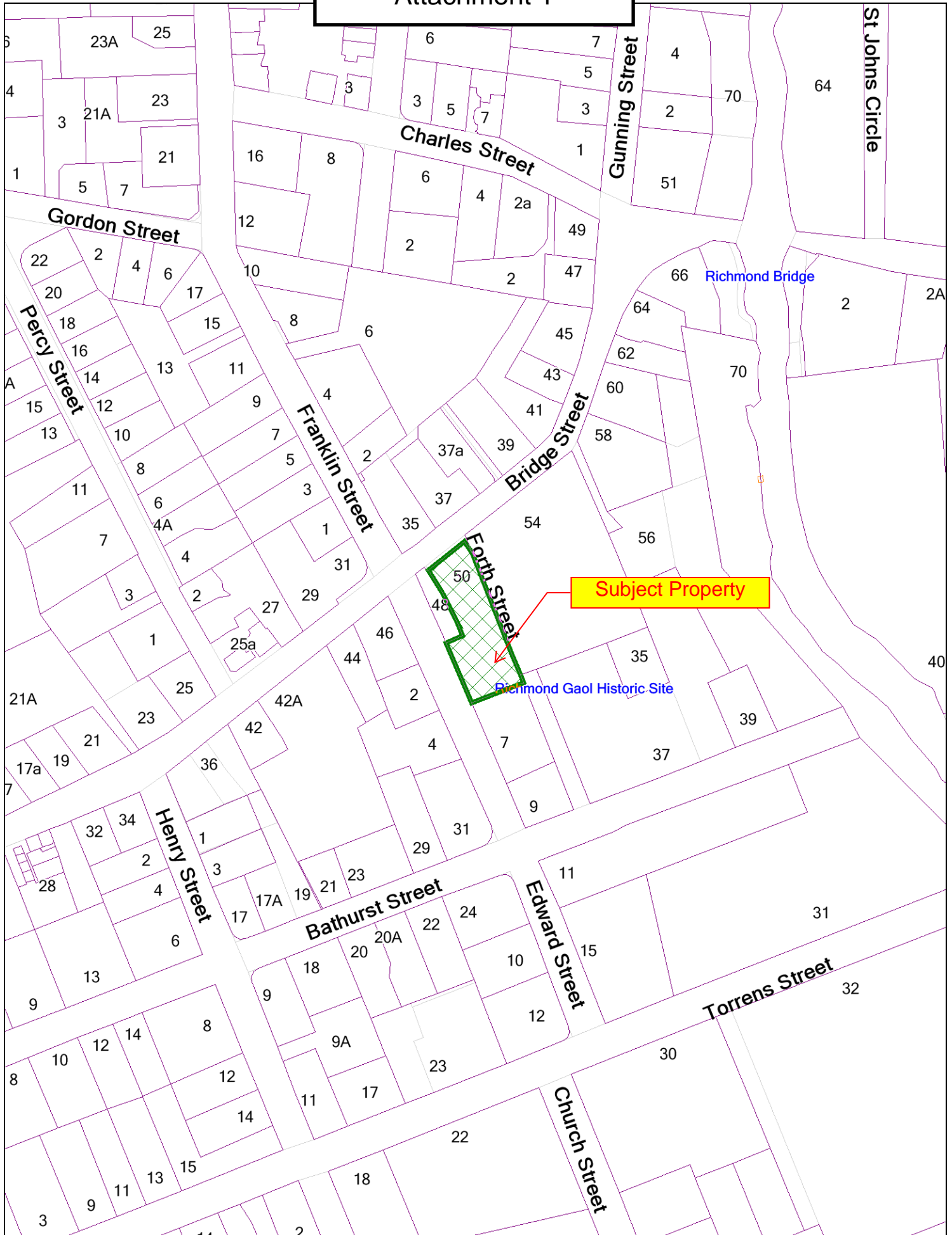
**9. CONCLUSION**

The proposal for Winery Signage is recommended for conditional approval.

Attachments: 1. Location Plan (1)  
2. Proposal Plan (4)  
3. Site Photo (1)

Ross Lovell  
**MANAGER CITY PLANNING**

# Attachment 1



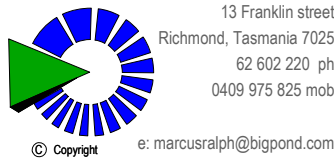
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Attachment 2



MARCUSRALPH  
MARCUSRALPH  
architectural animation design  
Building designer accreditation CC1317F



13 Franklin street  
Richmond, Tasmania 7025  
62 602 220 ph  
0409 975 825 mob

© Copyright e: marcusralph@bigpond.com

Design Drawings

Coal Valley Vineyards  
50 Bridge street  
Richmond

Part Site Plan

date  
18/07/2017

designed and drawn  
M.Ralph

revision-date  
Design Drawing

job no:  
2017-758

drawing no:  
758-02



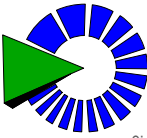
forth street



Edward street



MARCUSRALPH  
MARCUSRALPH  
architectural animation design  
Building designer accreditation CC1317F



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13 Franklin street  
Richmond, Tasmania 7025  
62 602 220 ph  
0409 975 825 mob

Design Drawings

Coal Valley Vineyards  
50 Bridge street  
Richmond

Site Plan



date  
18/07/2017

designed and drawn M.Ralph revision-date Design Drawing

job no: 2017-758 drawing no: 758-03





# Artist Impression



MARCUSRALPH  
**MARCUSRALPH**  
 architectural animation design  
 Building designer accreditation CC1317F

13 Franklin street  
 Richmond, Tasmania 7025  
 62 602 220 ph  
 0409 975 825 mob  
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## Design Drawings

Coal Valley Vineyards  
 50 Bridge street  
 Richmond

## Generic Perspective



date  
 18/07/2017

designed and drawn	revision-date
<b>M.Ralph</b>	<b>Design Drawing</b>

job no:	drawing no:
<b>2017-758</b>	<b>758-04</b>





**50 Bridge Street, RICHMOND**



**Site viewed from Forth Street (winery signage will sit on the inside of the sandstone wall)**

**11.3.2 DEVELOPMENT APPLICATION D-2017/386 - 4 RICHARDSONS ROAD, SANDFORD - ADDITION TO EXISTING OUTBUILDING AND OUTBUILDING**  
(File No D-2017/386)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for an addition to an existing outbuilding and outbuilding at 4 Richardsons Road, Sandford.

**RELATION TO PLANNING PROVISIONS**

The land is zoned Rural Living and subject to the Parking and Access, Stormwater Management, On-Site Wastewater Management, Bushfire Prone Areas and Natural Assets codes under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

**LEGISLATIVE REQUIREMENTS**

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 20 October 2017.

**CONSULTATION**

The proposal was advertised in accordance with statutory requirements and 1 representation was received raising the following issues:

- use of the outbuilding; and
- noise.

**RECOMMENDATION:**

A. That the Development Application for an addition to an existing outbuilding and outbuilding at 4 Richardsons Road, Sandford (CI Ref D-2017/386) be approved subject to the following conditions and advice.

1. GEN AP1 – ENDORSED PLANS.
2. GEN M7 – DOMESTIC USE.

- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

---

## **ASSOCIATED REPORT**

### **1. BACKGROUND**

No relevant background.

### **2. STATUTORY IMPLICATIONS**

**2.1.** The land is zoned Rural Living under the Scheme.

**2.2.** The proposal is discretionary because it does not meet the Acceptable Solutions under the Scheme.

**2.3.** The relevant parts of the Planning Scheme are:

- Section 8.10 – Determining Applications;
- Section 13 – Rural Living Zone;
- Section E1.0 – Bushfire-Prone Areas Code;
- Section E6.0 – Parking and Access Code;
- Section E7.0 – Stormwater Management Code;
- Section E23.0 - On-Site Wastewater Management Code; and
- Section E27.0 – Natural Assets Code.

**2.4.** Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

### **3. PROPOSAL IN DETAIL**

#### **3.1. The Site**

The site is a 2.037ha lot on the corner of Richardsons Road and Forest Hill Road, Sandford. The property contains an existing dwelling and outbuilding, with access from Forest Hill Road.

#### **3.2. The Proposal**

The proposal is for an addition to the existing outbuilding and a new outbuilding (shipping container). The addition to the outbuilding will be 12m x 9.1m and extend to the south, with a setback of 31m to Forest Hill Road. The outbuilding (shipping container) will be located to the north-east of the existing outbuilding and will be 12m x 2.4m and setback 31m from the north-eastern boundary.

### **4. PLANNING ASSESSMENT**

#### **4.1. Determining Applications [Section 8.10]**

*“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:*

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

*but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.*

Reference to these principles is contained in the discussion below.

#### **4.2. Compliance with Zone and Codes**

The proposal meets the Scheme’s relevant Acceptable Solutions of the Rural Living zone and Parking and Access, Stormwater Management, On-Site Wastewater Management, Bushfire Prone Areas and Natural Assets Codes with the exception of the following.

**Rural Living**

Clause	Standard	Acceptable Solution (Extract)	Proposed
13.4.3	A3	The combined gross floor area of buildings must be no more than 375m <sup>2</sup>	Total gross floor area of existing and proposed buildings is 444.3m <sup>2</sup>

The proposed variation must be considered pursuant to the Performance Criteria P3 of the Clause 13.4.3 as follows.

Performance Criteria	Proposal
<i>“P3 The combined gross floor area of buildings must satisfy all of the following:</i>	
<i>(a) there is no unreasonable adverse impact on the landscape;</i>	The lot is generally flat and is not visually prominent from surrounding areas. It is considered there will be no unreasonable adverse impacts on the landscape and there is existing vegetation which will help to partially filter the view of the building from outside the site.
<i>(b) buildings are consistent with the domestic scale of dwellings on the site or in close visual proximity;</i>	The proposed building/building additions are single storey with a maximum height of 3m above natural ground level. The buildings are consistent with the scale of other dwellings in the surrounding area.
<i>(c) be consistent with any Desired Future Character Statements provided for the area”.</i>	Not applicable, as there are no Desired Future Character Statements for the area.

**Rural Living**

Clause	Standard	Acceptable Solution (Extract)	Proposed
13.4.4	A1	Outbuildings (including garages and carports not incorporated within the dwelling) must comply with all of the following: (a) have a combined gross floor area no more than 100 m <sup>2</sup> ; (b) have a wall height no more than 6.5m and a building height not more than 7.5m; (c) have setback from frontage no less than that of the existing or proposed dwelling on the site.	Total gross floor area of existing and proposed outbuildings is 264.8m <sup>2</sup> .



The proposed variation must be considered pursuant to the Performance Criteria P2 of the Clause 13.4.4 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<p><i>“P1 Outbuildings (including garages and carports not incorporated within the dwelling) must be designed and located to satisfy all of the following:</i></p>	
<p><i>(a) be less visually prominent than the existing or proposed dwelling on the site;</i></p>	<p>The outbuilding addition has a similar setback as the existing dwelling to Forest Hill Road, and there is existing vegetation which will help to partially filter the building along this boundary. It is therefore considered it will be no more visually prominent than the dwelling when viewed from outside the property.</p> <p>The surrounding properties all have vegetation between their dwellings and the proposal which will assist in reducing the visual impacts when viewed from these sites.</p>
<p><i>(b) be consistent with the scale of outbuildings on the site or in close visual proximity</i></p>	<p>The proposed building/building additions have a maximum height of 3m above natural ground level. The buildings are consistent with the scale of other outbuildings in the surrounding area.</p>
<p><i>(c) be consistent with any Desired Future Character Statements provided for the area or, if no such statements are provided, have regard to the landscape”.</i></p>	<p>Not applicable, as there are no Desired Future Character Statements for the area.</p>

#### **Stormwater Management Code**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
E7.7.1	A1	Stormwater from new impervious surfaces must be disposed of by gravity to public stormwater infrastructure.	Stormwater will be retained on-site.

The proposed variation must be considered pursuant to the Performance Criteria P1 of the Clause E7.7.1 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<p><i>“P1 Stormwater from new impervious surfaces must be managed by any of the following:</i></p> <p><i>(a) disposed of on-site with soakage devices having regard to the suitability of the site, the system design and water sensitive urban design principles</i></p> <p><i>(b) collected for re-use on the site;</i></p> <p><i>(c) disposed of to public stormwater infrastructure via a pump system which is designed, maintained and managed to minimise the risk of failure to the satisfaction of the Council”.</i></p>	<p>Stormwater from the addition and outbuilding will be directed to a new water tank.</p>

## **5. REPRESENTATION ISSUES**

The proposal was advertised in accordance with statutory requirements and 1 representation was received. The following issues were raised by the representor.

### **5.1. Use of the Outbuilding**

The representor has expressed concern that the existing outbuilding is being used for vehicle repairs and the additions will intensify this use.

- **Comment**

The application is for additions to an existing outbuilding which is described as a garage. The applicant has confirmed that the building is to be used for the storage of private vehicles and for their general upkeep, and that this is for personal use only. There will be no business activities conducted from the site.

Nevertheless, it is considered appropriate in this instance to include a standard condition limiting the use of the building to domestic purposes, should the proposal be approved.

**5.2. Noise**

The representor has raised concern that activities undertaken in the existing shed are noisy and that the additions will intensify this and will become a nuisance.

- **Comment**

The application is for a domestic outbuilding and the applicant has confirmed that the activities undertaken in the building are for personal use only. The use of power tools and portable equipment is regulated under the Environmental Management and Pollution Control Act, 1994 (EMPCA). This is not a planning consideration for a domestic use and should noise issues arise these will be referred to Council's Environmental Health Officers to investigate and act upon if necessary.

**6. EXTERNAL REFERRALS**

No external referrals were required or undertaken as part of this application.

**7. STATE POLICIES AND ACT OBJECTIVES**

**7.1.** The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

**7.2.** The proposal is consistent with the objectives of Schedule 1 of LUPAA.

**8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS**

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

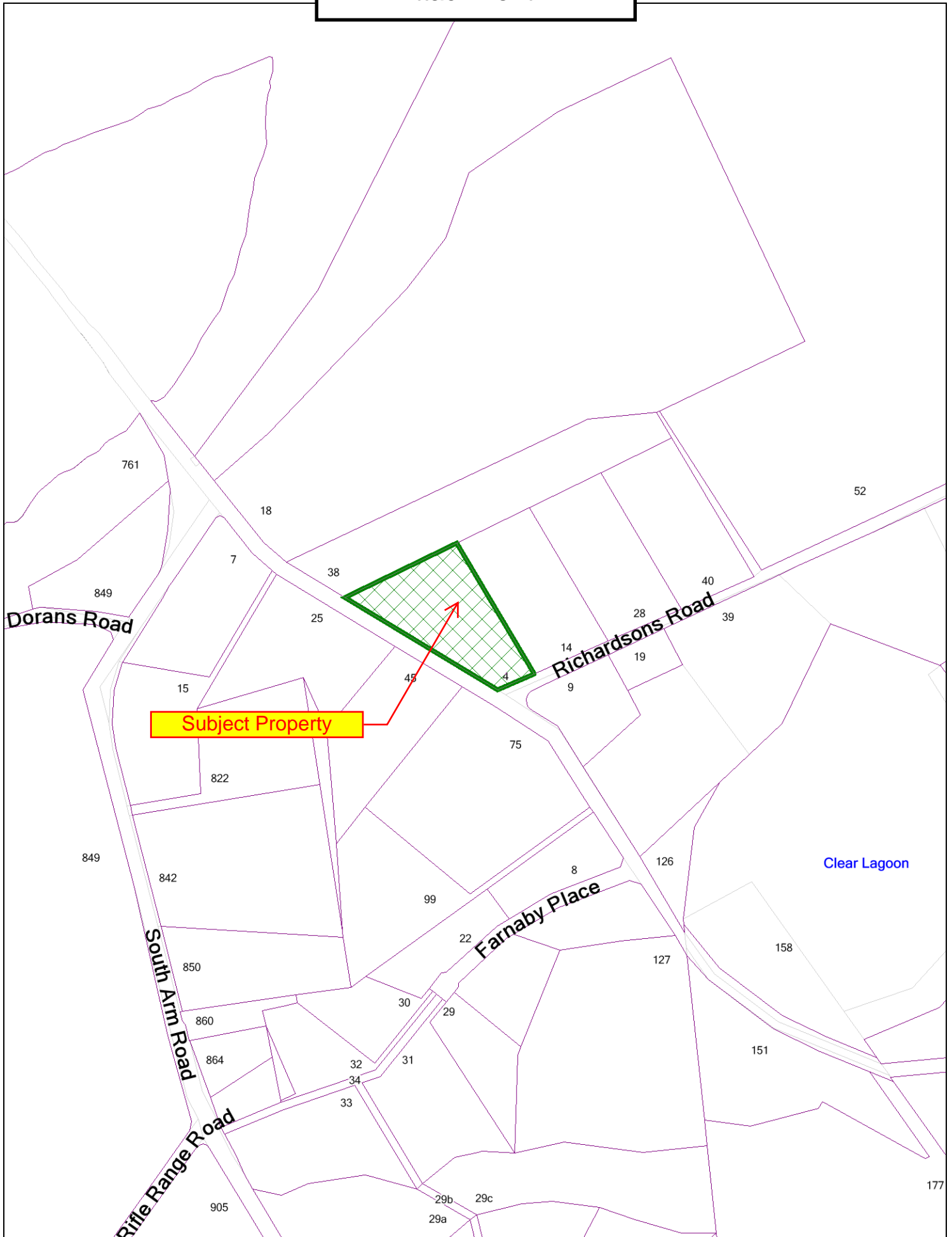
**9. CONCLUSION**

The proposal for an addition to an outbuilding and shipping container is recommended for conditional approval.

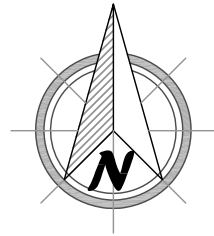
Attachments: 1. Location Plan (1)  
2. Proposal Plan (5)  
3. Site Photo (1)

Ross Lovell  
**MANAGER CITY PLANNING**

# Attachment 1



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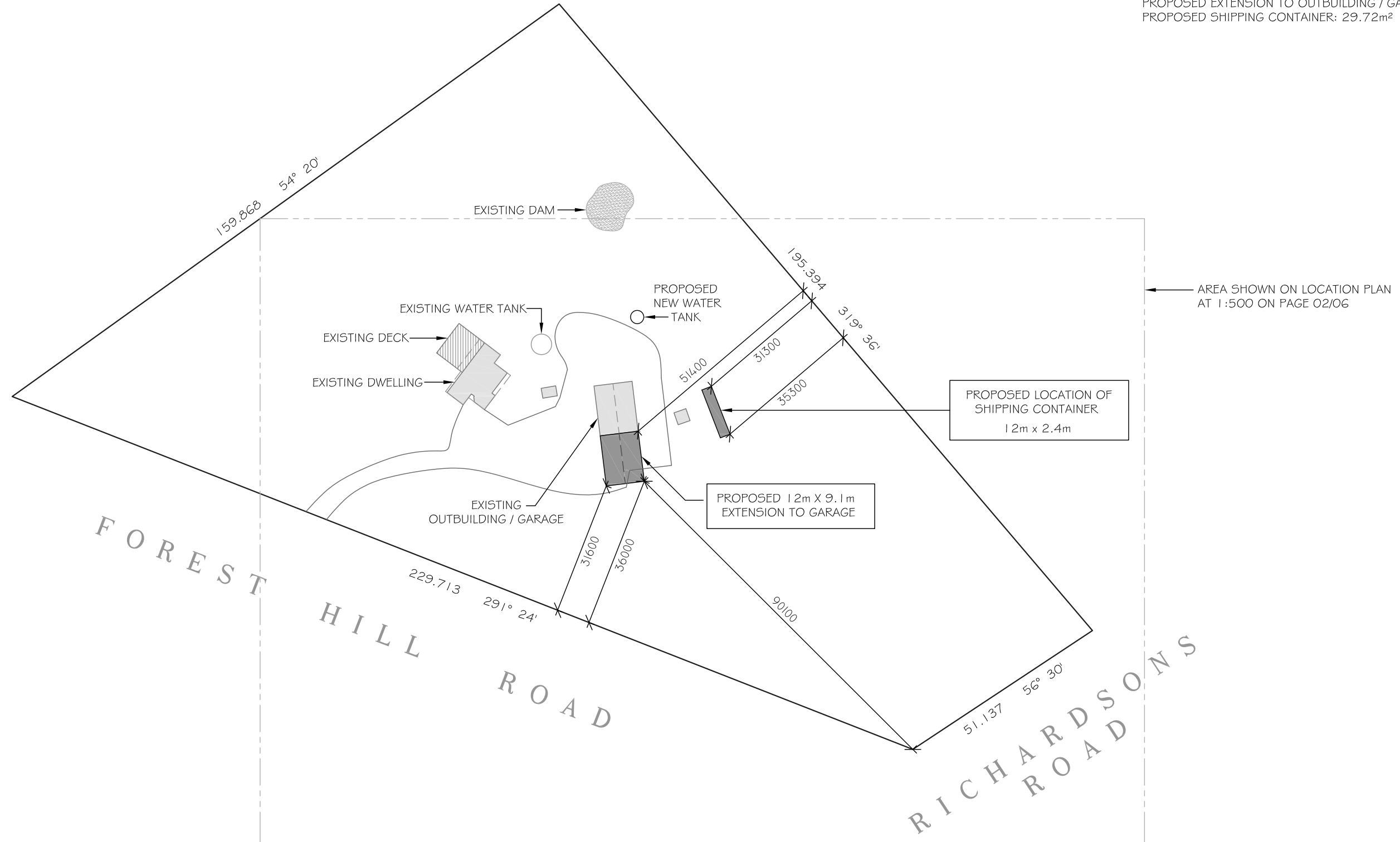


## Attachment 2

LOT AREA: 2.037ha

EXISTING DWELLING AREA: 112.2m<sup>2</sup>  
EXISTING DECK AREA: 67.3m<sup>2</sup>  
EXISTING GARDEN SHEDS: 17.4m<sup>2</sup>  
EXISTING OUTBUILDING GARAGE: 108.5m<sup>2</sup>

PROPOSED EXTENSION TO OUTBUILDING / GARAGE AREA: 109.2m<sup>2</sup>  
PROPOSED SHIPPING CONTAINER: 29.72m<sup>2</sup>



SITE PLAN PREPARED FROM CERTIFICATE OF TITLE  
INFORMATION AND MEASUREMENTS TAKEN ON SITE.  
CONFIRMATION OF BOUNDARY LOCATION BY  
REGISTERED SURVEYOR IS ALWAYS RECOMMENDED  
PRIOR TO CONSTRUCTION AND IS THE RESPONSIBILITY  
OF THE PROPERTY OWNER.

VOL : 61166  
FOLIO: 1  
m<sup>2</sup>

SITE PLAN 1:1000

PROPOSAL : EXTENSION TO EXISTING OUTBUILDING / GARAGE  
& SHIPPING CONTAINER STORAGE

OWNER : R. HIGGINS  
ADDRESS: 4 RICHARDSONS ROAD, SANDFORD, 7020

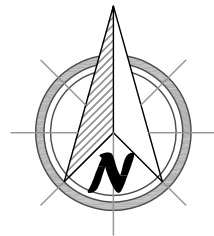
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DATE: 27th August 2017  
JOB No: 111

RESIDENTIAL DRAFTING & DESIGN

DRAWN BY: A.Brown

RESIDENTIAL DRAFTING & DESIGN - ACCREDITATION CC6003R - PH 0400 695 939 - ABN 21 010 137 922

PAGE: 01/06

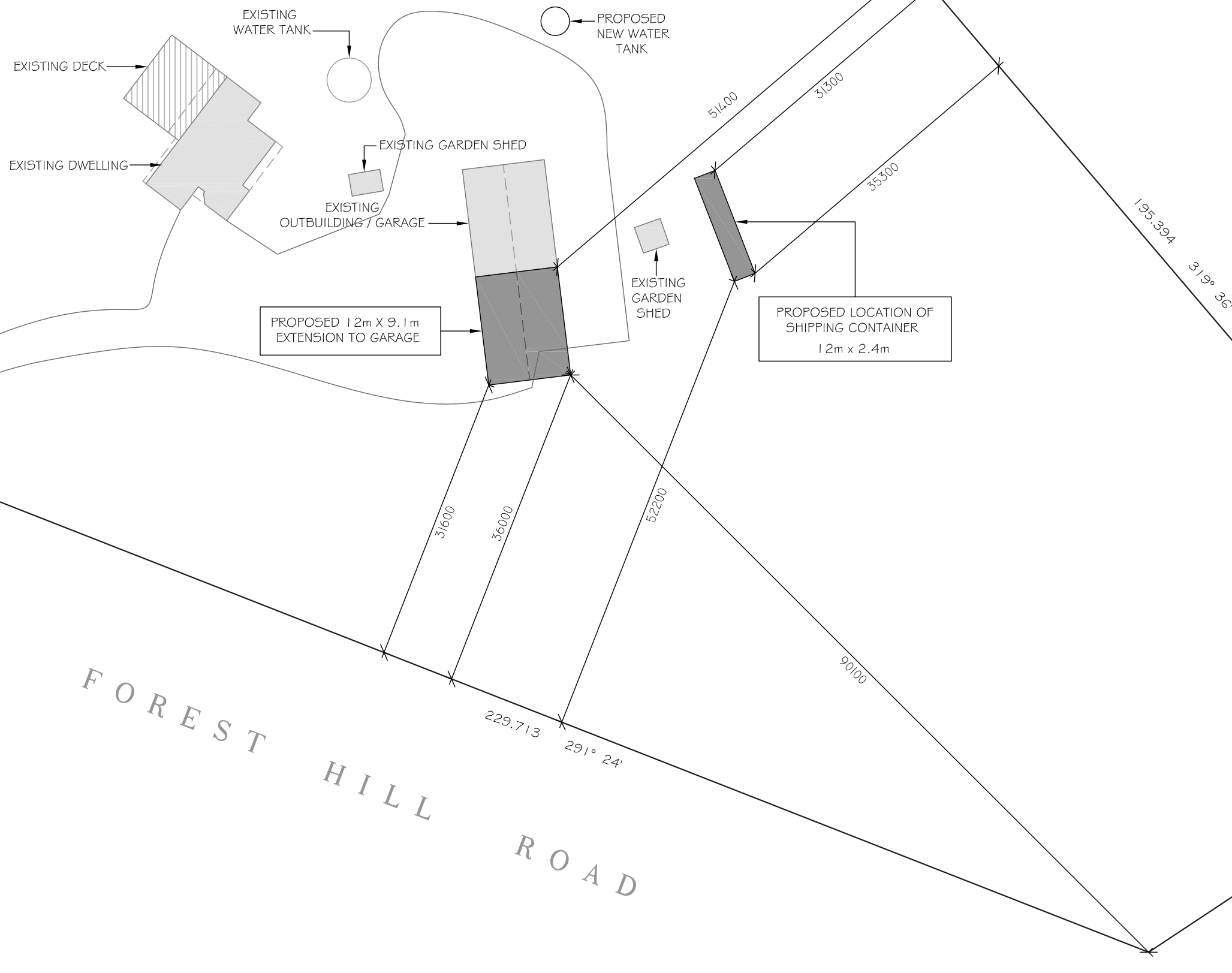


EXISTING DAM

LOT AREA: 2.037ha

EXISTING DWELLING AREA: 112.2m<sup>2</sup>  
EXISTING DECK AREA: 67.3m<sup>2</sup>  
EXISTING GARDEN SHEDS: 17.4m<sup>2</sup>  
EXISTING OUTBUILDING GARAGE: 108.5m<sup>2</sup>

PROPOSED EXTENSION TO OUTBUILDING / GARAGE AREA: 109.2m<sup>2</sup>  
PROPOSED SHIPPING CONTAINER: 29.72m<sup>2</sup>



# LOCATION PLAN 1:500

PROPOSAL : EXTENSION TO EXISTING OUTBUILDING / GARAGE  
& SHIPPING CONTAINER STORAGE  
OWNER : R. HIGGINS  
ADDRESS: 4 RICHARDSONS ROAD, SANDFORD, 7020

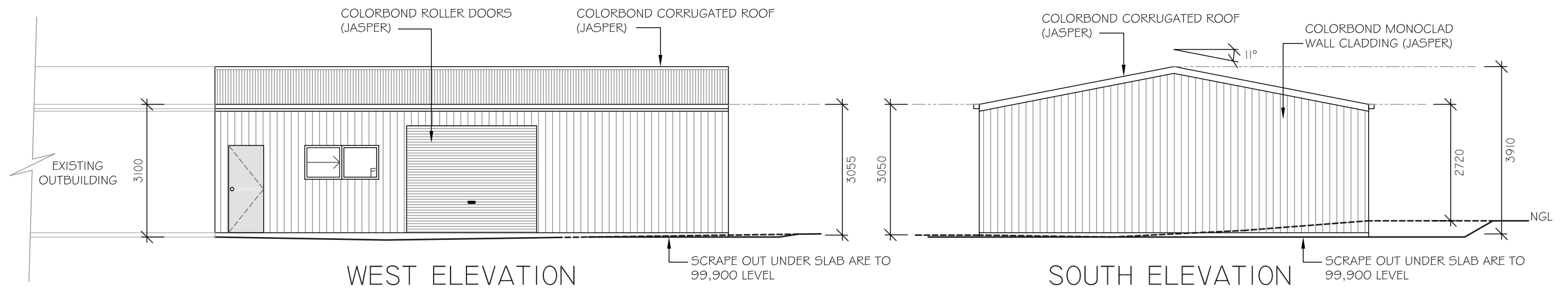
SCALE: 1:500  
DATE: 27th August 2017  
JOB No: 111

RESIDENTIAL DRAFTING & DESIGN

DRAWN BY: A.Brown

RESIDENTIAL DRAFTING & DESIGN - ACCREDITATION CC6003R - PH 0400 695 939 - ABN 21 010 137 922

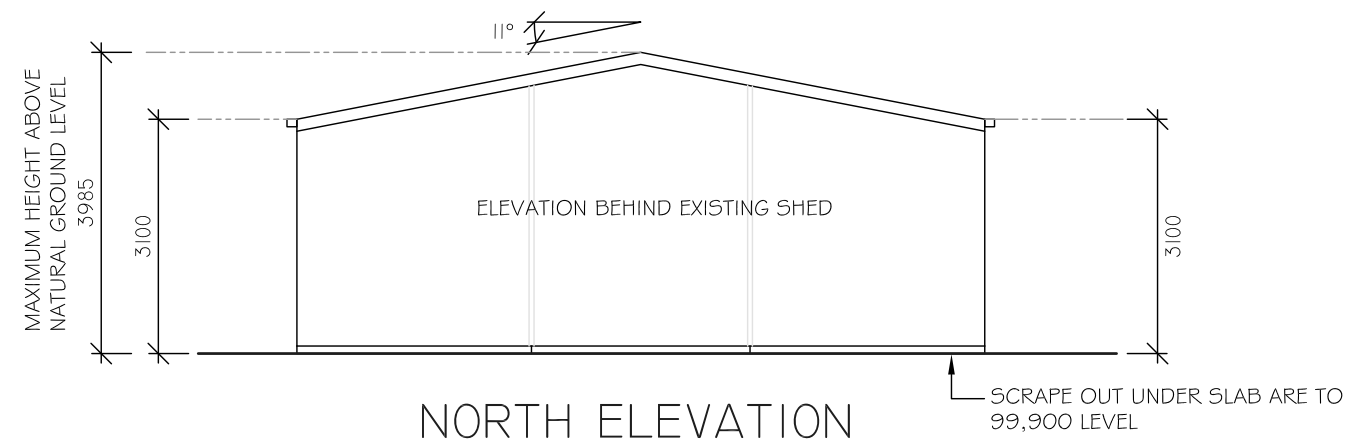
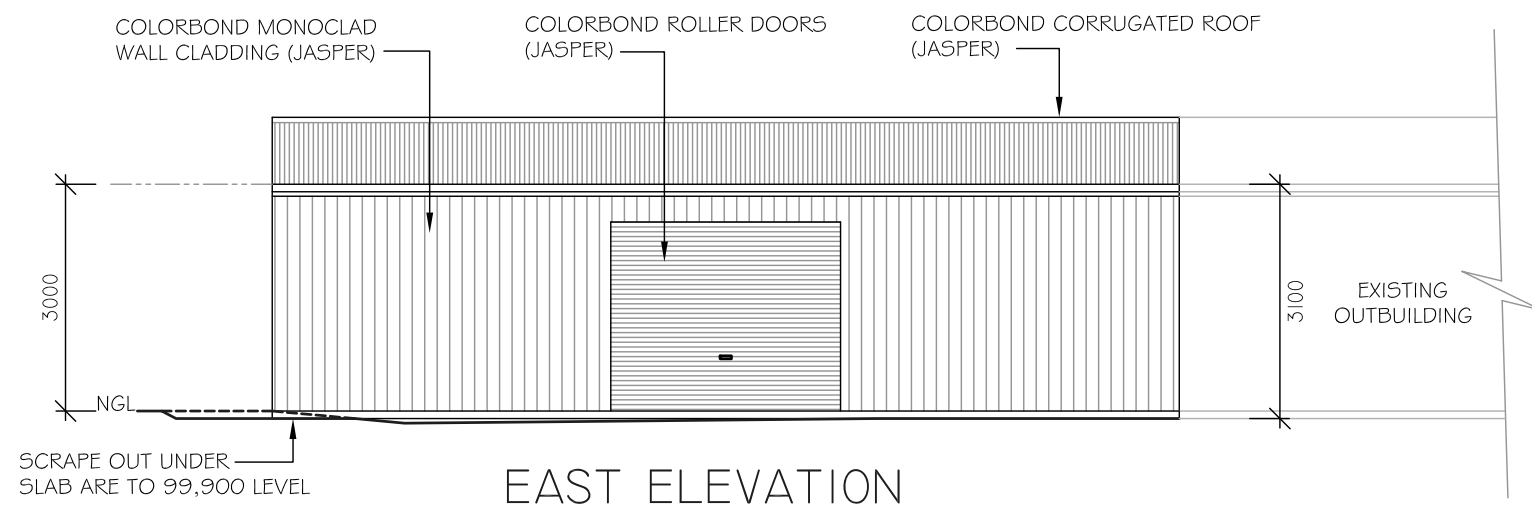
PAGE: 02/06



COLOUR'S (COLORBOND®):

- EXT. WALLS - JASPER
- ROOF - JASPER
- ROLLER DOOR - JASPER
- PA DOOR - CLASSIC CREAM
- WINDOW FRAME - CLASSIC CREAM
- GUTTER - CLASSIC CREAM
- CORNER FLASH - JASPER
- BARGE FLASHING - CLASSIC CREAM
- OPENING FLASH - CLASSIC CREAM

ALL EARTHWORKS & EXCAVATION TO BE IN ACCORDANCE WITH PART 3.1.1 BCA 2016.



ALL HEIGHTS SHOWN ARE ABOVE NATURAL / EXISTING GROUND LEVEL.

ACTUAL HEIGHTS OF WALLS ABOVE CONCRETE SLAB ARE:

- SIDE WALL HEIGHT - 3000mm
- END WALL HEIGHT TO APEX - 3884mm

REFER TO DRAWINGS BY NORTHERN CONSULTING FOR ALL MEMBER AND MATERIAL DETAILS AS WELL AS FOOTING DESIGN AND SPECIFICATIONS.

# ELEVATIONS GARAGE EXTENSION 1:100

PROPOSAL : EXTENSION TO EXISTING OUTBUILDING / GARAGE & SHIPPING CONTAINER STORAGE

OWNER : R. HIGGINS

ADDRESS: 4 RICHARDSONS ROAD, SANDFORD, 7020

SCALE: 1:100

DATE: 27th August 2017

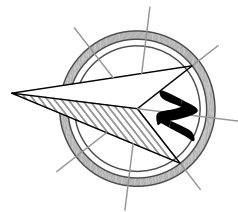
JOB No: 111

RESIDENTIAL DRAFTING & DESIGN

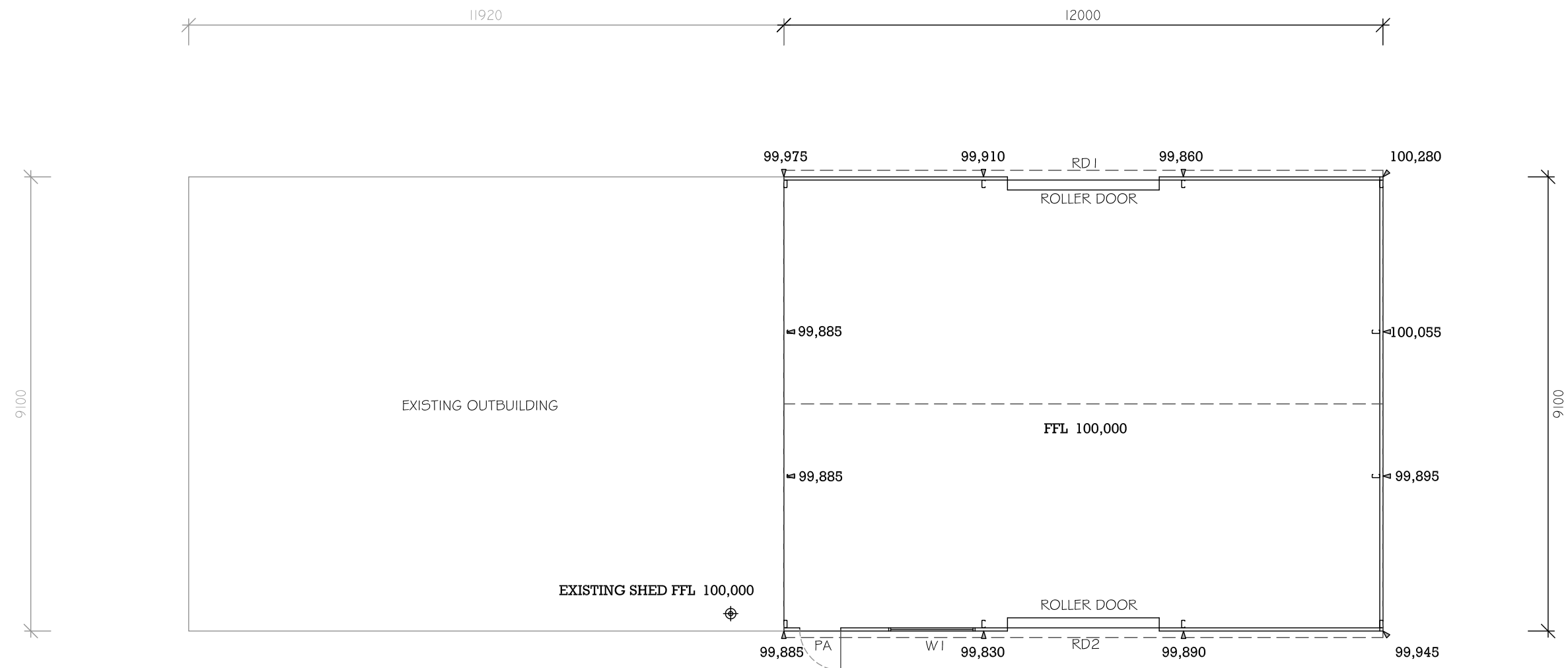
DRAWN BY: A.Brown

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PAGE: 03/06



WINDOW & DOOR SCHEDULE			
	ID	HEIGHT	WIDTH
WINDOWS	W1	790mm	1730mm
ROLLER DOORS	RD1	2500mm	3040mm
	RD2	2500mm	3040mm
ACCESS DOOR	PA	2040mm	820mm



FLOOR PLAN  
GARAGE EXTENSION  
1:100

**PROPOSAL : EXTENSION TO EXISTING OUTBUILDING / GARAGE  
& SHIPPING CONTAINER STORAGE**

OWNER : R. HIGGINS  
ADDRESS: 4 RICHARDSONS ROAD, SANDFORD, 7020

SCALE: 1:100  
DATE: 27th August 2017  
JOB No: 111

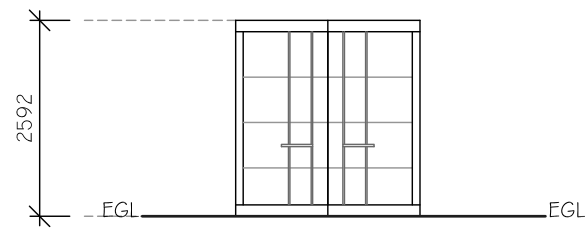
## RESIDENTIAL DRAFTING & DESIGN

DRAWN BY: A.Brown

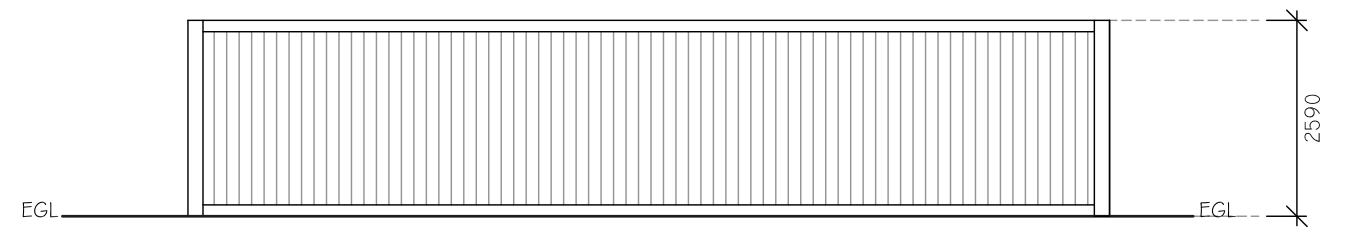
RESIDENTIAL DRAFTING & DESIGN - ACCREDITATION CC6003R - PH 0400 695 939 - ABN 21 010 137 922

PAGE: 04/06



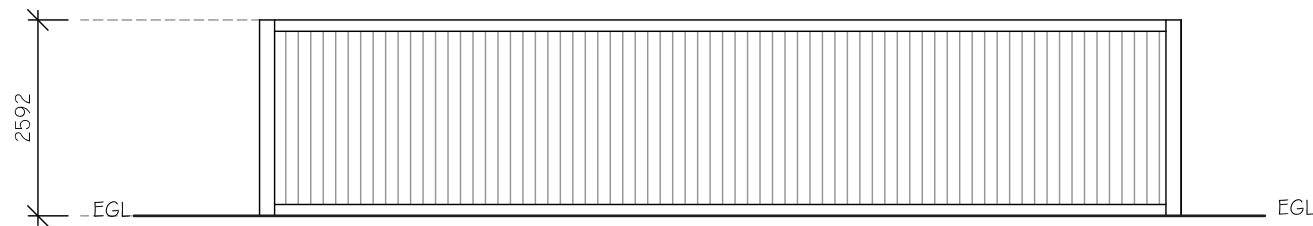


NORTH ELEVATION

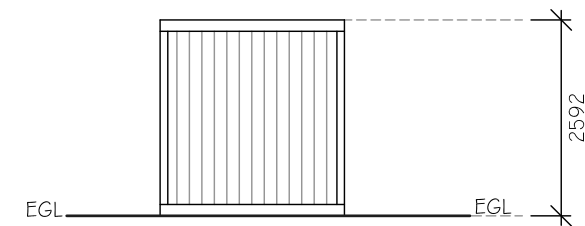


EAST ELEVATION

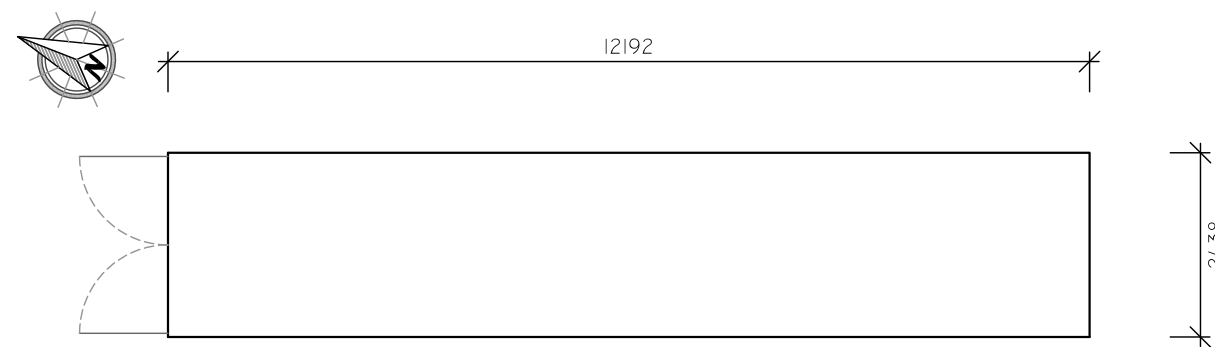
EGL = EXISTING GROUND LEVEL



WEST ELEVATION



SOUTH ELEVATION



FLOOR PLAN

EXTERNAL DIMENSIONS

LENGTH - 12.192m

WIDTH - 2.438m

HEIGHT - 2.592m

COLOUR - RED

ELEVATIONS &  
FLOOR PLAN  
SHIPPING CONT.  
1:100

PROPOSAL : EXTENSION TO EXISTING OUTBUILDING / GARAGE  
& SHIPPING CONTAINER STORAGE  
OWNER : R. HIGGINS  
ADDRESS: 4 RICHARDSONS ROAD, SANDFORD, 7020

SCALE: 1:100  
DATE: 27th August 2017  
JOB No: 111

RESIDENTIAL DRAFTING & DESIGN

DRAWN BY: A.Brown

RESIDENTIAL DRAFTING & DESIGN - ACCREDITATION CC6003R - PH 0400 695 939 - ABN 21 010 137 922

PAGE: 05/06

## Attachment 3

### **4 Richardsons Road, SANDFORD**



**Site viewed from frontage with Richardsons Road**



**Site viewed from frontage with Forest Hill Road (taken from Google Street View)**

**11.3.3 DEVELOPMENT APPLICATION D-2017/309 - 61 KELSON PLACE, ACTON PARK - DWELLING**  
(File No D-2017/309)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for a dwelling at 61 Kelson Place, Acton Park.

**RELATION TO PLANNING PROVISIONS**

The land is zoned Rural Living and subject to the Parking and Access, Stormwater Management and On-site Wastewater Management codes under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

**LEGISLATIVE REQUIREMENTS**

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 12 October 2017, which has been extended with the consent of the applicant until 18 October 2017.

**CONSULTATION**

The proposal was advertised in accordance with statutory requirements and 1 representation was received raising the following issues:

- stormwater management and water run-off; and
- retention basin (water holes) at 61 and 65 Kelson Place not being utilised correctly.

**RECOMMENDATION:**

A. That the Development Application for a dwelling at 61 Kelson Place, Acton Park (CI Ref D-2017/309) be approved subject to the following conditions and advice.

1. GEN AP1 – ENDORSED PLANS.

2. ADVICE – An application for a Plumbing Permit must be submitted and approved as part of the Building Application and will need to adequately demonstrate how stormwater run-off from impervious surfaces within the site will be managed and contained within the property boundaries. Consideration must also be given to management of the retention basin when it reaches capacity.
- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council’s decision in respect of this matter.

---

## **ASSOCIATED REPORT**

### **1. BACKGROUND**

The subject lot was created by subdivision SD-2007/43, which was approved by the Resource Management and Planning Appeal Tribunal on 25 February 2008. Stormwater management was a consideration in the subdivision approval and prior to sealing the final plan, engineering designs were provided demonstrating how stormwater was to be managed.

### **2. STATUTORY IMPLICATIONS**

- 2.1. The land is zoned Rural Living under the Scheme.
- 2.2. The proposal is discretionary because it does not meet the Acceptable Solutions under the Scheme.
- 2.3. The relevant parts of the Planning Scheme are:
  - Section 8.10 – Determining Applications;
  - Section 10 – Rural Living Zone;
  - Section E6.0 – Parking and Access Code;
  - Section E7.0 – Stormwater Management Code; and
  - Section E23.0 – On-Site Wastewater Management Code.

- 2.4.** Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

### **3. PROPOSAL IN DETAIL**

#### **3.1. The Site**

The site is a vacant 4988m<sup>2</sup> internal lot accessed from the eastern side of Kelson Place, Acton Park. The property is relatively flat, with a fall of only 1.5m from west to east across the site. The property is cleared of vegetation with the exception of screening trees along the boundary lines and is surrounded by established dwellings on rural residential sized lots.

#### **3.2. The Proposal**

The proposal is for a single storey, 4 bedroom dwelling to be located centrally on the site, 17m from the eastern boundary, 15m from the northern boundary and 14.9m from the western boundary.

### **4. PLANNING ASSESSMENT**

#### **4.1. Determining Applications [Section 8.10]**

*“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:*

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

*but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.*

Reference to these principles is contained in the discussion below.

**4.2. Compliance with Zone and Codes**

The proposal meets the Scheme's relevant Acceptable Solutions of the Rural Living Zone and Parking and Access, Stormwater Management and On-site Wastewater Management Codes with the exception of the following.

**Rural Living**

Clause	Standard	Acceptable Solution (Extract)	Proposed
13.4.2	A2	Building setback from side and rear boundaries must be no less than 20me.	Northern setback – 15.1m Eastern setback – 17m South-western setback – 14.9.

The proposed variation must be considered pursuant to the Performance Criteria P2 of the Clause 13.4.2 as follows.

Performance Criteria	Proposal
“P2 <i>Building setback from side and rear boundaries must maintain the desirable characteristics of the surrounding landscape and protect the amenity of adjoining lots, having regard to all of the following:</i>	See below
(a) <i>the topography of the site;</i>	The site is generally flat
(b) <i>the size and shape of the site;</i>	The lot size of 4699m <sup>2</sup> , together with the irregular shape of the site, makes it difficult to find an alternative location that would meet the setback requirements.
(c) <i>the location of existing buildings on the site;</i>	Not applicable – there are no existing buildings on the site.
(d) <i>the proposed colours and external materials of the building;</i>	The colours and external materials (“Burnley” brick (mottled brown) with “Monument” colorbond roof would be unlikely to unreasonably affect the amenity of adjoining lots as the colour selection is consistent with other dwellings in the surrounding area.
(e) <i>visual impact on skylines and prominent ridgelines;</i>	Not applicable – the proposal is not situated on a skyline or ridgeline.
(f) <i>impact on native vegetation;</i>	No native vegetation will need to be removed for the dwelling construction.

<p>(g) <i>be sufficient to prevent unreasonable adverse impacts on residential amenity on adjoining lots by:</i></p> <p>(i) <i>overlooking and loss of privacy;</i></p> <p>(ii) <i>visual impact, when viewed from adjoining lots, through building bulk and massing;</i></p>	<p>The dwelling is single storey and is separated by approximately 40m from the dwelling to the south-west, and 50m from the dwelling to the south-east. There is also adequate screening vegetation to prevent overlooking to the property which sits below to the south-east.</p> <p>The dwelling is of similar size and scale to other properties in the surrounding area and being single storey and darker external colours, it is considered there will be no unreasonable visual impacts through building bulk and massing.</p>
<p>(h) <i>be no less than:</i></p> <p>(i) <i>10m; or</i></p> <p>(ii) <i>5m for lots below the minimum lot size specified in the acceptable solution; or</i></p> <p>(iii) <i>the setback of an existing roofed building (other than an exempt building) from that boundary.</i></p> <p><i>unless the lot is narrower than 40m at the location of the proposed building site”.</i></p>	<p>The proposed setbacks will be 14.9m, 15m and 17m, which are consistent with Clause (h)(i).</p>

**Stormwater Management Code**

Clause	Standard	Acceptable Solution (Extract)	Proposed
E7.7.1	A1	Stormwater from new impervious surfaces must be disposed of by gravity to public stormwater infrastructure.	Stormwater from the dwelling is to be disposed of in 2 new 15m long stormwater trenches.

The proposed variation must be considered pursuant to the Performance Criteria P1 of the Clause E7.7.1 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<p><i>“P1 Stormwater from new impervious surfaces must be managed by any of the following:</i></p> <p><i>(a) disposed of on-site with soakage devices having regard to the suitability of the site, the system design and water sensitive urban design principles</i></p> <p><i>(b) collected for re-use on the site;</i></p> <p><i>(c) disposed of to public stormwater infrastructure via a pump system which is designed, maintained and managed to minimise the risk of failure to the satisfaction of the Council”.</i></p>	<p>A Geo-Environmental Assessment has been provided which shows that stormwater from the dwelling will be disposed of adequately to 2 new 15m soakage trenches. Stormwater from the proposed sealed driveway will be captured in the existing retention basin located in the north-eastern corner of the site.</p> <p>The report has been reviewed by Council’s Engineers and is considered satisfactory.</p>

### **Stormwater Management Code**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
E7.7.1	A2	<p>A stormwater system for a new development must incorporate water sensitive urban design principles R1 for the treatment and disposal of stormwater if any of the following apply:</p> <p>(a) the size of new impervious area is more than 600m<sup>2</sup>;</p> <p>(b) new car parking is provided for more than 6 cars;</p> <p>(c) a subdivision is for more than 5 lots.</p>	Combined new impervious areas of the dwelling and sealed driveway are approximately 700m <sup>2</sup> .



The proposed variation must be considered pursuant to the Performance Criteria P1 of the Clause E7.7.1 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<p><i>“P2 A stormwater system for a new development must incorporate a stormwater drainage system of a size and design sufficient to achieve the stormwater quality and quantity targets in accordance with the State Stormwater Strategy 2010, as detailed in Table E7.1 unless it is not feasible to do so”.</i></p>	<p>As detailed above, a Geo-Environmental Assessment has been provided which shows that stormwater from the dwelling and sealed driveway will be disposed of adequately to 2 new 15m soakage trenches and an existing retention basin.</p>

## **5. REPRESENTATION ISSUES**

The proposal was advertised in accordance with statutory requirements and 1 representation was received. The following issues were raised by the representor.

### **5.1. Stormwater Management and Water Run-off**

The representor has expressed concern that the site will not be able to contain and manage its stormwater run-off once the dwelling is constructed. The representor has provided evidence of existing issues with water pooling on the site and run-off to adjoining properties.

- **Comment**

The Scheme requires that stormwater from new impervious surfaces be disposed of to an appropriate stormwater system. The applicant has demonstrated that concentrated water from the dwelling and driveway can be contained within the property by 2 new soakage trenches and an existing retention basin. It is also considered that the property is of sufficient size to detain stormwater on-site.

Whilst the representor has provided photographs showing there are issues with water run-off and pooling from rainwater events, the developer is only required to manage concentrated water flow from the dwelling and new impervious surfaces.

The representor has also provided documentation from an independent engineer which was sought during the original subdivision approval process which describes their land as “naturally susceptible to drainage problems, irrespective of any surrounding developments” and “that the house may also be located poorly, in a generally low area”. Given this information, it is considered the proposal, with the stormwater management that is proposed, is unlikely to exacerbate the already existing issues.

## **5.2. Retention Basin (Water Holes) at 61 and 65 Kelson Place not being Utilised Correctly**

The representor has concerns that the 2 existing waterholes, which were shown on the original subdivision plan as retention basins, have been allowed to fill and overflow causing issues to residents downhill from them.

- **Comment**

The owners of 61 Kelson Place have a responsibility to ensure that stormwater does not create a nuisance to neighbouring properties. Building and plumbing permits will be required and these will ensure that appropriate measures are undertaken to direct stormwater and any overflow from the basin, without this run-off entering the neighbouring properties. An advice to this effect is therefore recommended.

As 65 Kelson Place is not part of this application, issues relating to the retention basin contained on this property is not a relevant consideration.

## **6. EXTERNAL REFERRALS**

No external referrals were required or undertaken as part of this application.

## **7. STATE POLICIES AND ACT OBJECTIVES**

**7.1.** The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

**7.2.** The proposal is consistent with the objectives of Schedule 1 of LUPAA.

**8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS**

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

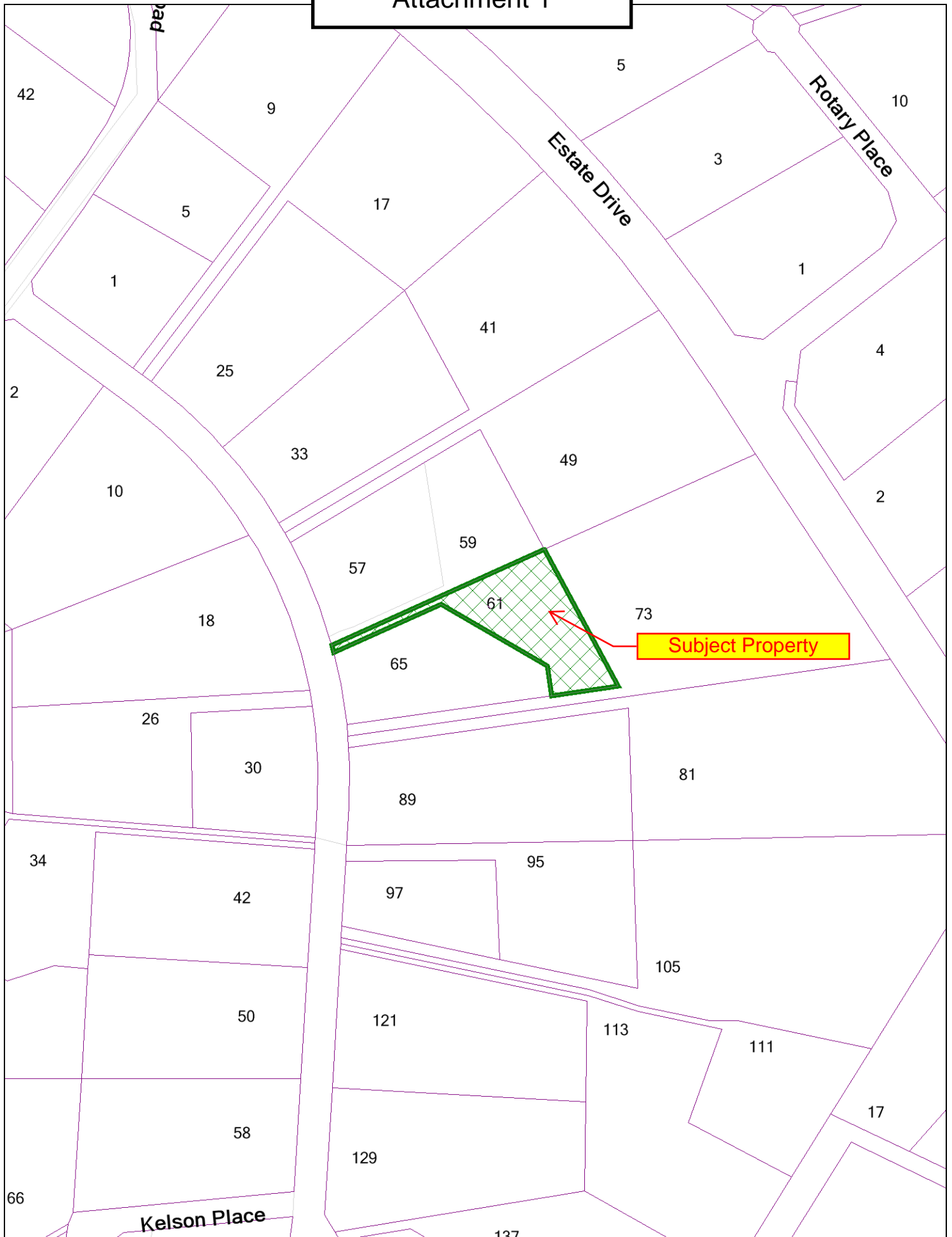
**9. CONCLUSION**

The proposal for a new dwelling at 61 Kelson Place, Acton Park is recommended for conditional approval.

Attachments: 1. Location Plan (1)  
2. Proposal Plan (6)  
3. Site Photo (1)

Ross Lovell  
**MANAGER CITY PLANNING**

## Attachment 1



**Subject Property**



**Disclaimer:** This map is a representation of the information currently held by Clarence City Council. While every effort has been made to ensure the accuracy of the product, Clarence City Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated. Copying or reproduction, without written consent is prohibited. **Date:** Friday, 6 October 2017 **Scale:** 1:3,025 @A4



## FFL: 9.06



- Builder to verify all dimensions and levels on site prior to commencement of work
- All work to be carried out in accordance with the current National Construction Code.
- Dimensions to take precedence over scale.
- Do not scale from these drawings.

D	Changes as per cover sheet	20 July 17	SS	Designer:	Client / Project info:
C	Changes as per cover sheet	19 June 17	JM	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN ACC. NO. CC2204H Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED WILKINS RESIDENCE
B	Changes as per cover sheet	18 Apr. 16	SS		61 Kelson Place, ACTON PARK
A	Changes as per cover sheet	23 Mar. 16	MM		
No.	Amendment	Date	Init.		

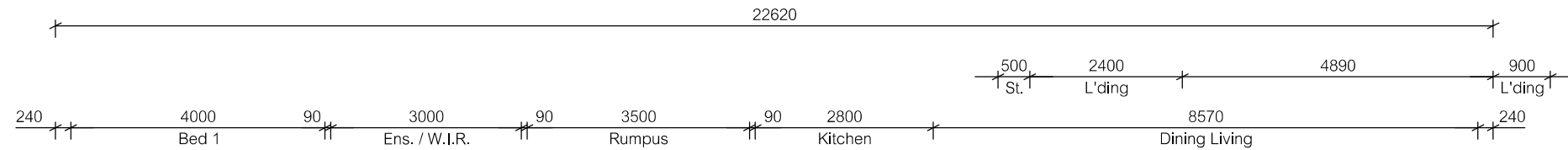
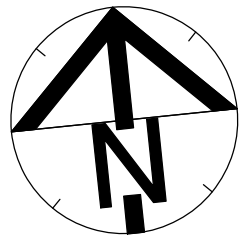


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Date	17 March 2016	Sheet
Scale	1:500	01/03

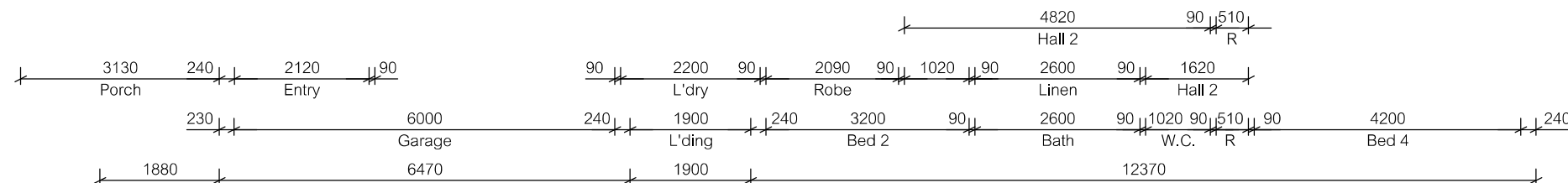
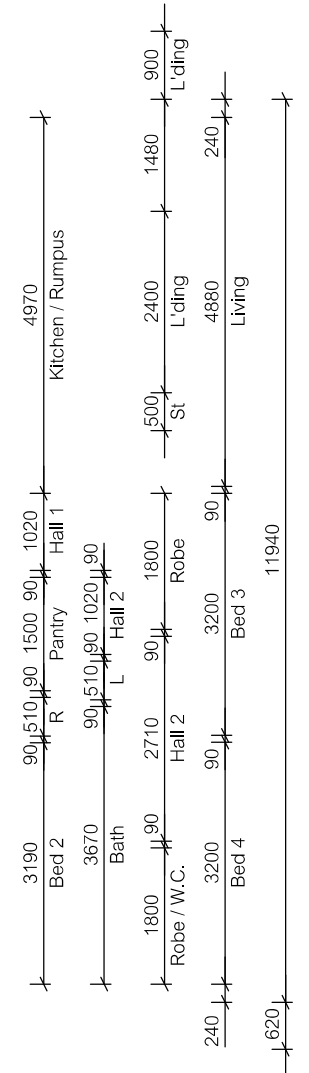
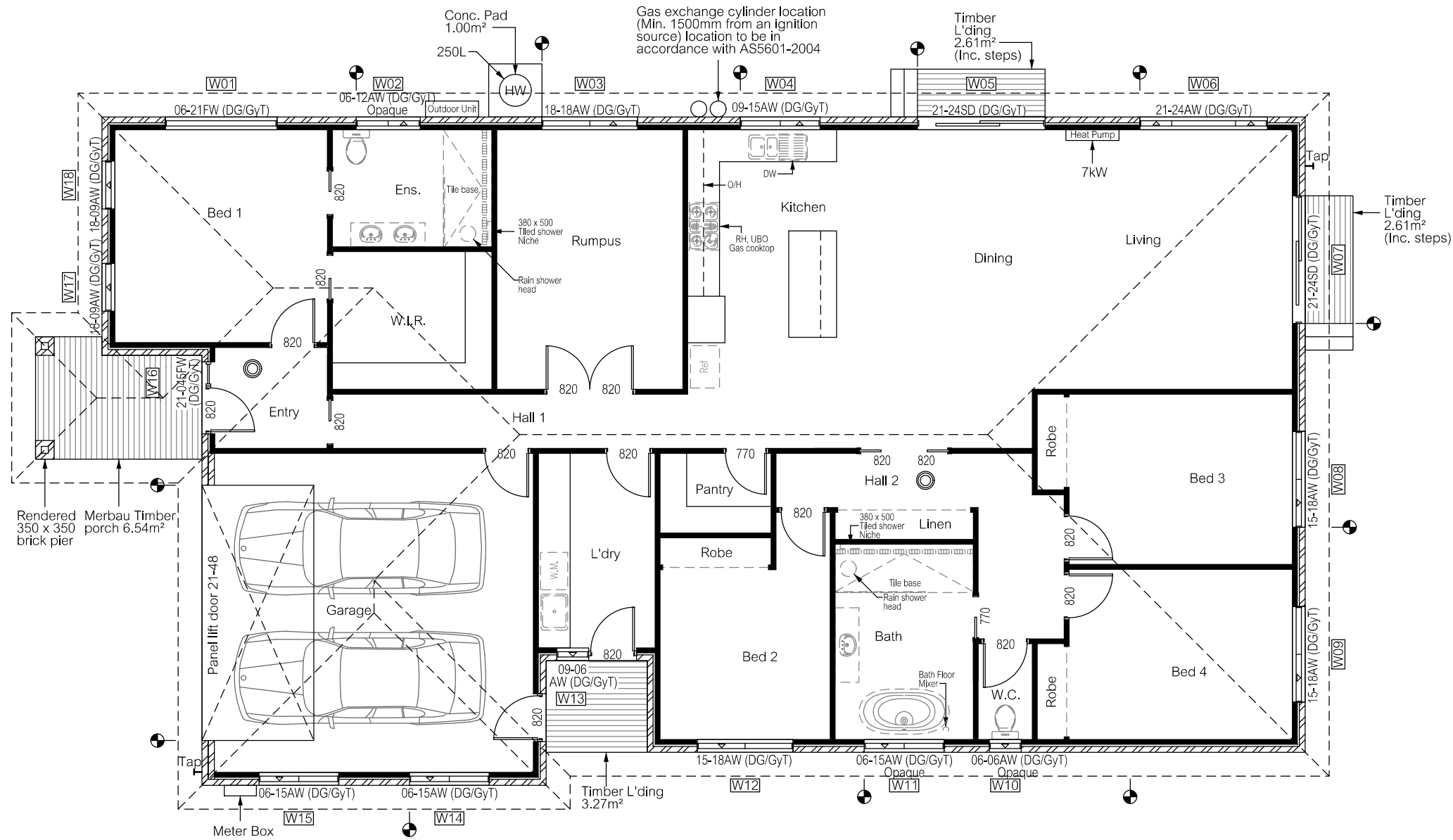
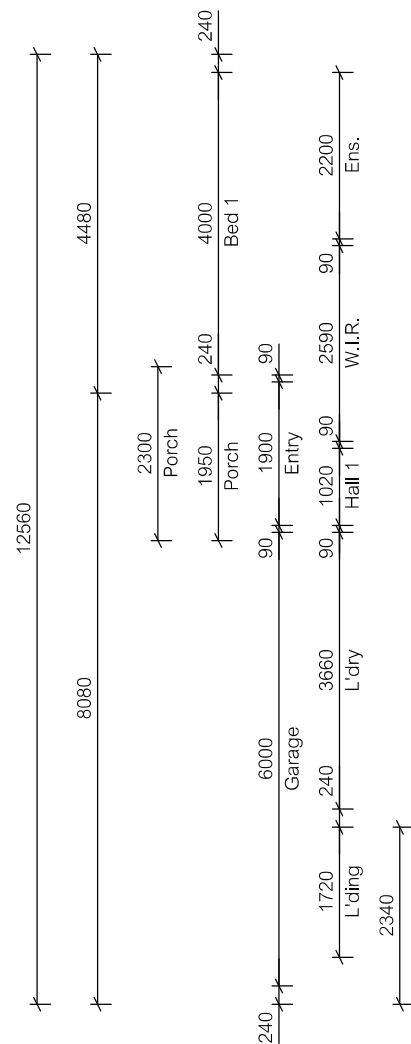








NOTE:  
- Square set plaster throughout dwelling  
- All joinery including robe doors to be supplied by the owner  
- All kitchen appliances to be supplied by the owner  
- All Kitchen / bathroom / ensuite / laundry fit outs to be completed by owner



THIS DWELLING IS BEING CONSTRUCTED IN AN AREA EXEMPT FROM BUSHFIRE RISK ASSESSMENT  
No additional restrictions for construction methods / materials apply.

- NOTES
- Builder to verify all dimensions and levels on site prior to commencement of work
  - All work to be carried out in accordance with the current National Construction Code.
  - Dimensions to take precedence over scale.
  - Do not scale from these drawings.

FLOOR AREA = 256.80 sqm

- Articulation joints
- Smoke Alarm (interconnected where more than 1)

ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.

D	Changes as per cover sheet	20 July 17	SS	Designer:
C	Changes as per cover sheet	19 June 17	JM	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN ACC. NO. CC2204H Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au
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A	Changes as per cover sheet	23 Mar. 16	MM	
No.	Amendment	Date	Init.	

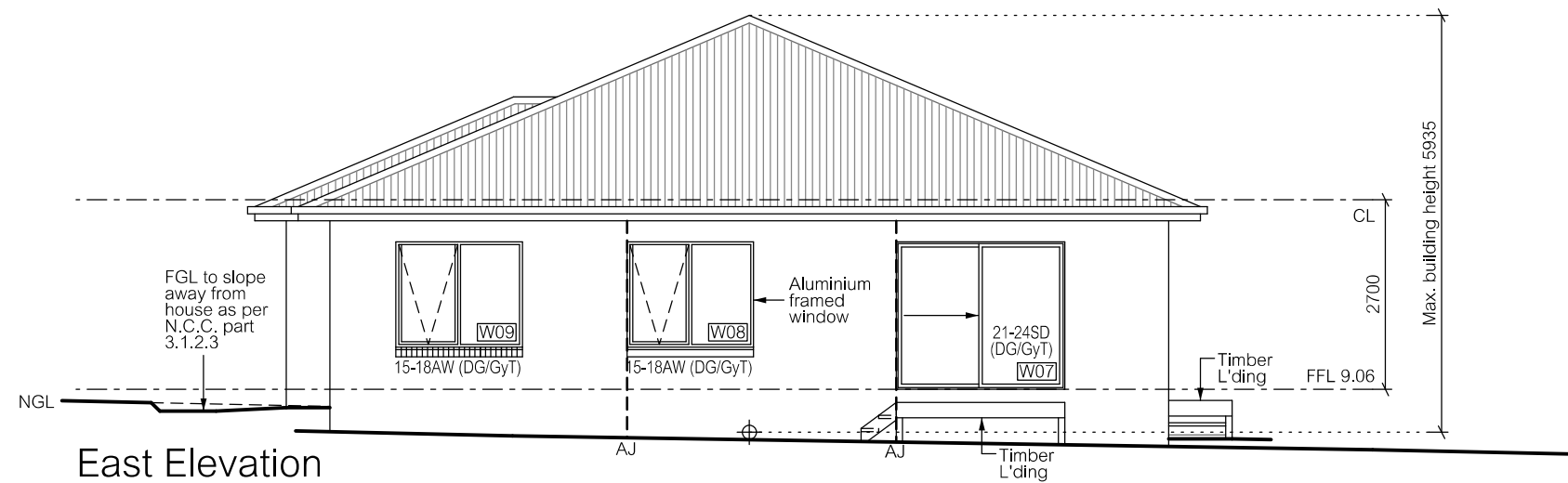
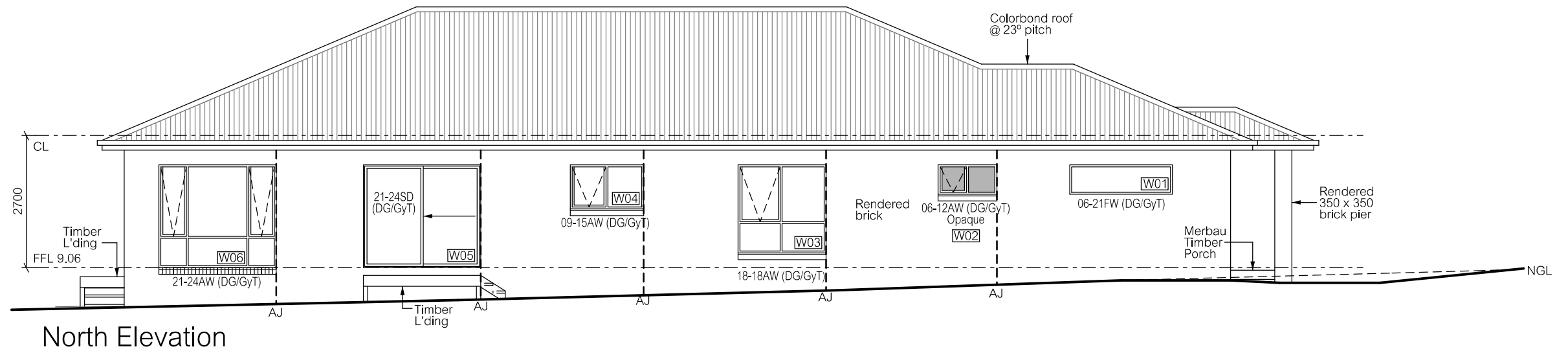
Client / Project info:  
PROPOSED WILKINS RESIDENCE  
61 Kelson Place,  
ACTON PARK



## FLOOR PLAN

Drawn	MM	WH10095
Date	17 March 2016	Sheet
Scale	1:100	
WILSON HOMES © 2017		02/03





THIS DWELLING IS BEING CONSTRUCTED IN AN AREA EXEMPT FROM BUSHFIRE RISK ASSESSMENT  
No additional restrictions for construction methods / materials apply.

- NOTES
- Builder to verify all dimensions and levels on site prior to commencement of work
  - All work to be carried out in accordance with the current National Construction Code.
  - Dimensions to take precedence over scale.
  - Do not scale from these drawings.

ALL window sizes to be checked and/or confirmed on site prior to ordering glazing units.

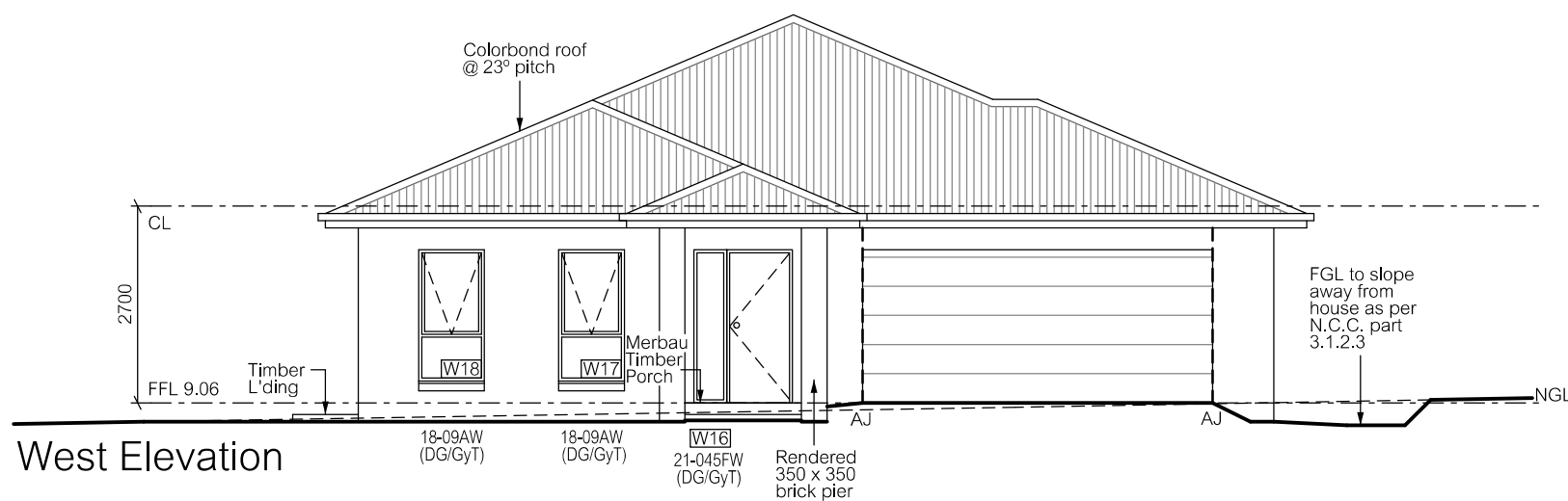
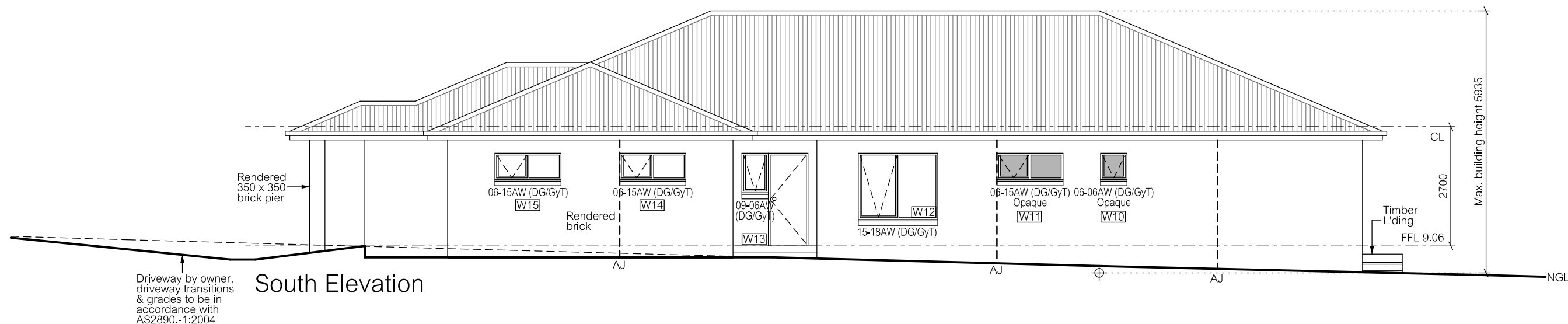
No.	Amendment	Date	Init.	Designer:
D	Changes as per cover sheet	20 July 17	SS	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN ACC. NO. CC2204H Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au
C	Changes as per cover sheet	19 June 17	JM	
B	Changes as per cover sheet	18 Apr. 16	SS	

Client / Project info:  
PROPOSED WILKINS RESIDENCE  
61 Kelson Place,  
ACTON PARK

**WILSON HOMES**  
MULTI AWARD WINNING BUILDERS  
A Division of Wilson Homes Tasmania Pty Ltd  
ABN 76 126 636 897

## ELEVATIONS SHEET 1

Drawn	MM	WH10095
Date	17 March 2016	Sheet
Scale	1:100	03/03
WILSON HOMES © 2017		



THIS DWELLING IS BEING CONSTRUCTED IN AN AREA EXEMPT FROM BUSHFIRE RISK ASSESSMENT  
No additional restrictions for construction methods / materials apply.

- NOTES
- Builder to verify all dimensions and levels on site prior to commencement of work
  - All work to be carried out in accordance with the current National Construction Code.
  - Dimensions to take precedence over scale.
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No.	Amendment	Date	Init.	Designer:
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C	Changes as per cover sheet	19 June 17	JM	
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Client / Project info:  
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ACTON PARK

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## ELEVATIONS SHEET 2

Drawn MM WH10095  
Date 17 March 2016 Sheet  
Scale 1:100  
WILSON HOMES © 2017

03a/o3

## Attachment 3

### 61 Kelson Place, ACTON PARK



Site viewed from Kelson Place.



Aerial view of site taken from Council's records.

**11.3.4 DEVELOPMENT APPLICATION D-2017/244 - 49 PIPE CLAY ESPLANADE, CREMORNE - DWELLING ADDITIONS AND ALTERATIONS**  
(File No D-2017/244)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for dwelling additions and alterations at 49 Pipe Clay Esplanade, Cremorne.

**RELATION TO PLANNING PROVISIONS**

The land is zoned Village and subject to the Inundation Prone Areas, Coastal Erosion, Stormwater Management and the On-site Waste Water Management Codes under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

**LEGISLATIVE REQUIREMENTS**

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which was extended with the consent of the applicant until 18 October 2017.

**CONSULTATION**

The proposal was advertised in accordance with statutory requirements and 1 representation was received raising the following issues:

- loss of privacy; and
- height.

**RECOMMENDATION:**

- A. That the Development Application for Dwelling at 49 Pipe Clay Esplanade, Cremorne (CI Ref D-2017/243) be approved subject to the following conditions and advice:
1. GEN AP1 – ENDORSED PLANS.
  2. GEN AP3 – AMENDED PLAN [screening or obscure glass to a minimum sill height of 1.7m to the second storey windows on the southern elevation].

3. Construction details in accordance with the recommendations of the Coastal Vulnerability Assessment (JSA Consulting Engineers, 11 August 2017) must be submitted and approved to the satisfaction of Council's Group Manager Engineering Services prior to the issue of a Building Permit.
- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

---

## **ASSOCIATED REPORT**

### **1. BACKGROUND**

No relevant background.

### **2. STATUTORY IMPLICATIONS**

**2.1.** The land is zoned Village under the Scheme.

**2.2.** The proposal is discretionary because it does not meet the Acceptable Solutions under the Scheme.

**2.3.** The relevant parts of the Planning Scheme are:

- Section 8.10 – Determining Applications;
- Section 10 – Village Zones; and
- Section E6.0 – Inundation Prone Areas, Coastal Erosion, Stormwater Management and the On-site Waste Water Management Codes.

**2.4.** Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

### **3. PROPOSAL IN DETAIL**

#### **3.1. The Site**

The site is a 1275m<sup>2</sup> residential lot with frontage to Pipe Clay Esplanade to the west and Frederick Henry Parade to the east. The site contains a 2 storey dwelling with vehicular access to Pipe Clay Esplanade.

#### **3.2. The Proposal**

The proposal is for alterations and additions to the existing dwelling comprising of a second storey addition, a lower ground addition and a 3 car garage.

### **4. PLANNING ASSESSMENT**

#### **4.1. Determining Applications [Section 8.10]**

*“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:*

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

*but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.*

Reference to these principles is contained in the discussion below.

#### **4.2. Compliance with Zone and Codes**

The proposal meets the Scheme’s relevant Acceptable Solutions of the Village Zone and Inundation Prone Areas, Coastal Erosion and the On-site Waste Water Management Codes with the exception of the following.

**Village**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
16.4.2 A2	Setback	<p>Building setback from side and rear boundaries must be no less than:</p> <p>(a) 2m;</p> <p>(b) half the height of the wall,</p> <p>whichever is the greater.</p>	<p>Lower ground floor additions does not comply as follows:</p> <p>Setback to northern boundary to entry: 1.995m (required setback is 2.05m);</p> <p>Setback to southern boundary to second floor: 3.25m (required setback is 3.47m).</p>

The proposed variation must be considered pursuant to the Performance Criteria P2 of the Clause 16.4.2 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<p><i>“Building setback from side and rear boundaries must satisfy all of the following:</i></p> <p><i>(a) be sufficient to prevent unreasonable adverse impacts on residential amenity on adjoining lots by:</i></p> <p><i>(i) overlooking and loss of privacy;</i></p>	<p>It is considered that the variation to the northern boundary will not result in a loss of privacy as this part of the dwelling contains an entry which is located on the lower ground level and below the level of the adjoining property to the north. Therefore this will not result in a loss of privacy to the adjoining property to the north.</p> <p>The second storey addition requires a minor variation to the side setback from 3.47m as required by the Scheme to 3.275m. The southern elevation contains a large window into the second storey dressing room and a highlight window in a bedroom. It is recommended that a condition be included for opaque screening to this window to prevent overlooking to ensure that the proposal does not result in overlooking to the adjoining property to the south.</p>

<p>(ii) <i>overshadowing and reduction of sunlight to habitable rooms and private open space on adjoining lots to less than 3 hours between 9.00am and 5.00pm on 21 June or further decrease sunlight hours if already less than 3 hours;</i></p>	<p>The only dwelling that could be affected by overshadowing is the existing dwelling to the south at 52 Pipe Clay Esplanade. Consideration must also be given to the proposed dwelling which is also being considered at this Council Meeting.</p> <p>The proposed dwelling is to the north-west of the dwelling at 52 Pipe Clay Esplanade and due to its orientation on the site it will cause overshadowing to the adjoining dwelling, only in the afternoon on 21 June and therefore retain at least 3 hours sunlight to habitable rooms and private open space.</p>
<p>(iii) <i>visual impact, when viewed from adjoining lots, through building bulk and massing;</i></p> <p><i>taking into account aspect and slope”.</i></p>	<p>The proposed second storey has a maximum height of 7.55m which is below the maximum height allowed in the zone. When viewed from the adjoining lots, the dwelling appears 2 storey as it steps down westwards with the slope of the site.</p> <p>On this basis, it is considered that the proposal will not have a significant visual impact when viewed</p>

**Coastal Erosion Hazard Code:**

Clause	Standard	Acceptable Solution (Extract)	Proposed
E16.7.1 A1	Building and Works	No Acceptable Solution.	Coastal Vulnerability Assessment (JSA Consulting Engineers, 11 August 2017 to support development.



The proposed variation must be considered pursuant to the Performance Criteria P2 of the Clause 16.4.2 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<p><i>“Buildings and works must satisfy all of the following:</i></p> <p>(a) <i>not increase the level of risk to the life of the users of the site or of hazard for adjoining or nearby properties or public infrastructure;</i></p>	<p>The Coastal Vulnerability Assessment makes recommendations regarding the construction of the dwelling and foundations and concludes that the proposal will not increase the risk to the life of the users of the site, adjoining properties, or public infrastructure. Council’s Engineers have assessed the proposal and considered that it meets the Performance Criteria, provided that the recommendations of the report are complied with. It is recommended that a condition be included requiring engineering designs incorporating these recommendations must be submitted and approved prior to the submission of a Building Permit.</p>
<p>(b) <i>erosion risk arising from wave run-up, including impact and material suitability, may be mitigated to an acceptable level through structural or design methods used to avoid damage to, or loss of, buildings or works;</i></p>	<p>Construction methods proposed are considered to be reasonable to mitigate risks to an acceptable level.</p>
<p>(c) <i>erosion risk is mitigated to an acceptable level through measures to modify the hazard where these measures are designed and certified by an engineer with suitable experience in coastal, civil and/or hydraulic engineering;</i></p>	<p>As above</p>
<p>(d) <i>need for future remediation works is minimised;</i></p>	<p>The proposed construction method is considered satisfactory to minimise the need for future mediation works.</p>
<p>(e) <i>health and safety of people is not placed at risk;</i></p>	<p>The proposal is not considered to increase the risk to the health and safety of people.</p>
<p>(f) <i>important natural features are adequately protected;</i></p>	<p>The dwelling is located within the footprint of an existing dwelling and will not affect the natural features on the adjoining beach reserve.</p>

<i>(g) public foreshore access is not obstructed where the managing public authority requires it to continue to exist;</i>	No relevant
<i>(h) access to the site will not be lost or substantially compromised by expected future erosion whether on the proposed site or off-site;</i>	Access to the site is from Pipe Clay Esplanade which is protected by a vegetated fore dune.
<i>(i) provision of a developer contribution for required mitigation works consistent with any adopted Council Policy, prior to commencement of works;</i>	Not required
<i>(j) not be located on an actively mobile landform”.</i>	The dwelling is not located on an actively mobile landform.

## **5. REPRESENTATION ISSUES**

The proposal was advertised in accordance with statutory requirements and 1 representation was received. The following issues were raised by the representor.

### **5.1. Loss of Privacy**

Concern was raised that the second storey addition will result in a loss of privacy to the property to the north.

- **Comment**

The second storey addition is located 8.695m from the northern boundary and meets the setback requirements of the Scheme. Accordingly, this issue does not have determining weight.

### **5.2. Height**

Concern was raised that the proposal being 3 levels is not in keeping with the village feel of Cremorne.

- **Comment**

The proposal meets the maximum height allowed in the Acceptable Solution and as the variation proposed, in relation to boundary setbacks rather than height, the issue cannot have determining weight. Notwithstanding the above, the dwelling is 2 storey at its maximum height and steps down the slope in response to the topography.

It is considered that the proposed dwelling has a similar design to other dwellings in the area which are typically 1 and 2 storeys.

**6. EXTERNAL REFERRALS**

No external referrals were required or undertaken as part of this application.

**7. STATE POLICIES AND ACT OBJECTIVES**

**7.1.** The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

**7.2.** The proposal is consistent with the objectives of Schedule 1 of LUPAA.

**8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS**

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

**9. CONCLUSION**

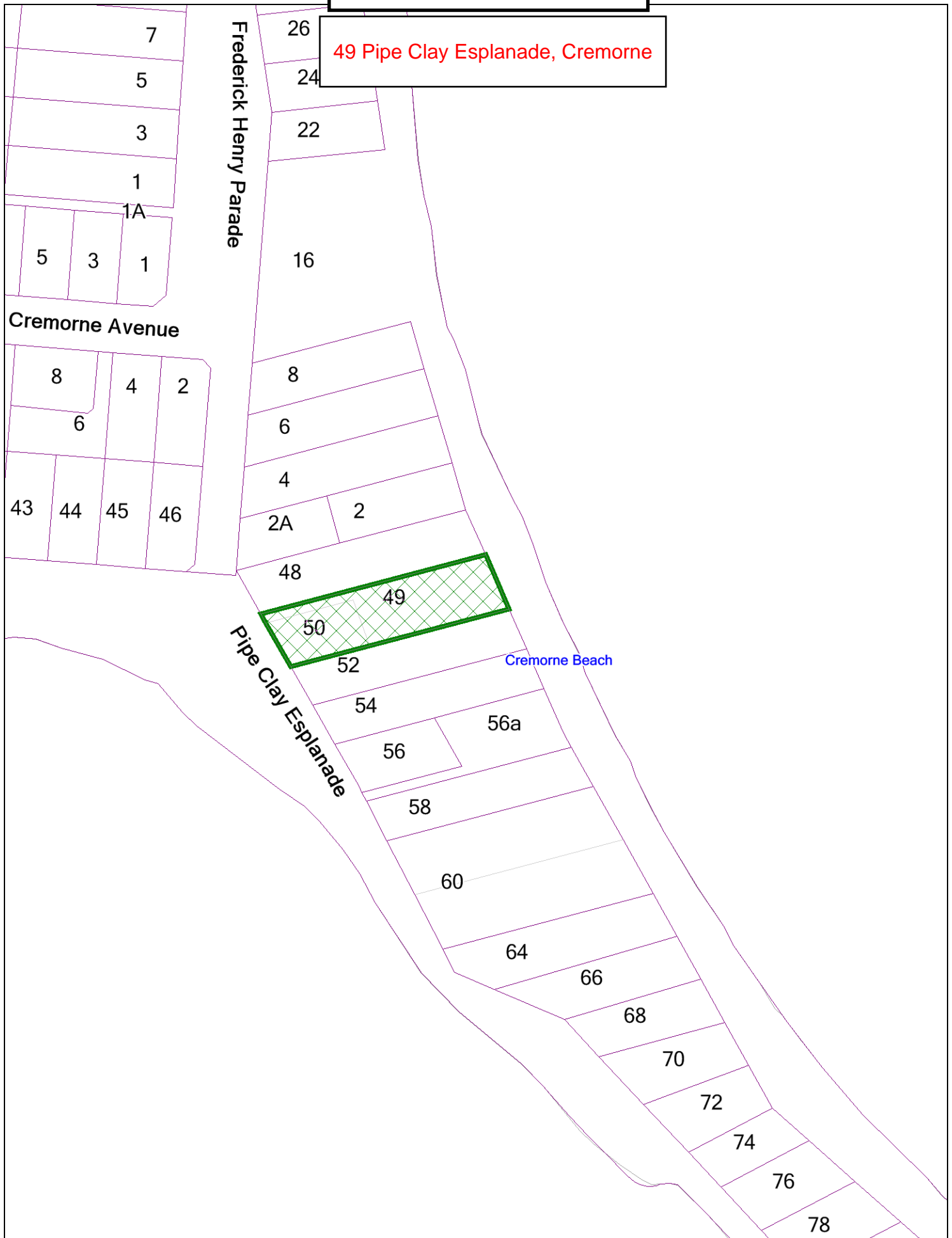
The proposal is for the demolition of an existing single storey dwelling and the construction of a 2 storey dwelling. It is considered that the proposal satisfies the relevant Performance Criteria and is recommended for approval.

Attachments: 1. Location Plan (1)  
2. Proposal Plan (7)  
3. Site Photo (1)

Ross Lovell  
**MANAGER CITY PLANNING**

# Attachment 1

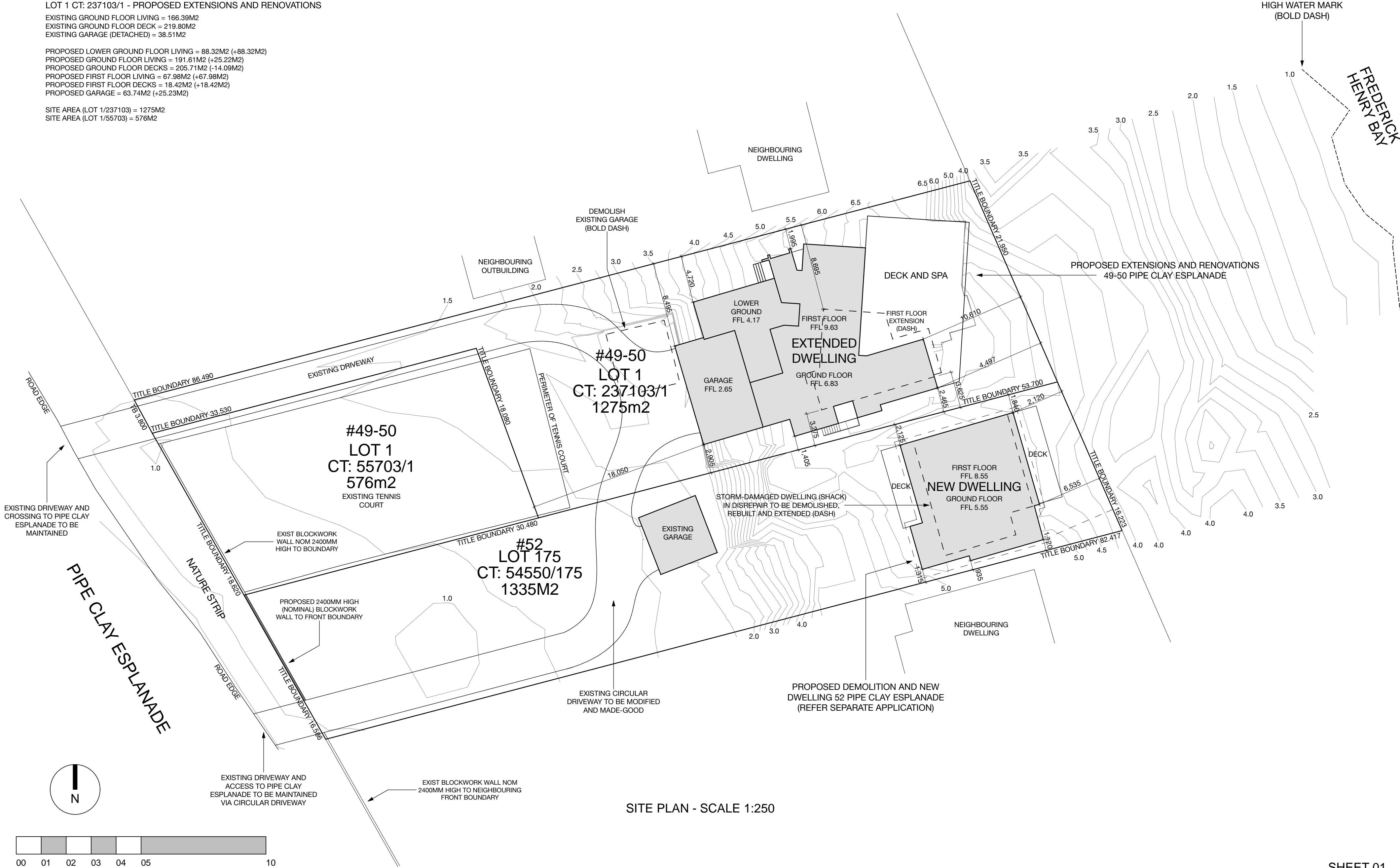
49 Pipe Clay Esplanade, Cremorne



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AREAS:

LOT 1 CT: 237103/1 - PROPOSED EXTENSIONS AND RENOVATIONS  
EXISTING GROUND FLOOR LIVING = 166.39M2  
EXISTING GROUND FLOOR DECK = 219.80M2  
EXISTING GARAGE (DETACHED) = 38.51M2  
  
PROPOSED LOWER GROUND FLOOR LIVING = 88.32M2 (+88.32M2)  
PROPOSED GROUND FLOOR LIVING = 191.61M2 (+25.22M2)  
PROPOSED GROUND FLOOR DECKS = 205.71M2 (-14.09M2)  
PROPOSED FIRST FLOOR LIVING = 67.98M2 (+67.98M2)  
PROPOSED FIRST FLOOR DECKS = 18.42M2 (+18.42M2)  
PROPOSED GARAGE = 63.74M2 (+25.23M2)  
  
SITE AREA (LOT 1/237103) = 1275M2  
SITE AREA (LOT 1/55703) = 576M2

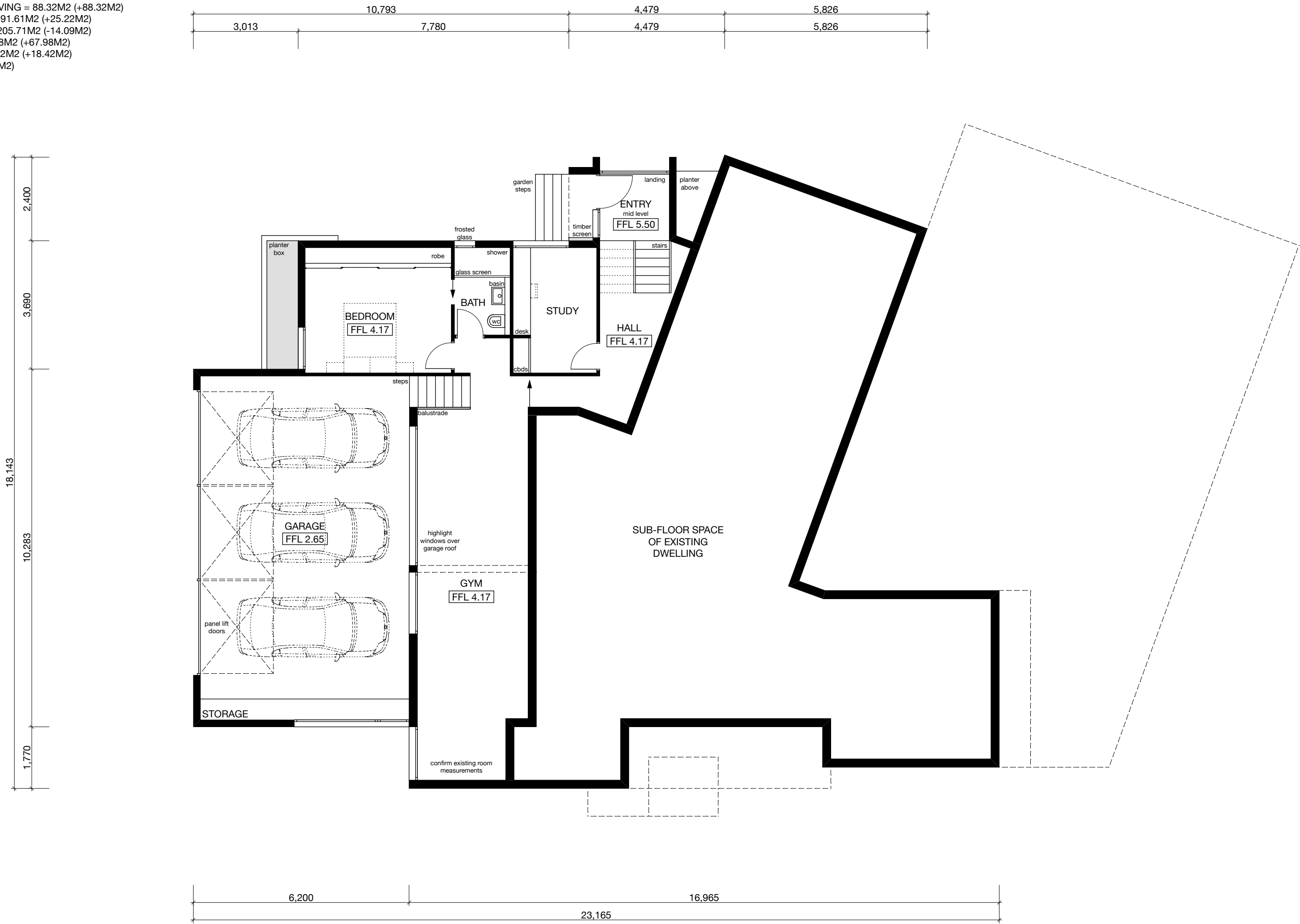


SITE PLAN - SCALE 1:250

AREAS:

EXISTING GROUND FLOOR LIVING = 166.39M2  
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SITE (LOT 1) = 1275M2

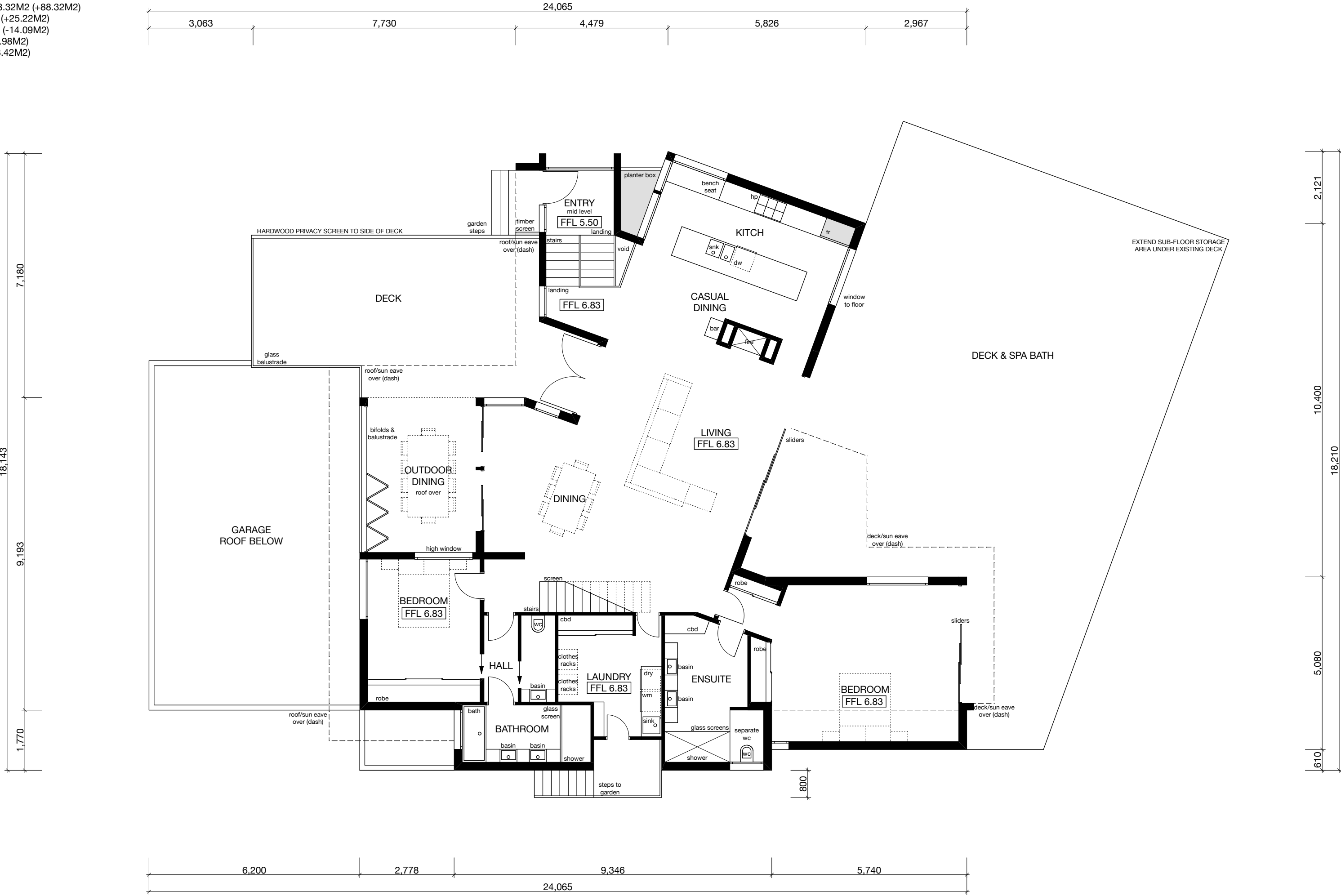


LOWER GROUND FLOOR PLAN - SCALE 1:100

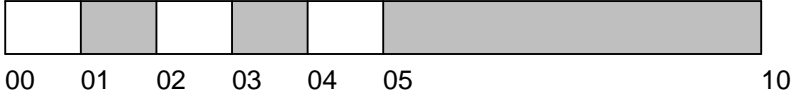
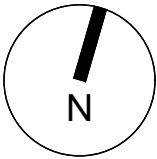
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PROPOSED GARAGE = 63.74M2 (+25.23M2)

SITE (LOT 1) = 1275M2



GROUND FLOOR PLAN - SCALE 1:100



PROPOSED EXTENSIONS AND RENOVATIONS  
49-50 PIPE CLAY ESPLANADE, CREMORNE

PROPOSED FLOOR PLANS  
(EXTENDED DWELLING)

Drawn XW CC:1660

Scale - 1:100 (A2)

Date: JUNE 2017

Checked



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info@dwadesign.com.au

SHEET 03

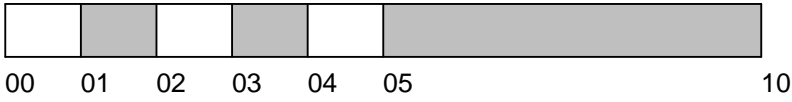
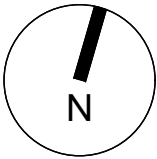
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SITE (LOT 1) = 1275M2



FIRST FLOOR PLAN - SCALE 1:100



SHEET 04

PROPOSED EXTENSIONS AND RENOVATIONS  
49-50 PIPE CLAY ESPLANADE, CREMORNE

PROPOSED FLOOR PLANS  
(EXTENDED DWELLING)

Drawn XW CC:1660

Scale - 1:100 (A2)

Date: JUNE 2017

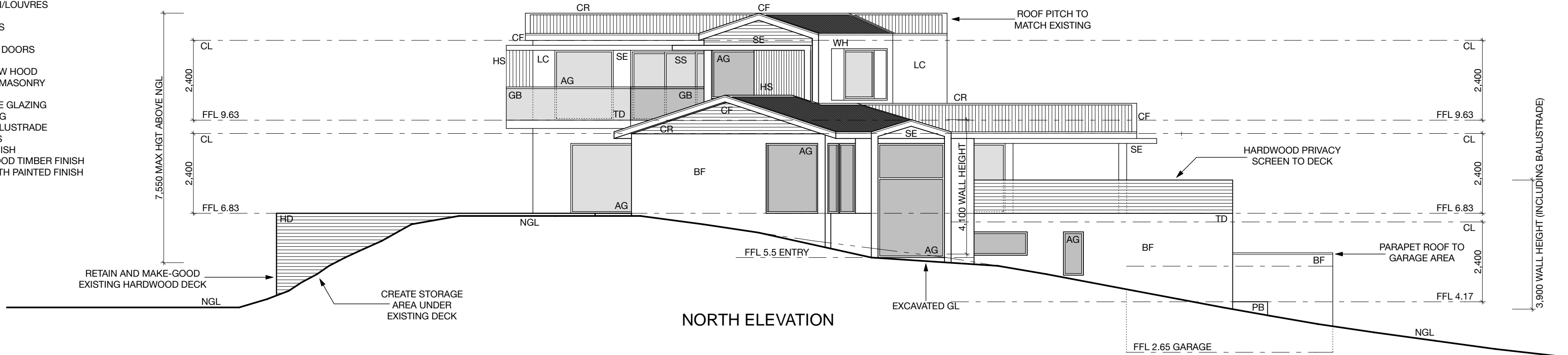
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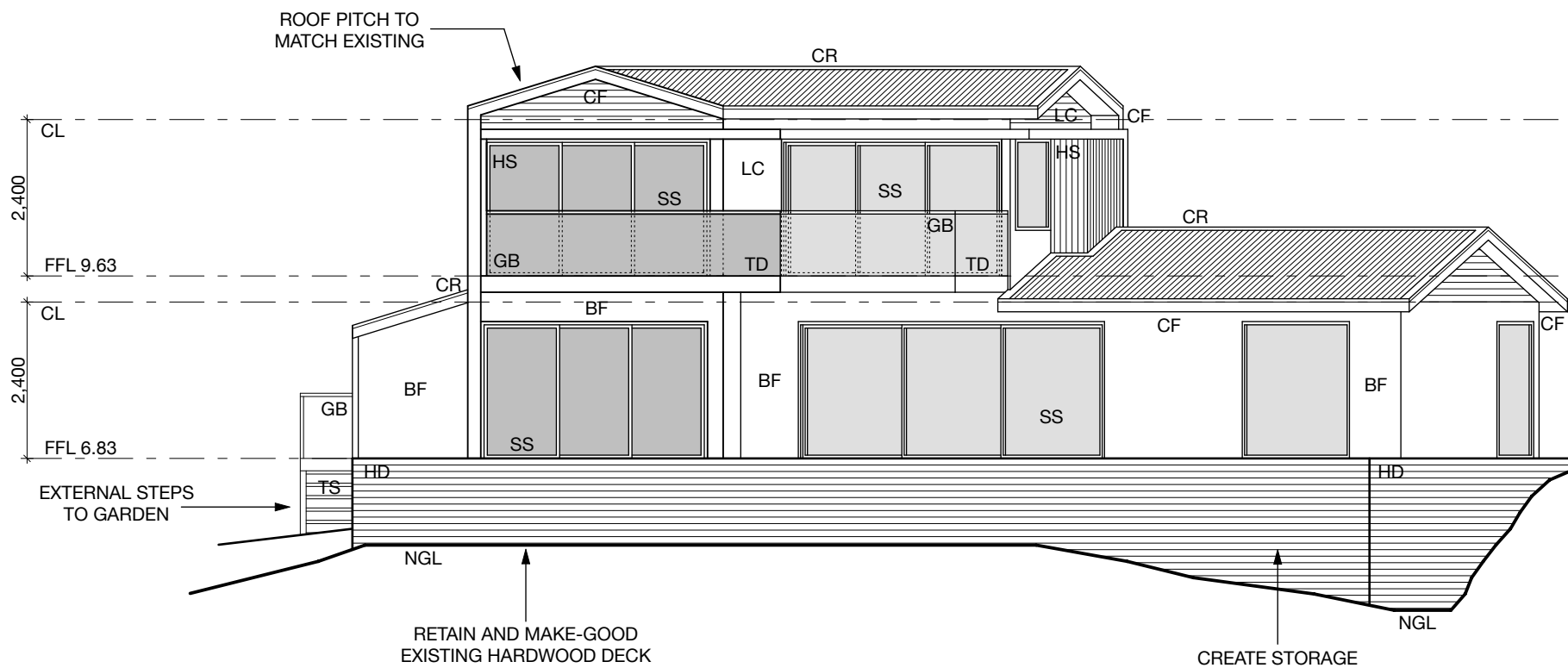
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Hobart, TAS 7000  
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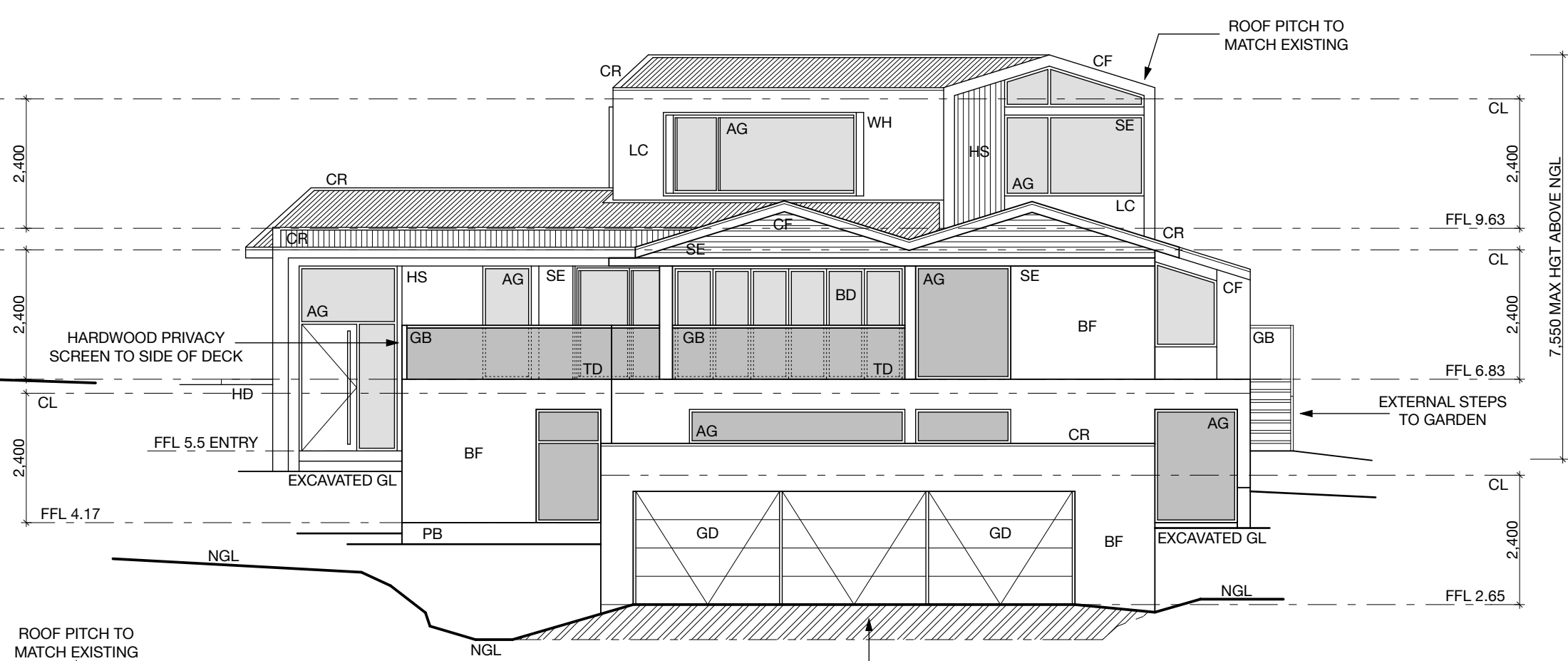
- LEGEND:
- HS: HARDWOOD TIMBER SCREEN/LOUVRES
  - PB: BLOCKWORK PLANTER BOX
  - TS: EXTERNAL HARDWOOD STEPS
  - SE: RENDERED SUN EAVE/SHADE
  - BD: BIFOLD/CONCERTINA GLASS DOORS
  - CF: COLORBOND FASCIA
  - WH: HARDWOOD TIMBER WINDOW HOOD
  - BF: BAGGED/PAINTED FINISH TO MASONRY
  - GD: GARAGE PANEL LIFT DOOR
  - AG: ALUMINIUM FRAMED DOUBLE GLAZING
  - CR: COLORBOND ROOF SHEETING
  - GB: SEMI-FRAMELESS GLASS BALUSTRADE
  - SS: STACK SLIDER GLASS DOORS
  - TD: RAISED DECK WITH TILED FINISH
  - HD: RAISED DECK WITH HARDWOOD TIMBER FINISH
  - LC: LIGHT WEIGHT CLADDING WITH PAINTED FINISH
  - NGL: NATURAL GROUND LEVEL
  - FFL: FINISHED FLOOR LEVEL
  - CL: CEILING LEVEL



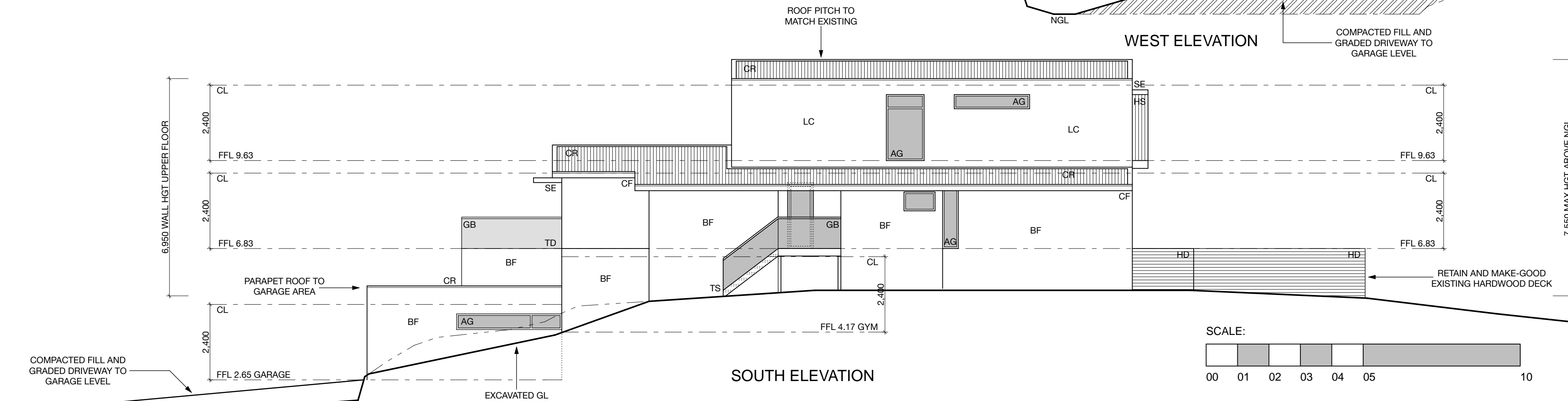
NORTH ELEVATION



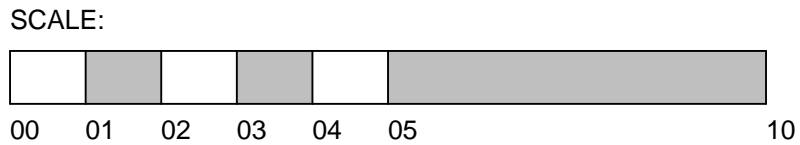
EAST ELEVATION



WEST ELEVATION



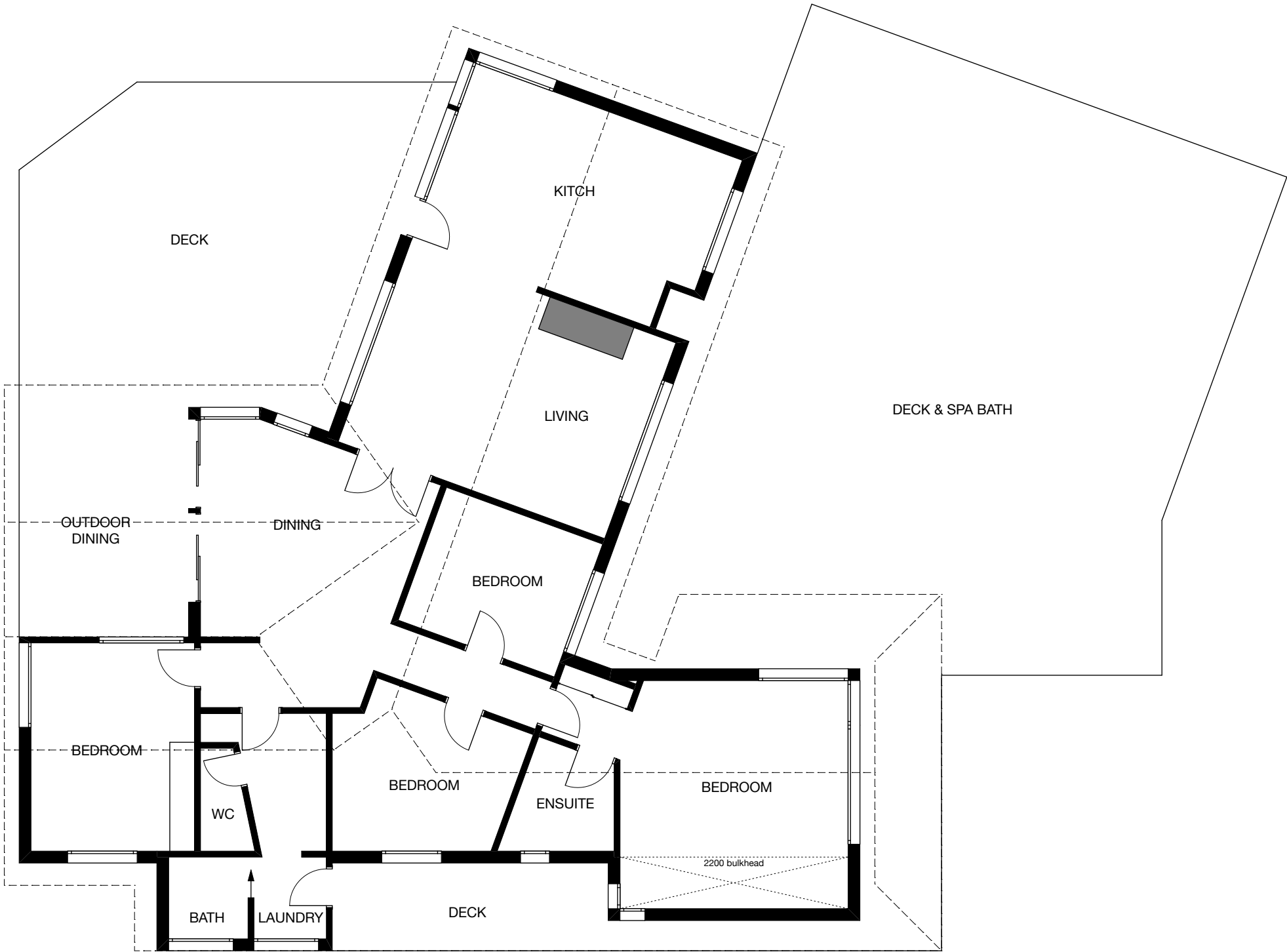
SOUTH ELEVATION



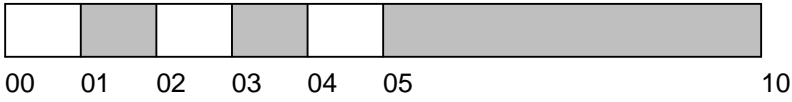
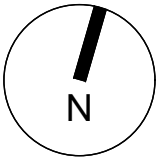
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EXISTING GROUND FLOOR PLAN - SCALE 1:100



SHEET 06



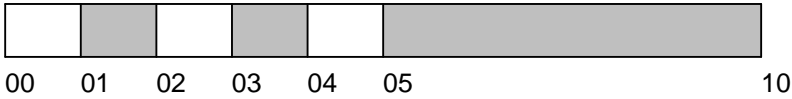
EXISTING SITE IMAGE #1  
VIEW FROM WEST LOOKING TOWARDS EXISTING DWELLING ON LOT 1 -  
CT: 237103/1 (TO BE EXTENDED AND RENOVATED)



EXISTING SITE IMAGE #2  
VIEW FROM NORTH-EAST LOOKING TOWARDS EXISTING DWELLING ON  
LOT 1 - CT: 237103/1 (TO BE EXTENDED AND RENOVATED)



EXISTING SITE IMAGE #3  
FROM LEFT TO RIGHT - VIEW FROM BEACH (EAST) LOOKING TOWARDS  
SHACK (TO BE DEMOLISHED, REBUILT AND EXTENDED) AND EXISTING  
DWELLING (TO BE EXTENDED AND RENOVATED)



**49 Pipe Clay Esplanade, CREMORNE**



**Site viewed from Pipe Clay Esplanade.**

**11.3.5 DEVELOPMENT APPLICATION D-2017/243 - 52 PIPE CLAY ESPLANADE, CREMORNE - DWELLING**  
(File No D-2017/243)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for a Dwelling at 52 Pipe Clay Esplanade, Cremorne.

**RELATION TO PLANNING PROVISIONS**

The land is zoned Village and subject to the Inundation Prone Areas, Coastal Erosion, Stormwater Management and the On-site Waste Water Management Codes under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

**LEGISLATIVE REQUIREMENTS**

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which was extended with the consent of the applicant until 18 October 2017.

**CONSULTATION**

The proposal was advertised in accordance with statutory requirements and 1 representation was received raising the issue of loss of view.

**RECOMMENDATION:**

- A. That the Development Application for dwelling at 52 Pipe Clay Esplanade, Cremorne (CI Ref D-2017/243) be approved subject to the following conditions and advice.
1. GEN AP1 – ENDORSED PLANS.
  2. Construction details in accordance with the recommendations of the Coastal Vulnerability Assessment (JSA Consulting Engineers, 11 August 2017) must be submitted and approved to the satisfaction of Council's Group Manager Engineering Services prior to the issue of a Building Permit.



- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

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## **ASSOCIATED REPORT**

### **1. BACKGROUND**

No relevant background.

### **2. STATUTORY IMPLICATIONS**

**2.1.** The land is zoned Village under the Scheme.

**2.2.** The proposal is discretionary because it does not meet the Acceptable Solutions under the Scheme.

**2.3.** The relevant parts of the Planning Scheme are:

- Section 8.10 – Determining Applications;
- Section 10 – Village Zones; and
- Section E6.0 – Inundation Prone Areas, Coastal Erosion, Stormwater Management and the On-site Waste Water Management Codes.

**2.4.** Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

### **3. PROPOSAL IN DETAIL**

#### **3.1. The Site**

The site is a 1333m<sup>2</sup> lot with frontage to Pipe Clay Esplanade to the west and Frederick Henry Parade to the east. The site contains a single storey dwelling located in the eastern part of the site and a garage in the middle of the site. The dwelling is proposed to be demolished.

**3.2. The Proposal**

The proposal is to demolish the existing dwelling and construct a 2 storey dwelling located on a similar footprint to the existing dwelling.

**4. PLANNING ASSESSMENT****4.1. Determining Applications [Section 8.10]**

*“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:*

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

*but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.*

Reference to these principles is contained in the discussion below.

**4.2. Compliance with Zone and Codes**

The proposal meets the Scheme’s relevant Acceptable Solutions of the Village Zone and Inundation Prone Areas, Coastal Erosion and the On-site Waste Water Management Codes with the exception of the following.

**Village**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
16.4.2 A2	Setback	<p>Building setback from side and rear boundaries must be no less than:</p> <ul style="list-style-type: none"> <li>(a) 2m;</li> <li>(b) half the height of the wall,</li> </ul> <p>whichever is the greater.</p>	<p>Ground floor does not comply as follows:</p> <p>Setback to northern boundary to ground floor: 1.84m (required setback is 2m);</p> <p>Setback to southern boundary to ground floor: 0.935m (required setback is 2m); and</p>

			<p>Setback to eastern boundary: 1.18m to deck (required setback is 2m). Note that the wall of the second storey addition complies with the setback.</p> <p>Setbacks to all boundaries to the second storey complies.</p>
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The proposed variation must be considered pursuant to the Performance Criteria P2 of the Clause 16.4.2 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<p><i>“Building setback from side and rear boundaries must satisfy all of the following:</i></p> <p><i>(a) be sufficient to prevent unreasonable adverse impacts on residential amenity on adjoining lots by:</i></p> <p><i>(i) overlooking and loss of privacy;</i></p>	<p>The variation to the setbacks is in relation to the ground floor of the proposed dwelling. Any views to or into the windows would be screened by the existing boundary fences and therefore, the variation is not considered to result in a loss of views or privacy for the adjoining property. It is noted that the second storey meets the setback standards.</p>
<p><i>(ii) overshadowing and reduction of sunlight to habitable rooms and private open space on adjoining lots to less than 3 hours between 9.00am and 5.00pm on 21 June or further decrease sunlight hours if already less than 3 hours;</i></p>	<p>The only dwelling that may receive overshadowing caused by the proposal is the 2 storey dwelling to the south of the site at 54 Cremorne Avenue. A living room is located on the northern elevation of the dwelling; however, there are no windows on this elevation directly opposite the proposed dwelling. There is a window located further east on the northern elevation of this dwelling, however, as it is offset from the proposed dwelling it would not be significantly affected by the proposal. On this basis, the proposal will not reduce the amount of sunlight into habitable rooms to less than 3 hours between 9.00am and 5.00pm on 21 June.</p>



<p>(iii) <i>visual impact, when viewed from adjoining lots, through building bulk and massing; taking into account aspect and slope”.</i></p>	<p>The proposal is a for a 2 storey dwelling with the upper floor stepped in from the site boundaries. It is considered that the proposed dwelling is compatible with the dwellings in the area and will not have a detrimental visual impact.</p>
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**Coastal Erosion Hazard Code**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
E16.7.1 A1	Building and Works	No Acceptable Solution.	Coastal Vulnerability Assessment (JSA Consulting Engineers, 11 August 2017) to support development.

The proposed variation must be considered pursuant to the Performance Criteria P2 of the Clause 16.4.2 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<p><i>“Buildings and works must satisfy all of the following:</i></p> <p>(a) <i>not increase the level of risk to the life of the users of the site or of hazard for adjoining or nearby properties or public infrastructure;</i></p>	<p>The Coastal Vulnerability Assessment makes recommendations regarding the construction of the dwelling and foundations and concludes that the proposal will not increase the risk to the life of the users of the site, adjoining properties, or public infrastructure. Council’s Engineers have assessed the proposal and considered that it meets the Performance Criteria, provided that the recommendations of the report are complied with. It is recommended that a condition be included that requires engineering details in accordance with the above report, prior to the issue of a Building Permit.</p>
<p>(b) <i>erosion risk arising from wave run-up, including impact and material suitability, may be mitigated to an acceptable level through structural or design methods used to avoid damage to, or loss of, buildings or works;</i></p>	<p>Construction methods proposed are considered to be reasonable to mitigate risks to an acceptable level.</p>

<i>(c) erosion risk is mitigated to an acceptable level through measures to modify the hazard where these measures are designed and certified by an engineer with suitable experience in coastal, civil and/or hydraulic engineering;</i>	As above
<i>(d) need for future remediation works is minimised;</i>	The proposed construction method is considered satisfactory to minimise the need for future mediation works.
<i>(e) health and safety of people is not placed at risk;</i>	The proposal is not considered to increase the risk to the health and safety of people.
<i>(f) important natural features are adequately protected;</i>	The dwelling is located within the footprint of an existing dwelling and is wholly contained within the property boundaries. Therefore, the proposal will not affect the natural features on the adjoining beach reserve.
<i>(g) public foreshore access is not obstructed where the managing public authority requires it to continue to exist;</i>	No relevant
<i>(h) access to the site will not be lost or substantially compromised by expected future erosion whether on the proposed site or off-site;</i>	Access to the site is from Pipe Clay Esplanade which is protected by a vegetated fore dune.
<i>(i) provision of a developer contribution for required mitigation works consistent with any adopted Council Policy, prior to commencement of works;</i>	Not required
<i>(j) not be located on an actively mobile landform”.</i>	The dwelling is not located on an actively mobile landform.

## **5. REPRESENTATION ISSUES**

The proposal was advertised in accordance with statutory requirements and 1 representation was received. The following issues were raised by the representor.

### **5.1. Loss of View**

Concern was raised that the proposed will result in a loss of views to the neighbouring property to the south, as the building line is extending closer to the Cremorne Beach frontage than the existing dwelling.

- **Comment**

Loss of views is not a relevant planning consideration under the Scheme and therefore cannot have determining weight. Notwithstanding, the proposed dwelling is located only 0.26m further towards Cremorne Beach than the existing dwelling and the design of the dwelling with the second storey stepped back towards the centre of the dwelling will ensure that views from adjoining dwellings are not unreasonably compromised.

## **6. EXTERNAL REFERRALS**

No external referrals were required or undertaken as part of this application.

## **7. STATE POLICIES AND ACT OBJECTIVES**

**7.1.** The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

**7.2.** The proposal is consistent with the objectives of Schedule 1 of LUPAA.

## **8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS**

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

## **9. CONCLUSION**

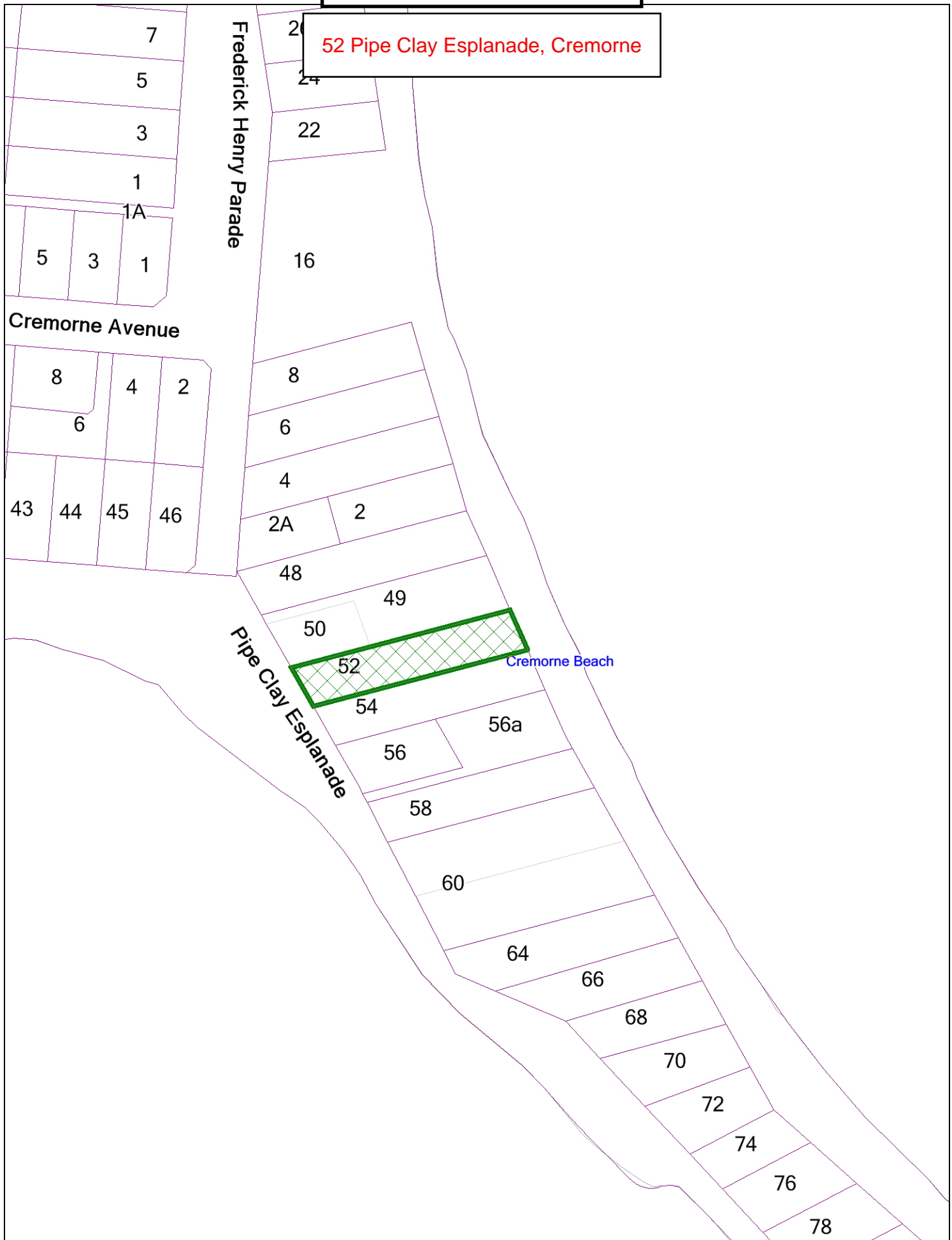
The proposal is for the demolition of an existing single storey dwelling and the construction of a 2 storey dwelling. It is considered that the proposal satisfies the relevant Performance Criteria and is recommended for approval.

Attachments: 1. Location Plan (1)  
2. Proposal Plan (4)  
3. Site Photo (1)

Ross Lovell  
**MANAGER CITY PLANNING**

# Attachment 1

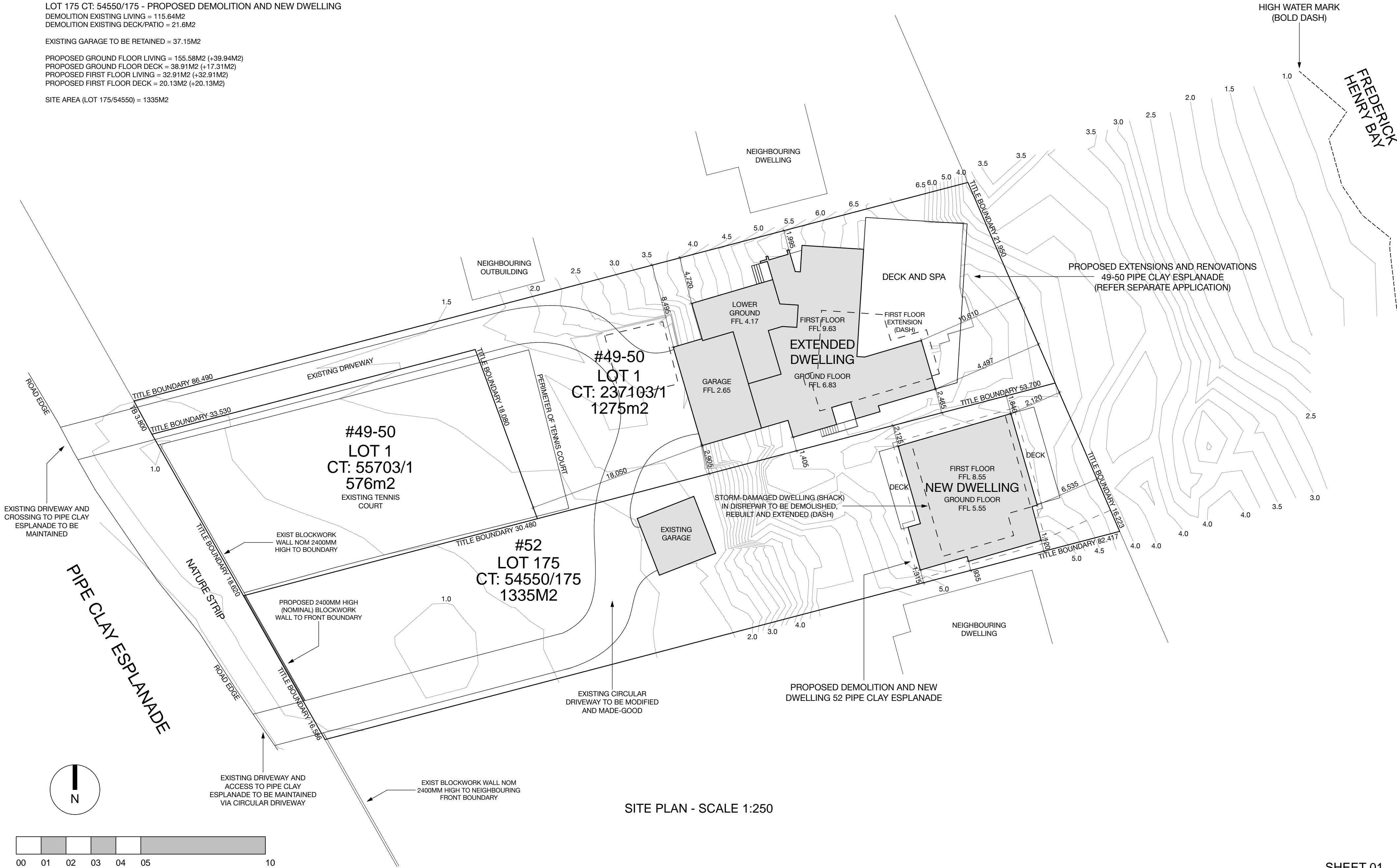
52 Pipe Clay Esplanade, Cremorne



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AREAS:

LOT 175 CT: 54550/175 - PROPOSED DEMOLITION AND NEW DWELLING  
DEMOLITION EXISTING LIVING = 115.64M2  
DEMOLITION EXISTING DECK/PATIO = 21.6M2  
  
EXISTING GARAGE TO BE RETAINED = 37.15M2  
  
PROPOSED GROUND FLOOR LIVING = 155.58M2 (+39.94M2)  
PROPOSED GROUND FLOOR DECK = 38.91M2 (+17.31M2)  
PROPOSED FIRST FLOOR LIVING = 32.91M2 (+32.91M2)  
PROPOSED FIRST FLOOR DECK = 20.13M2 (+20.13M2)  
  
SITE AREA (LOT 175/54550) = 1335M2



SITE PLAN - SCALE 1:250

SHEET 01

PROPOSED DEMOLITION AND DWELLING  
52 PIPE CLAY ESPLANADE, CREMORNE

SITE PLAN

Drawn XW CC:1660  
Date: JUNE 2017

Scale - 1:250 (A2)  
Checked

DW+A  
David Wakefield + Assoc  
Emerging + Inspiring  
Architectural Designers

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Hobart, TAS 7000  
P: 0362 348777 F: 0362 348988  
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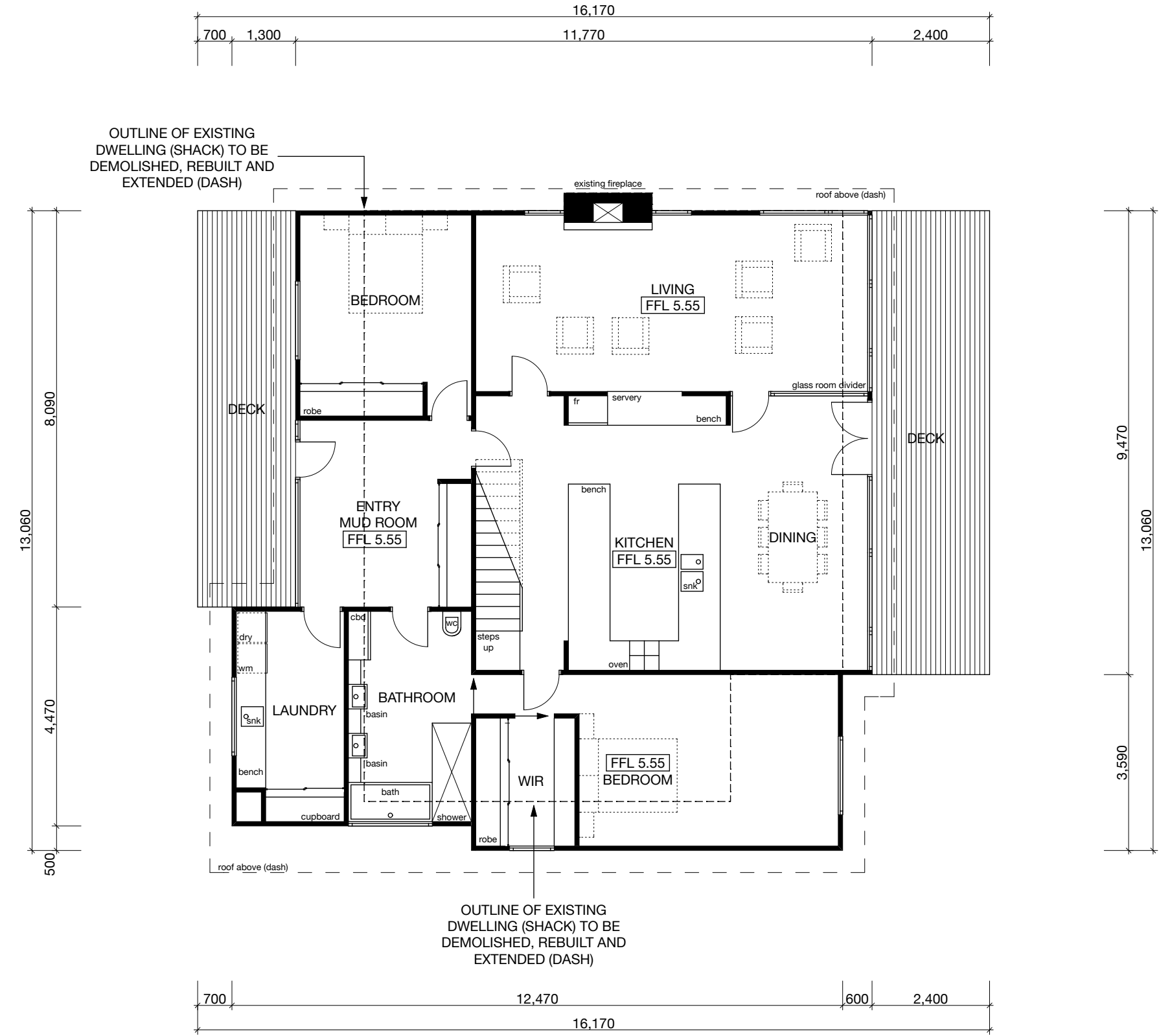
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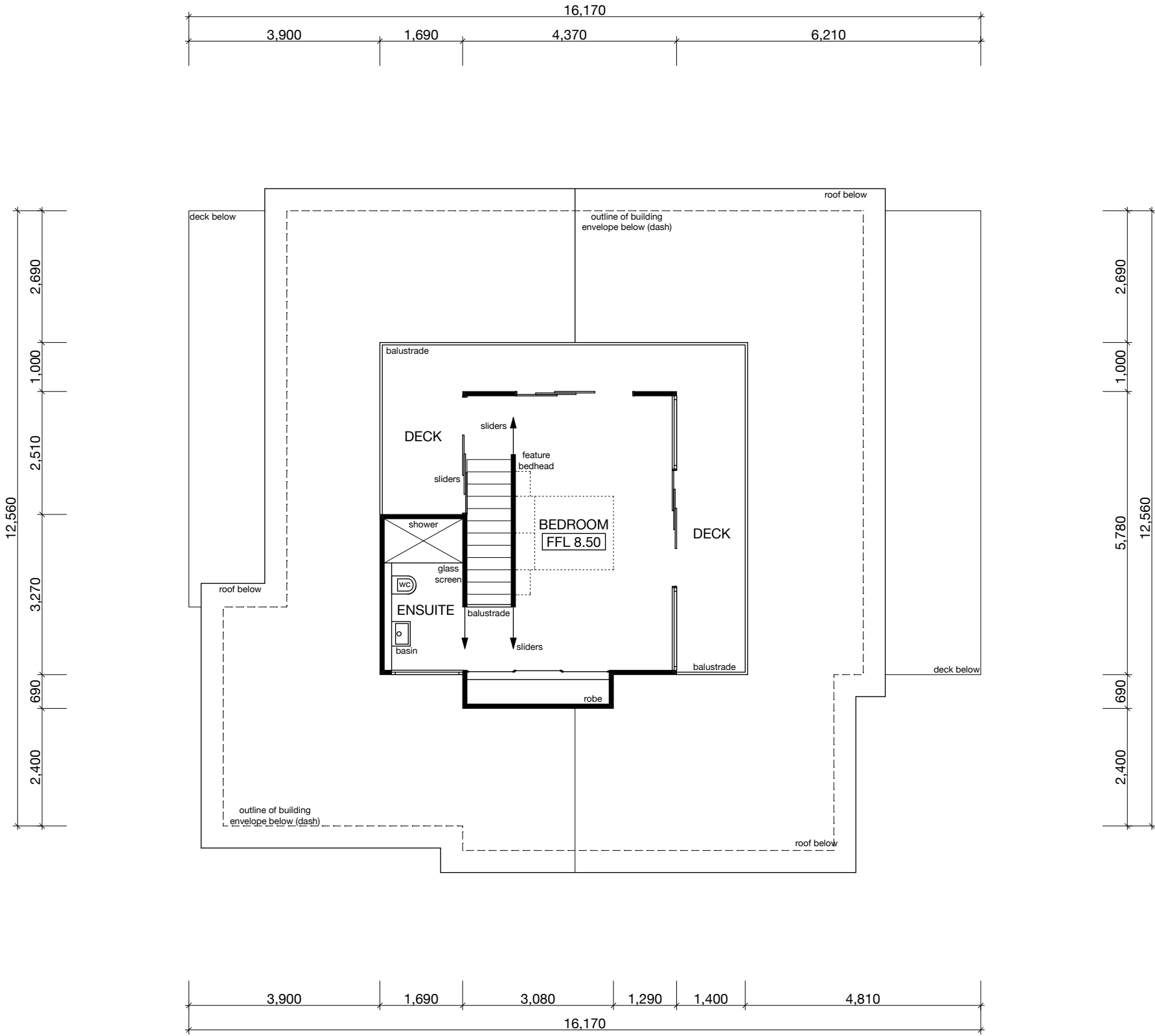
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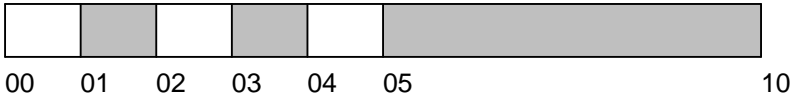
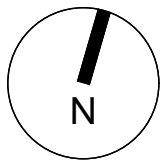
STORM-DAMAGED DWELLING (SHACK)  
IN DISREPAIR TO BE DEMOLISHED,  
REBUILT AND EXTENDED



GROUND FLOOR PLAN - SCALE 1:100



FIRST FLOOR PLAN - SCALE 1:100



PROPOSED DEMOLITION AND DWELLING  
52 PIPE CLAY ESPLANADE, CREMORNE

PROPOSED PLANS  
(NEW DWELLING)

Drawn XW CC:1660

Scale - 1:100 (A2)

Date: JUNE 2017

Checked

DW+A  
David Wakefield + Assoc  
Emerging + Inspiring  
Architectural Designers

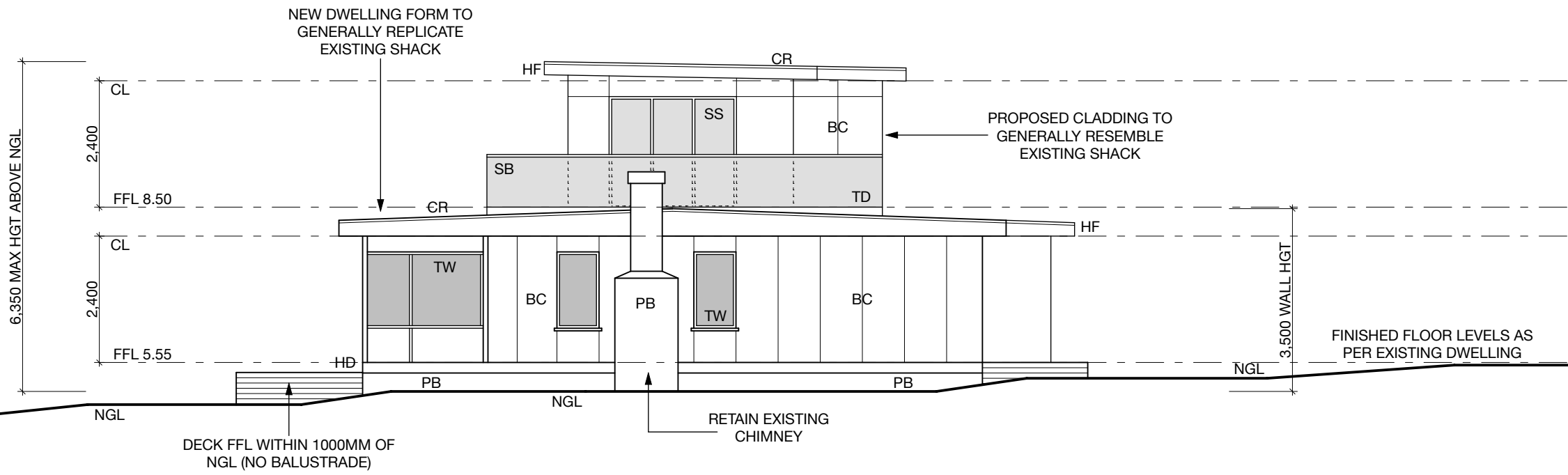
PO Box 4564, Bathurst Street  
Hobart, TAS 7000  
P: 0362 348777 F: 0362 348988  
info@dwadesign.com.au

SHEET 02

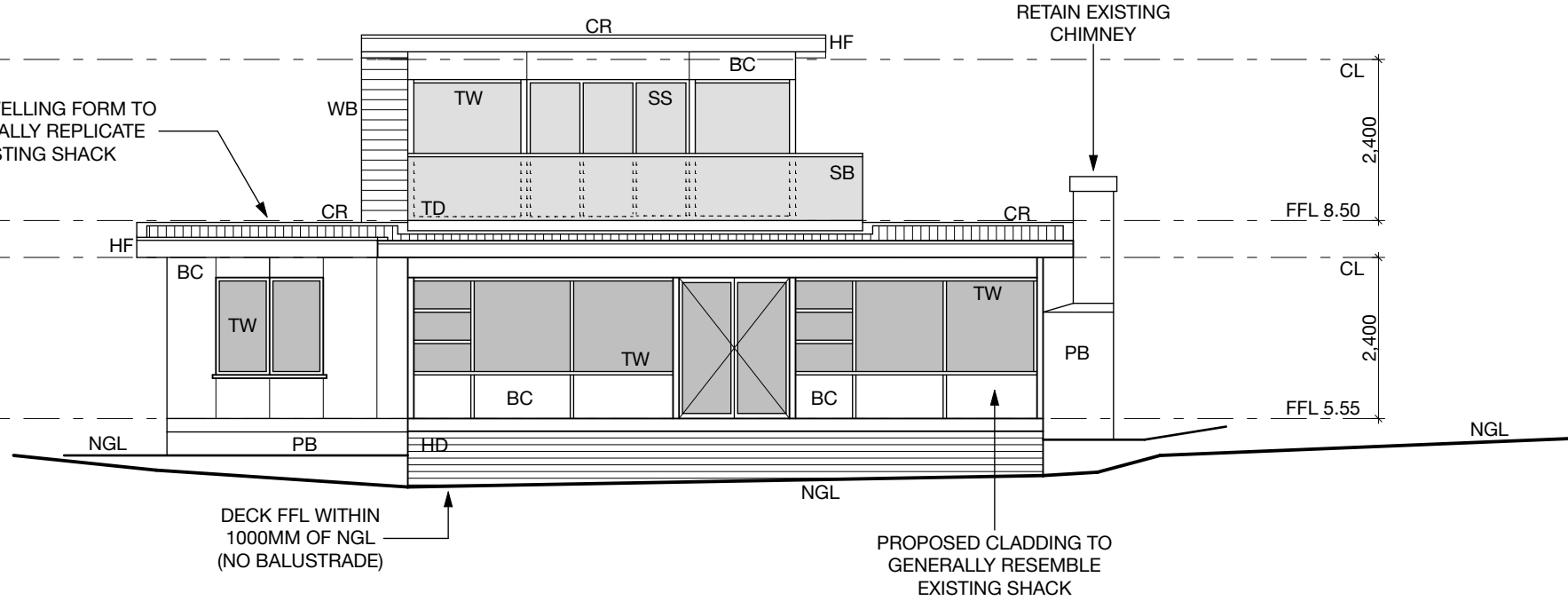
LEGEND:

- TS: EXTERNAL HARDWOOD STEPS
- HF: HARDWOOD FASCIA
- PB: PAINTED FINISH TO MASONRY
- TW: TIMBER FRAMED DOUBLE GLAZED WINDOWS WITH PAINT FINISH
- CR: COLORBOND ROOF SHEETING
- WB: WEATHERBOARD CLADDING WITH PAINT FINISH
- BC: PAINTED CEMENT SHEET CLADDING WITH BATTENED JOINTS
- SB: SELECTED 1000MM HIGH BALUSTRADE
- SS: TIMBER FRAMED STACK SLIDER GLASS DOORS
- TD: RAISED DECK WITH TILED FINISH
- HD: RAISED DECK WITH HARDWOOD TIMBER FINISH
- NGL: NATURAL GROUND LEVEL
- FFL: FINISHED FLOOR LEVEL
- CL: CEILING LEVEL

STORM-DAMAGED DWELLING (SHACK)  
IN DISREPAIR TO BE DEMOLISHED,  
REBUILT AND EXTENDED

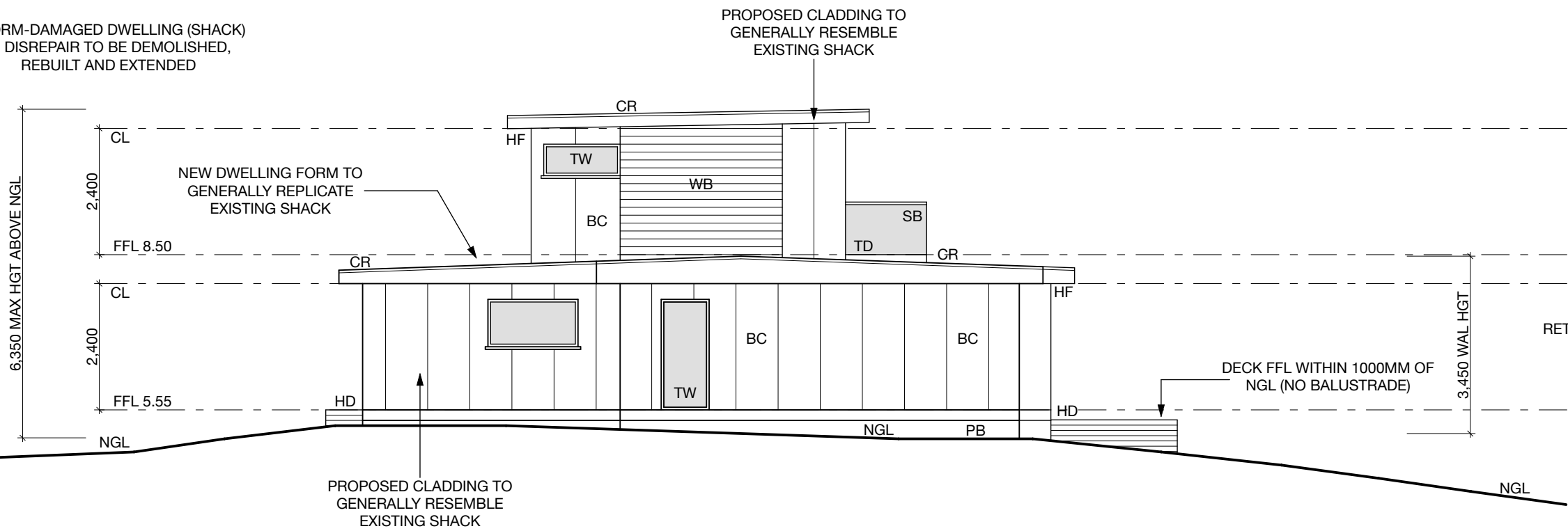


NORTH ELEVATION

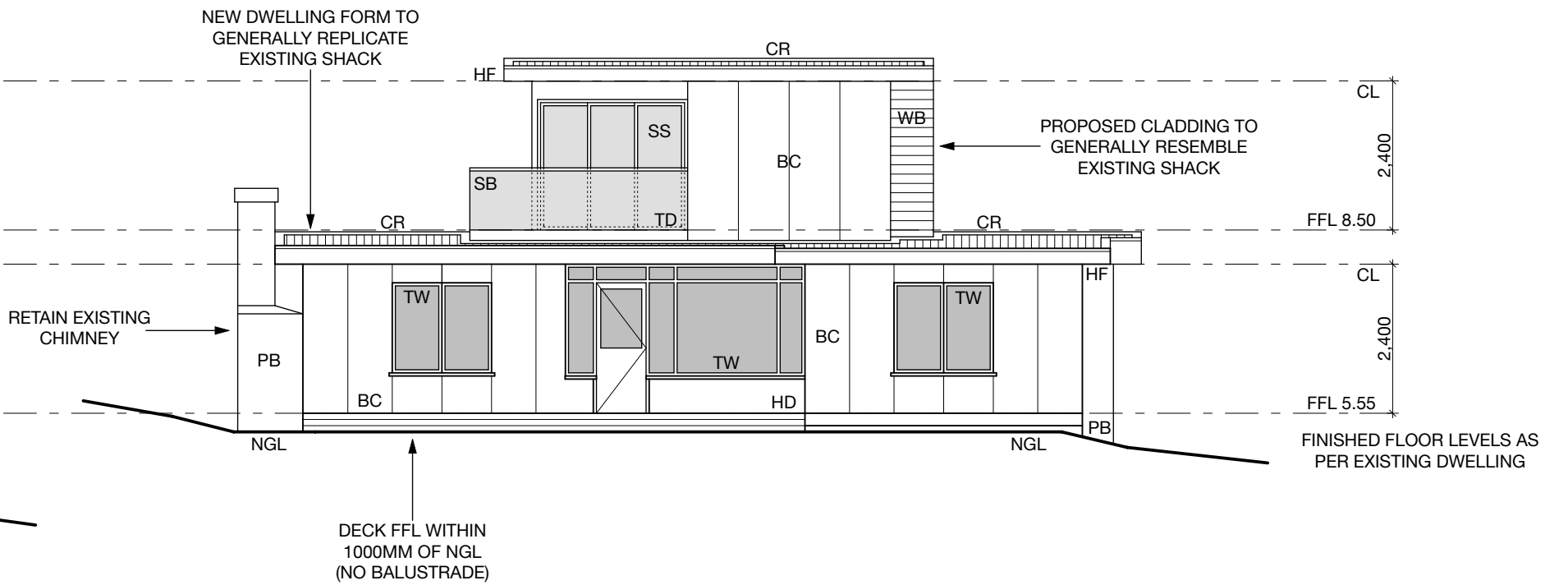


EAST ELEVATION

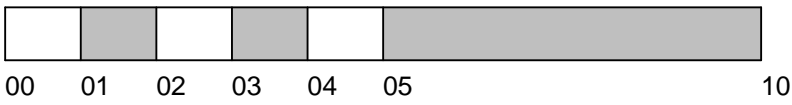
STORM-DAMAGED DWELLING (SHACK)  
IN DISREPAIR TO BE DEMOLISHED,  
REBUILT AND EXTENDED



SOUTH ELEVATION



WEST ELEVATION



SHEET 03

PROPOSED EXTENSIONS, DEMOLITION AND DWELLING  
49-50 & 52 PIPE CLAY ESPLANADE, CREMORNE

PROPOSED ELEVATIONS  
(NEW DWELLING)

Drawn XW CC:1660

Scale - 1:100 (A2)

Date: JUNE 2017

Checked

DW+A  
David Wakefield + Assoc  
Emerging + Inspiring  
Architectural Designers

PO Box 4564, Bathurst Street  
Hobart, TAS 7000  
P: 0362 348777 F: 0362 348988  
info@dwadesign.com.au





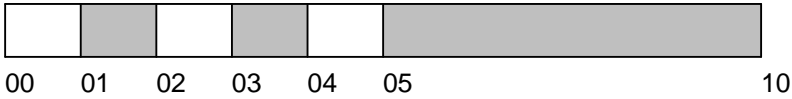
EXISTING SITE IMAGE #1  
VIEW FROM EAST LOOKING TOWARDS EXISTING SHACK ON LOT 175  
- CT: 54550/175 (TO DEMOLISHED, REBUILT AND EXTENDED)



EXISTING SITE IMAGE #2  
VIEW FROM NORTH WEST LOOKING TOWARDS EXISTING SHACK ON LOT 175  
- CT: 54550/175 (TO DEMOLISHED, REBUILT AND EXTENDED)



EXISTING SITE IMAGE #3  
VIEW FROM WEST LOOKING TOWARDS EXISTING SHACK ON LOT 175  
- CT: 54550/175 (TO DEMOLISHED, REBUILT AND EXTENDED)





**52 Pipe Clay Esplanade, CREMORNE**



**Site viewed from Pipe Clay Esplanade.**

**11.3.6 DEVELOPMENT APPLICATION D-2017/354 - 14C BAYSIDE DRIVE, LAUDERDALE - DWELLING AND OUTBUILDING**  
(File No D-2017/354)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for a dwelling and outbuilding at 14C Bayside Drive, Lauderdale.

**RELATION TO PLANNING PROVISIONS**

The land is zoned General Residential and is subject to the Bushfire Prone Areas Code, Landslide Code, Stormwater Management Zone and Parking and Access Code under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

**LEGISLATIVE REQUIREMENTS**

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 18 October 2017 as agreed with the applicant.

**CONSULTATION**

The proposal was advertised in accordance with statutory requirements and 4 representations were received raising the following issues:

- overshadowing impact;
- damage to nature strip;
- impact on streetscape;
- lack of regard to the design of existing dwellings in the street;
- suggested re-design; and
- loss of privacy

**RECOMMENDATION:**

A. That the Development Application for dwelling and outbuilding at 14C Bayside Drive, Lauderdale (CI Ref D-2017/354) be approved subject to the following conditions and advice.

1. GEN AP1 – ENDORSED PLANS.

**2. GEN AP3 – AMENDED PLAN**

[(a) the installation of a permanently fixed screen along the full length of the western elevation of the carport to a height of at least 1.7m above the finished surface level and with a uniform transparency of no more than 25%; and

(b) lowering of the roof covering the upper level north facing deck so that it does not exceed a maximum height of 7.4m above natural ground level]

- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

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**ASSOCIATED REPORT****1. BACKGROUND**

The lot was formed as part of a recent 5 lot subdivision approval (Subdivision reference SD-2015/10) involving 14 Bayside Drive, Lauderdale.

**2. STATUTORY IMPLICATIONS**

**2.1.** The land is zoned General Residential under the Scheme.

**2.2.** The proposal is discretionary because it does not meet the Acceptable Solutions in respect of building envelope, private open space and privacy under the Scheme.

**2.3.** The relevant parts of the Planning Scheme are:

- Section 8.10 – Determining Applications;
- Section 10 – General Residential Zone;
- Section E1.0 – Bushfire Prone Areas Code;
- Section E3.0 – Landslide Code;
- Section E6.0 – Parking and Access Code; and
- Section E7.0 – Stormwater Management Code.

- 2.4.** The Bushfire Prone Areas Code applies to the subject site, however, the use is not a vulnerable or hazardous use therefore the proposed development is exempt from the application of the Code. In addition, the proposal is exempt under Clause E3.4(c) of the Landslide Code, in that the proposal is for a new building within a Low Landslide Hazard Area.
- 2.5.** Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

### **3. PROPOSAL IN DETAIL**

#### **3.1. The Site**

The subject site is an undeveloped 702m<sup>2</sup> lot with frontage and access to Bayside Drive. A variable width reciprocal right-of-way is located parallel with the eastern side property boundary providing access to 14a and 14b Bayside Drive, Lauderdale uphill to the south. The right-of-way has been sealed with a concrete pavement. The subject site also relies on this right-of-way for access purposes.

The site is located within an established residential area in Lauderdale characterised by Single Dwellings on large allotments. The site slopes down to the north-west and is afforded with panoramic views over Lauderdale Beach, given its elevated position. There is no significant vegetation on the site.

#### **3.2. The Proposal**

Approval is sought for the development of a 2 storey, 4 bedroom dwelling and separate carport to the rear of the dwelling.

The ground level of the dwelling would occupy a floor area of 149.5m<sup>2</sup> and the upper level would have a reduced floor area of 64.7m<sup>2</sup>. The dwelling would have a maximum height of 9.3m above natural ground level. The dwelling design incorporates lower and upper level decks on the northern elevation, both of which would be roofed.

The proposed carport would be located directly to the rear (south) of the dwelling, setback 1.2m from the rear boundary. The carport would be 6m x 6m in dimensions and would reach a maximum height of 3.7m above natural ground level at the northern elevation. The carport would have a low pitched “Colorbond” skillion roof. Minor fill works are required to provide a levelled pad to accommodate car parking.

A copy of the proposal is included in Attachment 1.

#### **4. PLANNING ASSESSMENT**

##### **4.1. Determining Applications [Section 8.10]**

*“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:*

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

*but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.*

Reference to these principles is contained in the discussion below.

##### **4.2. Compliance with Zone and Codes**

The proposal meets the Scheme’s relevant Acceptable Solutions of the General Residential Zone, Parking and Access Code and Stormwater Management Code with the exception of the following.

##### **General Residential Zone**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution</b>	<b>Proposed</b>
10.4.2 A3	Setbacks and building envelope for all dwellings.	A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:	

		<p>(a) be contained within a building envelope (refer to Diagrams 10.4.2A, 10.4.2B, 10.4.2C and 10.4.2D) determined by:</p> <p>(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and</p> <p>(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and</p> <p>(b) only have a setback within 1.5m of a side boundary if the dwelling:</p> <p>(i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining lot; or</p> <p>(ii) does not exceed a total length of 9m or one-third the length of the side boundary (whichever is the lesser).</p>	<p>Does not comply – The roof of the dwelling would protrude 0.8m beyond the building envelope resulting in a maximum height of 9.3m above natural ground level. The western side elevation of the dwelling would also protrude 1.9m outside of the building envelope.</p> <p>Due to the carports 3.3m height, a 4m setback to the rear is required to meet the Acceptable Solution. However, 1.2m is proposed.</p> <p>complies</p>
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The proposed variation must be considered pursuant to the Performance Criteria (P3) of the Clause 10.4.2 as follows.

<b>Performance Criterion</b>	<b>Comment</b>
<p><i>“The siting and scale of a dwelling must:</i></p> <p><i>(a) not cause unreasonable loss of amenity by:</i></p> <p><i>(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or</i></p>	<p>The building envelope encroachment concerning the northern half of the roof area is a result of the fall of the land and preference to minimise excavation.</p> <p>Shadow diagrams for the proposed dwelling and carport were submitted in support of the application that satisfactorily demonstrate there would not be an unreasonable loss of amenity to the habitable rooms of adjoining residences or associated private open space.</p> <p>The submitted diagrams show the overshadowing impact of the proposed dwelling would be most significant at 9am on the Winter Solstice upon the adjoining dwelling to the west at 14b Bayside Drive. The shadow cast at 9am would be cast across approximately half of the adjoining property to the west at 14b Bayside Drive for less than 3 hours.</p> <p>The eastern elevation of the dwelling approved but not yet constructed) on 14b Bayside Drive contains 3 bedroom windows and a rumpus room window. The bedroom windows are excluded from the overshadowing assessment by the Performance Criteria therefore the only window affected by overshadowing requiring assessment is the east facing rumpus room window. The shadow diagrams indicate that the rumpus room window would be overshadowed for 1.5 hours between 9am - 10.30am on the Winter Solstice leaving 3 hours of sunlight.</p> <p>At the adjacent property to the east at 16 Bayside Drive, the shadow diagrams demonstrate that a shadow would not be cast upon any part of this property between the hours of 9am – 3pm on 21 June.</p> <p>With respect to the adjacent property to the south at 14d Bayside Drive, the shadow diagrams demonstrate some minor shadowing effect upon the driveway area located at the front of the dwelling. The overshadowing would be concentrated to the late afternoon only (ie 3pm).</p>

	<p>Due to this property being elevated above the subject site, no overshadowing of the dwellings north facing habitable room windows would occur therefore demonstrating compliance with the Performance Criteria.</p> <p>The shadow diagrams confirm that the habitable rooms of the neighbouring dwellings would not be adversely affected by sunlight loss during the Winter Solstice when shadowing effects are at the greatest.</p>
<i>(ii) overshadowing the private open space of a dwelling on an adjoining lot; or</i>	<p>In relation to overshadowing of private open space, the submitted shadow diagrams satisfactorily confirm that the proposed dwelling would not cause the private open space areas of the adjacent dwellings to be unreasonably affected by sunlight loss during the Winter Solstice.</p>
<i>(iii) overshadowing of an adjoining vacant lot; or</i>	<p>Whilst 14b Bayside Drive, Lauderdale is presently vacant, a valid planning permit is in place for a Single Dwelling. The impacts of the proposed dwelling upon this currently vacant property have been considered in the context of the development approval in place and it was found that no unreasonable loss of sunlight would result to habitable room windows or private open space.</p>
<i>(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining lot; and</i>	<p>The visual impact resulting from the height variation sought is considered reasonable in that the encroachment relates to the northern section of the gable roof peak located at the centre of the site. The remainder of the dwelling design extending closer to the side boundaries reduces to a single storey form reducing the visual impacts caused by scale, bulk or proportions. This type of design response is encouraged by the building envelope template.</p> <p>The materials selected include modern cladding types which are consistent with the highly variable range of cladding types in the vicinity of the site.</p> <p>Whilst the visual impact is not considered unreasonable in the context of the Performance Criteria, the applicant has proposed to lower the roof covering the upper level deck located on the northern elevation of the dwelling in response to the representor's concerns relating to height.</p>



	<p>The lowering and re-design of the section of the roof encroaching beyond the building envelope is considered a reasonable attempt to respond to the primary concern raised by the representors and will reduce the overall height of the dwelling to 8.645m above natural ground level. A permit condition is therefore recommended.</p>
<p><i>(b) provide separation between dwellings on adjoining lots that is compatible with that prevailing in the surrounding area”.</i></p>	<p>Dwelling separation is relatively consistent along the southern side of Bayside Drive as dwellings have been designed to extend to the side boundaries to enable more rooms within the dwelling to achieve a view over Lauderdale Beach and to optimise northern sunlight for passive solar design reasons.</p> <p>The dwellings located to the west at 10 and 12 Bayside Drive maintain a Nil to 4m setback from the side boundaries and the dwelling approved on 14b Bayside Drive would have a 1.5m setback from the eastern boundary abutting the subject site. The dwelling located to the rear at 14a Bayside Drive also has a 2m setback from the western side boundary.</p> <p>The proposed setback of 1.5m from the western side boundary, 6.9m setback from the rear (southern) boundary and 6.5m setback from the eastern boundary would be compatible with the separation distances evident within the surrounding area. The proposed setbacks are also an appropriate response to the size of the lot which is notably smaller than that characteristic for the area.</p>

**General Residential Zone**

Clause	Standard	Acceptable Solution	Proposed
10.4.3 A2	Site coverage and private open for all dwellings	<p>A dwelling must have an area of private open space that:</p> <p>(a) is in one location and is at least:</p> <p>(i) 24m<sup>2</sup>; or</p>	<p>Does not comply – the upper level deck has been relied upon for private open space as it is directly accessible from the living room. The deck has an area of 20m<sup>2</sup>.</p>

		<p>(ii) 12m<sup>2</sup>, if the dwelling is a Multiple Dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(b) has a minimum horizontal dimension of:</p> <p>(i) 4m; or</p> <p>(ii) 2m, if the dwelling is a Multiple Dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer); and</p> <p>(c) is directly accessible from, and adjacent to, a habitable room (other than a bedroom); and</p> <p>(d) is not located to the south, south-east or south-west of the dwelling, unless the area receives at least 3 hours of sunlight to 50% of the area between 9.00am and 3.00pm on 21 June; and</p> <p>(e) is located between the dwelling and the frontage, only if the frontage is orientated between 30 degrees west of north and 30 degrees east of north, excluding any dwelling located behind another on the same site; and</p> <p>(f) has a gradient not steeper than 1 in 10; and</p>	<p>Does not comply – the deck area has a minimum dimension of 3.4m.</p> <p>complies</p> <p>complies</p> <p>complies</p> <p>complies</p>
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		(g) is not used for vehicle access or parking.	complies
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The proposed variation must be considered pursuant to the Performance Criteria (P2) of the Clause 10.4.3 as follows.

<b>Performance Criterion</b>	<b>Comment</b>
<p><i>“P2 - A dwelling must have private open space that:</i></p> <p><i>(a) includes an area that is capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children’s play and that is:</i></p> <p><i>(i) conveniently located in relation to a living area of the dwelling; and</i></p> <p><i>(ii) oriented to take advantage of sunlight”.</i></p>	<p>The ground level north facing deck is directly adjacent to, and accessible from the north facing living room sliding doors. The deck will therefore provide convenience for the purposes of outdoor dining, entertaining and relaxation. Other areas of private open space also surround the dwelling which is accessible from the laundry accessed directly off the living area. These areas will be capable of serving as usable and conveniently accessible outdoor spaces for children’s play and relaxation. An upper level north facing deck is also proposed from the master bedroom which will provide a supplementary form of outdoor space for relaxation purposes.</p> <p>Both decks are oriented directly north along with the larger area of outdoor space located between the dwelling and the street. The main area of private open space (proposed ground level deck) and various other areas of private open space have been designed and located to maximise solar access throughout the year, thereby enhancing usability.</p>

### **General Residential Zone**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution</b>	<b>Proposed</b>
10.4.6 A1	Privacy for all dwellings	A balcony, deck, roof terrace, parking space, or carport (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above natural ground level must have a permanently fixed screen to a height of at least 1.7m above the finished surface or floor level, with a uniform transparency of no more than 25%, along the sides facing a:	The western elevation of the proposed carport would be sited 0.6m from the western side property boundary and would have a finished surface level of 1.2m above natural ground level at its highest point. Screening is not proposed along the western elevation of the carport.

		<ul style="list-style-type: none"> <li>(a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 3m from the side boundary; and</li> <li>(b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 4m from the rear boundary; and</li> <li>(c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is at least 6m: <ul style="list-style-type: none"> <li>(i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or</li> <li>(ii) from a balcony, deck, roof terrace or the private open space, of the other dwelling on the same site.</li> </ul> </li> </ul>	
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The proposed variation must be considered pursuant to the Performance Criteria (P1) of the Clause 10.4.6 as follows.

<b>Performance Criterion</b>	<b>Comment</b>
<p><i>“P1 – A balcony, deck, roof terrace, parking space or carport (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above natural ground level, must be screened, or otherwise designed, to minimise overlooking of:</i></p> <p><i>(a) a dwelling on an adjoining lot or its private open space; or</i></p>	<p>A dwelling approval is in place for the adjoining property at 14b Bayside Drive, Lauderdale. The eastern elevation of the adjoining dwelling contains a rumpus room window directly facing the proposed carport location. The window is located at ground level and spans from floor to ceiling therefore creating reasonable potential for overlooking from the carport platform into this habitable room window.</p> <p>To protect the privacy of the adjoining dwelling, a permanently fixed screen to a height of at least 1.7m above the finished surface floor level with a uniform transparency of no more than 25% along the western side of the carport. A condition has been included to this effect.</p>

(b) <i>another dwelling on the same site or its private open space; or</i>	not applicable
(c) <i>an adjoining vacant residential lot”.</i>	Whilst the adjoining property to the west at 14b Bayside Drive is presently vacant, a development approval is in place for a Single Dwelling. The assessment has therefore taken into account the expected future presence of this dwelling.

## **5. REPRESENTATION ISSUES**

The proposal was advertised in accordance with statutory requirements and 4 representations were received. The following issues were raised by the representors.

### **5.1. Overshadowing Impact**

Concern is raised by the representor that the building envelope encroachment will impact upon morning sunlight into the living area of the existing dwelling at 12 Bayside Drive, Lauderdale. Concern is also raised by a separate representor that the proximity of the dwelling to the adjoining property at 14b Bayside Drive will cause an unreasonable loss of sunlight to this property during the winter months.

- **Comment**

The subject site is separated from 12 Bayside Drive, Lauderdale by 14b Bayside Drive, Lauderdale. Shadow diagrams have been submitted with the application demonstrating that the shadow cast by the proposed dwelling would not extend within the boundaries of 12 Bayside Drive, Lauderdale. The proposal would therefore have no impact upon this property in terms of sunlight loss.

The overshadowing impact upon the adjoining property at 14b Bayside Drive is considered above under Section 4.2. It has been demonstrated with shadow diagrams that minimal overshadowing of the dwelling and private open space would result.

**5.2. Damage to Nature Strip**

The representor has expressed concern that significant damage was made as part of the recent installation of the sewerage infrastructure within the nature strip in the vicinity of the site, and that future residential development of the lot as proposed will create further damage.

- **Comment**

Damage to the nature strip caused by either a development or the installation of infrastructure is not a relevant consideration under the Scheme, however, should any damages occur, the developer will be required to reinstate the road infrastructure to Council's satisfaction.

**5.3. Impact on Streetscape**

Concern has been raised by the representor that the height of the proposed dwelling will result in considerable visual bulk impacts when viewed from Bayside Drive.

- **Comment**

The proposed dwelling would maintain an 8.52m setback from the Bayside Drive frontage. The building envelope variation sought does not require consideration to be had to the impact of the increased height or reduced setback upon the streetscape character. There is therefore no capacity under the Scheme to consider such impact.

**5.4. Lack of Regard to the Design of Existing Dwellings within the Street**

The representor has raised concern that the dwelling design and material selection bears no resemblance to the appearance of existing dwellings in the street.

- **Comment**

The General Residential Zone provisions do not include controls relating to cladding type, colour or architectural style.

**5.5. Suggested Re-design**

Three of the representors have raised concern relating to the height of the building and associated visual impact when viewed from adjoining properties.

The representors have suggested that the dwelling be re-designed to a single storey form or alternatively to excavate the dwelling into the slope of the land to reduce the height of the building and associated amenity impacts.

- **Comment**

The concerns relating to height were raised with the applicant whereby they have advised that they are prepared to lower the section of roof covering the upper level deck located on the northern elevation of the dwelling to reduce the height of the dwelling from 9.3m to 8.645m. In light of this agreement, a suitable condition reflecting this change is recommended. The effect of this change is such that the proposal is in greater compliance with the 8.5m height requirement set under the Acceptable Solution. The lowering of the roof will not affect the building envelope encroachment relating to the western side elevation of the dwelling with the impact of this encroachment considered previously in this report.

#### **5.6. Loss of Privacy**

The representor has raised concern over the lack of screening along the western side elevation of the proposed carport and the resultant loss of privacy to the habitable room windows and private open space of 14b Bayside Drive, Lauderdale. Despite this, it should be noted that the area is characterised by a range of single and 2 storey dwellings of various sizes.

- **Comment**

In order to prevent overlooking from the carport platform into the adjoining residential property, a condition is recommended requiring the installation of a privacy screen to ensure compliance with Clause 10.4.6 P1 of the Scheme.

## **6. EXTERNAL REFERRALS**

No external referrals were required or undertaken as part of this application.

**7. STATE POLICIES AND ACT OBJECTIVES**

**7.1.** The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

**7.2.** The proposal is consistent with the objectives of Schedule 1 of LUPAA.

**8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS**

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

**9. CONCLUSION**

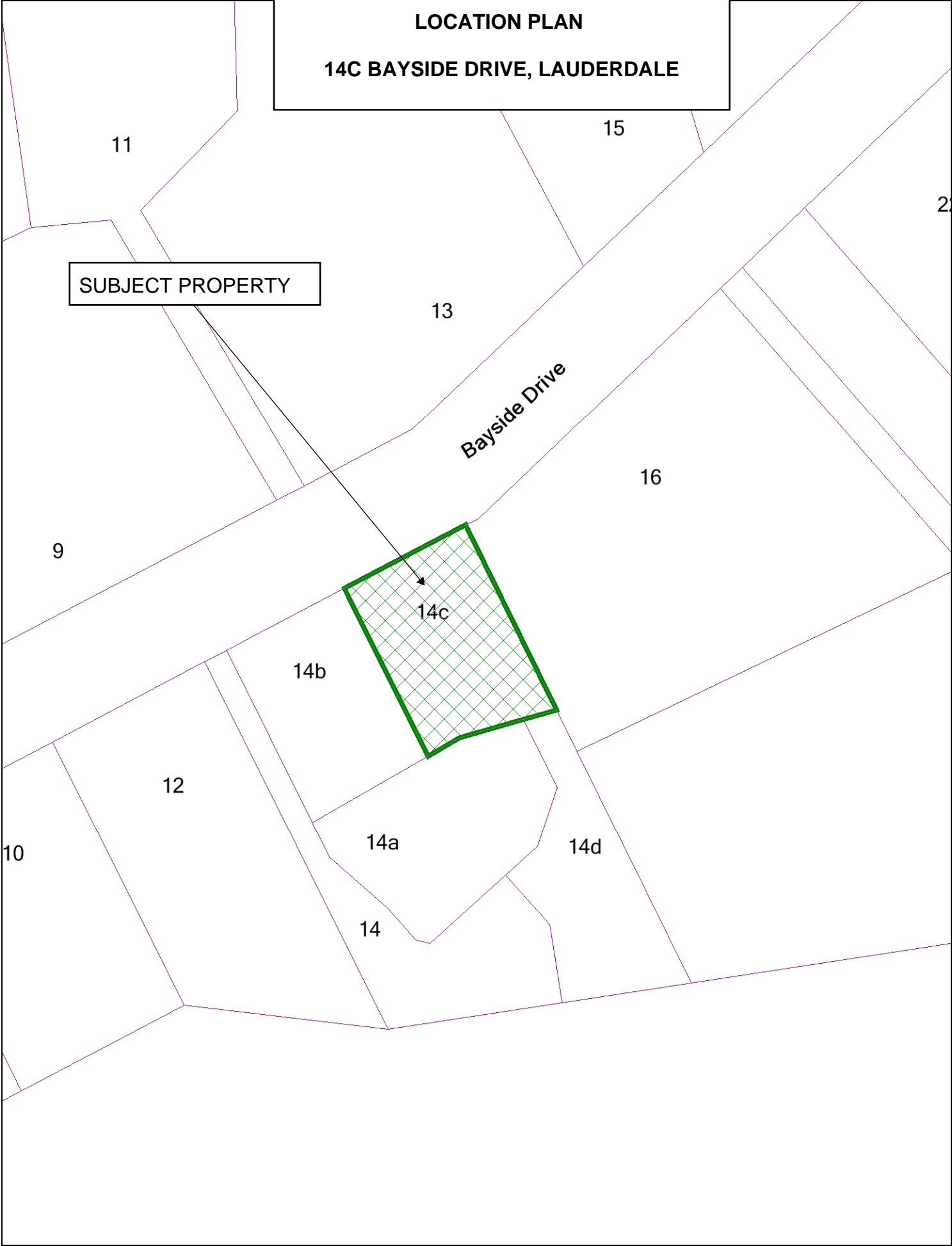
The proposal is for the development of a dwelling and carport at 14C Bayside Drive, Lauderdale. The proposal satisfies all relevant Acceptable Solutions and Performance Criteria of the Scheme and is therefore recommended for conditional approval.

Attachments: 1. Location Plan (1)  
2. Proposal Plan (6)  
3. Site Photo (1)

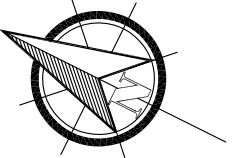
Ross Lovell  
**MANAGER CITY PLANNING**



ATTACHMENT 1  
LOCATION PLAN  
14C BAYSSIDE DRIVE, LAUDERDALE



**Disclaimer:** This map is a representation of the information currently held by Clarence City Council. While every effort has been made to ensure the accuracy of the product, Clarence City Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated. Copying or reproduction, without written consent is prohibited. **Date:** Thursday, 5 October 2017 **Scale:** 1:790.1 @A4



**GENERAL NOTES:**

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SMEEKES DRAFTING PTY LTD STANDARD BUILDING NOTES, SHEETS STANDARD-001 TO 008.
2. WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE.
3. BUILDER TO VERIFY ALL BOUNDARY CLEARANCES AND SITE SET-OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. ALL CONSTRUCTION WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS.
5. TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 1684.2 "TIMBER FRAMED CONSTRUCTION". T.P. DECK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLICATION FROM THE TIMBER PROMOTION COUNCIL " TIMBER DECKS - DESIGN AND CONSTRUCTION MANUAL".
6. FOOTINGS AND SLABS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 2870 "RESIDENTIAL SLABS AND FOOTINGS".
7. PLUMBING AND DRAINAGE SHALL BE IN ACCORDANCE WITH AS 3500.2 AND AS 3500.3 "THE NATIONAL PLUMBING AND DRAINAGE CODE". FIT ADJUSTABLE TEMPERING VALVES TO ALL BATHROOMS IN ACCORDANCE WITH AS 1529 "CODE OF PRACTICE OF HOUSEHOLD TYPE HOT WATER SUPPLY SYSTEMS".
8. WATER PROOFING OF WET AREAS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3740 "WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS".
9. ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS/NZS 3000 "WIRING RULES". SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH TASMANIAN FIRE SERVICE AND AS 3786 "SMOKE ALARMS".
10. GLAZING SHALL BE IN ACCORDANCE WITH AS 1288 "GLASS IN BUILDINGS - SELECTION AND INSTALLATION", WINDOWS TO COMPLY WITH AS 2047 "WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION".
11. MIN. R6.0 INSULATION TO CEILING. MIN. R2.5 INSULATION TO ALL EXTERNAL WALLS.
12. ALL STEELWORK SHALL BE IN ACCORDANCE WITH AS 4100 "STEEL STRUCTURES".

**SITE DATA:**

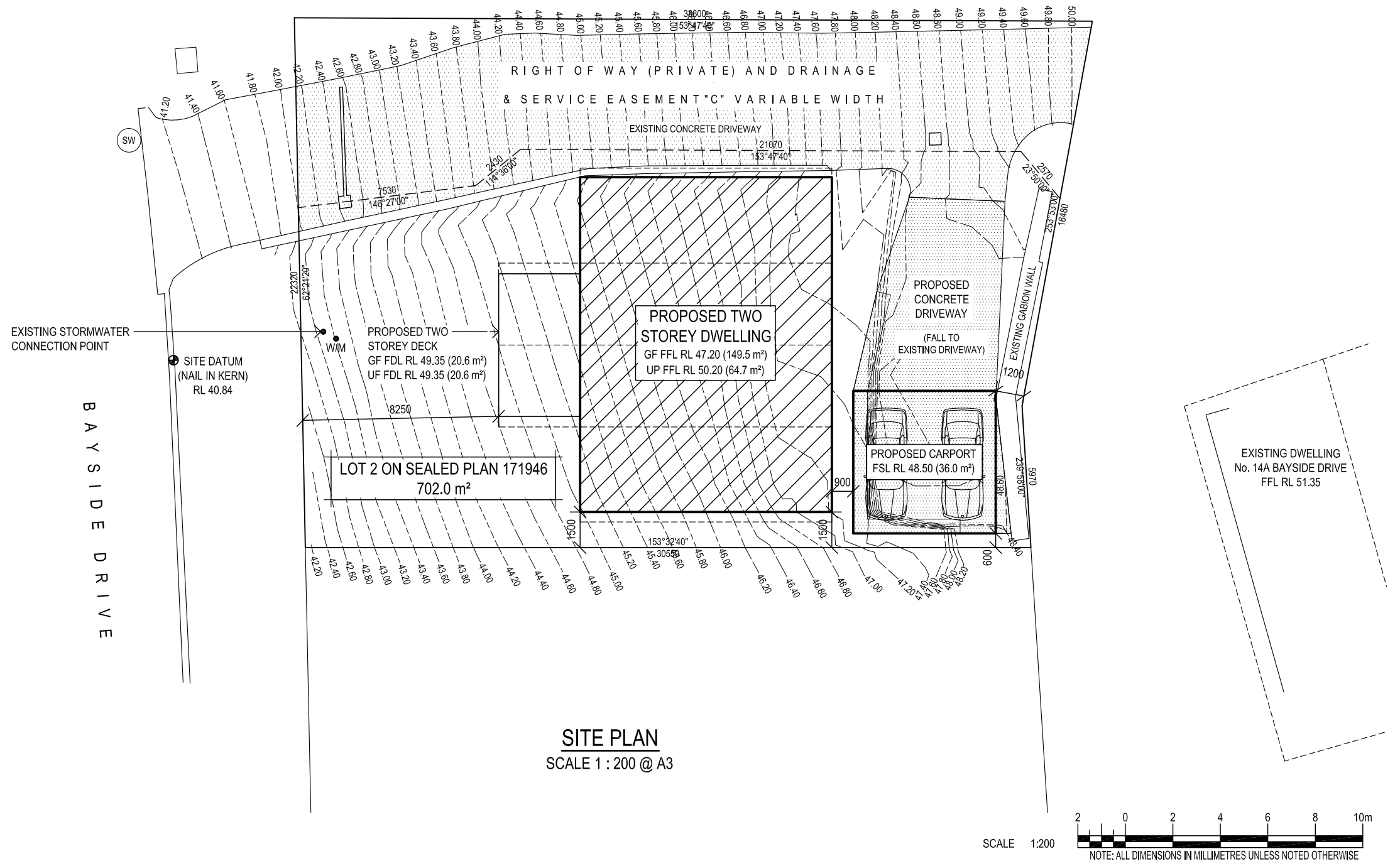
LAND TITLE REF. No.	: LOT 2 ON SEALED PLAN 171946
CLIMATE ZONE	: ZONE 7
DESIGN WIND SPEED	: 'N3'
SOIL CLASSIFICATION	: 'M'
BAL RATING	: T.B.A.


**PROPOSED BUILDING AREAS:**

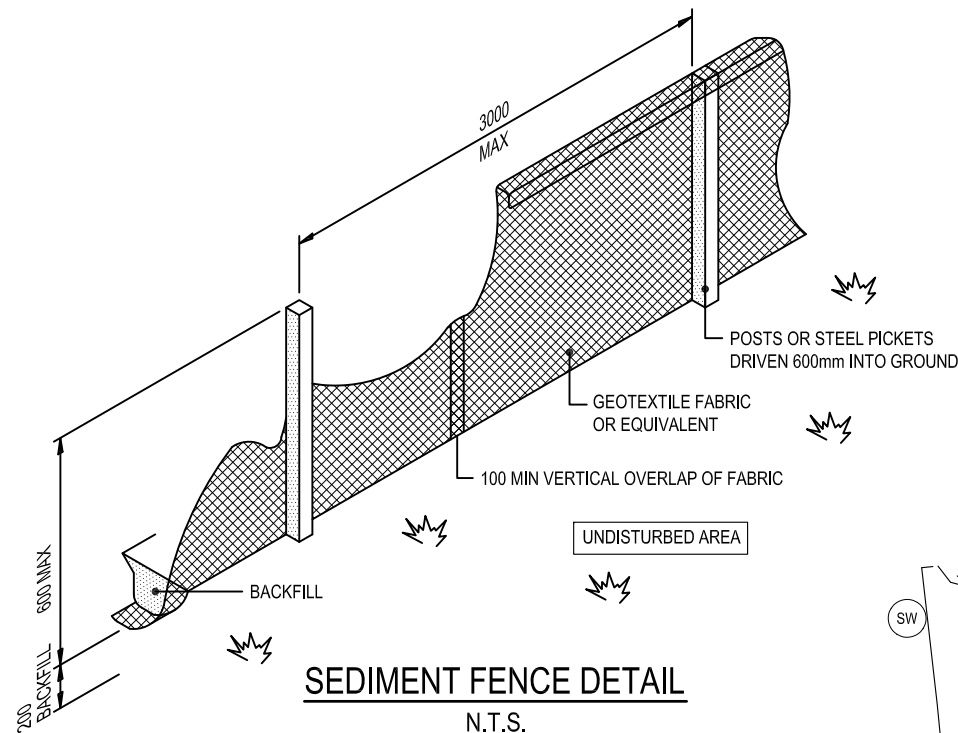
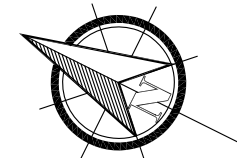
CARPORT	: 36.0 m <sup>2</sup>
DWELLING GROUND FLOOR	: 149.5 m <sup>2</sup>
DWELLING UPPER FLOOR	: 64.7 m <sup>2</sup>
DECK 1	: 20.6 m <sup>2</sup>
DECK 2	: 20.6 m <sup>2</sup>

**SITE COVERAGE:**

LOT SIZE	: 702.0 m <sup>2</sup>
TOTAL FOOTPRINT	206.1 m <sup>2</sup>
SITE COVERAGE	: 29.4 %



REV.	DESCRIPTION	REFERENCE	DRN / DES	P. PITT	<div><div><p><b>BUILDING DESIGNERS</b> ASSOCIATION OF AUSTRALIA</p></div><div><p><b>SMEEKES DRAFTING PTY LTD</b> ABN 89 056 706 640 12 Warwick Street, Hobart, TAS 7000 Office Phone: (03) 6234 6185 Email: admin@smeekesdrafting.com Website: www.smeekesdrafting.com Building Designer Licence Nos. CC4900A &amp; CC6621</p></div></div>	CLIENT D. & A. JENKINS				
0	ISSUED FOR CLIENT REVIEW. 10-8-2017					TITLE PROPOSED DWELLING 14C BAYSIDE DRIVE, LAUNDERDALE, TAS 7021				
						SITE PLAN				
						DRG No.	JENKINS	SHT. 001	SCALE 1 : 200	A3

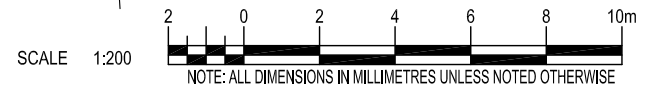
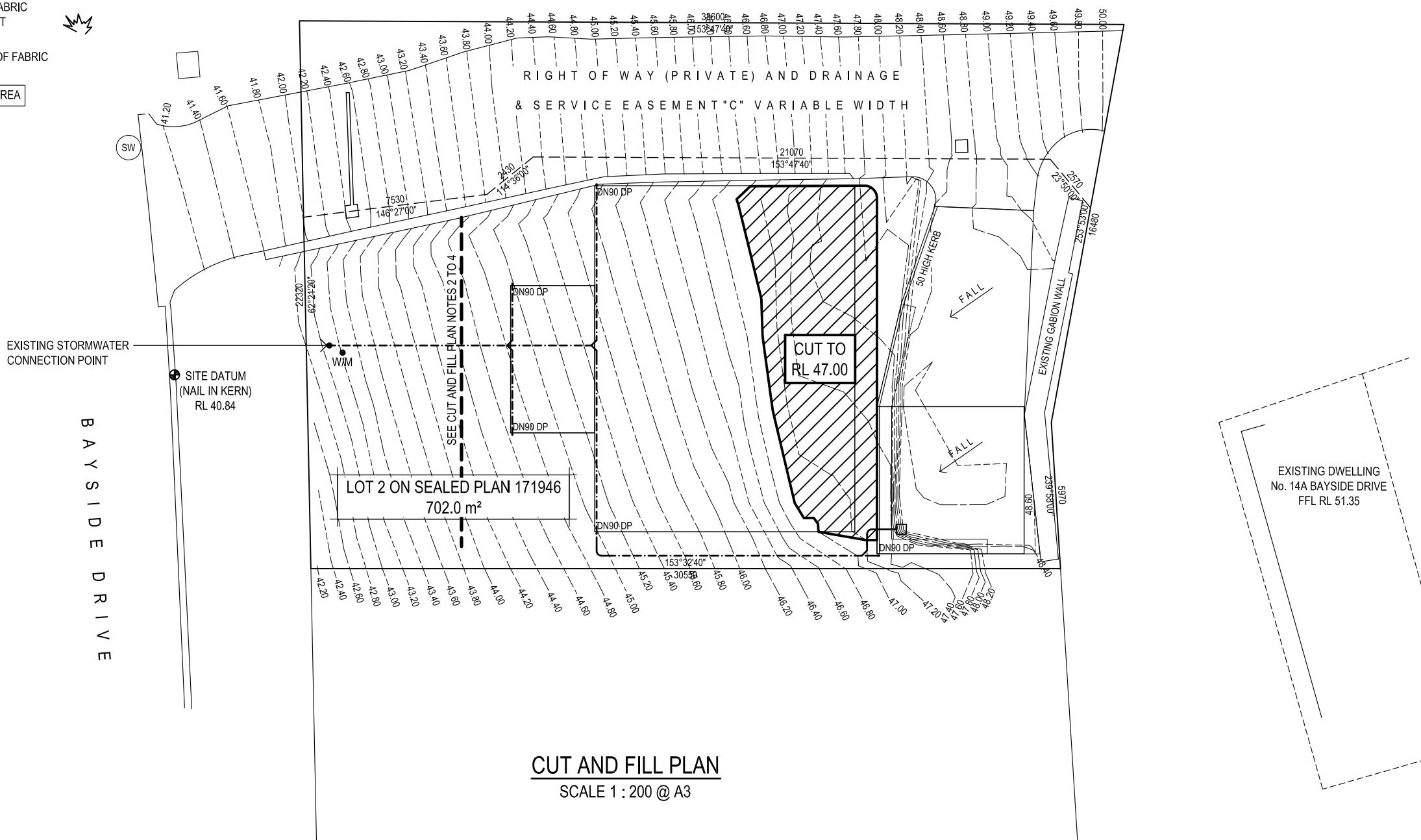


**CUT AND FILL PLAN NOTES:**

- EXCAVATED MATERIAL FROM FOUNDATIONS SHALL REMAIN STOCKPILED ON SITE FOR SITE REHABILITATION AND LANDSCAPING AT COMPLETION, ANY EXCESS TO BE TAKEN TO LOCAL REFUSE SITE.
- PROVIDE 600H GEOTEXTILE OR EQUIVALENT WATER PERMEABLE SEDIMENT FENCE. (SEE DETAIL THIS DRAWING) SEDIMENT FENCE TO REMAIN IN PLACE FOR DURATION OF WORKS.
- IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL, MAINTAIN AND (UPON COMPLETION) REMOVE ALL SEDIMENT CONTROL MEASURES.
- SEDIMENT FENCE TO BE CHECKED AND CLEANED DAILY TO PREVENT BREAKAGE AND OVERTOPPING.
- PROVIDE TEMPORARY CONNECTION FROM DOWNPIPES TO STORMWATER DRAIN IMMEDIATELY FOLLOWING COMPLETION OF ROOF CLADDING, FASCIA AND GUTTER INSTALLATION. PERMANENT DOWNPIPE CONNECTION TO BE INSTALLED AT APPROPRIATE TIME OF DWELLING CONSTRUCTION.

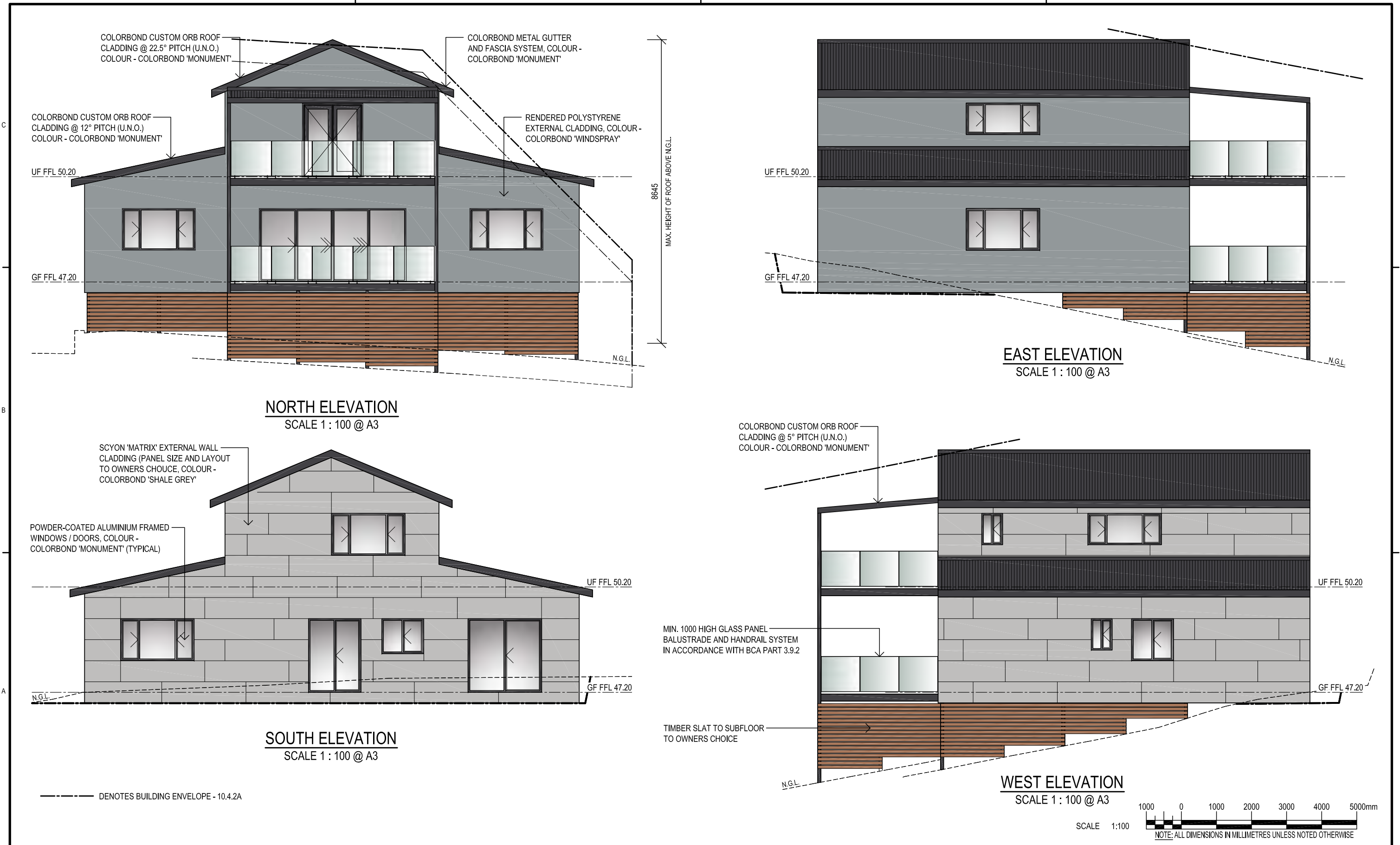
**PROTECTION WORKS NOTES:**

- THE SITE/AREAS BEING EXCAVATED SHALL BE ADEQUATELY BARRICADED TO PROTECT THE CONTRACTORS OR PUBLIC FROM INJURY.

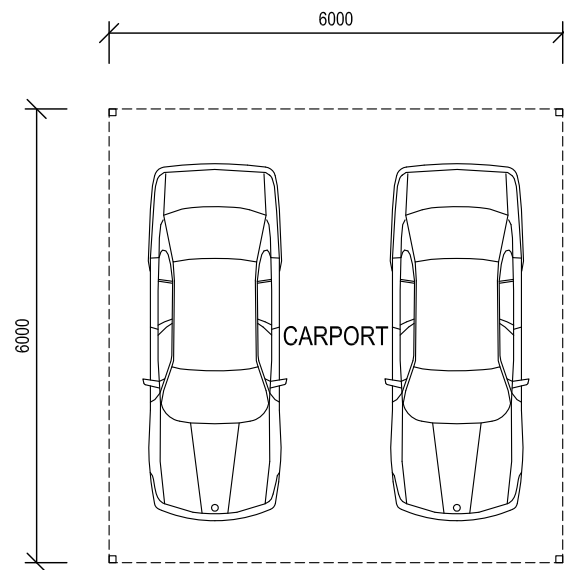
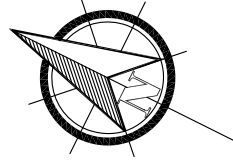


REV.	DESCRIPTION	REFERENCE	DRN / DES	P. PITT	SMEEKES DRAFTING PTY LTD	CLIENT	TITLE	DRG No.	SHT.	SCALE	A3
0	ISSUED FOR CLIENT REVIEW. 10-8-2017				ABN 89 056 706 640 12 Warwick Street, Hobart, TAS 7000 Office Phone: (03) 6234 6185 Email: admin@smeekeedrafting.com Website: www.smeekeedrafting.com	D. & A. JENKINS	PROPOSED DWELLING 14C BAYSIDE DRIVE, LAUNDERDALE, TAS 7021 CUT AND FILL PLAN / SOIL AND WATER MANAGEMENT PLAN	JENKINS	002	1 : 200	A3

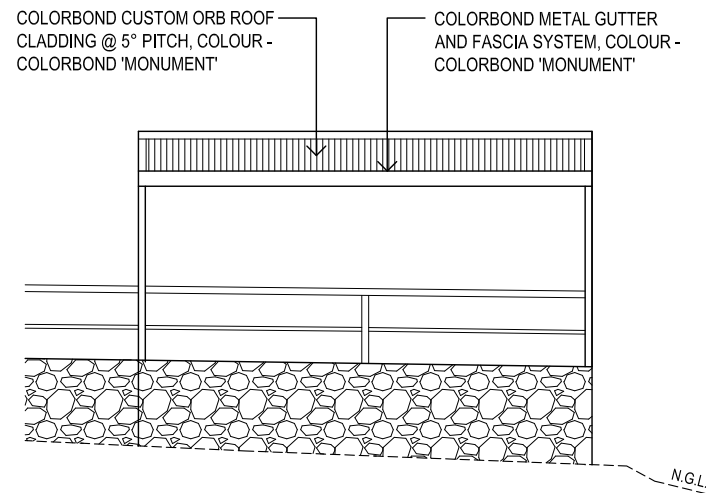




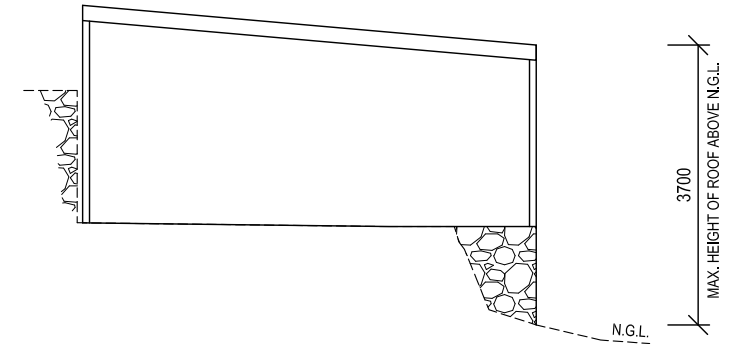
REV.	DESCRIPTION	REFERENCE	DRN / DES	P. PITT	SMEEKES DRAFTING PTY LTD	CLIENT	TITLE	DRG	No.	SHT.	SCALE	A3
0	ISSUED FOR CLIENT REVIEW. 10-8-2017				ABN 89 056 706 640 12 Warwick Street, Hobart, TAS 7000 Office Phone: (03) 6234 6185 Email: admin@smeekesdrafting.com Website: www.smeekesdrafting.com	D. & A. JENKINS	PROPOSED DWELLING					
1	DECK 2 ROOF AMENDED, ISSUE TO CLARENCE CITY COUNCIL. 22-9-2017					14C BAYSIDE DRIVE, LAUNDERDALE, TAS 7021						
						DWELLING ELEVATIONS						
						JENKINS				004	1: 100	A3



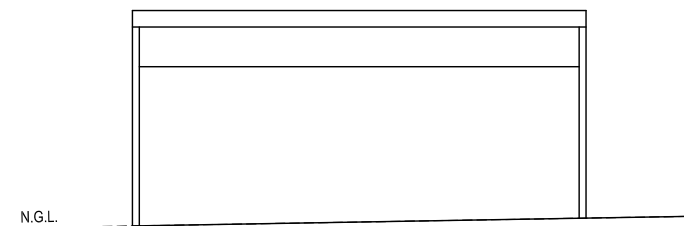
**FLOOR PLAN**  
SCALE 1 : 100 @ A3



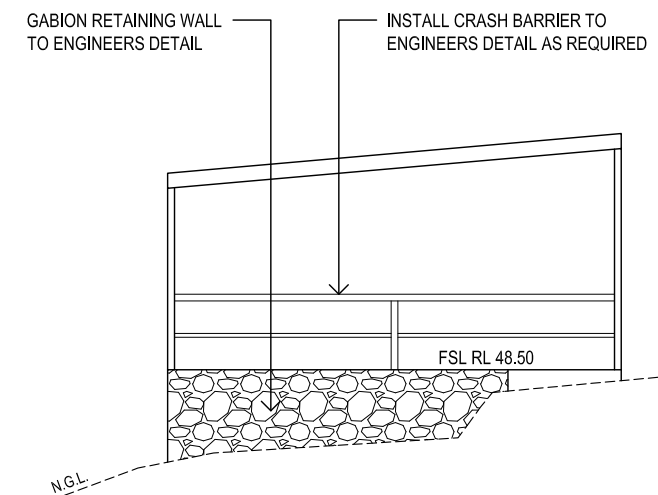
**NORTH ELEVATION**  
SCALE 1 : 100 @ A3



**EAST ELEVATION**  
SCALE 1 : 100 @ A3



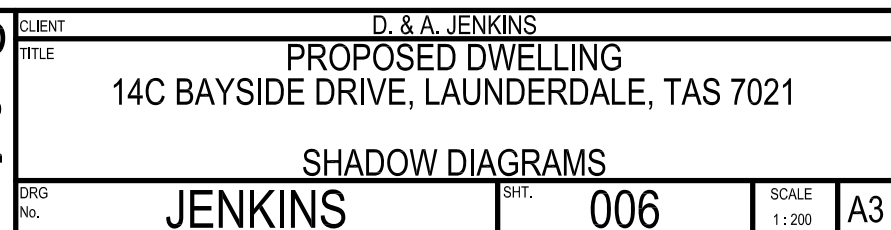
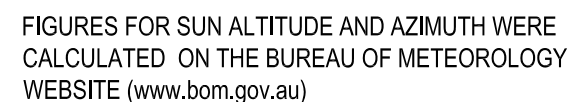
**SOUTH ELEVATION**  
SCALE 1 : 100 @ A3



**WEST ELEVATION**  
SCALE 1 : 100 @ A3



REV.	DESCRIPTION	REFERENCE	DRN / DES	P. PITT	SMEEKES DRAFTING PTY LTD	CLIENT	TITLE	DRG No.	SHT.	SCALE	A3
0	ISSUED FOR CLIENT REVIEW. 10-8-2017				ABN 89 056 706 640 12 Warwick Street, Hobart, TAS 7000 Office Phone: (03) 6234 6185 Email: admin@smeekeedrafting.com Website: www.smeekeedrafting.com	D. & A. JENKINS	PROPOSED DWELLING 14C BAYSIDE DRIVE, LAUNDERDALE, TAS 7021	JENKINS	005	1 : 100	A3
							CARPORT DETAILS				



**14C Bayside Drive, Lauderdale**



***Photo 1:*** *The subject site when viewed from Bayside Drive.*



**11.3.7 DEVELOPMENT APPLICATION D-2017/329 - 42 TREVASSA CRESCENT, TRANMERE (WITH ACCESS OVER 44 AND 46 TREVASSA CRESCENT) - DWELLING**

(File No D-2017/329)

**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for a Dwelling at 42 Trevassa Crescent, Tranmere (with access over 44 and 46 Trevassa Crescent).

**RELATION TO PLANNING PROVISIONS**

The land is zoned General Residential and subject to the Waterway and Coastal Protection Area, Stormwater Management and Parking and Access code under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

**LEGISLATIVE REQUIREMENTS**

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 20 October 2017.

**CONSULTATION**

The proposal was advertised in accordance with statutory requirements and 1 representation was received raising the following issues:

- loss of sunlight to habitable room; and
- overshadowing of private open space.

**RECOMMENDATION:**

A. That the Development Application for dwelling at 42 Trevassa Crescent, Tranmere (with access over 44 and 46 Trevassa Crescent) (CI Ref D-2017/329) be approved subject to the following conditions and advice.

1. GEN AP1 – ENDORSED PLANS.

B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

**DEVELOPMENT APPLICATION D-2017/329 - 42 TREVASSA CRESCENT, TRANMERE (WITH ACCESS OVER 44 AND 46 TREVASSA CRESCENT) – DWELLING /contd...**

---

**ASSOCIATED REPORT****1. BACKGROUND**

No relevant background.

**2. STATUTORY IMPLICATIONS**

**2.1.** The land is zoned General Residential under the Scheme.

**2.2.** The proposal is discretionary because it does not meet the Acceptable Solutions under the Scheme.

**2.3.** The relevant parts of the Planning Scheme are:

- Section 8.10 – Determining Applications;
- Section 10 – General Residential Zones; and
- Section E6.0 – Parking and Access Code, E7.0 Stormwater Management Code and E11.0 Waterway and Coastal Protection Code.

**2.4.** Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

**3. PROPOSAL IN DETAIL****3.1. The Site**

The site is a 799m<sup>2</sup> vacant internal lot accessed from a shared right-of-way from the southern side of Trevassa Crescent, Tranmere. The site is within a residential area, with established dwellings to the west and recently approved dwellings to the north, east and south.

**3.2. The Proposal**

The proposal is for the development of a 2 storey brick and colorbond dwelling with integral garage. The dwelling would be located parallel to the rear (southern) boundary with a minimum setback of 1.67m. The dwelling would be setback 4.1m from the front (northern internal) boundary, 7.53m from the side (eastern) and more than 11m from the side (western) boundary.

The dwelling would have a maximum height of 6.6m above natural ground level.

**4. PLANNING ASSESSMENT****4.1. Determining Applications [Section 8.10]**

*“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:*

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

*but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.*

Reference to these principles is contained in the discussion below.

**4.2. Compliance with Zone and Codes**

The proposal meets the Scheme’s relevant Acceptable Solutions of the General Residential Zone and Parking and Access, Stormwater Management and Waterway and Coastal Protection Codes with the exception of the following.

**General Residential Zone**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
10.4.2 A3	Setbacks and building envelope for all dwellings	A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions (such as eaves, steps, porches, and awnings) that extend not more than 0.6m horizontally beyond the building envelope, must:	
		(a) be contained within a building envelope (refer to Diagrams 10.4.2A, 10.4.2B, 10.4.2C and 10.4.2D) determined by:	Does not comply – the proposed setback to the frontage (northern internal boundary) is 4.1m, 0.4m less than the required 4.5m setback.
		(i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a lot with an adjoining frontage; and	
		(ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above natural ground level at the side boundaries and a distance of 4m from the rear boundary to a building height of not more than 8.5m above natural ground level; and	Does not comply – the building is setback 1.7m from the rear (southern boundary), 2.3m less than the 4m rear setback requirement.
		(b) only have a setback within 1.5m of a side boundary if the dwelling:	
		(i) does not extend beyond on existing building built on or within 0.2m of the boundary of the adjoining lot; or	complies
		(ii) does not exceed a total length of 9m or one third the length of the side boundary (whichever is the lesser).	complies

The proposed variation must be considered pursuant to the Performance Criteria P3 of the Clause 10.4.2 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<p><i>“The siting and scale of a dwelling must:</i></p> <p><i>(a) not cause unreasonable loss of amenity by:</i></p> <p><i>(i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining lot; or</i></p>	<p>Shadow diagrams have been provided which depict the south-east elevation of the adjoining property, 44 Trevassa Crescent. These show that the upper level north facing dining room would receive no loss of sunlight on 21 June whilst the lower level north facing rumpus room would receive full sunlight from 12 noon on 21 June.</p>
<p><i>(ii) overshadowing the private open space of a dwelling on an adjoining lot; or</i></p>	<p>Private open space to 44 Trevassa Crescent is located behind the proposed dwelling for 42 Trevassa Crescent and is completely free from shadow from 42 Trevassa Crescent from 11.30am on 21 June. Accordingly, the private open space would receive more than 3 hours of sunlight on 21 June which is considered reasonable.</p>
<p><i>(iii) overshadowing of an adjoining lot; or</i></p>	<p>Whilst the adjoining properties at 44 and 46 Trevassa Crescent are located to the south of the proposed dwelling, as the natural slope drops to the north, 44 Trevassa Crescent obtains sunlight to habitable rooms for at least 3 hours on 21 June and 46 Trevassa Crescent is not affected by the proposed dwelling.</p>
<p><i>(iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining land; and</i></p>	<p>The dwelling is 2 storey and similar in scale and bulk as the dwellings in the surrounding area and therefore does not have an unreasonable visual impact. In addition the maximum height of the dwelling is 6.6m, nearly 2m less than allowed under the Acceptable Solution for an internal lot.</p>
<p><i>(b) provide separation between dwellings on adjoining lots that is compatible with the prevailing in the surrounding area”.</i></p>	<p>The dwelling setbacks are seen to be compatible with others within the internal lots. Lots in the surrounding neighbourhood primarily have dwellings located at the front of their lots away from any immediate impact.</p>

## **5. REPRESENTATION ISSUES**

The proposal was advertised in accordance with statutory requirements and 1 representation was received. The following issues were raised by the representor.

### **5.1. Loss of Sunlight**

The representor's concern is that the proposed dwelling is within close proximity to their residence which will result in a loss of sunlight to their main living space.

- **Comment**

The proposed dwelling would be setback 1.7m from the rear boundary which is shared with the representor. However, an additional 4.1m would separate the dwellings as a result of the setback of the representors adjoining property.

The shadow diagrams provided show that the loss of sunlight to habitable rooms would be 3 hours before 12 noon to the rumpus room only, on 21 June. The dining and living room upstairs would not lose any sunlight on 21 June.

### **5.2. Overshadowing to Private Open Space**

The representor has expressed concern that proposed dwelling will overshadow their private open space.

- **Comment**

The private open space for 44 Trevassa Crescent is unaffected by the proposed dwelling at 42 Trevassa Crescent from 11.30am onwards on 21 June. A loss of 2.5 hours of sunlight to the private open space at 44 Trevassa Crescent on 21 June is not considered to be significant overshadowing.

## **6. EXTERNAL REFERRALS**

No external referrals were required or undertaken as part of this application.

**7. STATE POLICIES AND ACT OBJECTIVES**

**7.1.** The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

**7.2.** The proposal is consistent with the objectives of Schedule 1 of LUPAA.

**8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS**

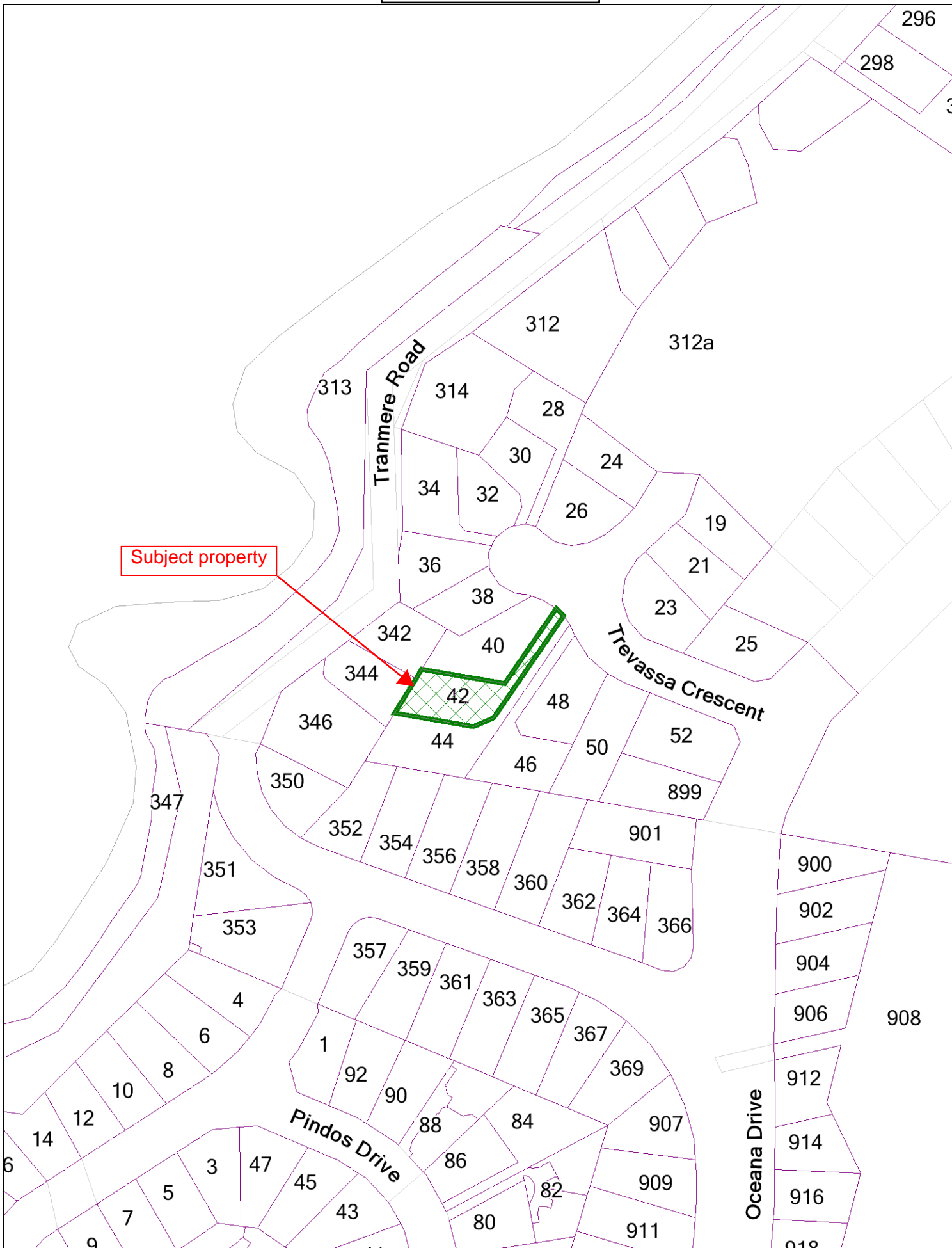
There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

**9. CONCLUSION**

The proposal seeks approval for a Single Dwelling at 42 Trevassa Crescent, Tranmere. The proposal is considered to meet the relevant Performance Criteria of the Scheme and is recommended for approval.

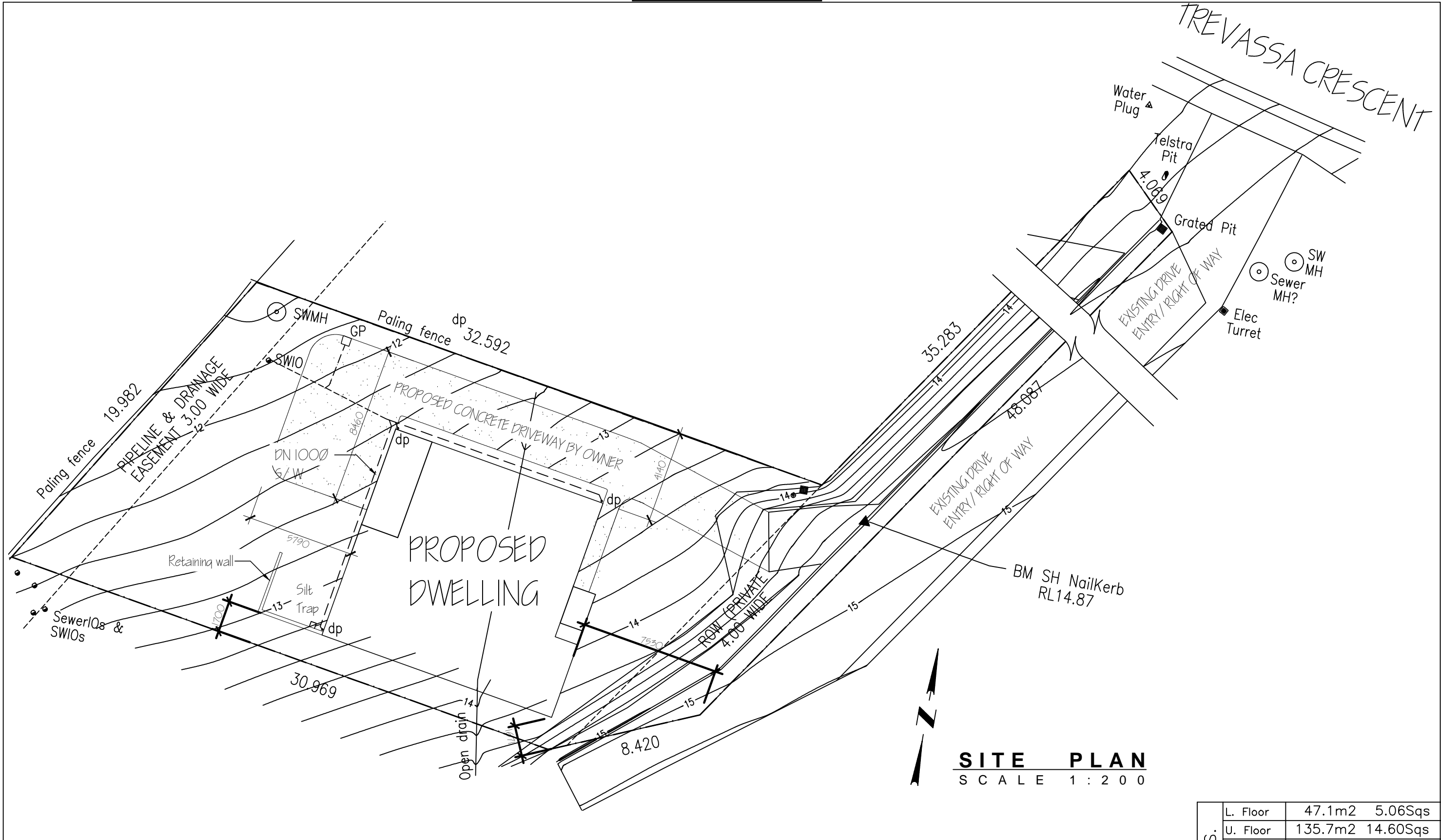
Attachments: 1. Location Plan (1)  
2. Proposal Plan (5)  
3. Site Photo (1)

Ross Lovell  
**MANAGER CITY PLANNING**



**Disclaimer:** This map is a representation of the information currently held by Clarence City Council. While every effort has been made to ensure the accuracy of the product, Clarence City Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated. Copying or reproduction, without written consent is prohibited. **Date:** Thursday, 5 October 2017 **Scale:** 1:1,877 @A4





**G.Hills**&Partners ARCHITECTS  
PO BOX 10, KINGSTON BEACH PH: 6229 1799 Email: graham.hills@bigpond.com

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UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS

- EXTERNAL 240mm B/VENEER - INTERNAL 90mm TIMBER STUD
- STEPS/HANDRAILS TREADS MIN 250mm RISERS MAX 190mm
- BALUSTERS & BALUSTRADE 1000mm MIN HIGH
- BALUSTERS MAX 125mm SPACING
- ALL WINDOWS TO BE SET 145mm A HEAD UNLESS NOMINATED OTHERWISE/IF BRICKWORK OVER, ADJUST HEAD HEIGHT TO WITHIN 5-10mm OF LINTEL
- REFER TO ALL ENGINEERS DETAILS FOR STRUCTURAL MEMBERS

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VIEW

# PROPOSED SITE PLAN

CUSTOMER	
----------	--

MER  
Himali Bista

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42 Trevassa Crescent, TRANMERE

AREAS.	L. Floor	47.1m2	5.06Sqs
	U. Floor	135.7m2	14.60Sqs
	Garage	44.7m2	4.81Sqs
	Porch	2.7m2	0.29Sqs
	Deck	11.5m2	1.23Sqs
	Total Area	241.7m2	26.01Sqs

21792

Scale 1:200

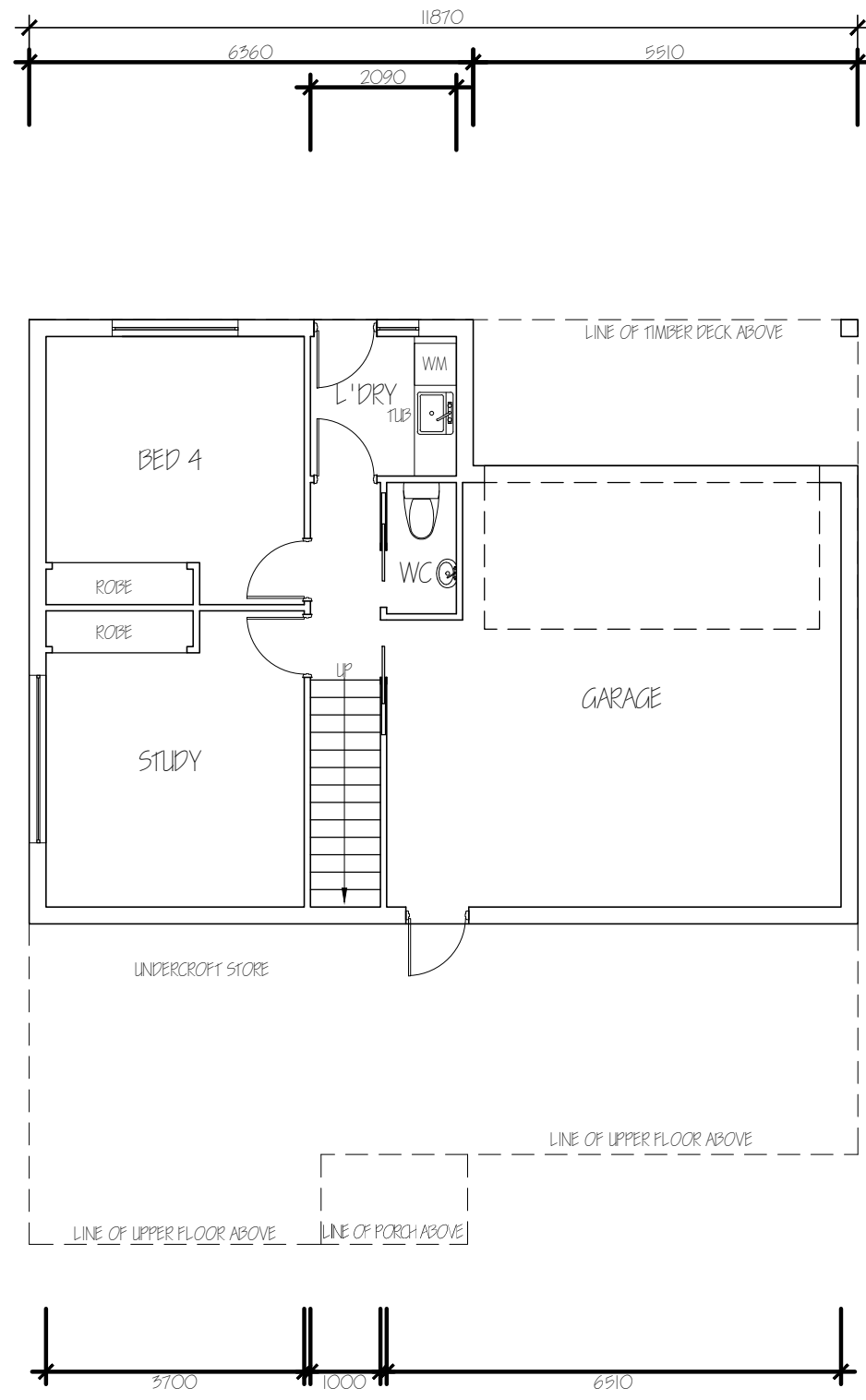
Date July 2017

Drawn J.P & J.H

Drg.No.	DD01
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Plot	Date
	<b>01/08/2017</b>

Sheet No.	1	of	4
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**FLOOR PLAN**  
SCALE 1 : 1 0 0

DOCUMENTS PREPARED BY:  
**G.Hills&Partners ARCHITECTS**  
PO BOX 10, KINGSTON BEACH PH: 6229 1799 Email: graham.hills@bigpond.com

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- STEPS/STAIRS TREADS MIN 250mm RISERS MAX 190mm  
HANDRAILS & BALUSTRADING 1000mm MIN HIGH  
BALUSTERS MAX 125mm SPACING  
- ALL WINDOWS TO BE SET AT 2145mm O/A HEAD UNLESS  
NOMINATED OTHERWISE/IF BRICKWORK OVER, ADJUST HEAD  
HEIGHT TO WITHIN 5-10mm OF LINTEL  
- REFER TO ALL ENGINEERS DETAILS FOR STRUCTURAL MEMBERS

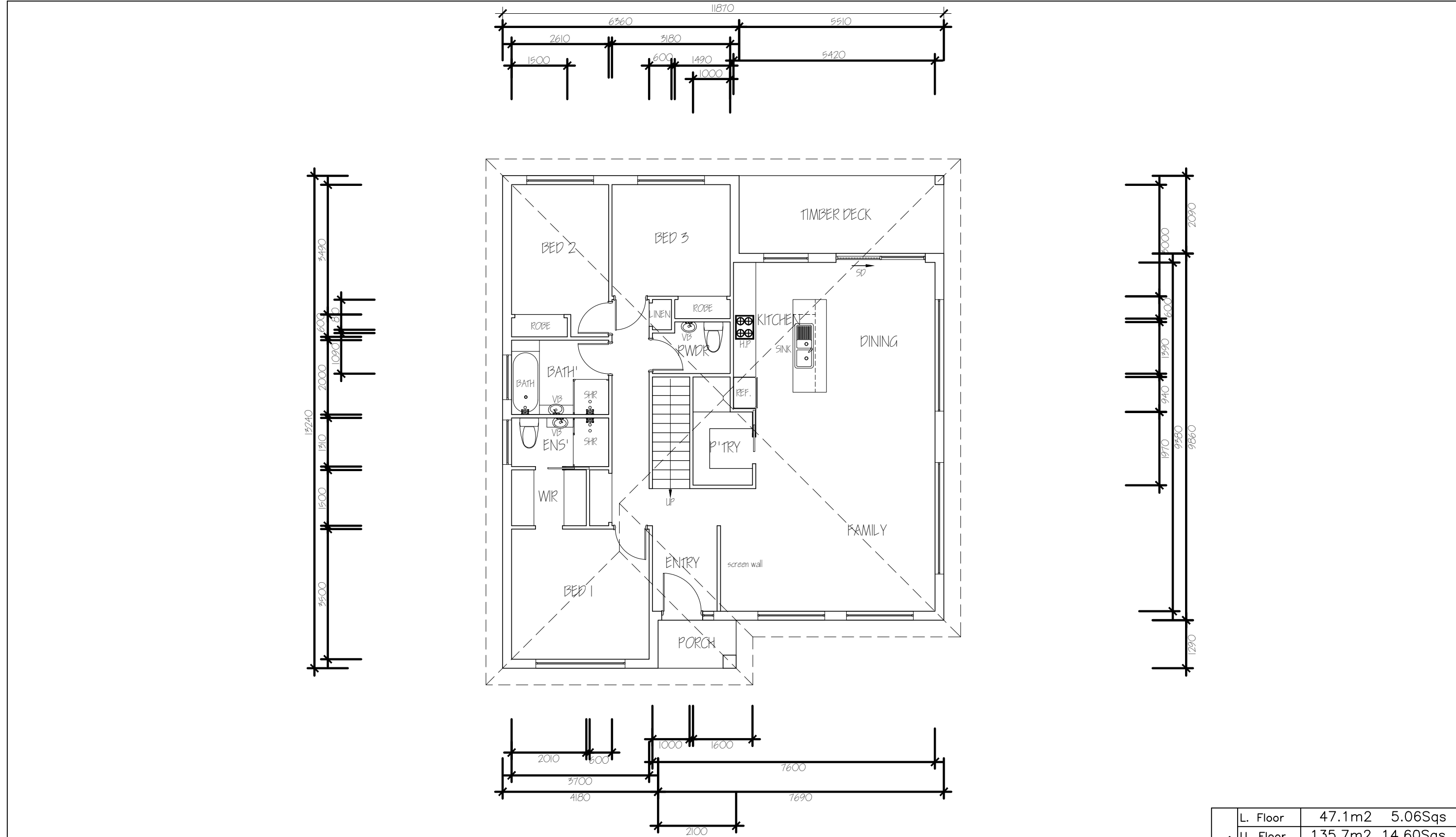
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VIEW  
PROPOSED LOWER FLOOR PLAN

CUSTOMER  
Himali Bista

ADDRESS  
42 Trevassa Crescent, TRANMERE

AREAS.	L. Floor	47.1m2	5.06Sqs
	U. Floor	135.7m2	14.60Sqs
	Garage	44.7m2	4.81Sqs
	Porch	2.7m2	0.29Sqs
	Deck	11.5m2	1.23Sqs
	Total Area	241.7m2	26.01Sqs
21792			
Scale 1:100		Date July 2017	
Drawn J.Pearce		Drg.No. DD02	
Plot Date 01/08/2017		Sheet No. 2 of 4	



DOCUMENTS PREPARED BY:

**G.Hills&Partners ARCHITECTS**  
PO BOX 10, KINGSTON BEACH PH: 6229 1799 Email: graham.hills@bigpond.com

**FLOOR PLAN**  
SCALE 1 : 1 0 0

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EXTERNAL 240mm B/VENEER -INTERNAL 90mm TIMBER STUD  
- STEPS/STAIRS TREADS MIN 250mm RISERS MAX 190mm  
HANDRAILS & BALUSTRADING 1000mm MIN HIGH  
BALUSTERS MAX 125mm SPACING  
- ALL WINDOWS TO BE SET AT 2145mm O/A HEAD UNLESS  
NOMINATED OTHERWISE/IF BRICKWORK OVER, ADJUST HEAD  
HEIGHT TO WITHIN 5-10mm OF LINTEL  
- REFER TO ALL ENGINEERS DETAILS FOR STRUCTURAL MEMBERS



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VIEW

PROPOSED UPPER FLOOR PLAN

CUSTOMER

Himali Bista

ADDRESS

42 Trevassa Crescent, TRANMERE

AREAS.	L. Floor	47.1m2	5.06Sqs
	U. Floor	135.7m2	14.60Sqs
	Garage	44.7m2	4.81Sqs
	Porch	2.7m2	0.29Sqs
	Deck	11.5m2	1.23Sqs
	Total Area	241.7m2	26.01Sqs

21792

Scale

1:100

Date

July 2017

Drawn

J.Pearce

Drg.No.

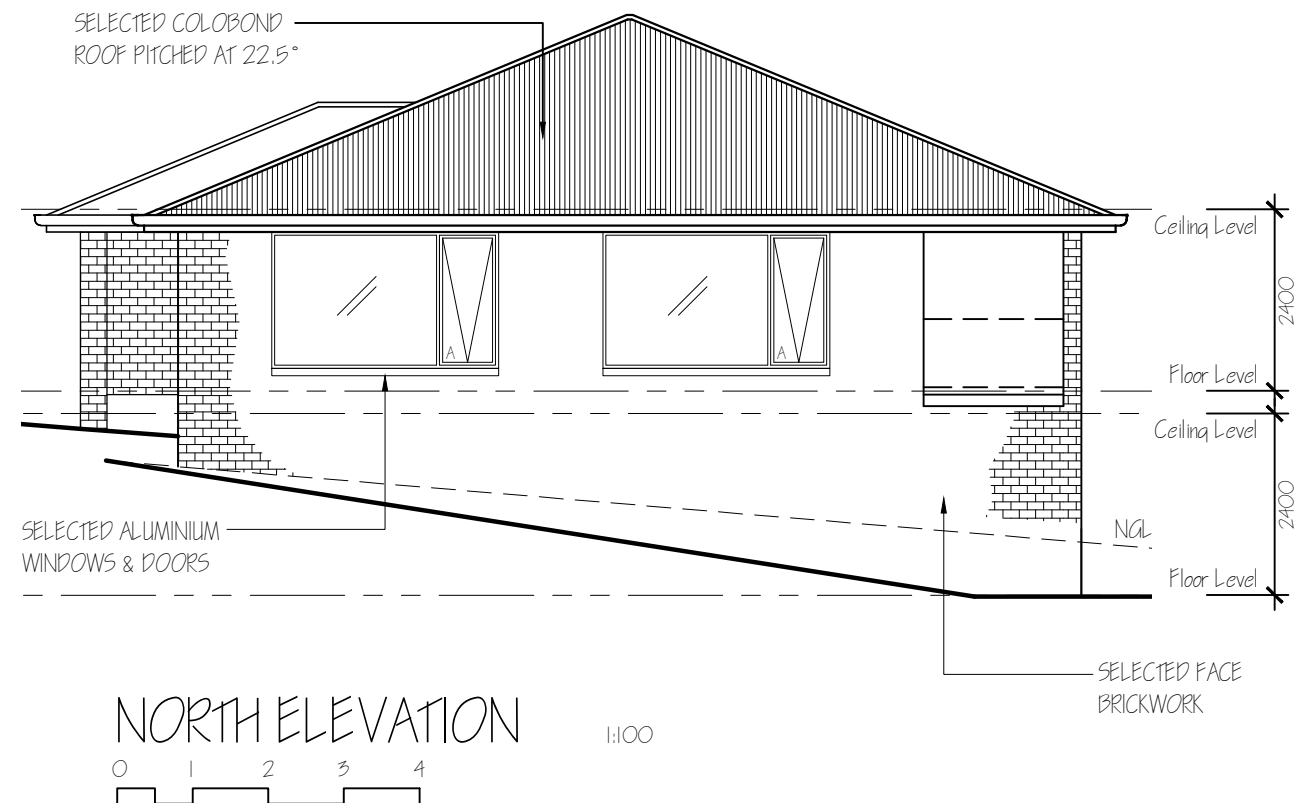
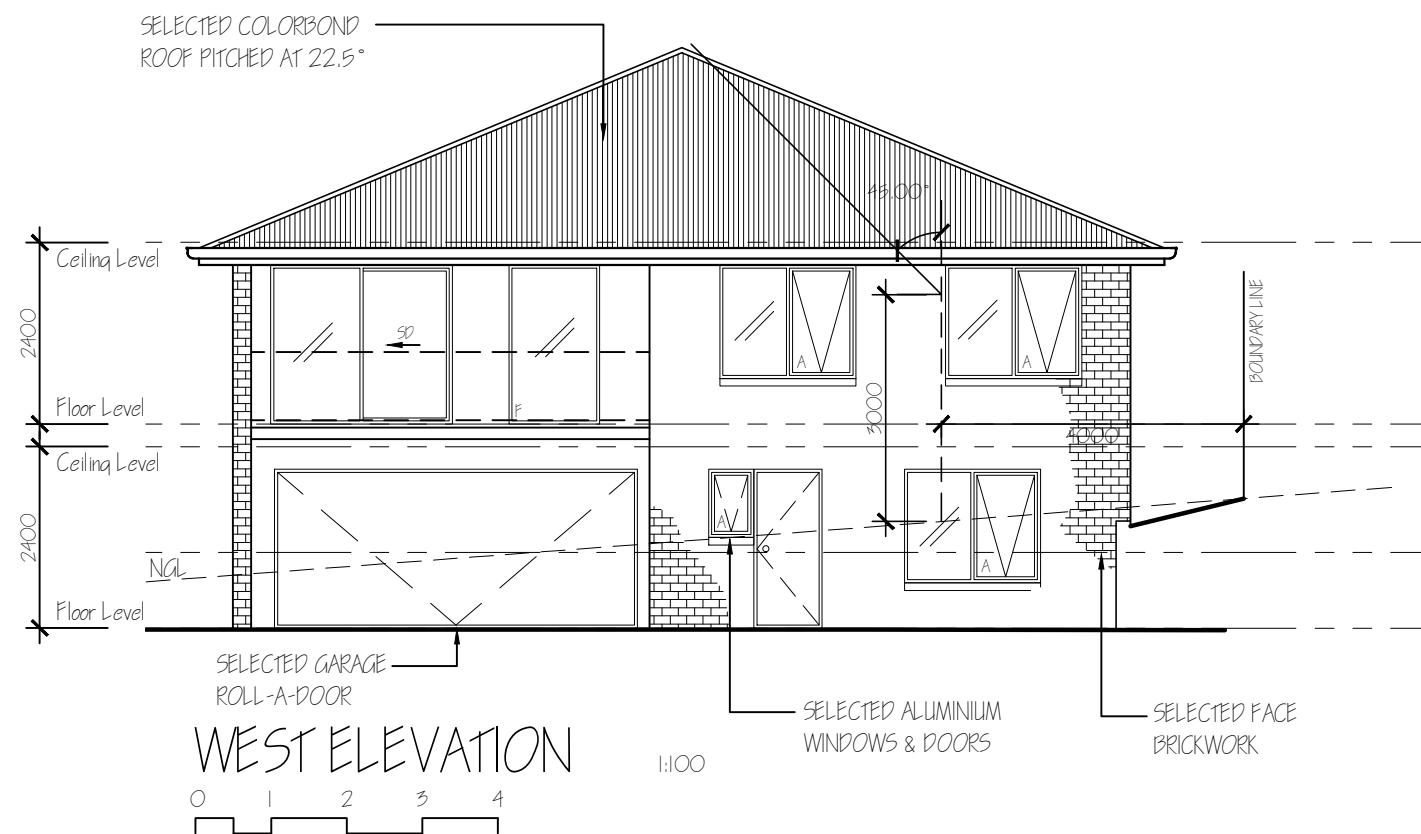
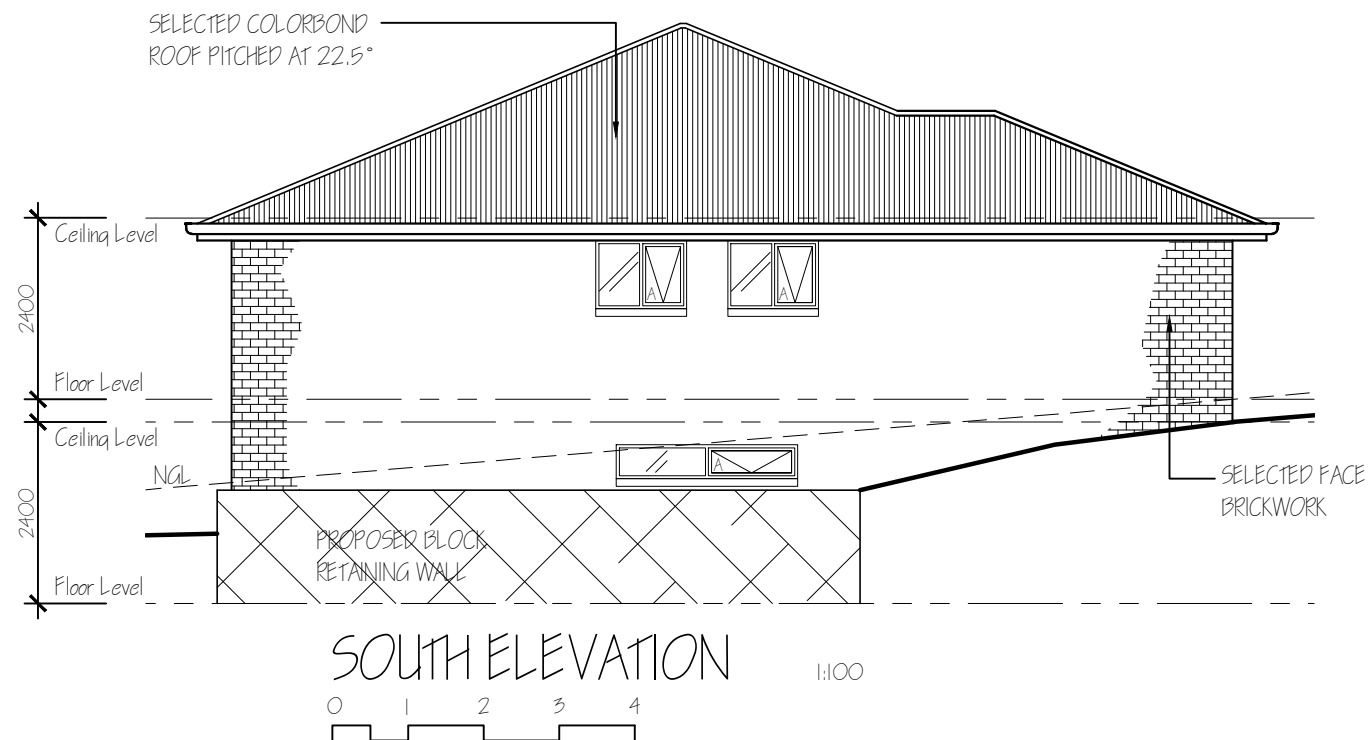
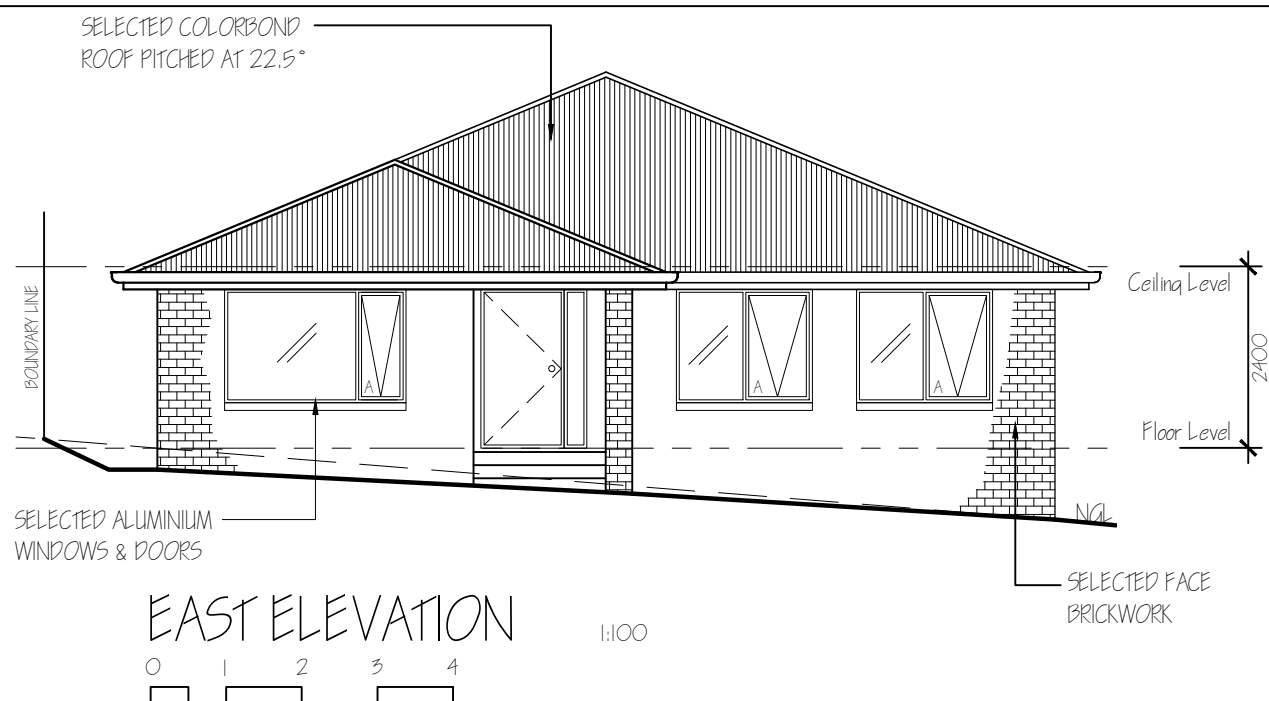
DD03

Plot Date

01/08/2017

Sheet No.

3 of 4



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VIEW

PROPOSED ELEVATIONS

CUSTOMER

Himali Bista

ADDRESS

42 Trevassa Crescent, TRANMERE

AREAS.	L. Floor	47.1m2	5.06Sqs
	U. Floor	135.7m2	14.60Sqs
	Garage	44.7m2	4.81Sqs
	Porch	2.7m2	0.29Sqs
	Deck	11.5m2	1.23Sqs
	Total Area	241.7m2	26.01Sqs

21792

Scale

1:100

Date

July 2017

Drawn

J.Pearce

Drg.No.

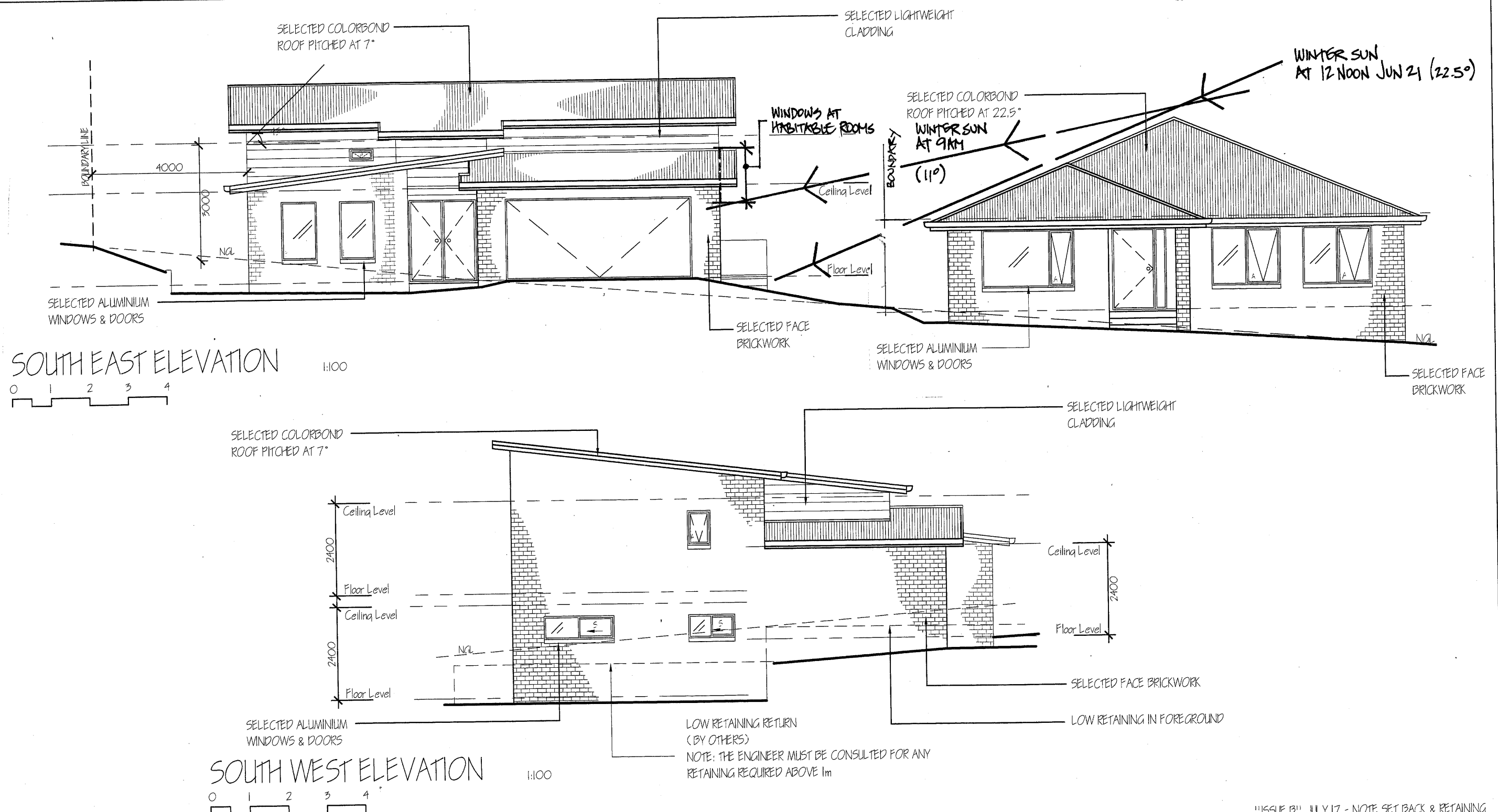
DD04

Plot Date

01/08/2017

Sheet No.

4 of 4



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### Shadow Diagrams

VIEW **PROPOSED ELEVATIONS 1**

CUSTOMER **J. Mole**

ADDRESS **44 Trevassa Crescent, TRANMERE**

"ISSUE B" JULY 17 - NOTE SET BACK & RETAINING  
 "ISSUE C" AUG 17 - NOTE SUN PATH

AREAS:	L. Floor	107.2m <sup>2</sup>	11.54Sqs
	U. Floor	87.6m <sup>2</sup>	9.43Sqs
	Garage	37.2m <sup>2</sup>	4.00Sqs
	Total	226.2m <sup>2</sup>	24.34Sqs
	Porch	1.3m <sup>2</sup>	0.14Sqs

216185			
Scale	1:100	Date	April. 2017
Drawn	J.P & J.H	Drg.No.	DD04c
Plot Date	19/07/2017	Sheet No.	4 of 5

## Attachment 3

### **42 Trevassa Crescent, TRANMERE**



**Site access viewed from Trevassa Crescent, looking south**



**Site viewed from Trevassa Crescent, looking southwest**

**11.3.8 SUBDIVISION APPLICATION SD-2017/10 - 312A TRANMERE ROAD, TRANMERE - 13 LOT SUBDIVISION**  
(File No SD-2017/10)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for a 13 lot subdivision at 312A Tranmere Road, Tranmere.

**RELATION TO PLANNING PROVISIONS**

The land is zoned General Residential and Environmental Living and subject to the Bushfire Prone Areas, Landslide, Waterway and Coastal Protection, Natural Assets and Stormwater Management Codes under the Clarence Interim Planning Scheme 2015 (the Scheme). In accordance with the Scheme the proposal is a Discretionary development.

**LEGISLATIVE REQUIREMENTS**

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory 42 day period which expires on 19 October 2017.

**CONSULTATION**

The proposal was advertised in accordance with statutory requirements and 3 representations were received raising the following issues:

- incorrect location of boundary fencing;
- driveway construction;
- endangered fauna;
- lack of consultation and duration of works extending Oceana Drive; and
- land-locking of adjacent residential land.

**RECOMMENDATION:**

A. That the application for a 13 lot subdivision at 312A Tranmere Road, Tranmere (Cl Ref SD-2017/10) be approved subject to the following conditions and advice:

1. GEN AP1 – ENDORSED PLANS.

2. PROP3 – TRANSFER.
  3. GEN AM4 – CONSTRUCTION HOURS.
  4. ENG A1 – NEW CROSSOVER [3.6minimum].
  5. ENG S1 – INFRASTRUCTURE REPAIR.
  6. Each lot must be provided with minimum 150mm diameter stormwater drainage connected to Council’s main. An extension to Council’s stormwater main may be required at the owner’s expense.
  7. ENG S10 – UNDERGROUND SERVICES.
  8. ENG M2 – DESIGNS SD. Insert “details of stormwater treatment and detention in accordance with the State Stormwater Strategy” after the fourth dot point.
  9. ENG M5 – EROSION CONTROL.
  10. ENG M7 – WEED MANAGEMENT PLAN.
  11. The Final Plan and accompanying Schedule of Easements must describe all additional easements and any additional easements required.
  12. The development must meet all required Conditions of Approval specified by TasWater notice dated 16 May 2017 (TWDA 2017/00647-CCC).
- B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council’s decision in respect of this matter.

---

## **ASSOCIATED REPORT**

### **1. BACKGROUND**

A series of applications relevant to the subject property have been approved by Council. These include SD-2013/7 for an 11 lot subdivision and adjustment of boundaries, D-2014/86 for 2 Multiple Dwellings and SD-2009/29 for 75 lots on the north-western side of Oceana Drive.

The construction of an extension to Oceana Drive is presently underway, in relation to the development of Stages 7 and 8 of SD-2009/29.



**2. STATUTORY IMPLICATIONS**

- 2.1.** The land is zoned General Residential and Environmental Living under the Scheme.
- 2.2.** The proposal is discretionary because it does not meet certain Acceptable Solutions under the Scheme and is for subdivision.
- 2.3.** The relevant parts of the Planning Scheme are:
- Section 8.10 – Determining Applications;
  - Section 10.0 – General Residential Zone;
  - Section 14.0 – Environmental Living Zone;
  - Section E1.0 – Bushfire Prone Areas Code;
  - Section E3.0 – Landslide Code;
  - Section E7.0 – Stormwater Management Code;
  - Section E11.0 – Waterway and Coastal Protection Code; and
  - Section E27.0 – Natural Assets Code.
- 2.4.** The application relates to a portion of the site unaffected by the Landslide Code, meaning that the Code does not apply. Similarly, the Waterway and Coastal Protection Code does not apply to that portion of the site proposed to be subdivided.
- 2.5.** Council's assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of the Land Use Planning and Approvals Act, 1993 (LUPAA).

### **3. PROPOSAL IN DETAIL**

#### **3.1. The Site**

The site is a 36.52ha irregularly shaped lot on the eastern side of Tranmere Road. The land is gently to moderately sloping with the flatter land along the Tranmere Road frontage, and represents the eastern balance land of SD-2009/29.

Generally the land is generally clear of vegetation although there is an area of remnant vegetation in the north-east corner of the land within an east-west aligned gully outside of the area of the proposed subdivision.

The land currently contains an old timber barn, set on a sandstone plinth and is of unknown age. This building is located on the western side of the land.

#### **3.2. The Proposal**

The proposal is for the subdivision of 13 residential lots in 3 stages, at the south-western part of the site as shown in the attachments. This development would be accessed by frontage to a portion of Oceana Drive presently under construction to service Stages 7 and 8 of SD-2009/29 on the western side of Oceana Drive.

The stages would be as follows:

- Stage A1 – Lots 90 - 94 and 500;
- Stage A2 – Lots 95 - 98; and
- Stage A3 – Lots 99 – 102.

The proposed lots would range in size from 747m<sup>2</sup> to 914m<sup>2</sup>, would each have in excess of 15m frontage to Oceana Drive and would have constructed vehicular accesses from Oceana Drive.

A single lot (Lot 500) is proposed for public open space at the north-eastern corner of the subject property. This is proposed to link to an existing Council-owned trail to the north of the site and the lot would have an area of 548m<sup>2</sup>.

**4. PLANNING ASSESSMENT****4.1. Determining Applications [Section 8.10]**

*“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:*

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

*but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.*

Reference to these principles is contained in the discussion below.

**4.2. Compliance with Zone and Codes**

The proposal meets the Scheme’s relevant Acceptable Solutions of the General Residential and Environmental Living Zones, and Bushfire Prone Areas, Landslide, Waterway and Coastal Protection, Natural Assets and Stormwater Management Codes with the exception of the following.

**General Residential Zone**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution</b>	<b>Proposed</b>
10.6.1 A2	Lot design	<p>The design of each lot must provide a minimum building area that is rectangular in shape and complies with all of the following, except if for public open space, a riparian or littoral reserve or utilities:</p> <ul style="list-style-type: none"> <li>(a) clear of the frontage, side and rear boundary setbacks;</li> <li>(b) not subject to any codes in this planning scheme;</li> <li>(c) clear of title restrictions such as easements and restrictive covenants;</li> </ul>	<p>complies</p> <p>Does not comply – Bushfire Prone Areas Code relevant.</p> <p>complies</p>

		(d) has an average slope of no more than 1 in 5;	complies
		(e) the long axis of the building area faces north or within 20 degrees west or 30 degrees east of north;	complies
		(f) is 10m x 15m in size.	complies

The proposed variation must be considered pursuant to the Performance Criteria P2 of the Clause 10.6.1 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<p><i>“The design of each lot must contain a building area able to satisfy all of the following:</i></p> <p><i>(a) be reasonably capable of accommodating residential use and development;</i></p>	<p>The proposed lots satisfy the relevant parts of the Acceptable Solution described above in relation to clearance from setbacks and title restrictions, slope and orientation and size of the building areas. The lots are considered to be of a size and shape consistent with surrounding residential lots in Tranmere, and would support a range of development types as permitted within the General Residential Zone.</p>
<p><i>(b) meets any applicable standards in codes in this planning scheme;</i></p>	<p>Both the Bushfire Prone Areas and Stormwater Management Codes are relevant to the development. A bushfire risk assessment was submitted in support of the proposal which satisfactorily addresses the relevant requirements of the code, and detailed engineering submissions were made in support of the proposed subdivision as required.</p>
<p><i>(c) enables future development to achieve maximum solar access, given the slope and aspect of the land;</i></p>	<p>The proposed lots would accommodate the building areas identified with northerly orientation, capable of supporting future development with maximum solar access.</p>
<p><i>(d) minimises the need for earth works, retaining walls, and fill and excavation associated with future development;</i></p>	<p>The proposed lots would be accessed from a newly constructed portion of Oceana Drive, with crossovers to be sited to the satisfaction of Council’s Engineers. To achieve this, appropriate conditions have been included in relation to detailed engineering designs.</p>

<p>(e) provides for sufficient useable area on the lot for both of the following:</p> <p>(i) on-site parking and manoeuvring;</p> <p>(ii) adequate private open space”.</p>	<p>The proposed lots range in size from 747m<sup>2</sup> to 914m<sup>2</sup>. This meets the prescribed minimum and maximum lot size for the zone and is considered to be sufficiently large to enable reasonable and appropriate residential development, with compliant private open space and vehicle parking and manoeuvring areas.</p>
---	---

**General Residential Zone**

Clause	Standard	Acceptable Solution	Proposed
10.6.1 A5	Lot design	Subdivision is for no more than 3 lots	does not comply – 13 lots proposed

The proposed variation must be considered pursuant to the Performance Criteria P5 of the Clause 10.6.1 as follows.

Performance Criteria	Proposal
“Arrangement and provision of lots must satisfy all of the following;	See below.
<p>(a) have regard to providing a higher net density of dwellings along;</p> <p>i. public transport corridors;</p> <p>ii. adjoining or opposite public open space, except where the public open space presents a hazard risk such as bushfire;</p> <p>iii. within 200 m of business zones and local shops;</p>	<p>The proposed development is within close proximity of the public transport corridor at Tranmere Road, and would have a lot size consistent with the recently created lots within the vicinity of the site.</p>
<p>(b) will not compromise the future subdivision of the entirety of the parent lot to the densities envisaged for the zone;</p>	<p>The subject lot is within both the General Residential and Environmental Living Zones, and would not unreasonably restrict the subdivision potential for the balance land within the General Residential Zone in that it allows for a logical future pattern of lots and staging. An indicative future subdivision layout has been shown on the advertised plans, for information only.</p>

(c) <i>staging, if any, provides for the efficient and ordered provision of new infrastructure;</i>	The staging proposed is for the development of the land from south to north, along the newly constructed section of Oceana Drive – which is linked to the approved subdivision SD-2009/29 as discussed above.
(d) <i>opportunity is optimised for passive surveillance between future residential development on the lots and public spaces;</i>	The proposed lots would be oriented towards Oceana Drive, and thus would provide for passive surveillance between the road reserve and adjacent properties. The POS lot proposed would form a logical link to Council's existing network, at the north-eastern corner of the site and would be managed in accordance with Council's Tracks and Trails Strategy for the area.
(e) <i>is consistent with any applicable Local Area Objectives or Desired Future”.</i>	Not applicable

**General Residential Zone**

Clause	Standard	Acceptable Solution	Proposed
10.6.3 A1	Ways and public open space	No acceptable solution	Does not comply

The proposed variation must be considered pursuant to the Performance Criteria P1 of Clause 10.6.3 for the following reasons.

Performance Criterion	Comment
<p><i>“P1 - The arrangement of ways and public open space within a subdivision must satisfy all of the following:</i></p> <p>(a) <i>connections with any adjoining ways are provided through the provision of ways to the common boundary, as appropriate;</i></p>	<p>The proposed public open space (POS) lot represents 5 percent of the total area of the lot, would be located at the north-eastern corner of the site and would connect to an existing Council-owned trail to the north-east of the site that links to the northern end of Vitesse Court.</p>
<p>(b) <i>connections with any neighbouring land with subdivision potential is provided through the provision of ways to the common boundary, as appropriate;</i></p>	<p>The POS lot proposed would not compromise further connection opportunities for neighbouring land to the north-east and south/south-east.</p>

(c) <i>connections with the neighbourhood road network are provided through the provision of ways to those roads, as appropriate;</i>	Not relevant
(d) <i>convenient access to local shops, community facilities, public open space and public transport routes is provided;</i>	The proposal would provide a public open space link to an existing trail, to the north-west to Vitesse Court, as identified by Council's Tracks and Trails Strategy.
(e) <i>new ways are designed so that adequate passive surveillance will be provided from development on neighbouring land and public roads as appropriate;</i>	Not relevant
(f) <i>provides for a legible movement network;</i>	Not relevant
(g) <i>the route of new ways has regard to any pedestrian &amp; cycle way or public open space plan adopted by the Planning Authority;</i>	The proposed POS lot has regard to Council's Tracks and Trails Strategy, by enabling connection to the existing trail to the north-east of the subject property.
(h) <i>Public Open Space must be provided as land or cash in lieu, in accordance with the relevant Council policy.</i>	Not relevant
(i) <i>new ways or extensions to existing ways must be designed to minimise opportunities for entrapment or other criminal behaviour including, but not limited to, having regard to the following:</i> (i) <i>the width of the way;</i> (ii) <i>the length of the way;</i> (iii) <i>landscaping within the way;</i> (iv) <i>lighting;</i> (v) <i>provision of opportunities for 'loitering';</i> (vi) <i>the shape of the way (avoiding bends, corners or other opportunities for concealment)".</i>	The proposed POS lot would provide a connection only (at this time), which would not lead to or create a potential entrapment scenario. Future development of the subject lot would lead to the availability of further connections at that time.

**Stormwater Code**

Clause	Standard	Acceptable Solution	Proposed
E7.7.1 A2	Stormwater drainage and disposal	A stormwater system for a new development must incorporate water sensitive urban design principles R1 for the treatment and disposal of stormwater if any of the following apply:	

		(a) the size of new impervious area is more than 600m <sup>2</sup> ;	Complies
		(b) new car parking is provided for more than 6 cars;	Complies
		(c) a subdivision is for more than 5 lots.	Does not comply – 13 lots proposed.

The proposed variation must be considered pursuant to the Performance Criteria P2 of Clause E7.7.1 for the following reasons.

<b>Performance Criterion</b>	<b>Comment</b>
<i>“A stormwater system for a new development must incorporate a stormwater drainage system of a size and design sufficient to achieve the stormwater quality and quantity targets in accordance with the State Stormwater Strategy 2010, as detailed in Table E7.1 unless it is not feasible to do so”.</i>	The proponent submitted concept engineering design and supporting submission in respect of the capacity of the proposal to address the stormwater quality and quantity targets in accordance with the State Stormwater Strategy 2010. The benefits associated with the provision of a staged stormwater management system were clearly identified by both the consultant and Council’s Engineers. Council’s Engineers are satisfied that the subject property is capable of development that accords with the Strategy, and appropriate conditions have been included above to reflect this, thus satisfying the performance criterion to this clause.

## **5. REPRESENTATION ISSUES**

The proposal was advertised in accordance with statutory requirements and 3 representations were received. The following issues were raised by the representors.

### **5.1. Incorrect Location of Boundary Fencing**

The representations claim the location of the existing southern boundary fence and associated survey marks are in the wrong position. It is submitted that this issue has been raised with the property owner and no response received.



- **Comment**

Council is required to consider the boundaries and dimensions of the site as shown by the Certificate of Title. Council has considered a proposed plan of subdivision prepared by a registered land surveyor, and the location of boundary fencing is not relevant to the determination of this application. Issues relating to boundary fencing are addressed by the Boundary Fences Act 1908 between landowners.

## **5.2. Driveway Construction**

Concerns are raised that there would be excessive noise and potential damage to neighbouring properties caused by rock breaking associated with the development of both driveways and dwellings on the proposed lots.

- **Comment**

The timing and method of construction of works is not a relevant consideration under the Scheme, but relevant to the construction process and controlled by the Environmental Management and Pollution Control Act 1994. To limit the construction hours, however, it is appropriate to include a condition as proposed above.

## **5.3. Endangered Fauna**

One representor claims a risk to wedge-tailed eagles on the subject property as a result of the proposed development occurring. Specific concerns are that the site is used for young eagles learning to fly, and that this proposal would therefore have a detrimental impact upon this species. It is further noted that the number of wallabies previously seen on the balance land has reduced as a result of the road works being undertaken on the site.

- **Comment**

The Natural Assets Code of the Scheme affects 26.4 percent of the subject property, in a pocket at the north-eastern corner of the site. Whilst the comments of the representor are noted, this proposal is not to develop the portion of the site affected by the Code meaning that the issues are not matters that can be considered under the Scheme.

**5.4. Lack of Consultation and Duration of Works Extending Oceana Drive**

Concerns are raised that there has been insufficient consultation with residents of the area in relation to the timing of the works extending Oceana Drive, in that no notification has been provided to residents regarding the duration of works by either Council or the developer.

- **Comment**

The construction of the Oceana Drive extension was approved by Council under SD-2009/29, as a staged subdivision. Notification of neighbouring landowners by either Council or the developer in relation to the construction associated with each stage is not required, and is not relevant to the determination of this application.

**5.5. Land-locking of Adjacent Residential Land**

The representations raise concern in relation to the risk that the development of the subject property would land-lock a neighbouring property to the south of the development site, which has potential for subdivision but insufficient road frontage under the Scheme to enable the development of a road.

- **Comment**

The subject property does not directly adjoin the site of the proposed 13-lot subdivision, but rather would adjoin the balance lot. An indicative “possible future subdivision” layout has been shown on the plans for information only. This layout would not be approved by this application if a permit is granted by Council. The issue raised by the representor could be considered by Council at the time an application is made for the future subdivision of the balance land.

**6. EXTERNAL REFERRALS**

The proposal was referred to TasWater, which has provided a number of conditions to be included on the planning permit if granted.

**7. STATE POLICIES AND ACT OBJECTIVES**

**7.1.** The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

**7.2.** The proposal is consistent with the objectives of Schedule 1 of LUPAA.

## **8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS**

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy.

In relation to Council's Public Open Space Policy and as discussed above in Section 4.2, this proposal provides an opportunity to secure open space identified as being required in Council's Tracks and Trails Strategy. The area of land required for this purpose represents an area of 5% of the site and is consistent with the land proposed to be provided to Council as POS.

Given that there is an identified need for a POS link in this location and proposed POS represents an area equal to 5% of the site, it is not appropriate to require an additional cash contribution.

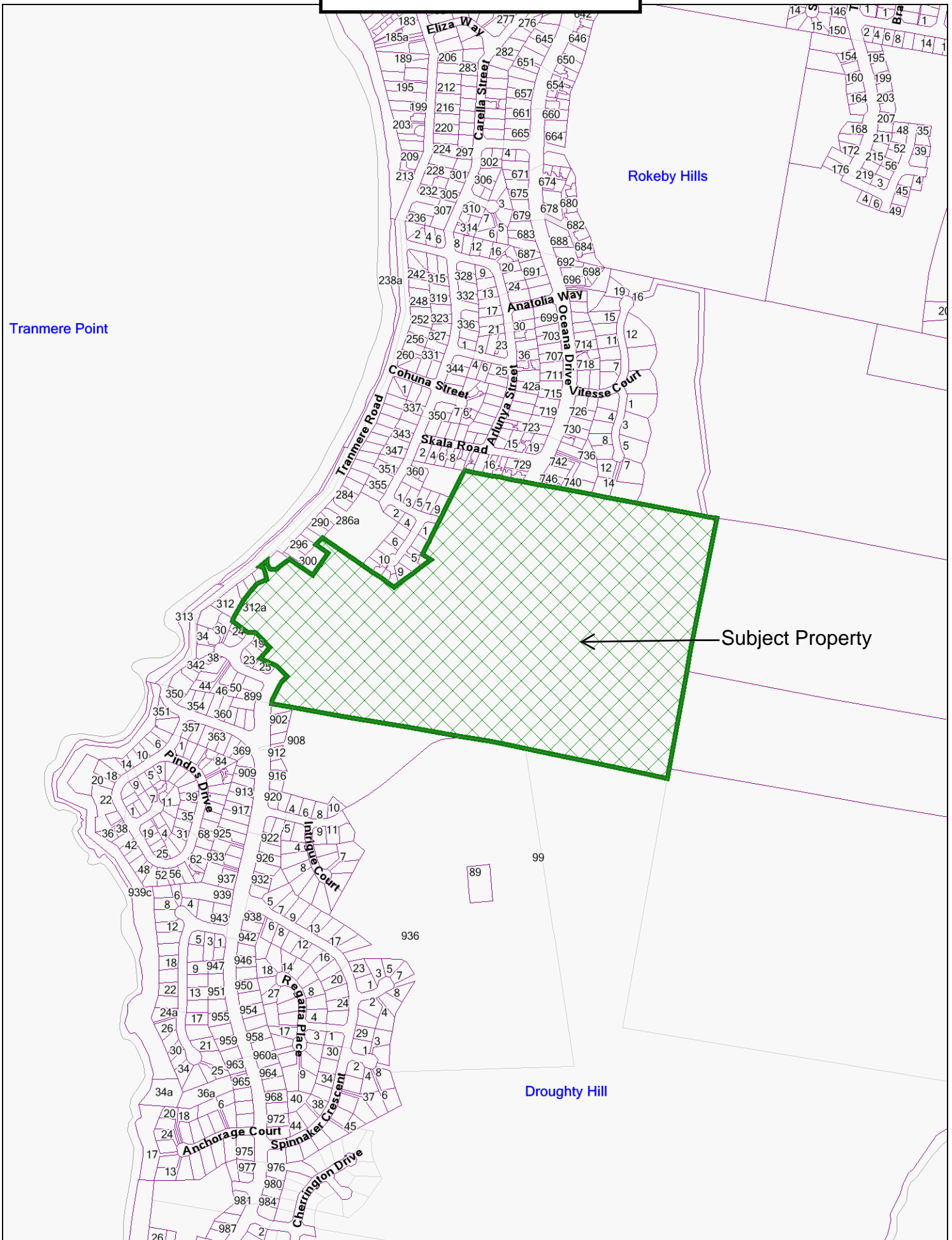
## **9. CONCLUSION**

The proposal is for a 13 lot subdivision at 312A Tranmere Road, Tranmere. The proposal satisfies the relevant requirements of the Scheme and is recommended for approval subject to the conditions above.

Attachments: 1. Location Plan (1)  
2. Proposal Plan (2)  
3. Site Photo (1)

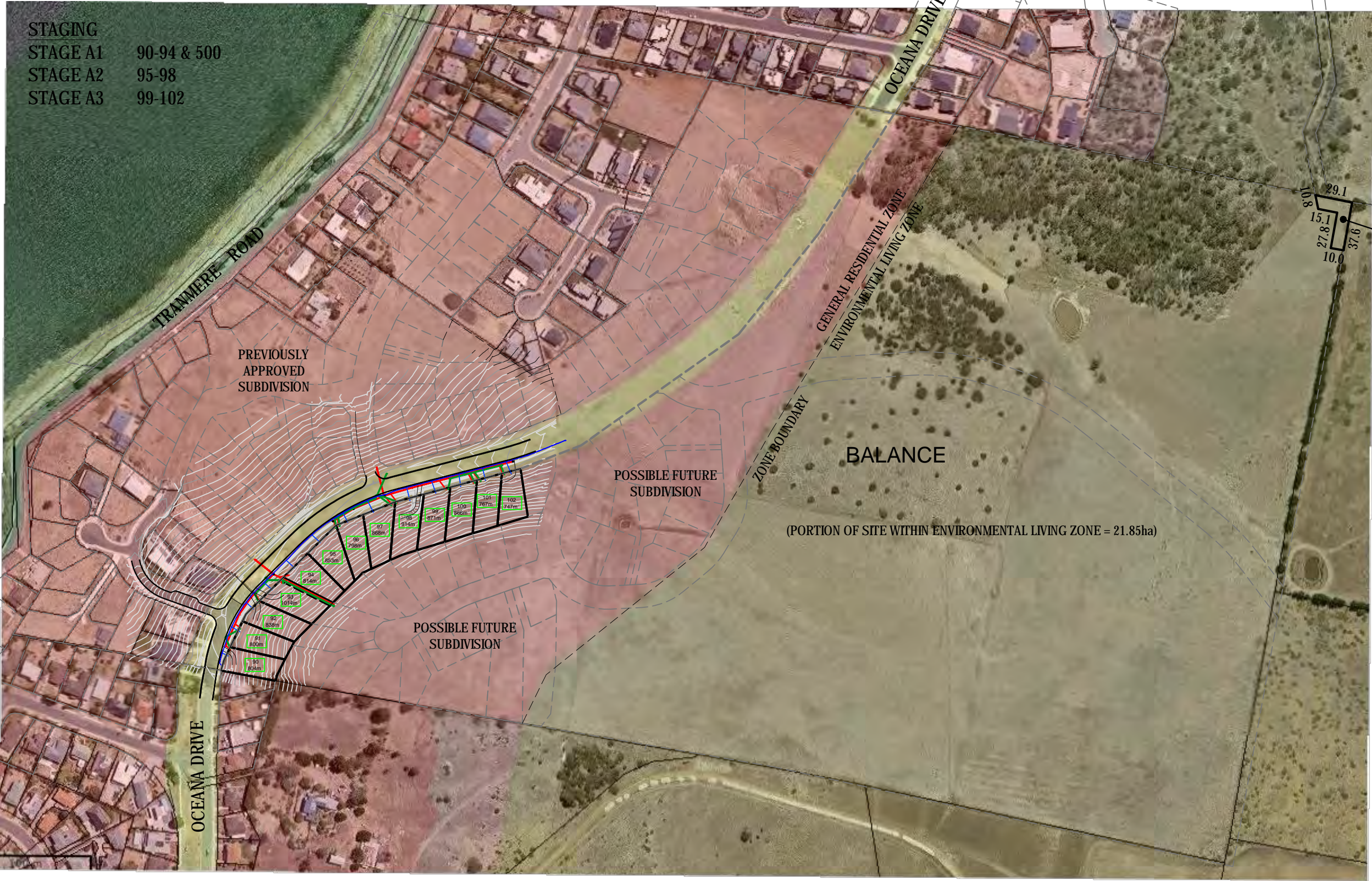
Ross Lovell  
**MANAGER CITY PLANNING**

# Attachment 1



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500  
548m<sup>2</sup>

LOT 500 TO BE TRANSFERRED TO COUNCIL. DEVELOPER OR SUBSEQUENT DEVELOPERS TO RETAIN RIGHT TO PASS A ROAD AND SERVICES ACROSS LOT 500.

**IMPORTANT NOTE**  
This plan was prepared as a proposed subdivision to accompany a subdivision application to Clarence City Council and should not be used for any other purpose. The dimensions, areas and total number of lots shown hereon are subject to field survey and also to the requirements of Council and any other authority which may have requirements under any relevant legislation. In particular, no reliance should be placed on the information on this plan for any financial dealings involving the land. This note is an integral part of this plan.

AMENDMENTS		
No.	Revision/Issue	Date
1	Area Within Environmental Living Zone	12/9/2017



**LEARY & COX**  
LAND & ENGINEERING SURVEYORS

Unit G04 40 Mole Street,  
HOBART TAS 7000  
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Project Name and Address

312A TRANMERE ROAD  
TRANMERE  
TAS 7018

Drawing Title

PROPOSED SUBDIVISION PLAN

Client C.T.167884/2

SCALE  
0 30 60 120  
1:3000 at A3

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Contour Interval	0.50 m
Date	14-4-2017
SHEET	2 of 2
DRAWN	MC
CHKD	TC

FILE REF:	9403
Geocoll Ref	940350
AutoCAD Ref	GDA
DATUM	Vert:

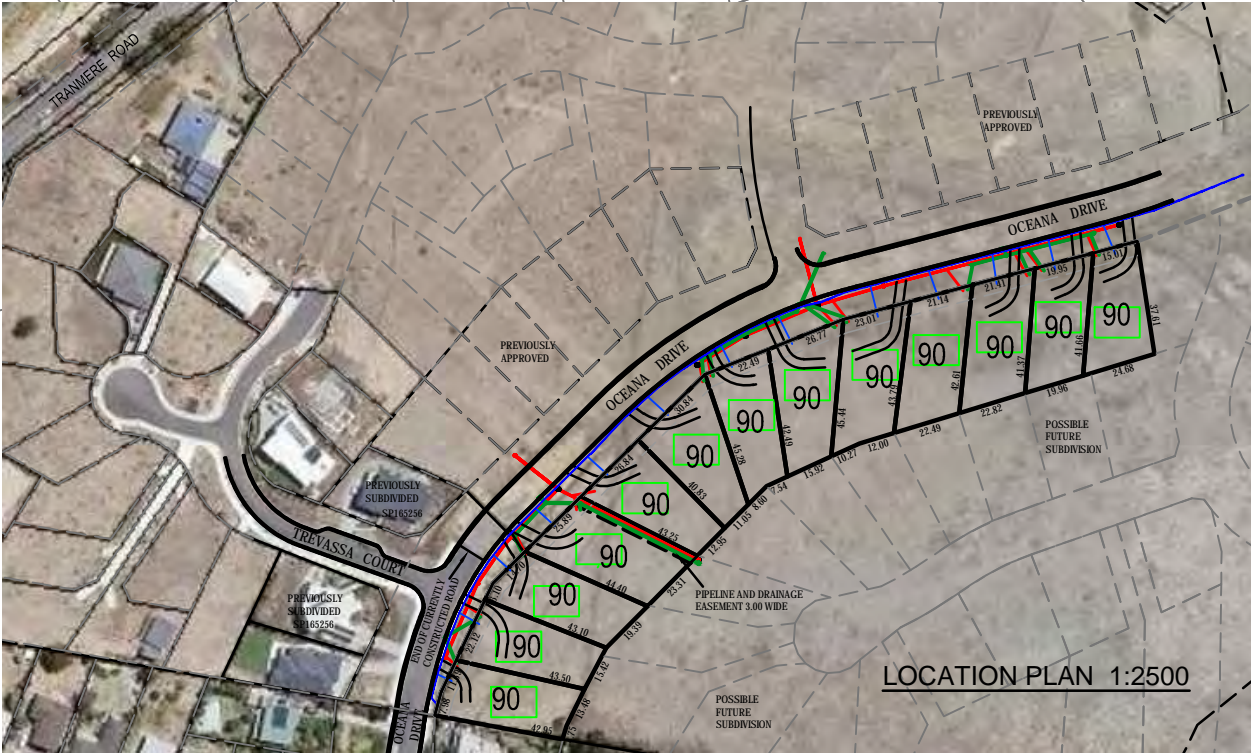
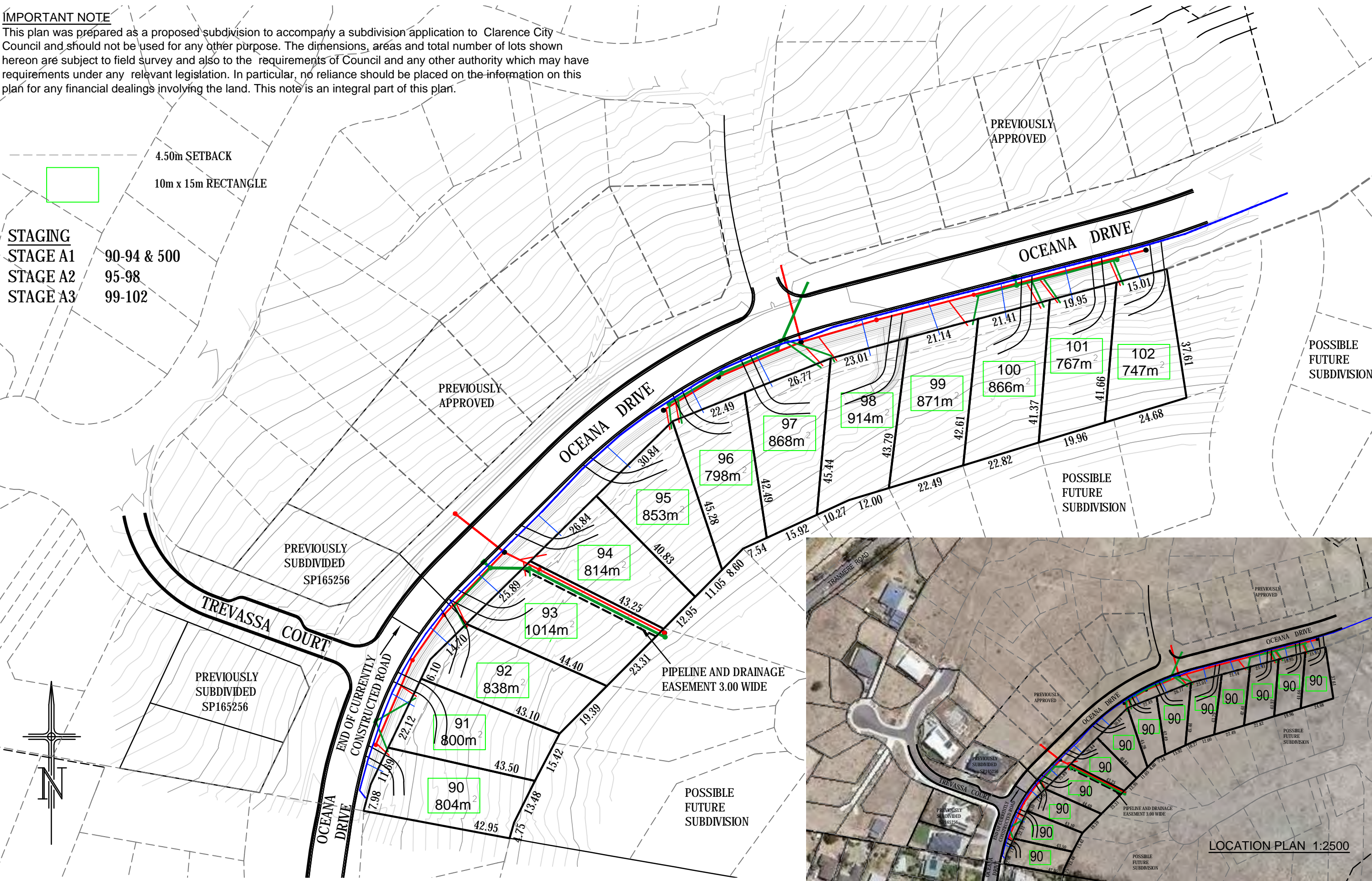


IMPORTANT NOTE


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4.50m SETBACK  
10m x 15m RECTANGLE

STAGING  
STAGE A1 90-94 & 500  
STAGE A2 95-98  
STAGE A3 99-102



AMENDMENTS		
No.	Revision/Issue	Date



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TRANMERE  
TAS 7018

Drawing Title

PROPOSED SUBDIVISION PLAN

Client

C.T.167884/2

SCALE

0 10 20 30 40  
1:1000 at A3

Contour Interval

0.50 m

Date

14-4-2017

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SHEET 1 of 2

DRAWN MC  
CHKD TC

FILE REF: 9403

Geocoll Ref 940350  
AutoCAD Ref  
Datum Horz: GDA  
Vert:



**312A Tranmere Road, TRANMERE**



**Site of proposed lots viewed from Tranmere Road, looking east**



**Site viewed from Tranmere road, looking east**



**Site viewed from Oceana Drive, looking northeast toward first of proposed lots**

**11.3.9 DEVELOPMENT APPLICATION D-2016/284 - 78 GEILSTON BAY ROAD,  
GEILSTON BAY - VISITOR ACCOMMODATION CABINS**  
(File No D-2016/284)**EXECUTIVE SUMMARY****PURPOSE**

The purpose of this report is to consider the application made for the development of Visitor Accommodation Cabins at 78 Geilston Bay Road, Geilston Bay.

**RELATION TO PLANNING PROVISIONS**

The land is zoned Environmental Living and subject to the Bushfire-Prone Areas, Parking and Access, Signs, Stormwater Management, and Natural Assets Codes under the Clarence Interim Planning Scheme 2015 (the Scheme). The proposal is for a Permitted Use Class which relies on some performance standards.

**LEGISLATIVE REQUIREMENTS**

The report on this item details the basis and reasons for the recommendation. Any alternative decision by Council will require a full statement of reasons in order to maintain the integrity of the Planning approval process and to comply with the requirements of the Judicial Review Act and the Local Government (Meeting Procedures) Regulations 2015.

Note: References to provisions of the Land Use Planning and Approvals Act 1993 (the Act) are references to the former provisions of the Act as defined in Schedule 6 – Savings and transitional provisions of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The former provisions apply to an interim planning scheme that was in force prior to the commencement day of the Land Use Planning and Approvals Amendment (Tasmanian Planning Scheme Act) 2015. The commencement day was 17 December 2015.

Council is required to exercise a discretion within the statutory assessment period, which has been extended to 25 October 2017.

**CONSULTATION**

The proposal was advertised and received 34 representations. Following the removal of signage (on Council land), the proposal was readvertised in accordance with statutory requirements and 14 representations were received raising the following issues:

- Aboriginal Heritage;
- bushfire hazards;
- flora and fauna impact;
- future use and expansion;
- impact on residential amenity;
- incompliance with Planning Scheme;
- Nyrstar operations;
- pedestrian access and safety;
- vehicular access and traffic;
- visual impacts.



**RECOMMENDATION:**

- A. That the Development Application for Visitor Accommodation Cabins at 78 Geilston Bay Road, Geilston Bay (CI Ref D-2016/284) be refused for the following reasons.
1. The proposal does not meet the Performance Criteria of Interim Planning Directive No.2 P1 (b) and (d) in that:
    - the proposal will result in a scale and form of buildings significantly beyond which would reasonably be expected in the area, given the dominant character and use; and
    - the proposal is likely to have a significant adverse impact on, and disadvantage, the other users of the access road.
  2. The proposal does not meet the Performance Criteria of Clause 14.3.2 P1 (c) and (d) in that:
    - the proposal will result in numbers of people, numbers of vehicles, scale and form of buildings and levels of vegetation clearance to an intensity significantly beyond which would reasonably be expected in the area given the dominant character of use; and
    - the proposal is likely to have a significant adverse impact on, and disadvantage the other users of the access road.
  3. The proposal does not meet the Performance Criteria of Clause 14.4.3 P1 (b) and (c) in that:
    - building height with regard to the ridgeline location is not minimised through design; and
    - the location of the buildings across the ridgeline is considered to be inconsistent with, and therefore have no due regard to, the rural landscape of the site.
  4. The proposal does not meet the Performance Criteria of Clause 14.4.3 P3 (b) and (c) in that:
    - the level of impact of the proposal is considered unreasonable in that it is beyond what would be reasonably expected of development in the area, given the surrounding uses and levels of impacts; and
    - the proposal is inconsistent with developments in close visual proximity, which are significantly smaller in scale.
  5. The proposal does not meet the Performance Criteria of Clause 14.4.3 P4 (b) in that:
    - a dominant cut of the access road will detract from the landscape character.

6. The proposal does not meet the Performance Criteria of Clause E6.7.3 P1 (a), (b), (c) and (d) as the access road is unlikely to be safe, efficient and convenient in that in that:
- the proposal will have significant potential for conflict between users of the access road;
  - the proposal is likely to unreasonably impact on the flow of traffic on the adjoining access road;
  - the proposed level of upgrade for the access road is unsuitable for the type and volume of traffic likely to be generated by the use or development; and
  - the access road will not provide ease of accessibility and recognition for users.

B. That the details and conclusions included in the Associated Report be recorded as the reasons for Council's decision in respect of this matter.

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## **ASSOCIATED REPORT**

### **THIS REPORT HAS BEEN PREPARED BY AN INDEPENDENT CONSULTANT**

#### **1. BACKGROUND**

A Single Dwelling on 78 Geilston Bay Road (D-2012/345) was approved on 4 February 2013, and the timeframe for commencement has been extended twice under the provisions of 53(5A) and 53(5B) of the Land Use Planning and Approvals Act, 1993 (LUPAA) respectively, until 4 February 2019. However, the dwelling has yet to be constructed.

The current proposal for Visitor Accommodation was advertised previously. Following advertising it was identified that the proposal had included, as part of a further information response, signage within Council land near the end of Geilston Bay Road. Council consent, as required by Section 52(1B) of LUPAA, had not been included for this alteration. Consequentially, this rendered the revised proposal invalid. The proposal was then further revised to remove this signage and subsequently readvertised.

#### **2. STATUTORY IMPLICATIONS**

**2.1.** The property is zoned Environmental Living under the Scheme.

- 2.2.** The proposal is discretionary because it does not meet the acceptable solution of all use and development standards and instead relies on some performance standards.
- 2.3.** The relevant parts of the Planning Scheme are:
- Section 8.10 – Determining Applications;
  - Section 14.0 – Environmental Living Zone; and
  - Section E6.0 – Bushfire-Prone Areas, Parking and Access, Stormwater Management, and Natural Assets Codes.
- 2.4.** On 1 July 2017, the Tasmanian Planning Commission issued Interim Planning Directive No 2 Exemption and Standards for Visitor Accommodation in Planning Schemes. This interim directive did not delete any of the standards of the planning scheme but prevails to the extent of any inconsistency
- 2.5.** Council’s assessment of this proposal should also consider the issues raised in any representations received, the outcomes of the State Policies and the objectives of Schedule 1 of LUPAA.

### **3. PROPOSAL IN DETAIL**

#### **3.1. The Site**

The property occupies the ridgeline of the land on the northern side of Geilston Bay and has an area of 15.65ha. It is currently vacant, however, approval for the construction of a large Single Dwelling (shown on the proposal plans) was issued on 4 February 2013, and the permit has been extended to 4 February 2019.

The property does not front Geilston Bay Road but relies upon access via a Crown-administered Reserved Road adjacent to the southern boundary of the site, which is also currently used to provide access to 76 Geilston Bay Road. Consent of Crown for application purposes has been provided under Section 52(1B) of LUPAA.

Frontage, for the purposes of compliance with the planning scheme, has been taken to be to the Reserved Road along the southern boundary of the property.

### **3.2. The Proposal**

The proposal is for the construction of 14 visitor accommodation cabins and a reception building. The intended use is for short term accommodation, ranging from stays of a few nights to several weeks.

It is proposed that 5 of the cabins (#1-4 and #10) are 2 bedroom cabins while the remaining 9 are single bedroom cabins. The reception building will be based on the 2 bedroom style but will only be single bedroom with the other room being used for reception and office. Each cabin includes a front covered area and external deck at the rear. All cabins are single storey and self-contained, with full kitchen and laundry facilities.

The 2 bedroom cabins have a gross floor area of 70.7m<sup>2</sup> with a front external area of 12m<sup>2</sup> and rear deck of 30m<sup>2</sup>. The 1 bedroom cabins have a floor area of 49m<sup>2</sup> with a front external area of 8.2m<sup>2</sup> and rear deck of 21m<sup>2</sup>.

Some of the cabins are located on moderate slopes. The maximum height above natural ground level (NGL) of each cabin, and the setbacks of buildings to the frontage are contained in the table below:

<b>Building</b>	<b>Height</b>	<b>Setback</b>
Reception	6.66m	12m
Cabin 1	7.24m	23m
Cabin 2	6.33m	> 30m
Cabin 3	7.45m	43m
Cabin 4	7.16m	54m
Cabin 5	5.83m	> 30m
Cabin 6	6.17m	> 30m
Cabin 7	5.95m	> 30m
Cabin 8	5.36m	> 30m
Cabin 9	4.88m	> 30m
Cabin 10	5.40m	46m
Cabin 11	5.20m	20m

Cabin 12	5.74m	28m
Cabin 13	5.83m	> 30m
Cabin 14	5.98m	> 30m

All buildings on the site will be clad with lightweight cement fibre sheet, with colorbond rooves. Colours to be used are grey (natural concrete colour), dark green, and dark grey to blend with the surrounding environment.

Access to the property is via a Crown-administered Reserved Road adjacent to the southern boundary of the site, which also provides access to 76 Geilston Bay Road.

The cabins are loosely located across and either side of the ridgeline around the existing approved dwelling. The approved dwelling, which is not yet constructed, is a large 6 bedroom, 2 storey building located on the southern side of the ridgeline. As part of the approval the existing access is proposed to be upgraded to a minimum of 4m wide (including shoulders) with 3 passing bays (a minimum of 10m in length and 6m wide) constructed along its length.

The current proposal shows that the site will be accessed by a 5.5m wide road from the property boundary (where it meets the approved access track upgrade). This 5.5m wide formation will allow for 2 way traffic and continue past the reception building then narrow to a one-way circular access road, 4m wide, looping in an anticlockwise direction. The proposed maximum grade for this access road is 1:5 (20%).

The proposed development includes 16 car parking spaces, allowing for one parking space per cabin, and two spaces near the reception building, of which one is proposed to be a disabled car space. The car space adjacent to Cabin #1 is also proposed to meet disability requirements. Car spaces will be formed to meet the requirements of AS2890.1 and located adjacent to each cabin. The access and carparks will be at grade in some places and in others (on the southern side of the ridge) require cut and fill up to 2m in height.

A traffic impact assessment (TIA) was undertaken by Midson Traffic Pty Ltd,

and has been provided with the application to detail the expected traffic volumes that would be generated by the development. The TIA states that the proposed development will generate 42 vehicle movements per day and 6 vehicle movements per hour during peak periods.

The TIA also highlights the status of the surrounding road network. It identifies that the proposed development will generate a low level of overall traffic, with the additional traffic to be accommodated on Geilston Bay Road without significant adverse impacts to traffic efficiency. Geilston Bay Road provides access to approximately 65 residences; it intersects with East Derwent Highway, which is a Category 3 road under the State Road hierarchy. The TIA contends that the additional traffic generated by the proposal will not change the service level of the intersection with the highway and is therefore suitable.

The applicant has provided a plan identifying the vegetation that will be removed to provide for construction of buildings, driveways and implementation of bushfire hazard management areas. A total of 32 trees will be removed. A Flora and Fauna Assessment was undertaken by North Barker Ecosystem Services, and has been submitted with the application. The report states that the proposed cabin development is placed entirely within the one non-threatened vegetation community. The report also specifies that the development will have a 'minor impact' on priority vegetation. Removal of threatened vegetation species will require a permit. The report also proposes that an area 4.1ha on the north-eastern corner of the site (which contains the majority of the *Eucalyptus risdonii*) could be set aside as an offset area, to be managed through a Part 5 agreement with Council.

An Aboriginal Heritage Report was undertaken by Cultural Heritage Management Australia, which stated that 5 Aboriginal sites were identified, 2 of which are newly-identified. The development has been modified to avoid impacts to 3 of these sites.

However, one site to the north is located on the proposed road alignment and one site is located along reserved road access and may be impacted by upgrading. The report identifies all of the sites as “not applicable” for historic significance, and “medium-high” for social significance.

The development is proposed to be connected to reticulated water and sewage network. Stormwater is intended to be via open channel down the existing access to connect to Council’s stormwater system. Buildings on the bottom side of the access road will be either directed to stormwater pits or via a Gross Pollutant Trap and then to the open channel.

#### **4. PLANNING ASSESSMENT**

##### **4.1. Determining Applications [Section 8.10]**

*“8.10.1 In determining an application for any permit the planning authority must, in addition to the matters required by s51(2) of the Act, take into consideration:*

- (a) all applicable standards and requirements in this planning scheme; and*
- (b) any representations received pursuant to and in conformity with ss57(5) of the Act;*

*but in the case of the exercise of discretion, only insofar as each such matter is relevant to the particular discretion being exercised”.*

Reference to these principles is contained in the discussion below.

##### **4.2. Compliance with Zone and Codes**

The proposal has been assessed against the standard within Interim Planning Directive No. 2 as follows.

##### **Interim Planning Directive No 2**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
A1	Visitor Accommodation	Visitor Accommodation: (a) guests are accommodated in existing buildings; and	<b>Does not comply</b> New buildings are proposed
		(b) has a gross floor area of not more than 300m <sup>2</sup> .	<b>Does not comply</b> Combined floor area of development will be 1400m <sup>2</sup> .

As the proposal does not comply with Acceptable Solution A1, it has been assessed against the Performance Criteria P1 as follows.

Performance Criteria	Proposal
<p><i>“P1 Visitor Accommodation must:</i></p>	
<p><i>(a) not cause an unreasonable loss of privacy to adjoining properties;</i></p>	<p>The development is set in among the bushland. The nearest adjoining property is 60m south of the site. The road access to the development will extend behind the adjoining property, with an increased vehicular usage. However, as this access is currently able to be enjoyed by the public, the potential for decrease in privacy and amenity is minimal.</p> <p>No overshadowing of the adjoining property will occur and no commercial noise will be generated.</p>
<p><i>(b) be of a scale that respects the character and use of the area;</i></p>	<p>The area immediately surrounding the site contains a number of smaller parcels of land in the same zone and is flanked by residential to the east (along the highway), rural living to the north and recreation to the northwest and west. In a wider context, the upper slopes of the surrounding hills are generally larger lots (similar to the subject site) and zoned for environmental living (private parcels) or recreation (where publically owned). This development character is generally due to the previous planning schemes for the area having applied a more restrictive zone.</p> <p>The large parcels are generally either vacant or used for a single dwelling. No similar development, in terms of form (clusters of buildings) or intensity (usage and activity on site) occur in the area outside the residential zone. The dominant built form character is considered as a single dwelling with some (several) outbuildings.</p> <p>This performance criterion does not require only residential use in the area, as non-residential uses are contemplated by the scheme.</p>



	<p>Instead it is considered that a Visitor Accommodation use should not be more dominant in scale and form beyond that reasonably attributed to a single dwelling, which dominates the character of the area.</p> <p><b>Development as proposed will result in a scale and form of buildings significantly beyond which would reasonably be expected in the area given the dominant character and use.</b></p>
<i>(c) not adversely impact the safety and efficiency of the local road network; and</i>	<p>The TIA advised that the proposed development will not have significant adverse impacts on the traffic efficiency of Geilston Bay Road. However, it is acknowledged that increasing usage will cause some impact but not beyond the capacity of the road network nor result in exceeding the threshold of the level of service for the intersection.</p>
<i>(d) not unreasonably disadvantage owners and users of rights of way”.</i>	<p>The proposal will significantly increase the usage of the access to the site, which is also enjoyed by 76 Geilston Bay Road. This access is not private, in that pedestrians may walk on the crown land, but is subject a non-exclusive licence for both lots. Vehicular access is controlled via a lockable boom-gate. The proposal is seeking to utilise the approved upgraded access which would have three passing bays along its length but not provide for separation between vehicles and pedestrians.</p> <p>The TIA has identified, based on the RTA Guide, that the visitor accommodation is likely to generate (on average) 3 trips per day per unit and 0.4 trips per unit in the evening peak period. This is compared to the accepted standard of a single dwelling which would generate 8 trips per day and 1 trip per hour in the peak periods.</p> <p>However, the TIA does not include the reception unit in the calculations. It is considered that the nature of this unit should be considered as a dwelling for traffic generation purposes.</p>

	<p>The potential for the current properties, as single dwellings only, would be 16 trips per day. With the proposed development this increases to 66 trips today. In relative terms, this would be equivalent to a greater level of traffic generation than the subdivision of 6 additional lots (used as single dwellings). The access is narrow, gravelled, unlit and of a moderate slope. It is controlled through a lockable boom gate and does not have separate pedestrian path. As a visitor accommodation, there will be a significant number of users unfamiliar with the site. The proposed level of upgrade will do little to overcome these unfavourable circumstances.</p> <p><b>It is considered that this level of development is likely to have a significant adverse impact on, and disadvantage, the other users of the access road.</b></p>
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The proposal must also be assessed against all other relevant provisions of the Scheme.

The proposal has demonstrated that it meets the Scheme's relevant Acceptable Solutions of the Environmental Living Zone and the Bushfire-Prone Areas, Parking and Access, Stormwater Management and Natural Assets Codes with the exception of the following.

#### **Environmental Living Zone**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
14.3.2 A1	Visitor Accommodation	Visitor accommodation must comply with all of the following: (a) is accommodated in existing buildings;	<b>Does not comply</b> New buildings are proposed
		(b) provides for any parking and manoeuvring spaces required pursuant to the Parking and Access Code onsite;	Complies

		(c) has a floor area of no more than 160m <sup>2</sup> .	<b>Does not comply</b> Combined floor area of development will be 1400m <sup>2</sup> .
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As the proposal does not comply with Acceptable Solution A1, it has been assessed against the Performance Criteria P1 as follows.

<b>Performance Criteria</b>	<b>Proposal</b>
<i>“P1 Visitor accommodation must satisfy all of the following:</i>	
<i>(a) not adversely impact residential amenity and privacy of adjoining properties;</i>	The development is set in among the bushland. The nearest adjoining property is 60m south of the site. The road access to the development will extend behind the adjoining property, with an increased vehicular usage. However, as this access is currently able to be enjoyed by the public, the potential for decrease in privacy and amenity is minimal. No overshadowing of the adjoining property will occur and no commercial noise will be generated.
<i>(b) provide for any parking and manoeuvring spaces required pursuant to the Parking and Access Code onsite;</i>	The application proposes to meet, or is capable of being conditioned to meet the Car parking and Access Code within the site.
<i>(c) be of an intensity that respects the character of use of the area;</i>	The area immediately surrounding the site contains a number of smaller parcels of land in the same zone and is flanked by residential to the east (along the highway), rural living to the north and recreation to the northwest and west. In a wider context, the upper slopes of the surrounding hills are generally larger lots (similar to the subject site) and zoned for environmental living (private parcels) or recreation (where publically owned). This development character is generally due to the previous planning schemes for the area having applied a more restrictive zone. The large parcels are generally either vacant or used for a single dwelling. No similar development, in terms of form (clusters of buildings) or intensity (usage and activity on site) occur in the area outside the residential zone.

	<p>This performance criteria does not require only residential use in the area, as non-residential uses are contemplated by the scheme. Instead it is considered that a Visitor Accommodation use should not be more dominant in scale and form, nor result in levels of impact, beyond that reasonably attributed to a single dwelling, which dominates the character of the area.</p> <p><b>Development as proposed will result in numbers of people, numbers of vehicles, scale and form of buildings, and levels of vegetation clearance to an intensity significantly beyond which would reasonably be expected in the area given the dominant character of use.</b></p>
<p>(d) <i>not adversely impact the safety and efficiency of the local road network or disadvantage owners and users of private rights of way</i>".</p>	<p>The proposal will significantly increase the usage of the access to the site, which is also enjoyed by 76 Geilston Bay Road. This access is not private, in that pedestrians may walk on the crown land, but is subject a non-exclusive licence for both lots. Vehicular access is controlled via a lockable boom-gate. The proposal is seeking to utilise the approved upgraded access which would have three passing bays along its length but not provide for separation between vehicles and pedestrians.</p> <p>The TIA has identified, based on the RTA Guide, that the visitor accommodation is likely to generate (on average) 3 trips per day per unit and 0.4 trips per unit in the evening peak period. This is compared to the accepted standard of a single dwelling which would generate 8 trips per day and 1 trip per hour in the peak periods.</p> <p>However, the TIA does not include the reception unit in the calculations. It is considered that the nature of this unit should be considered as a dwelling for traffic generation purposes.</p> <p>The potential for the current properties, as single dwellings only, would be 16 trips per day. With the proposed development this increases to 66 trips today. In relative terms, this would be equivalent to a greater level of traffic generation than the subdivision of 6 additional lots (used as single dwellings).</p>

	<p>The access is narrow, gravelled, unlit and of a moderate slope. It is controlled through a lockable boom gate and does not have separate pedestrian path. As a visitor accommodation, there will be a significant number of users unfamiliar with the site. The proposed level of upgrade will do little to overcome these unfavourable circumstances.</p> <p>The TIA advised that the proposed development will not have significant adverse impacts on the traffic efficiency of Geilston Bay Road. However, it is acknowledged that increasing usage will cause some impact but not beyond the capacity of the road network nor result in exceeding the threshold of the level of service for the intersection.</p> <p><b>It is considered that this level of development is likely to have a significant adverse impact on, and disadvantage the other users of the access road.</b></p>
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**Environmental Living Zone**

Clause	Standard	Acceptable Solution	Proposed
14.4.2 A1	Setback	Building setback from frontage must be no less than 30m.	<b>Does not comply</b> Minimum setback is 12m.

As the proposal does not comply with Acceptable Solution A1, it has been assessed against the Performance Criteria P1 as follows.

Performance Criteria	Comment
<p><i>“P1 Building setback from frontages must maintain the desirable characteristics of the surrounding landscape and protect the amenity of adjoining lots, having regard to all of the following:</i></p>	

<i>(a) the topography of the site;</i>	<p>The buildings are located at varying distances from the frontage with reception building the closest at 12m from the southern boundary (refer Section 3.2).</p> <p>The majority of the buildings will be located further up the slope and avoid the steeper section of the site while maintaining trees and vegetation between the buildings and the road.</p>
<i>(b) the prevailing setbacks of existing buildings on nearby lots;</i>	<p>The nearest dwelling is 76 Geilston Bay Road, approximately 40m south of the southern boundary of the subject property. The dwelling is located in the centre of the land directly south of the proposed development. It is considered that this isolated example would not establish a prevailing setback relevant to this criterion.</p>
<i>(c) the size and shape of the site;</i>	<p>The size and shape of the site does not limit the placement of the buildings.</p>
<i>(d) the location of existing buildings on the site;</i>	<p>There is no existing building on the site. The current approved dwelling is located 17m from the frontage which is generally consistent with the proposed development</p>
<i>(e) the proposed colours and external materials of the building;</i>	<p>Buildings would be clad with lightweight cement fibre sheets and timber walls with colorbond rooves. The colours to be used are dark green, dark grey and light grey to blend with the surrounding bushland environment.</p>
<i>(f) the visual impact of the building when viewed from an adjoining road;</i>	<p>Visualisations have been provided which indicate that, due to the design, location, colours and landscape elements retained on site, the development is unlikely to be visually prominent when viewed from public roads across Geilston Bay. However, these roads would not be considered to be adjoining. When viewed from the crown road access, the buildings will be more significant, mainly due to the road access being located lower than the majority of the site – however a 12m setback still provides reasonable separation and impact would be unlikely to be significantly improved by a larger setback.</p>

	Due to topography, the development is unlikely to be visible from the adjoining roads of Geilston Bay Road and Sarean Court.
(g) <i>retention of vegetation;</i>	Some vegetation will need to be removed to allow construction of the development. Most of the vegetation between the road and the development will be retained.
(h) <i>be no less than:</i> (i) <i>15m; or</i> (ii) <i>5m for lots below the minimum lot size specified in the acceptable solution; or</i> (iii) <i>the setback of an existing roofed building (other than an exempt building) from that boundary”.</i>	The property is below the minimum lot size of 20ha for a subdivision in this zone. The shortest setback is 12m, and is consistent with the performance standard.

**Environmental Living Zone**

Clause	Standard	Acceptable Solution	Proposed
14.4.3 A1	Design	The location of buildings and works must comply with any of the following:	
		(a) be located within a building area, if provided on the title;	Complies. A building area is not provided on the title
		(b) be an addition or alteration to an existing building;	<b>Does not comply</b> Proposal is for new buildings on site.
		(c) be located on a site that does not require the clearing of native vegetation and is not on a skyline and the maximum height of the building is at least 10m in elevation below the ground level at the ridgeline. In the case of a sloping ridgeline, the elevation differential is to be taken at an angle of 90 degrees to the ridgeline.	<b>Does not comply</b> Proposal requires clearing of native vegetation and is located across a ridgeline.

As the proposal does not comply with Acceptable Solution A1, it has been assessed against the Performance Criteria P1 as follows.

<b>Performance Criteria</b>	<b>Comment</b>
<p><i>“P1 The location of buildings and works must satisfy all of the following:</i></p>	
<p><i>(a) be located in an area requiring the clearing of native vegetation only if:</i></p> <ul style="list-style-type: none"> <li><i>(i) there are no sites clear of native vegetation and clear of other significant site constraints such as access difficulties or excessive slope;</i></li> <li><i>(ii) the extent of clearing is the minimum necessary to provide for buildings, associated works and associated bushfire protection measures;</i></li> <li><i>(iii) the location of clearing has the least environmental impact;</i></li> </ul>	<p>The site is currently bushland with only a walking track through it and there are no cleared areas on the site.</p> <p>The extent of clearing has been minimised through clustering of the cabins, which reduces the building footprint. The Flora and Fauna Assessment report states that the development and associated bushfire protection measures have been confined to areas of a non-threatened vegetation community.</p>
<p><i>(b) be located on a skyline or ridgeline only if:</i></p> <ul style="list-style-type: none"> <li><i>(i) there are no other sites suitable for development due to access difficulties or excessive slope;</i></li> <li><i>(ii) there is no significant impact on the rural landscape;</i></li> <li><i>(iii) building height is minimised;</i></li> <li><i>(iv) any screening vegetation is maintained.</i></li> </ul>	<p>The development is located on a ridgeline.</p> <p>While the proposal could be built in other areas, it would be likely to cause a greater environmental impact or visual impact.</p> <p>The buildings a single storey but respond poorly to the varying slopes and sites in that that they are a predetermined modular design placed across the site. There appears to be little regard in design to the context of the site other than the separation of form (which loses effectiveness when layered behind one another) and a more lightweight construction. <b>Building height with regard to the ridgeline location is not minimised through design.</b></p> <p>However, separation of the building form has allowed for a considerable amount of vegetation to be retained which will provide some screening of the development from various public vantage points.</p>



(c) <i>be consistent with any Desired Future Character Statements provided for the area or, if no such statements are provided, have regard to the landscape”.</i>	<p>There are no Desired Future Character Statements provided for the area.</p> <p>The “landscape” of the site is considered to be a general combination of all the visual features of the site, regardless of where viewed, and includes the prominence of the site.</p> <p><b>The prominent location of the buildings across the ridgeline is considered to be inconsistent with, and therefore have no due regard to, the landscape of the site.</b></p>
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**Environmental Living Zone**

Clause	Standard	Acceptable Solution	Proposed
14.4.3 A2	Design	Exterior building surfaces must be coloured using colours with a light reflectance value not greater than 40 percent.	Evidence has not been submitted to demonstrate compliance with this standard although the proposal is for muted tones. Compliance with this standard can be achieved through condition.

**Environmental Living Zone**

Clause	Standard	Acceptable Solution	Proposed
14.4.3 A3	Design	The Combined Gross Floor Area of Buildings must be no more than 300m <sup>2</sup> .	Does not comply. The combined gross floor area is 1400m <sup>2</sup> .

As the proposal does not comply with Acceptable Solution A3, it has been assessed against the Performance Criteria P3 as follows.

Performance Criteria	Comment
<p><b>“P3</b></p> <p><i>The combined gross floor area of buildings must satisfy all of the following:</i></p>	
<p>(a) <i>there is no unreasonable impact on natural values;</i></p>	Buildings are located in an area of the site to minimise impact on natural values

(b) <i>there is no unreasonable impact on the landscape;</i>	The buildings will be situated on a ridgeline and are considered to have no due regard to the landscape (14.4.3 P1). <b>The level of impact of the proposal is considered unreasonable in that it is beyond what would be reasonably expected of development in the area, given the surrounding uses and levels of impacts.</b>
(c) <i>buildings are consistent with the domestic scale of dwellings on the site or in close visual proximity;</i>	The individual cabin sizes are consistent with surrounding domestic scale of dwellings. <b>However, if considered as a single development (cluster of buildings) the development is inconsistent with developments in close visual proximity, which are significantly smaller in scale.</b>
(d) <i>be consistent with any Desired Future Character Statements provided for the area”.</i>	There is no Desired Future Character Statements provided for the area.

**Environmental Living Zone**

Clause	Standard	Acceptable Solution	Proposed
14.4.3 A4	Design	Fill and excavation must comply with all of the following:	
		(a) height of fill and depth of excavation is no more than 1 m from natural ground level, except where required for building foundations;	<b>Does not comply</b> There are sections of the access road which will require cut and fill to approximately 2m.
		(b) extent is limited to the area required for the construction of buildings and vehicular access.	Complies

As the proposal does not comply with Acceptable Solution A4, it has been assessed against the Performance Criteria P4 as follows.

Performance Criteria	Comment
<i>“P4 Fill and excavation must satisfy all of the following:</i>	

(a) <i>there is no unreasonable impact on natural values;</i>	The development area, including the areas of cut and fill is located in an area of site with the least natural values. The scope of the excavation generally avoids increased removal of vegetation.
(b) <i>does not detract from the landscape character of the area;</i>	The main areas of cut and fill are to the rear of the buildings which will mitigate impact. <b>However, the access road extending up the hill will terminate in a dominant cut which will not be able to be substantially mitigated. While not significant in an overall context, it will detract from the landscape character.</b>
(c) <i>does not unreasonably impact upon the privacy of adjoining properties;</i>	The extent to which fill and excavation is required is unlikely to impact the privacy of adjoining properties.
(d) <i>does not affect land stability on the lot or adjoining land”.</i>	The extent of fill and excavation required is unlikely to affect land stability of the property site or adjoining land given the depth and batter.

**Parking and Access Code**

Clause	Standard	Acceptable Solution	Proposed
E6.7.3 A1	Vehicular Passing Areas	Vehicular passing areas must:	
		(a) be provided if any of the following applies to an access: (i) it serves more than 5 car parking spaces; (ii) is more than 30 m long; (iii) it meets a road serving more than 6000 vehicles per day;	Complies The access road is proposed to have passing bays and will service 16 car parking spaces as well as the dwelling at 76 Geilston bay Road. The access road is approximately 550m in length between the end of Geilston Bay Road and where the access road will enter the property south of the development.
		(b) be 6m long, 5.5m wide, and taper to the width of the driveway;	Complies The passing bays are 10m long, 6m wide and taper at 45 degrees to the driveway.

	(c) have the first passing area constructed at the kerb;	Complies There is sufficient space and width provided immediately adjacent to Geilston Bay Road.
	(d) be at intervals of no more than 30 m along the access.	<b>Does not comply</b> There are only 4 passing bays proposed (including the existing one adjacent to Geilston Bay Road), which equate to almost 180m between bays.

As the proposal does not comply with Acceptable Solution A1, it has been assessed against the Performance Criteria P1 as follows.

<b>Performance Criteria</b>	<b>Comment</b>
<i>“P1 Vehicular passing areas must be provided in sufficient number, dimension and siting so that the access is safe, efficient and convenient, having regard to all of the following:</i>	
<i>(a) avoidance of conflicts between users including vehicles, cyclists and pedestrians;</i>	The proposed access arrangements rely on that approved in 2013 for a single dwelling. There are no arrangements to avoid conflicts between users. <b>Minimum width, long stretches between passing bays, the topography of the road and the increase in users unfamiliar with the road will have significant potential for conflict between users.</b>
<i>(b) avoidance of unreasonable interference with the flow of traffic on adjoining roads;</i>	<b>The proposal is likely to unreasonably impact on the flow of traffic on the adjoining access road.</b>
<i>(c) suitability for the type and volume of traffic likely to be generated by the use or development;</i>	The approved access arrangements were considered suitable for the restricted use of two single dwellings. The approved development will increase traffic movement fourfold. <b>It is considered that an increase to this degree should warrant a significant upgrade of the access to two-way traffic for its entire length.</b> However, such an upgrade would have potential for a corresponding significant impact from a visual and environmental perspective.

<i>(d) ease of accessibility and recognition for users”.</i>	<b>Users of the road will be unfamiliar with the arrangements; it will be unlit and controlled by a boom gate.</b>
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**Natural Assets Code**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
E27.7.1 A1 (Minor Impact)	Operation of a Use	No Acceptable Solution for uses outside the Residential use class	<b>Does not comply</b> Not for a residential use.

The proposed variation can be supported pursuant to the Performance Criteria P1 of Clause E27.7.1 for the following reasons.

<b>Performance Criteria</b>	<b>Comment</b>
<i>“P1 For any other use classes, no burning, blasting or construction works involving excavators or multiple truck movements are to occur within 500 m (or 1 km if in line-of-sight) of an active raptor nest during the breeding season between July to January inclusive”.</i>	The Flora and Fauna Assessment states that there are no known raptor nests within 500m or 1km line-of-sight of the proposed development site. The use would not involve ongoing use of trucks.

**Natural Assets Code**

<b>Clause</b>	<b>Standard</b>	<b>Acceptable Solution (Extract)</b>	<b>Proposed</b>
E27.8.1 A1 (Minor Impact)	Vegetation Clearance or Disturbance	No Acceptable Solution	Removal of vegetation to provide for construction of buildings and driveways, and the implementation of the bushfire hazard management plan.

As the proposal does not comply with Acceptable Solution A1, it has been assessed against the Performance Criteria P1 as follows.

<b>Performance Criteria</b>	<b>Comment</b>
<i>“P1 (a) The clearance of native vegetation is the minimum extent necessary for the development (including bushfire hazard minimisation);</i>	The cabin development is clustered to reduce the building footprint and minimises vegetation removal.

(b) <i>No burning, blasting or construction works involving excavators or multiple truck movements are to occur within 500 m (or 1 km if in line-of-sight) of an active raptor nest during the breeding season between July to January inclusive.</i>	The Flora and Fauna Assessment Report advise that there are no raptor nests known to occur within or nearby the site.
(c) <i>Additional mitigation measures are proposed to ensure that the development will satisfactorily reduce all remaining impacts on priority vegetation; and</i>	The Flora and Fauna Assessment states that priority vegetation will be affected. An offset area has been proposed by the applicant to capture 4.1ha of land in the north-eastern corner of the property. The report proposed that this can be protected through a Part 5 agreement with Council.
(d) <i>Conservation outcomes and long terms security of any offset is consistent with the Guidelines for the use of Biodiversity Offsets in the local planning approval process, Southern Tasmanian Councils Authority 2013”.</i>	The Flora and Fauna Assessment Report states that if the development is approved, the developer will need to obtain a permit under the Tasmanian Threatened Species Protection Act 1995 for removal of tall wallaby grass and Eucalyptus risdonii trees.

## **5. REPRESENTATION ISSUES**

The proposal was advertised in accordance with statutory requirements and 34 representations were received. The following issues were raised by the representors.

### **5.1. Aboriginal Heritage**

Representors raised concern about the use of the area, which has been recognised to contain Aboriginal heritage values. The discovery of 2 previously unknown heritage sites indicates the possibility of more unknown sites which may be uncovered during construction works. Representors were also concerned that there are no mitigation measures to ensure protection of the Aboriginal Heritage site, specifically referring to possibility that visitors may unknowingly damage sites of cultural and historical significance, leading to loss of important archaeology and historical knowledge.

The Tasmanian Aboriginal Corporation lodged a representation stating that they do not accept the findings in the Aboriginal Heritage Assessment Report, which advises that the proposal will not impact on Aboriginal heritage sites.

They indicated that there is no indication of potential management strategies with the Aboriginal community, and no other Aboriginal views from other Aboriginal communities have been consulted apart from the Heritage Officer.

- **Comment**

The Aboriginal Heritage Assessment submitted as part of the application identified 5 Aboriginal sites, all listed as “not applicable” for historic significance and “medium-high” for social significance. The report also stated that due to shallow soil deposits and reasonable conditions of surface visibility on the surveyed areas, additional undetected sites are unlikely. The report indicates that a permit may be required under the Aboriginal Relics Act.

Council does not administer the ARA and the sections of the scheme relevant to the development and the site does not contain any standard with regard to protection of heritage.

Mitigation measures are proposed which would adequately address the discovery of heritage items during construction. These rely on those discovering what appear to be heritage items, stopping works and following prescribed steps to further investigate and protect such items.

## **5.2. Bushfire**

Representors raised concern that the scale of development and the infrastructure, in particular, only one road access is not sufficient in the event of bushfires, which has occurred in the area before. They also raised concern that the bushfire prone area will require removal of significant quantities of trees to meet bushfire regulations, indicating that a greater amount of vegetation will need to be removed than mentioned in the application.

- **Comment**

The area is considered as a Bushfire Prone Area. A bushfire management and vegetation removal plan was included with the application, which indicated that 32 trees will need to be removed to satisfy bushfire management requirements. Additional consent and approval will need to be granted should more trees need to be removed.

### **5.3. Flora and Fauna**

Representors raised concerns on the environmental impact, and more specifically the significant amount of flora and fauna species that will be impacted as bushland is cleared for construction of buildings and access road. Subsequent removal of vegetation will result in scarring on the bushland. Specifically, White Bellied Sea Eagle activity was suggested for the area, and Eucalyptus Risdonii trees, as well as threatened species found on the building site. Representors also raised particular concern about the disturbance on swift parrot habitats. They are an endangered species both nationally and on a state basis, and primarily rely on blue gums as their habitat, of which four will be removed on site.

A representor also thought a roadkill mitigation measure should be put in place to ensure drivers are aware of the high level of wildlife activity in the area, particularly as drivers are likely to be unfamiliar with the area.

- **Comment**

The Flora and Fauna Assessment submitted as part of the application advises that there are 2 types of threatened flora species found on the property. As such, a permit will be required to undertake works that impact on any individual plants, which is expected to be minimal.

The report noted that the proposed unit development comprises modest sized buildings which are raised off the building and placed in a canopy. As such, it is expected that the flight paths of swift parrots between their foraging resource (blue gums) and their potential nesting habitat will direct birds away from the development.



In addition, the windows of the cabins are set under overhanging roofs, which will minimise the chance of the parrots hitting the windows. The planning scheme does not control the management of roadkill and impacts from the construction phase.

#### **5.4. Future Use and Expansion**

Representors raised concerns the cabins are equipped with facilities to act as individual dwellings should the cabin business prove not to be viable. Others are concerned that an approval to this application will pave way for further expansion on this site, or proposals for further developments in surrounding areas. One representor thought the application should have included an impact assessment to analyse the use as a commercial site.

- **Comment**

The application seeks approval for Visitor Accommodation, consisting of 14 cabins and 1 reception building. If the buildings are no longer used for that purpose, the applicant would be required to seek approval for alternative use in accordance with the planning scheme. It is noted that Multiple Dwellings on land zoned Environmental Living is not permitted. If the applicant wishes to increase the number of cabins on the site at a later date, a new application will need to be submitted.

#### **5.5. Impact on Residential Amenity**

Representors raised concern that the amenity of the area will be disrupted with the development, due to additional noise and introduction of transient visitors to an area that is a stable community. Other noted disturbances included traffic, noise and litter.

- **Comment**

As discussed in 14.3.2 P1(a) above, it is considered that a reasonable level of residential amenity will be maintained given the nature of the use. However, as identified in 14.3.2 P1(d), the impacts from increased traffic on the current (approved) access is considered likely to unreasonably impact on other users.

**5.6. Non-compliance with Planning Scheme**

Representors are concerned that the development is inconsistent with previous planning and community expectation; does not suit the largely residential character of the area, does not conform to the intent of the Environmental Living Zone (ELZ); and is not in accordance with the Clarence City Council Policies, Strategies, local area plans, or the State Coastal Policy. Two representors drew evidence from the recent RMPAT decision *East Ocean Pty Ltd v Kingborough City Council v Ors* [2017], which relates to a visitor accommodation development in an ELZ. They believe it is an over-use of the site, and the impacts (visual, flora and fauna, traffic) are too intense.

- **Comment**

While the recent RMPAT decision *East Ocean Pty Ltd v Kingborough City Council v Ors* [2017] was relevant, in that it is related to Visitor Accommodation in an environmental Living zone, the proposal differs in relation to a number of details. Its relevance may be termed as a “non-binding precedent” only in so far as how the scheme should be interpreted. This consideration is consistent with those interpretations.

As identified in 14.3.2 P1(c), it is considered that the development is of a scale and extent that does not respect the dominant character of the area. It is further considered that the development could not be altered to such a degree so as to comply, by way of condition, as this would be a substantially different proposal and may result in new or altered considerations of other factors.

**5.7. Nyrstar Operations**

A representation from Nyrstar highlighted the activities of the smelter across the river from the development site. The emission of odours, noise and fumes is expected and permitted during normal hours of operation, and they raise concern whether residents of the new development will complain about the emissions. They suggest that the operator or owner of the cabins should be required to make it clear to future residents.

Nyrstar also own 38 Geilston Bay Road; currently, recreational users access the site without permission, and they are concerned that this development will lead to further unpermitted entry. Rubbish and waste is often disposed on the site, and could also travel to the development property. They are also concerned that campfires will be lit which can eventuate to a bushfire. Nyrstar suggests that the owner or operator of the development should be required to take precautions to prevent residents from trespassing Nyrstar's land, and if any injuries results, Nyrstar does not hold responsibility.

- **Comment**

The planning scheme does not control the operation of nuisance or trespassing, littering or other anti-social behaviour.

Despite the issue of introduction of potential conflicting land uses (which is a normal planning issue), as Nyrstar is located in a different city under a different planning scheme, suitable attenuation distances do not extend to the subject site. The most adequate way is control these impacts is to own the properties to limit development, which is what Nyrstar has done in purchasing a number of properties adjacent to the north of the site.

## **5.8. Pedestrian Access and Safety**

The development area is frequently used for recreational activities by people of all ages, including walking and cycling. Representors raised concerns that the additional traffic on the Crown administered Reserved Road will make it unsafe for pedestrians and disrupt the solitude of the area. Similarly, increased traffic on Geilston Bay Road will also put pedestrian safety at risk. The road is narrow, with sharp corners, poor street lighting and no pavement. A suggestion was made to install a footpath along the road.

- **Comment**

As identified in 14.3.2 P1(c) and E6.7.3 P1, it is considered that the design of the road access and the increase in use will have significant potential for conflict between users.

The Traffic Impact Assessment report submitted with the application has identified that the development will not have significant adverse impacts on the traffic efficiency of Geilston Bay Road nor result in exceeding the threshold of the level of service for the intersection with the East Derwent highway.

### **5.9. Vehicular Access and Traffic**

Representors are concerned that the access is only designed for one car, with no space allowance for passing lane. They are also concerned that the Reserve Road should not be used for commercial use, only for public use. Access to the site will need to rely on the privately-built road for 76 Geilston Bay Road.

Others also raised concern about the volume of increased traffic due to the development. They highlighted that the Geilston Bay Road and East Derwent Highway intersection is already considered hazardous, furthermore when entering Geilston Bay Road from north of the highway, there is no designated right-turn lane. Furthermore, they indicated that Geilston Bay Road is too narrow of a road, is dangerous due to the blind bends, and that an upgrade (supposedly when the 20<sup>th</sup> residence is built) to the road has not been implemented. Such increase in traffic will increase risks to road users, including pedestrians and cyclists. Suggestions to alleviate this problem included a roundabout at the aforementioned intersection.

- **Comment**

As with the previous representation issue, the response to 14.3.2 P1(c) and E6.7.3 P1 considers that the design of the road access and the increase in use will have significant potential for conflict between users and result in a significant detriment to users.

The Traffic Impact Assessment report submitted with the application has identified that the development will not have significant adverse impacts on the traffic efficiency of Geilston Bay Road nor result in exceeding the threshold of the level of service for the intersection with the East Derwent highway.

**5.10. Visual Impacts**

Representors raised concern that the development will have an impact on the overall aspect of the hill and bushland, which acts as a visual backdrop for many properties. They also stated that the proposed road, which will provide access from the cabins to Geilston Bay Road, will be an eyesore for properties across the bay. They noted that Fisher Hill has already been scarred by the construction of the house and inappropriately large outbuilding, which has since not softened, indicating that further development on the hills will cause greater visual eyesore.

- **Comment**

The planning scheme does not control the issue of visual impacts for this development outside of the consideration of performance criteria 14.4.2 P1 and 14.4.3 P1.

In the consideration of this performance criteria, the visual impact of the cabins will be largely mitigated through the retention of vegetation. However, the design and location of the buildings do not have due regard to the landscape of the site and are inappropriate.

**6. EXTERNAL REFERRALS**

The proposal was referred to TasWater, which has provided a number of conditions to be included on the planning permit if granted.

The proposal was referred to Aboriginal Heritage Tasmania who advised that, following the mitigation advice outlined in the consultant's report and further comment, no Aboriginal heritage should be impacted by the proposed project. Their comments can be summarised as:

- advice that the applicant should refer to the submitted report to AHT;
- road maintenance, including the laying gravel, within the defined site boundaries, may require a permit;

- all sites located within the development footprint should be clearly marked with high visibility temporary barricading and should include an adequate buffer around the site (minimum 3m) to ensure that possible subsurface expressions are not inadvertently impacted during construction works; and
- all construction personnel should be made aware of the Unanticipated Discovery Plan and their obligations under the Aboriginal Heritage Act 1975 and a copy of the consultant's report and Unanticipated Discovery Plan (provided in Section 12 of the consultant's report) should be kept on-site during construction works.

The proposal was referred to the Department of State Growth. The Department's did not oppose this development upon traffic grounds: comments can be summarised as:

- support for Council's limitations on the amount of dwellings that can be built before the East Derwent Highway intersection need upgrading; and
- acknowledgement that traffic generation associated with tourist accommodation does not normally operate in the morning peak period, and is unlikely to have any adverse impact of the performance of the East Derwent Highway.

DPIPWE reviewed the application and provided comments in relation to Threatened Flora and Fauna and on Threatened Native Vegetation. A copy is attached.

## **7. STATE POLICIES AND ACT OBJECTIVES**

**7.1.** The proposal is consistent with the outcomes of the State Policies, including those of the State Coastal Policy.

**7.2.** The proposal is consistent with the objectives of Schedule 1 of LUPAA.

## **8. COUNCIL STRATEGIC PLAN/POLICY IMPLICATIONS**

There are no inconsistencies with Council's adopted Strategic Plan 2016-2026 or any other relevant Council Policy, including the following:

- Temporary Street Furniture and Policy Guidelines;

- Local Highways – Bylaw 1 of 2004; and
- Lindisfarne Shopping Centre Car Parking Policy.

Developer contributions are required to comply with the following Council Policies:

- Public Open Space Policy; and
- Headworks Levy Policy.

## **9. CONCLUSION**

The proposal seeks approval for Visitor Accommodation at 78 Geilston Bay Road, Geilston Bay. It is considered that the proposal fails to meet the following Performance Criteria:

- Interim Planning Directive No 2, in that the development will be of a scale significantly beyond the dominant character and use and is likely to have a significantly disadvantage the other users of the access road.
- Clause 14.3.2 P1, in that the development will result in a level of intensity significantly beyond the dominant character of use and is likely to significantly disadvantage the other users of the access road.
- Clause 14.4.3 P1, in that the building height and location, relating to the ridgeline, is not minimised through design , nor have due regard to the landscape of the site
- Clause 14.4.3 P3, in that the level of impact of the proposal is considered unreasonable and the scale of the development is inconsistent with nearby developments.
- Clause 14.4.3 P4, in that a dominant cut of the access road will detract from the landscape character.

- Clause E6.7.3 P1, in that the development is likely to unreasonably impact on the access road, will have significant potential for conflict between users and should require significant upgrading.

It is therefore recommended that the proposal be refused.

Attachments: 1. Location Plan (1)  
2. Proposal Plan (21)  
3. Site Photo (1)  
4. DPIPWE Comments (2)

Ross Lovell  
**MANAGER CITY PLANNING**

Council now concludes its deliberations as a Planning Authority under the Land Use Planning and Approvals Act, 1993.



**ATTACHMENT 1  
LOCATION PLAN  
78 GEILSTON BAY ROAD, GEILSTON BAY**

SUBJECT PROPERTY



Shag Bay Track

~~Fishers Hill~~

### Mag Bay

## Bedlam Walls Point

## Geilston Bay

Granyille Avenue

Derwent Avenue



**Disclaimer:** This map is a representation of the information currently held by Clarence City Council. While every effort has been made to ensure the accuracy of the product, Clarence City Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated. Copying or reproduction, without written consent is prohibited. **Date:** Friday, 6 October 2017 **Scale:** 1:6,599 @A4

PROPOSED MULTIPLE CABIN DEVELOPMENT

78 GEILSTON BAY ROAD,  
HOBART TASMANIA

DRAWING LIST


COVER	S724U-4B
LOCALITY PLAN	S724U-5B
SITE PLAN	S724U-6B
CONCEPT SERVICES PLAN	S724U-7B
BIRDSEYE PERSPECTIVES	S724U-8A
VISUAL IMPRESSION 1	S724U-9A
VISUAL IMPRESSION 2	S724U-10A
VISUAL IMPRESSION 3	S724U-11A

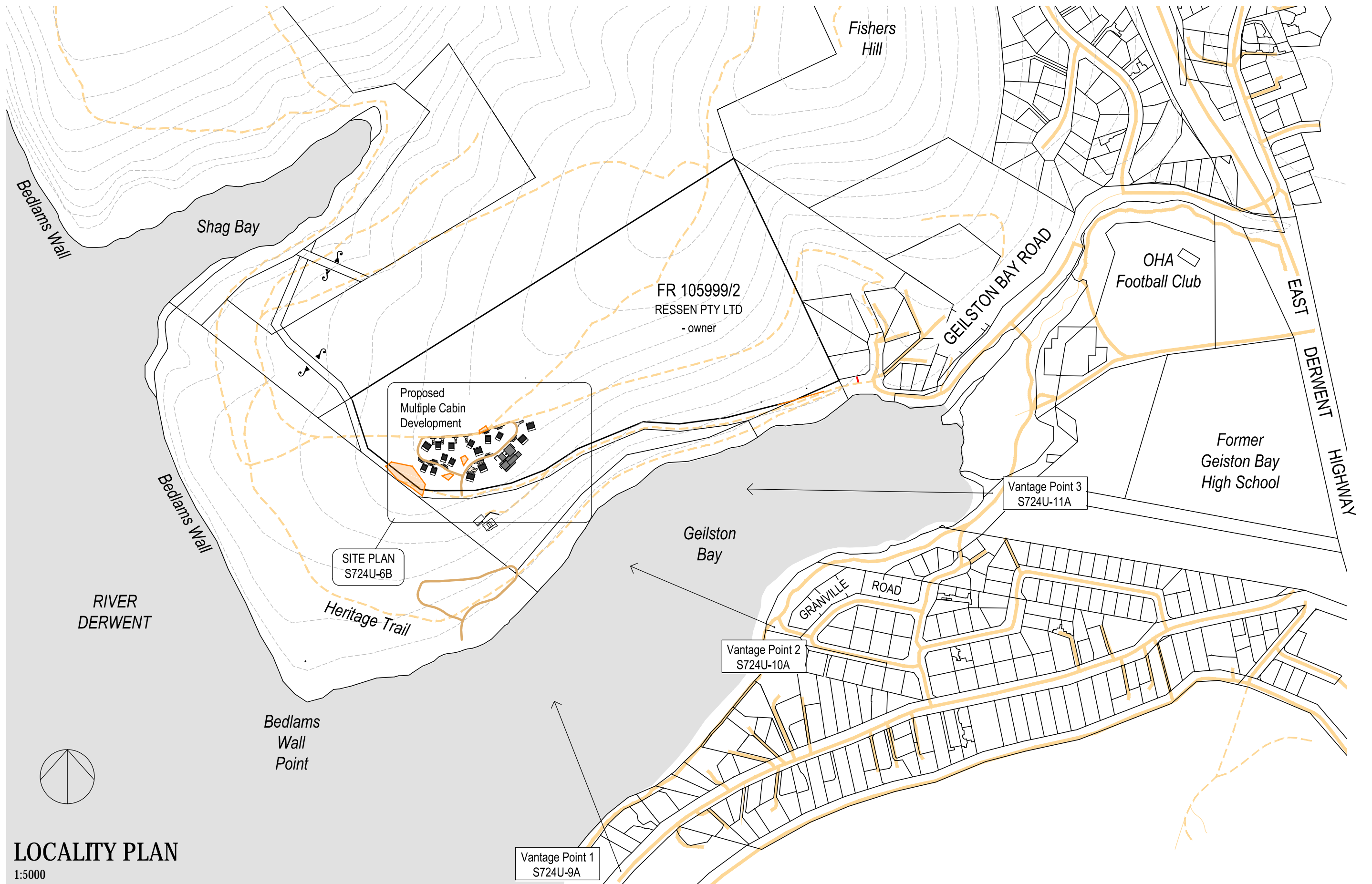
RECEPTION - FLOOR PLAN	S724U-12
RIDGELINE / CABIN RIDGES PLAN	S724U-13
CABIN ELEVATIONS	S724U-14
CABIN ELEVATIONS	S724U-15
ROADWORKS PLAN	S724U-16
ACCESS-LONGITUDAL SECTION	S724U-17

PROPOSED CABIN HOUSE	COVER PAGE
1 BED TYPE - TYPICAL FLOOR PLAN	B_01
1 BED TYPE - ELEVATIONS	C_01
2 BED TYPE - TYPICAL FLOOR PLAN	B_02
2 BED TYPE - ELEVATIONS	C_02

NOTES

1. Date of survey: March-April 2016.
2. Horizontal datum: MGA plane per SPM 171/1.
3. Vertical Datum: SPM 171/1 - RL12.9m
- ("6ci bXfm"gsdUWgSWHbWSgd"!UWUW)a -"
5. Do not scale from the drawings.

E						NOTES:	SURVEYOR		GEOCIVIL		PROPOSED MULTIPLE CABIN DEVELOPMENT 78 GEILSTON BAY ROAD, HOBART TASMANIA for RESSEN	<div><div></div><div><div>PDA Surveyors</div><div>Surveying, Engineering &amp; Planning</div></div><div><div>127 Bathurst Street Hobart, Tasmania, 7000 www.pda.com.au Also at: Kingston, Launceston &amp; Burnie</div><div>ABN 71 217 806 325</div><div>PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au</div></div></div>	SCALE	PAPER		
D							HAC		-				(A3)			
C				CONTENTS REVISED TO REFLECT REMOVAL OF SIGNAGE	HC		08.09.17	HAC	DRAWN				CHECKED		JOB NUMBER	DRAWING
B				CONTENTS REVISED TO REFLECT AMENDMENTS TO PLAN 6B.	MK		07.03.17	HAC	MK				HAC		S724U -4C	
A				SITE LAYOUT AMENDED.	MK		29.06.16	HAC	DATE				10 JUNE 2016			
REV				AMENDMENTS	DRAWN		DATE	APPR.								



**LOCALITY PLAN**  
1:5000

E				
D				
C				
B	PROPOSED SIGN LOCATION SHOWN.	MK	07.03.17	HAC
A	SITE LAYOUT AMENDED.	MK	29.06.16	HAC
REV	AMENDMENTS	DRAWN	DATE	APPR.

NOTES:

SURVEYOR	HAC	GEOCIVIL	-
DRAWN	MK	CHECKED	HAC
DATE	10 JUNE 2016		

**PROPOSED MULTIPLE CABIN DEVELOPMENT**  
**78 GEILSTON BAY ROAD, HOBART TASMANIA**  
**for RESSEN**



**PDA Surveyors**

Surveying, Engineering & Planning

127 Bathurst Street  
Hobart, Tasmania, 7000  
www.pda.com.au Also at: Kingston,  
Launceston & Burnie  
ABN 71 217 806 325  
PHONE: +61 03 6234 3217  
FAX: +61 03 6234 5085  
EMAIL: pda.hbt@pda.com.au

SCALE	PAPER
1: 5000	(A3)
JOB NUMBER	DRAWING
S724U - 5B	



PROPOSED CABIN types  
5, 6, 7, 8, 9, 11, 12, 13, 14 = 1 bed type  
1, 2, 3, 4, 10 & RECP = 2 bed type

AREA  
1 bed type 49m2 x 9  
2 bed type 70.7m2 x 6  
Approved dwelling  
Lower ground floor 238.91m2  
Upper ground floor 296.21m2

TOTAL GFA 1400.32m2  
Site area 15.65ha

Note GFA calculations do not include decks.

FR 105999/2  
RESSEN PTY LTD  
- OWNER



LEGEND

- Proposed Cabin (For Types refer CUBIC STUDIO drawings)
- Proposed 4.00 wide minimum formation/car space
- Internal road extent of batter/embankment
- Existing fire/heritage trail
- Existing tree
- Existing tree to be removed (total 32)
- Existing overhead powerline/pole
- Existing underground power
- CHMA Aboriginal Sites
- Threatened Vegetation Community

D				
C				
B	REVISE ROAD LAYOUT, TABLE DRAIN LOCATION & PARKING FOR RECEPTION, 1, 2 & 7 CABINS. SHOW LIKELY LOCATION FOR RELOCATED EXISTING POWER. MINIMUM SETBACKS TO BUILDINGS	MK	07.03.17	HAC
A	SITE LAYOUT AMENDED.	MK	29.06.16	HAC
REV	AMENDMENTS	DRAWN	DATE	APPR.

NOTES:

SURVEYOR	HAC	GEOCIVIL	-
DRAWN	MK	CHECKED	HAC
DATE	10 JUNE 2016		

PROPOSED MULTIPLE CABIN DEVELOPMENT  
78 GEILSTON BAY ROAD, HOBART TASMANIA  
for RESSEN



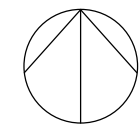
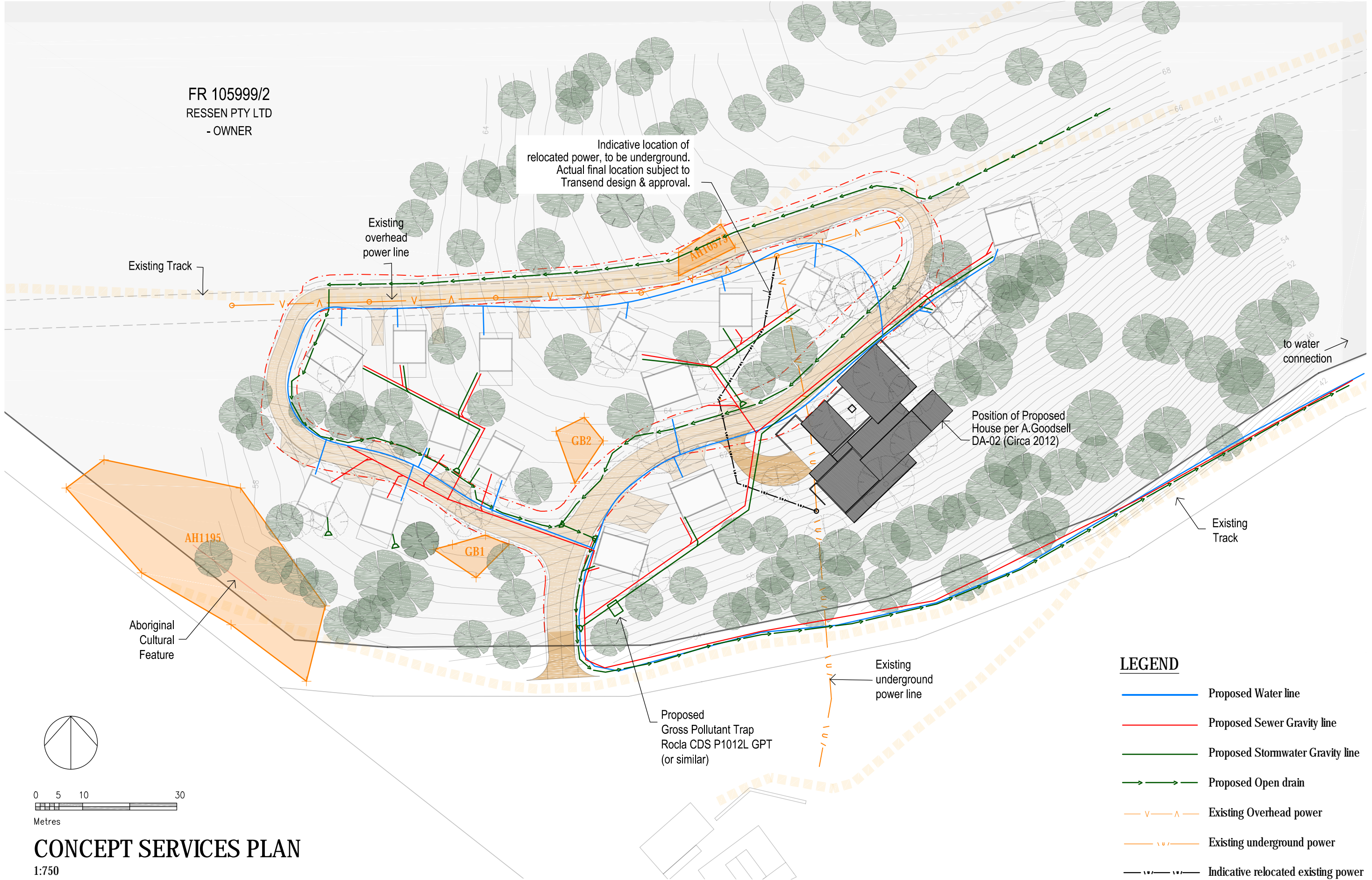
PDA Surveyors

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EMAIL: pda.hbt@pda.com.au


SCALE	PAPER
1: 750	(A3)
JOB NUMBER	DRAWING
S724U	- 6B



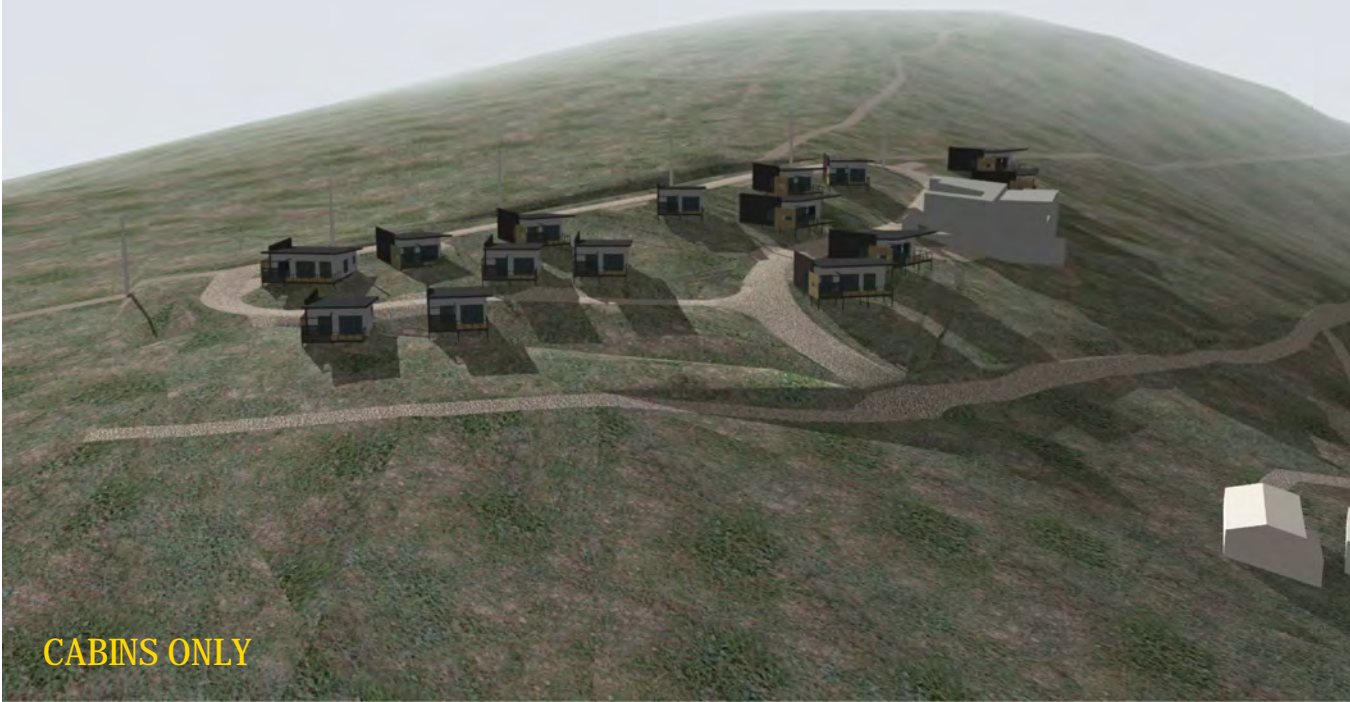
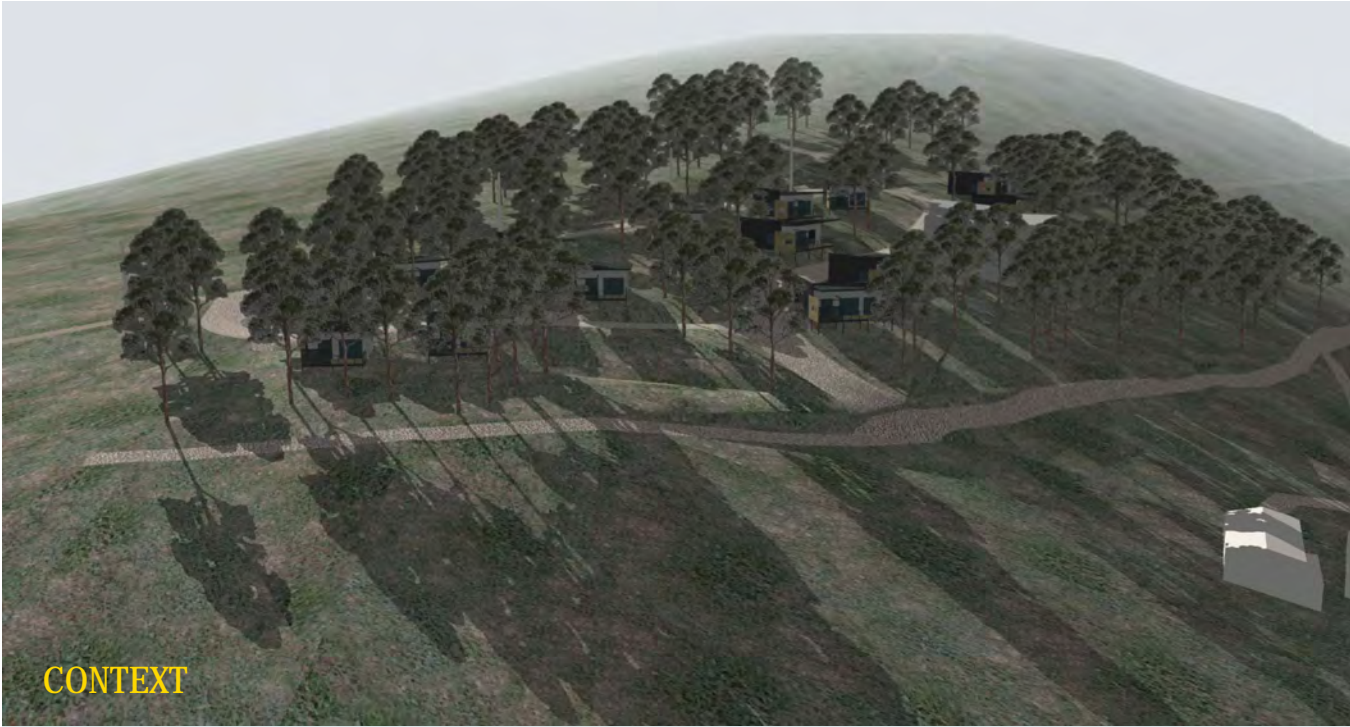


CONCEPT SERVICES PLAN

1:750


D					NOTES:	SURVEYOR	GEOCIVIL	PROPOSED MULTIPLE CABIN DEVELOPMENT 78 GEILSTON BAY ROAD, HOBART TASMANIA for RESSEN	 <b>PDA Surveyors</b> Surveying, Engineering & Planning 127 Bathurst Street Hobart, Tasmania, 7000 www.pda.com.au Also at: Kingston, Launceston & Burnie ABN 71 217 806 325 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au	SCALE	PAPER
C	GROSS POLLUTANT TRAP ADDED	MK	05.05.17	HAC		HAC	-			1: 750	(A3)
B	REVISE ROAD LAYOUT , TABLE DRAIN LOCATION & PARKING FOR RECEPTION, 1,2 & 7 CABINS. SHOW LIKELY LOCATION FOR RELOCATED EXISTING POWER. MINIMUM SETBACKS TO BUILDINGS	MK	07.03.17	HAC		DRAWN	CHECKED			JOB NUMBER	DRAWING
A	SITE LAYOUT AMENDED.	MK	29.06.16	HAC		MK	HAC			S724U - 7B	
REV	AMENDMENTS	DRAWN	DATE	APPR.		DATE	10 JUNE 2016				





**BIRDSEYE PERSPECTIVES**  
Looking North West & North East June 22nd.


NOTE: Generic 15m trees height shown.  
Location per field survey.

E					NOTES:	SURVEYOR	GEOCIVIL	PROPOSED MULTIPLE CABIN DEVELOPMENT 78 GEILSTON BAY ROAD, HOBART TASMANIA for RESSEN	<div><b>PDA Surveyors</b> Surveying, Engineering &amp; Planning</div> <div>127 Bathurst Street Hobart, Tasmania, 7000 www.pda.com.au Also at: Kingston, Launceston &amp; Burnie</div> <div>PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au</div>	SCALE	PAPER
D						HAC	-			Not to Scale (A3)	
C						DRAWN	CHECKED			JOB NUMBER	DRAWING
B						MK	HAC			S724U	8
A	SITE LAYOUT AMENDED.	MK	29.06.16	HAC		DATE	13 JUNE 2016				
REV	AMENDMENTS	DRAWN	DATE	APPR.							






VISUAL IMPRESSION - Vantage point 1

E					NOTES:	SURVEYOR	GEOCIVIL	PROPOSED MULTIPLE CABIN DEVELOPMENT 78 GEILSTON BAY ROAD, HOBART TASMANIA for RESSEN	<div><div></div><div><b>PDA Surveyors</b> Surveying, Engineering &amp; Planning</div></div> <div>127 Bathurst Street Hobart, Tasmania, 7000 www.pda.com.au Also at: Kingston, Launceston &amp; Burnie</div> <div>PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au</div>	SCALE	PAPER		
D						HAC	-			Not to Scale (A3)			
C						DRAWN	CHECKED						
B						MK	HAC						
A	SITE LAYOUT AMENDED.	MK	29.06.16	HAC		DATE	13 JUNE 2016						
REV	AMENDMENTS	DRAWN	DATE	APPR.						JOB NUMBER	DRAWING		
												S724U	-9A






VISUAL IMPRESSION 2 - Vantage point 2

E				NOTES:	SURVEYOR		GEOCIVIL	PROPOSED MULTIPLE CABIN DEVELOPMENT 78 GEILSTON BAY ROAD, HOBART TASMANIA for RESSEN	<div><div></div><div><b>PDA Surveyors</b> Surveying, Engineering &amp; Planning</div></div> <div>127 Bathurst Street Hobart, Tasmania, 7000 www.pda.com.au Also at: Kingston, Launceston &amp; Burnie</div> <div>PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au</div>	SCALE	PAPER	
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B					MK		HAC			S724U -10A		
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REV				AMENDMENTS		DRAWN	DATE	APPR.				

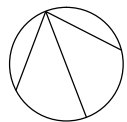
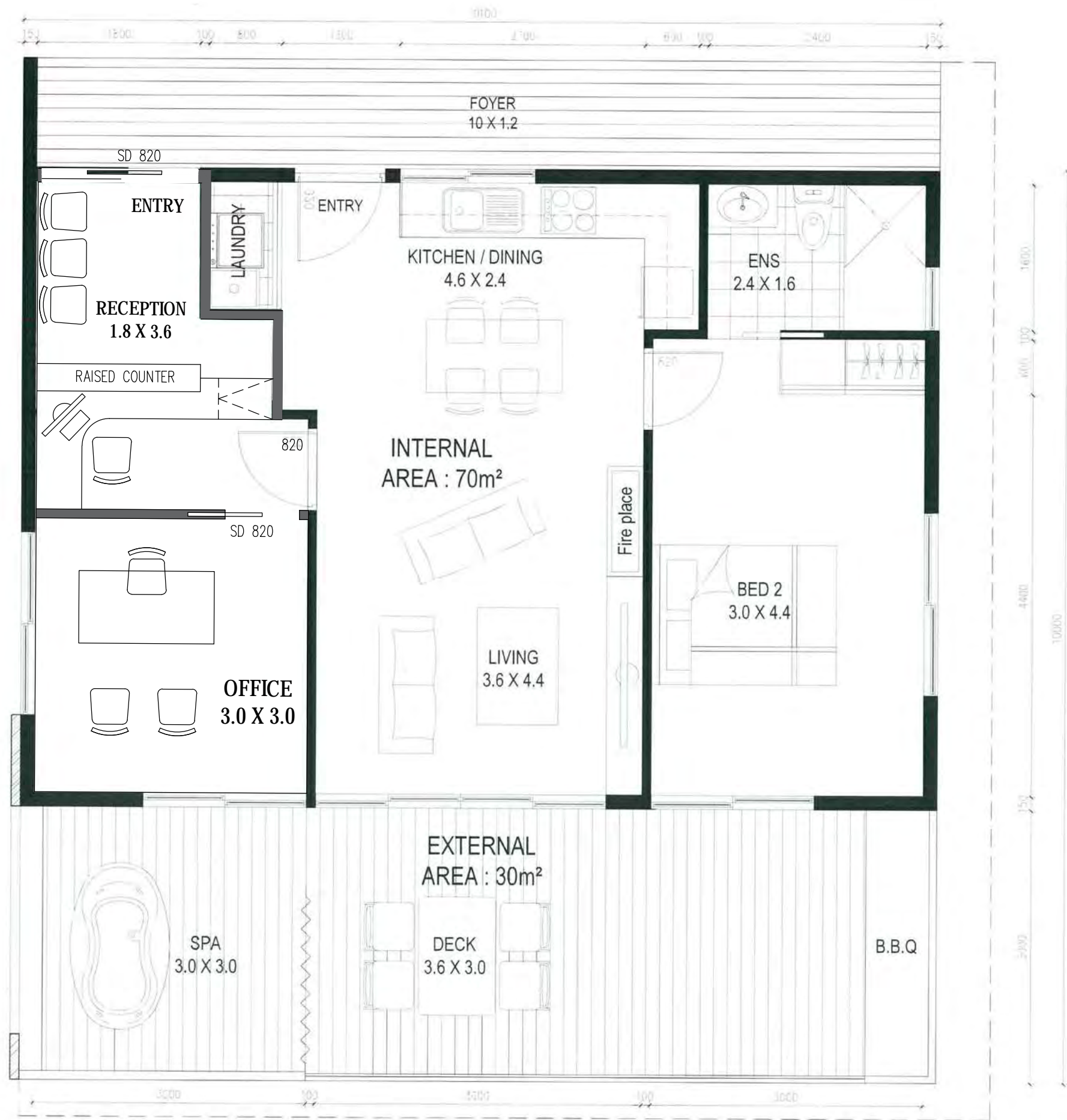




VISUAL IMPRESSION - Vantage point 3


E					NOTES:	SURVEYOR	GEOCIVIL	PROPOSED MULTIPLE CABIN DEVELOPMENT 78 GEILSTON BAY ROAD, HOBART TASMANIA for RESSEN	<div><div></div><div><b>PDA Surveyors</b> Surveying, Engineering &amp; Planning</div></div> <div>127 Bathurst Street Hobart, Tasmania, 7000 www.pda.com.au Also at: Kingston, Launceston &amp; Burnie</div> <div>PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au</div>	SCALE	PAPER	
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C						DRAWN	CHECKED					
B						MK	HAC					
A	SITE LAYOUT AMENDED.	MK	29.06.16	HAC		DATE	13 JUNE 2016					
REV	AMENDMENTS	DRAWN	DATE	APPR.							S724U -11A	

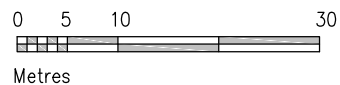
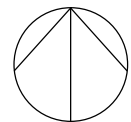
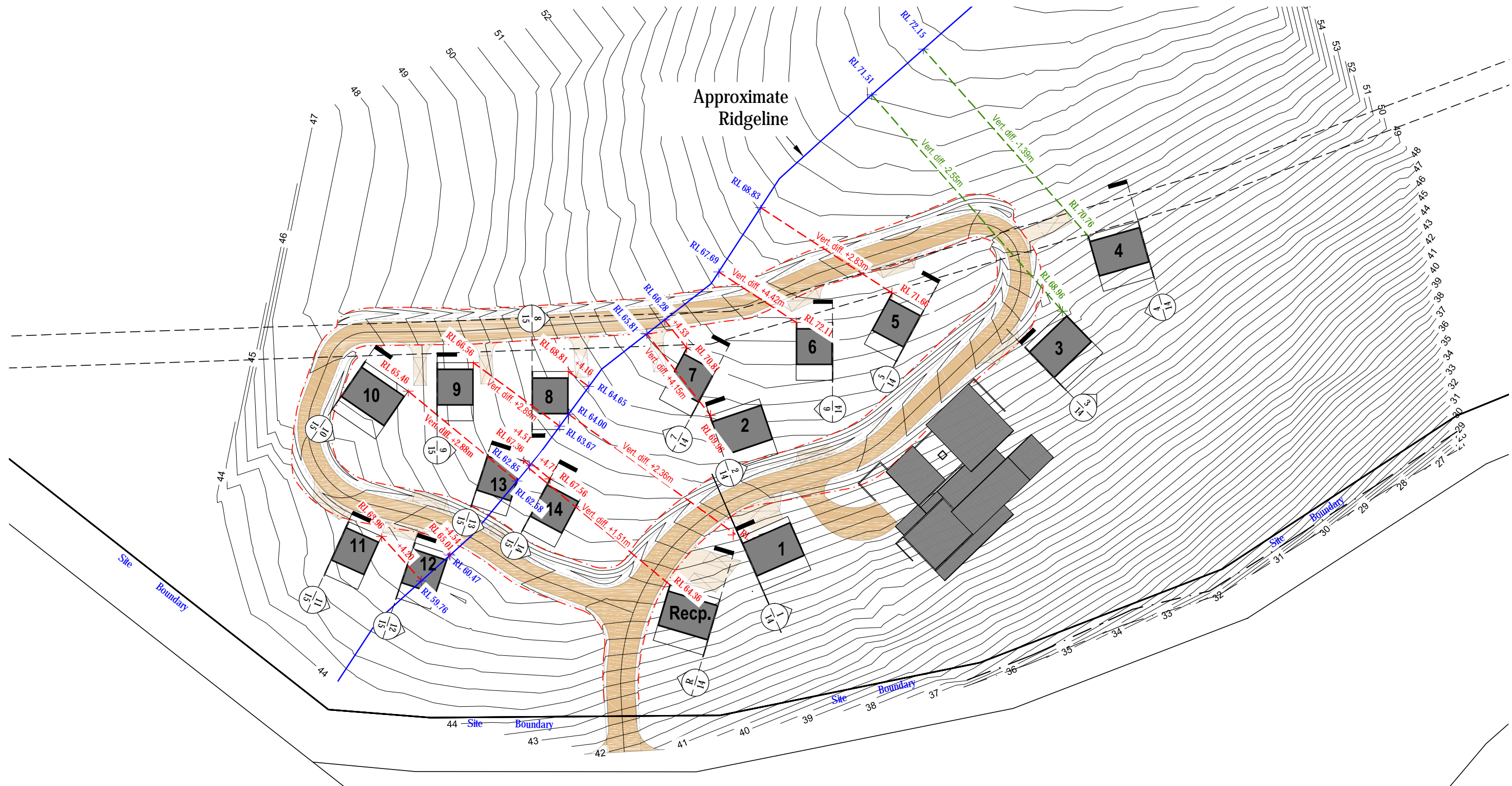




## RECEPTION FLOOR PLAN

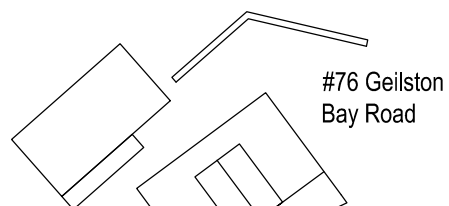
1:50@ A3

E					NOTES:	SURVEYOR	HAC	GEOCIVIL	PROPOSED MULTIPLE CABIN DEVELOPMENT 78 GEILSTON BAY ROAD, HOBART TASMANIA for RESSEN	<div><div></div><div><div><b>PDA Surveyors</b></div><div>Surveying, Engineering &amp; Planning</div></div><div><div>127 Bathurst Street Hobart, Tasmania, 7000 www.pda.com.au Also at: Kingston, Launceston &amp; Burnie ABN 71 217 806 325 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au</div></div></div>	SCALE	PAPER	
D						DRAWN	MK	CHECKED			HAC	1 : 50	(A3)
C												JOB NUMBER	DRAWING
B						DATE	07 MARCH 2017				S724U - 12		
A						REV	AMENDMENTS	DRAWN	DATE	APPR.			



# RIDGELINE / CABIN RIDGES PLAN

1:750@ A3



## LEGEND

- Proposed Cabin  
(For Types refer CUBIC STUDIO drawings)
- Proposed 4.00 wide minimum formation/car space
- Approximate Existing ground level ridge line
- Relative height difference of Highest point of proposed building to ridge line.

E				
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A				
REV	AMENDMENTS	DRAWN	DATE	APPR.

NOTES:

SURVEYOR	HAC	GEOCIVIL	-
DRAWN	MK	CHECKED	HAC
DATE	07 MARCH 2017		

PROPOSED MULTIPLE CABIN DEVELOPMENT  
78 GEILSTON BAY ROAD, HOBART TASMANIA  
for RESSEN

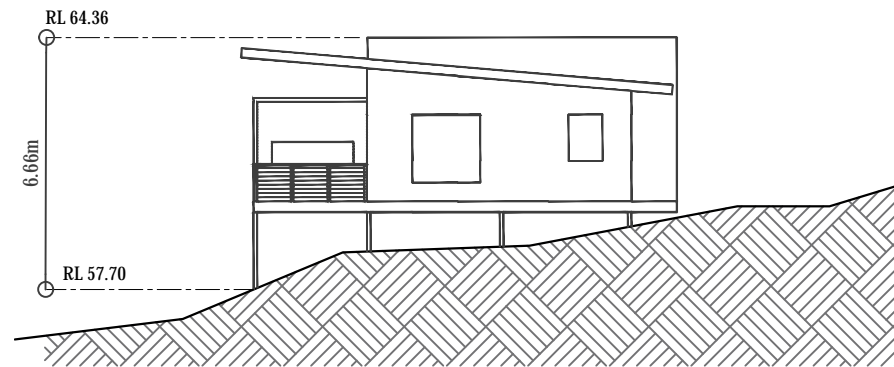


**PDA Surveyors**  
Surveying, Engineering & Planning

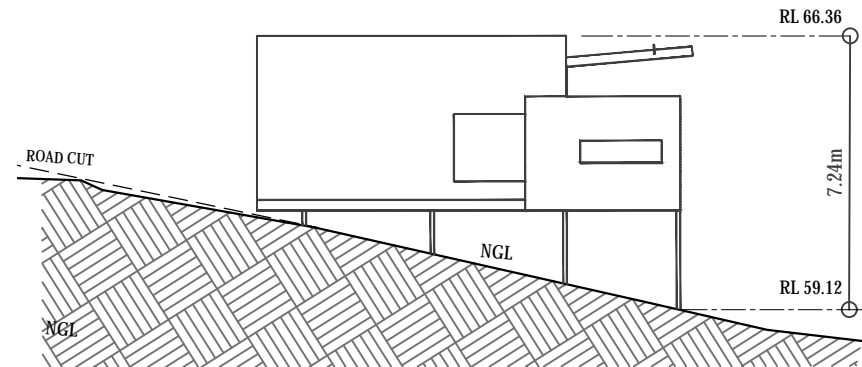
127 Bathurst Street  
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www.pda.com.au Also at: Kingston,  
Launceston & Burnie  
PHONE: +61 03 6234 3217  
FAX: +61 03 6234 5085  
EMAIL: pda.hbt@pda.com.au

SCALE	PAPER
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JOB NUMBER	DRAWING
S724U - 13	

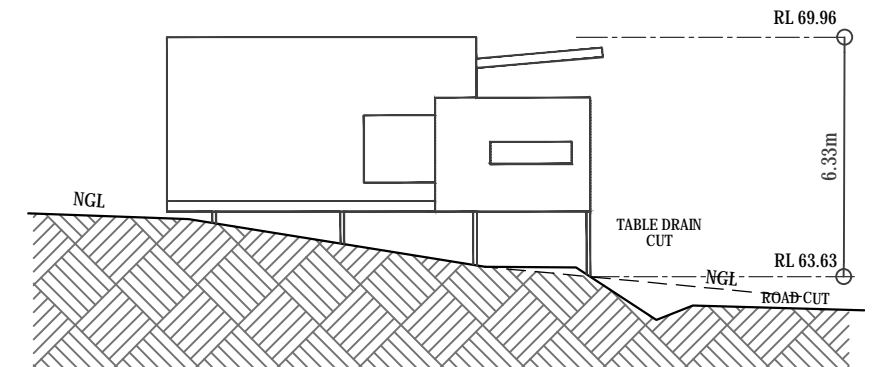




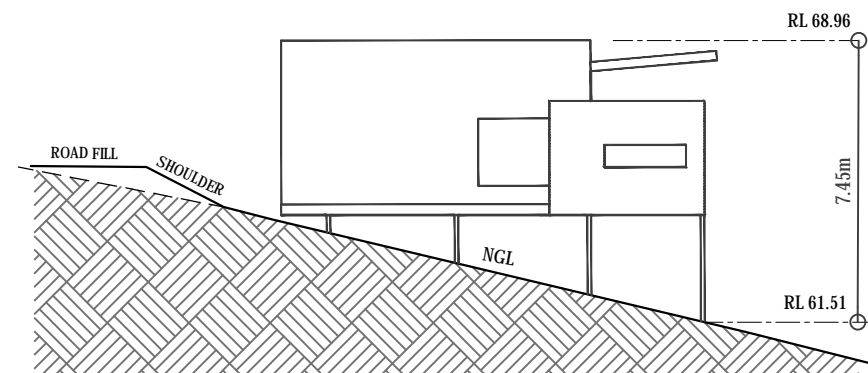
Ⓡ RECEPTION EAST ELEVATION



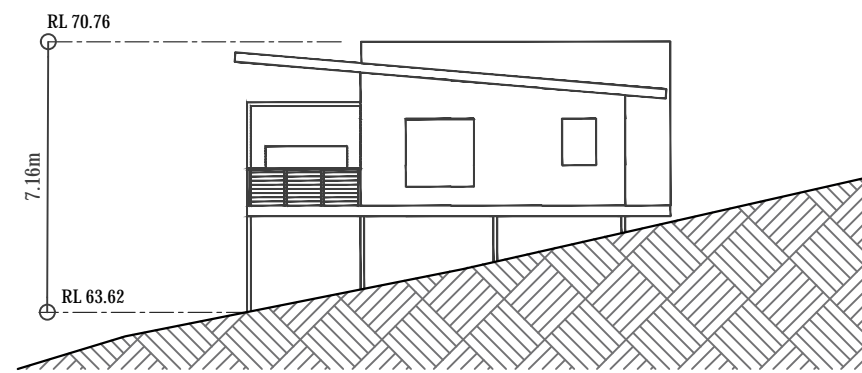
① CABIN 1 WEST ELEVATION



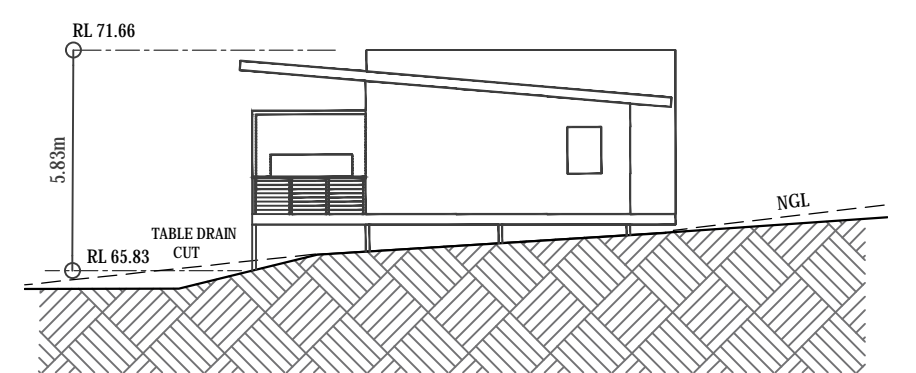
② CABIN 2 WEST ELEVATION



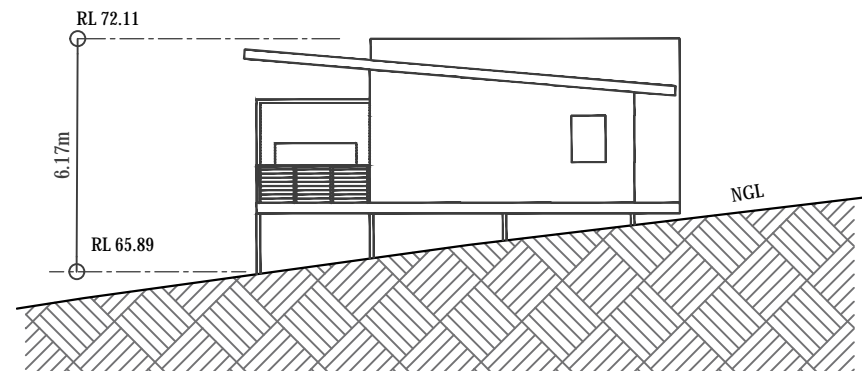
③ CABIN 3 WEST ELEVATION



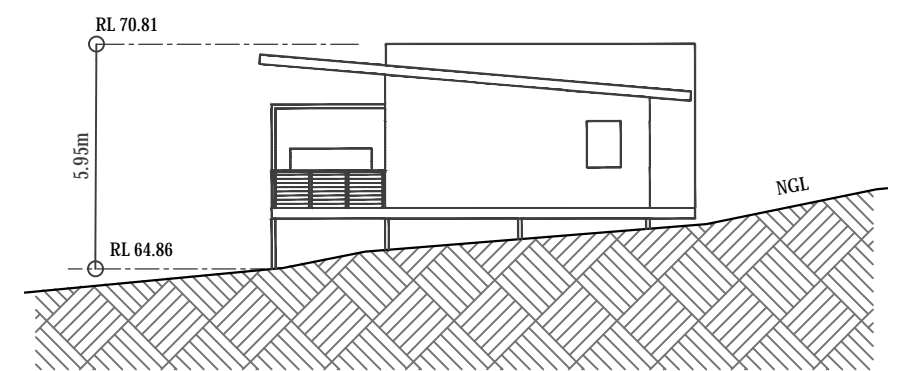
④ CABIN 4 EAST ELEVATION



⑤ CABIN 5 EAST ELEVATION




⑥ CABIN 6 EAST ELEVATION

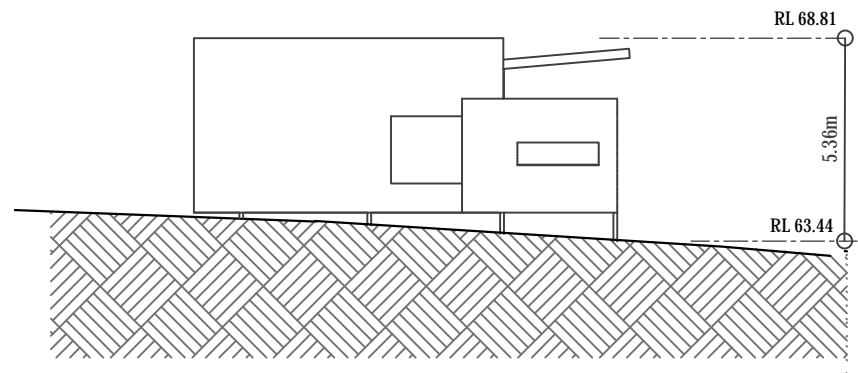


⑦ CABIN 7 EAST ELEVATION

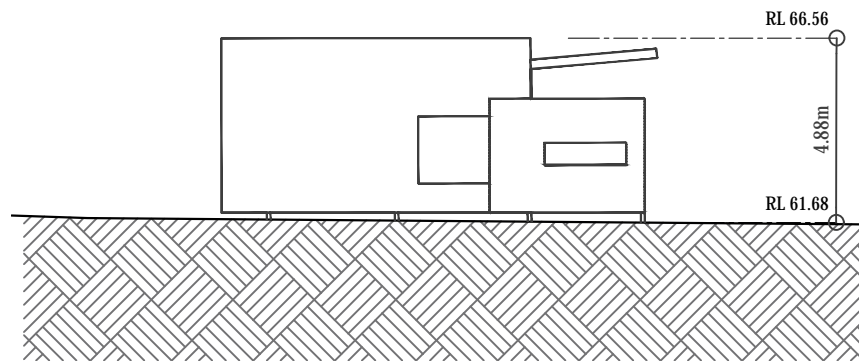
## CABIN ELEVATIONS

1:200@ A3

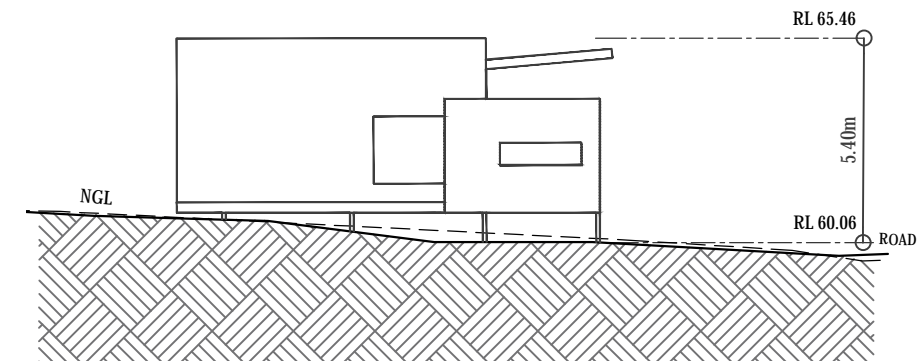
E					NOTES:	SURVEYOR	GEOCIVIL	PROPOSED MULTIPLE CABIN DEVELOPMENT 78 GEILSTON BAY ROAD, HOBART TASMANIA for RESSEN	<div>  <b>PDA Surveyors</b>            Surveying, Engineering &amp; Planning            127 Bathurst Street            Hobart, Tasmania, 7000            www.pda.com.au Also at: Kingston,            Launceston &amp; Burnie            ABN 71 217 806 325            PHONE: +61 03 6234 3217            FAX: +61 03 6234 5085            EMAIL: pda.hbt@pda.com.au         </div>	SCALE	PAPER
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C						DRAWN	CHECKED			JOB NUMBER	DRAWING
B						MK	HAC			S724U - 14	
A						DATE					
REV	AMENDMENTS										
		DRAWN	DATE	APPR.		07 MARCH 2017					



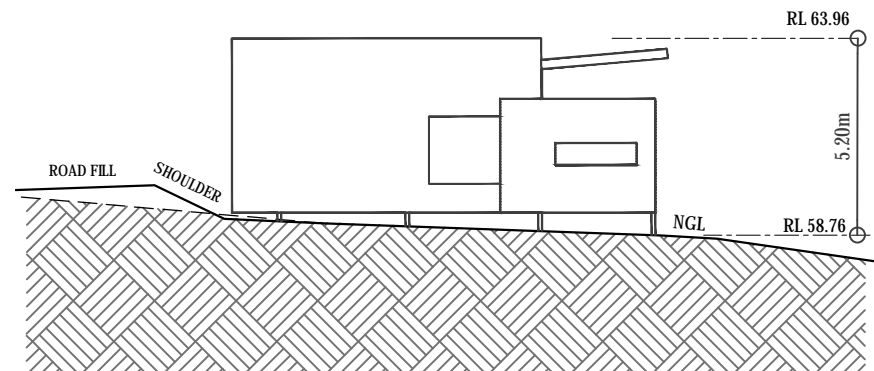
8 CABIN 8 WEST ELEVATION



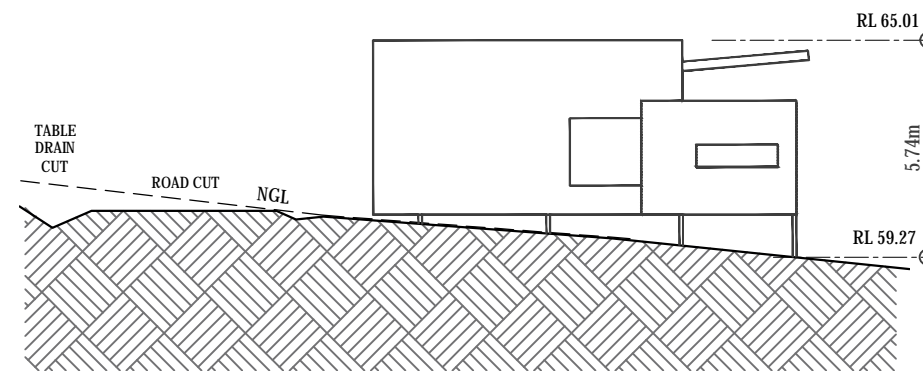
9 CABIN 9 WEST ELEVATION



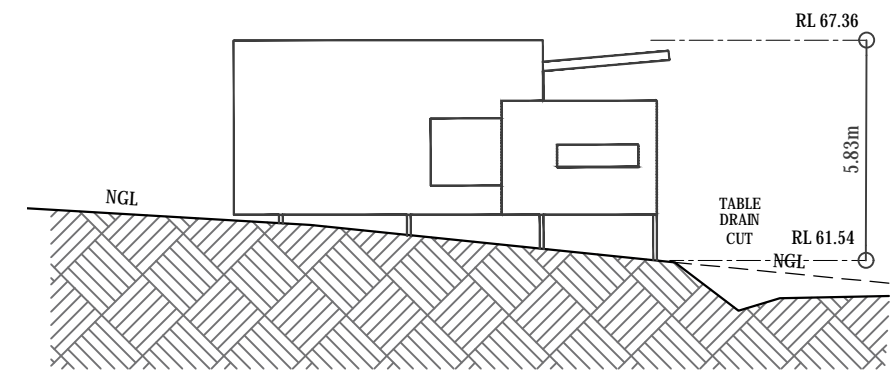
10 CABIN 10 WEST ELEVATION



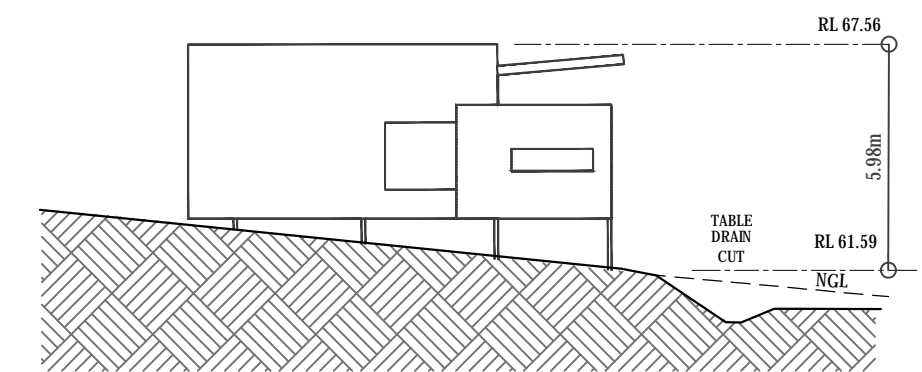
11 CABIN 11 WEST ELEVATION



12 CABIN 12 WEST ELEVATION




13 CABIN 13 WEST ELEVATION

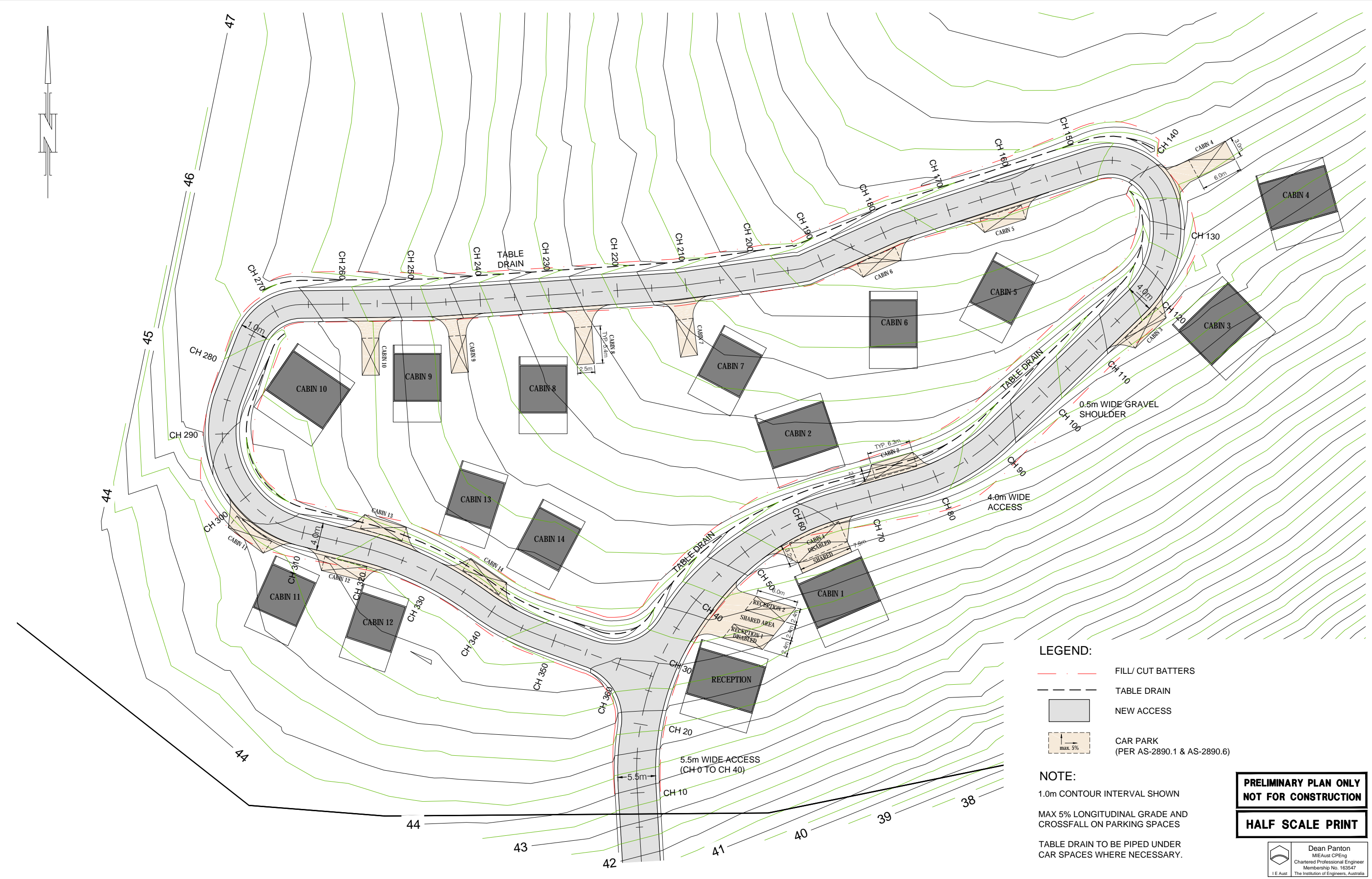


14 CABIN 14 WEST ELEVATION

# CABIN ELEVATIONS continued

1:200@ A3

E					NOTES:	SURVEYOR	GEOCIVIL	PROPOSED MULTIPLE CABIN DEVELOPMENT 78 GEILSTON BAY ROAD, HOBART TASMANIA for RESSEN	<div><div></div><div><div><b>PDA Surveyors</b> Surveying, Engineering &amp; Planning</div><div>127 Bathurst Street Hobart, Tasmania, 7000 www.pda.com.au Also at: Kingston, Launceston &amp; Burnie ABN 71 217 806 325 PHONE: +61 03 6234 3217 FAX: +61 03 6234 5085 EMAIL: pda.hbt@pda.com.au</div></div></div>	SCALE	PAPER
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C						MK	CHECKED HAC			JOB NUMBER	DRAWING
B										S724U - 15	
A						DATE	07 MARCH 2017				
REV	AMENDMENTS		DRAWN	DATE	APPR.						



**LEGEND:**

- FILL/ CUT BATTERS
- TABLE DRAIN
- NEW ACCESS
- CAR PARK (PER AS-2890.1 & AS-2890.6)

**NOTE:**

1.0m CONTOUR INTERVAL SHOWN

MAX 5% LONGITUDINAL GRADE AND CROSSFALL ON PARKING SPACES

TABLE DRAIN TO BE PIPED UNDER CAR SPACES WHERE NECESSARY.

**PRELIMINARY PLAN ONLY  
NOT FOR CONSTRUCTION**

**HALF SCALE PRINT**

Dean Pantou  
MIE Aust CP Eng  
Chartered Professional Engineer  
Membership No. 163547  
The Institution of Engineers, Australia

REV	AMENDMENTS	DRAWN	DATE	APPR.
E				
D				
C				
B				
A				

NOTES:

SURVEYOR	GEOCOMP
JM	S724U
DRAWN	CHECKED
MK/KK	HAC
DATE	
3 March 2017	

**ROADWORKS PLAN**  
**78 GEILSTON BAY ROAD, HOBART TASMANIA**  
**for RESSEN**



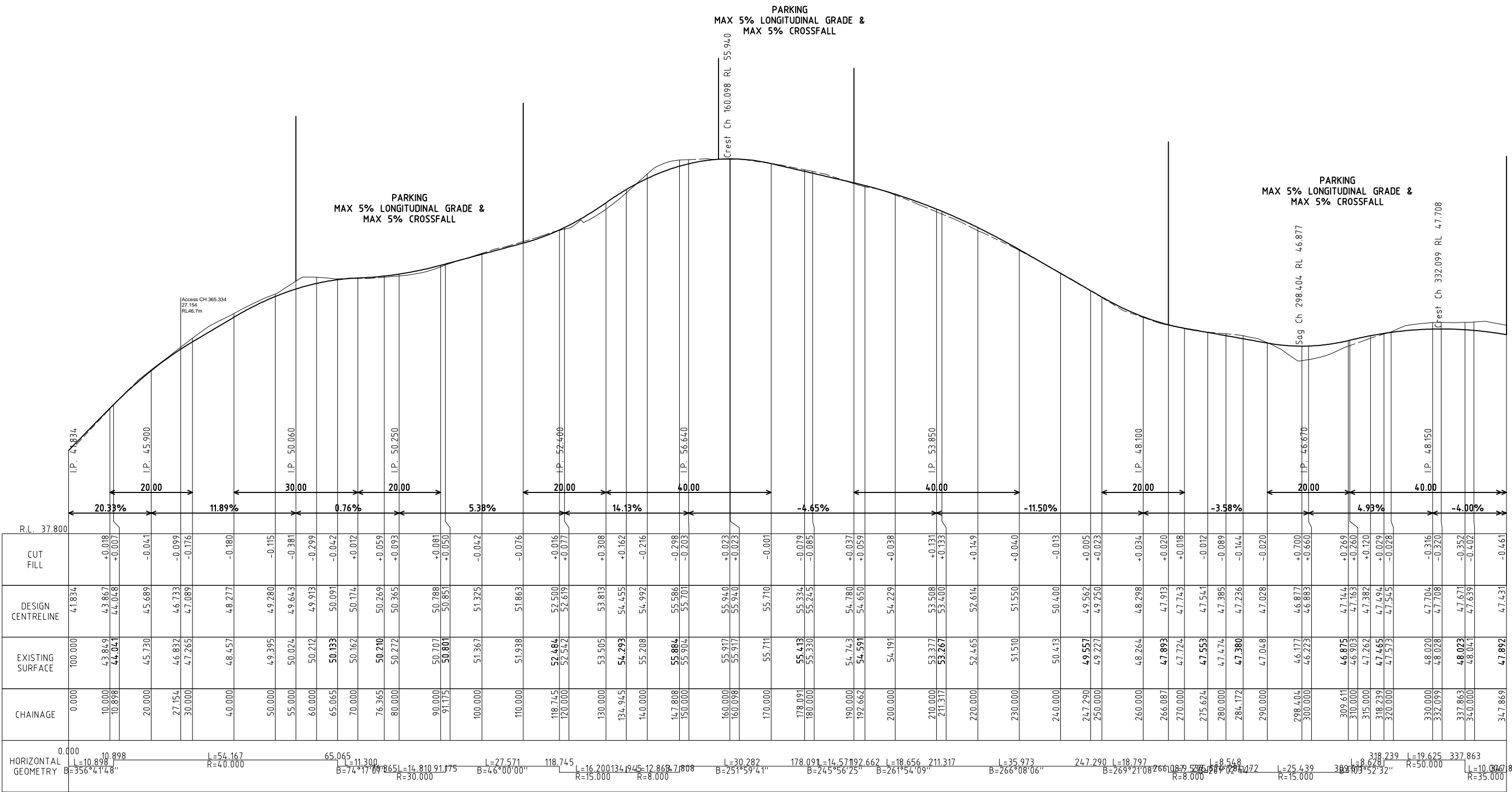
**PDA Surveyors**

Surveying, Engineering & Planning

Shop 4, 16 Main Road  
Huonville, Tasmania, 7109  
www.pda.com.au Also at: Kingston,  
Launceston & Burnie  
ABN 71 217 806 325  
PHONE: +61 03 6264 1277  
EMAIL: hugh.clement@pda.com.au

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JOB NUMBER	DRAWING
S724U - 16	





PRELIMINARY PLAN ONLY  
NOT FOR CONSTRUCTION

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Dean Pantou  
MIE Aust CP Eng  
Chartered Professional Engineer  
Membership No. 163547  
The Institution of Engineers, Australia

REV	AMENDMENTS	DRAWN	DATE	APPR.
E				
D				
C				
B				
A				

NOTES:

SURVEYOR	GEOCOMP
JM	S724U
DRAWN	CHECKED
KK	HAC
DATE	
1st March 2017	

ACCESS - LONGITUDINAL SECTION  
78 GEILSTON BAY ROAD, HOBART TASMANIA  
for RESSEN



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ABN 71 217 806 325  
PHONE: +61 03 6264 1277  
EMAIL: hugh.clement@pda.com.au

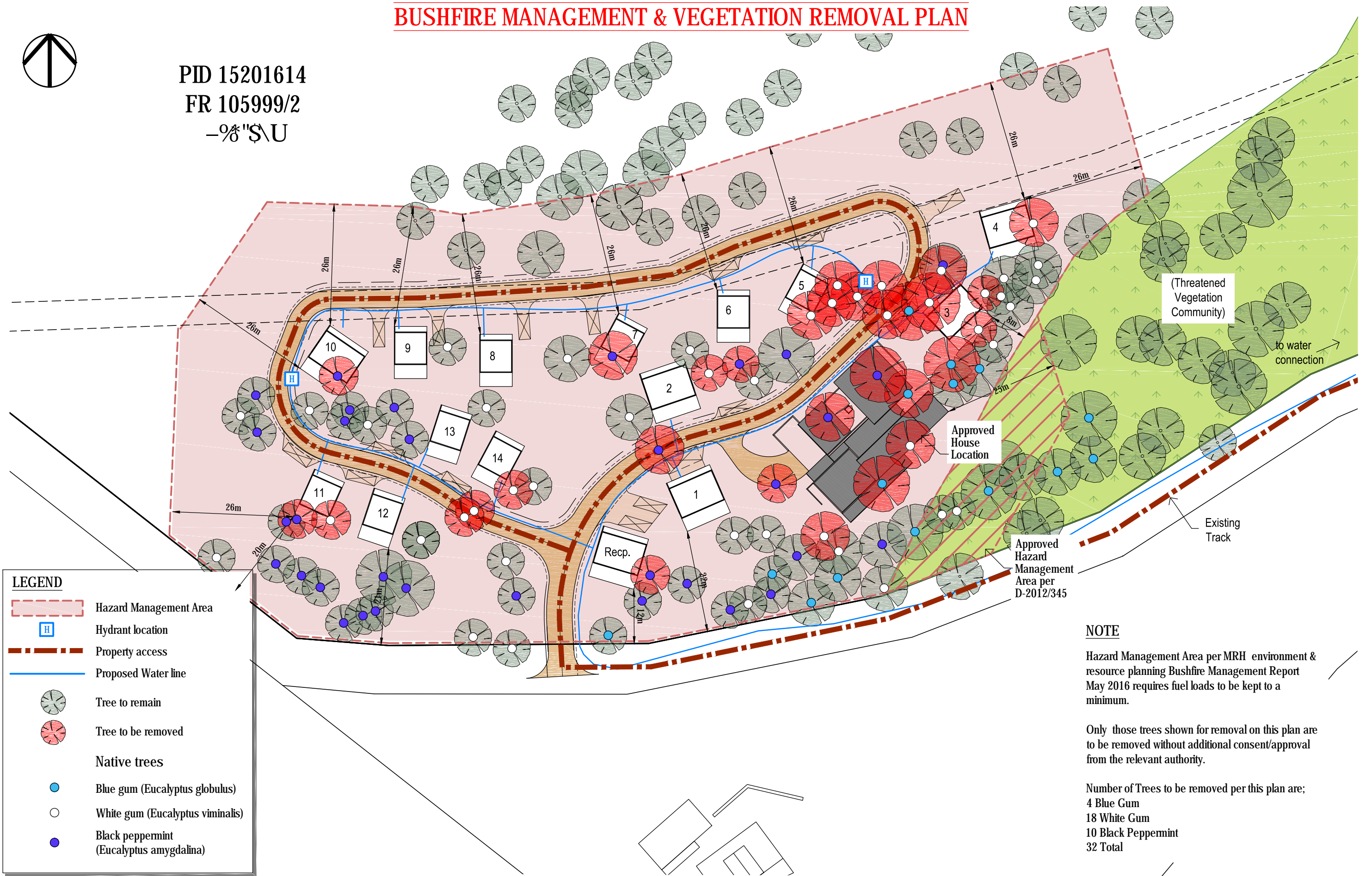
Shop 4, 16 Main Road  
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SCALE	PAPER
1 : 500	(A1)
JOB NUMBER	DRAWING
S724U - 17	

# BUSHFIRE MANAGEMENT & VEGETATION REMOVAL PLAN



PID 15201614  
FR 105999/2  
-0% "S\U



## LEGEND

- Hazard Management Area
- H Hydrant location
- Property access
- Proposed Water line
- Tree to remain
- Tree to be removed
- Native trees**
- Blue gum (Eucalyptus globulus)
- White gum (Eucalyptus viminalis)
- Black peppermint (Eucalyptus amygdalina)

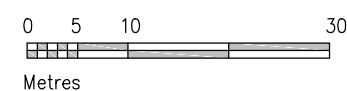
## NOTE

Hazard Management Area per MRH environment & resource planning Bushfire Management Report May 2016 requires fuel loads to be kept to a minimum.

Only those trees shown for removal on this plan are to be removed without additional consent/approval from the relevant authority.

Number of Trees to be removed per this plan are;  
4 Blue Gum  
18 White Gum  
10 Black Peppermint  
32 Total

D				
C				
B				
A				
REV	AMENDMENTS	DRAWN	DATE	APPR.



SURVEYOR	HAC	GEOCIVIL	-
DRAWN	MK	CHECKED	HAC
DATE	5 MAY 2017		

PROPOSED MULTIPLE CABIN DEVELOPMENT  
78 GEILSTON BAY ROAD, HOBART TASMANIA  
for RESSEN



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EMAIL: pda.hbt@pda.com.au

SCALE	PAPER
1: 750	(A3)
JOB NUMBER	DRAWING
S724U	- 19



PROPOSED CABIN HOUSE

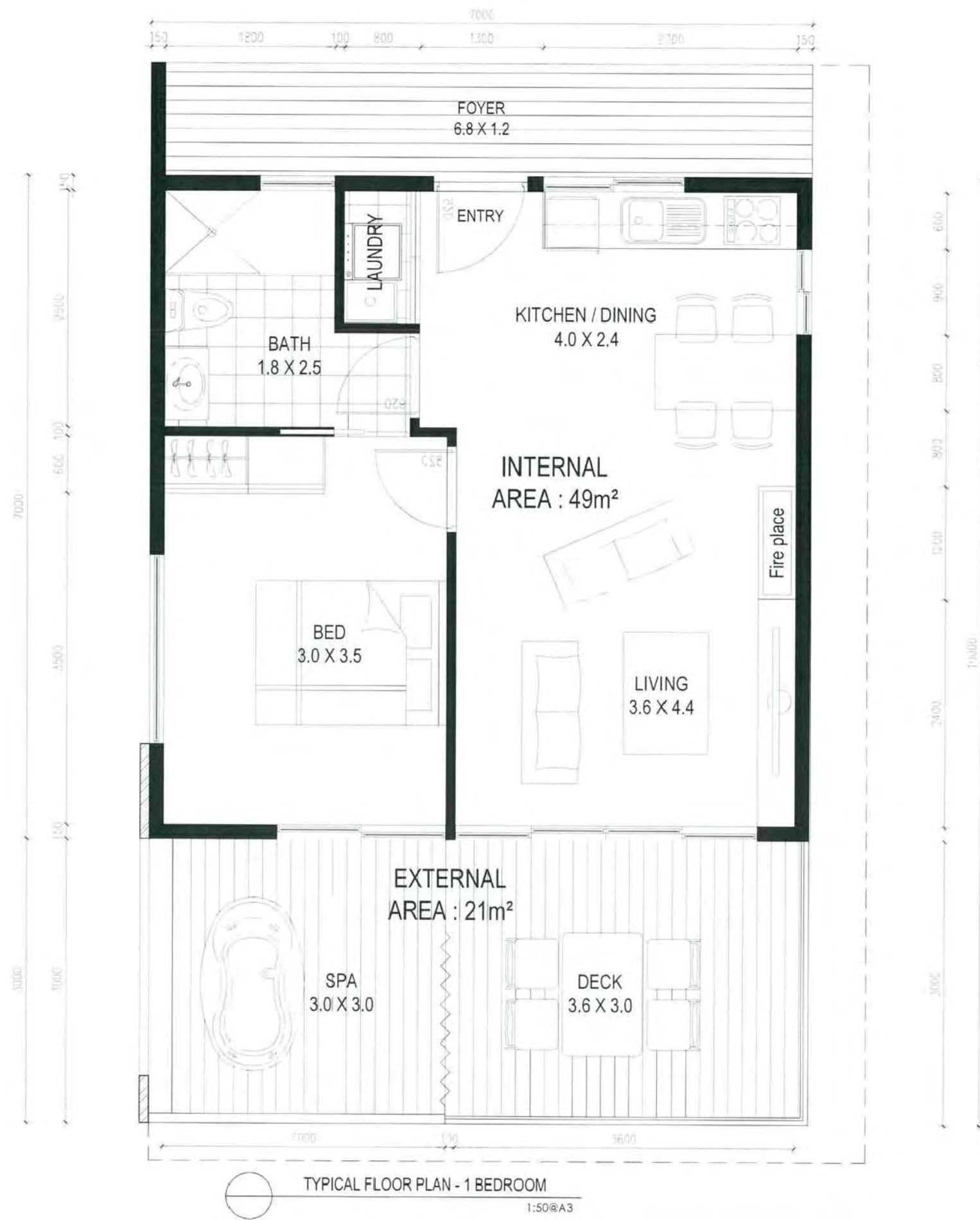
78 GEILSTON BAY ROAD,  
HOBART TASMANIA

DRAWING LIST

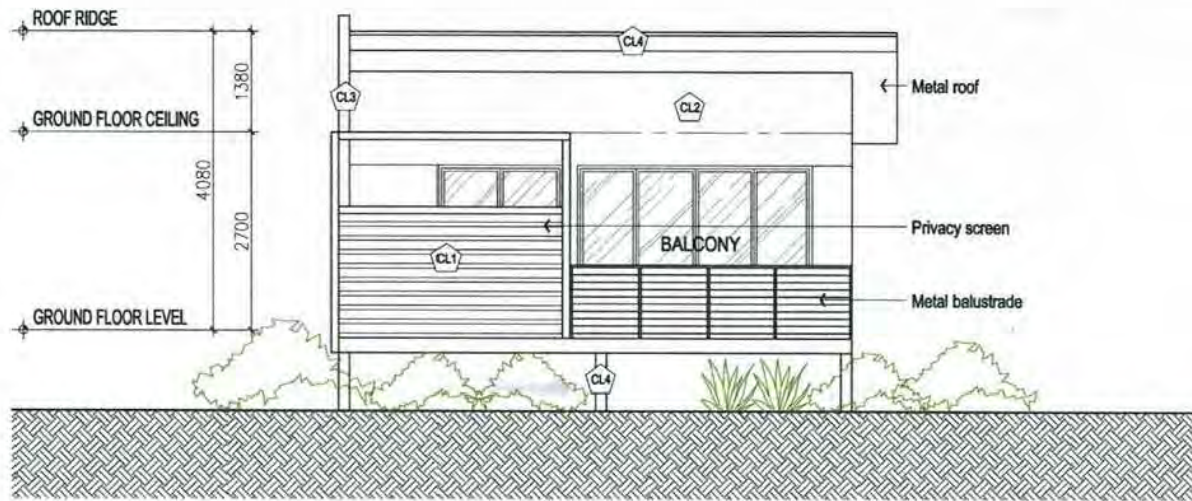
B_01	1 BED TYPE - TYPICAL FLOOR PLAN
C_01	1 BED TYPE - ELEVATIONS
B_02	2 BED TYPE - TYPICAL FLOOR PLAN
C_02	2 BED TYPE - ELEVATIONS

NOTE

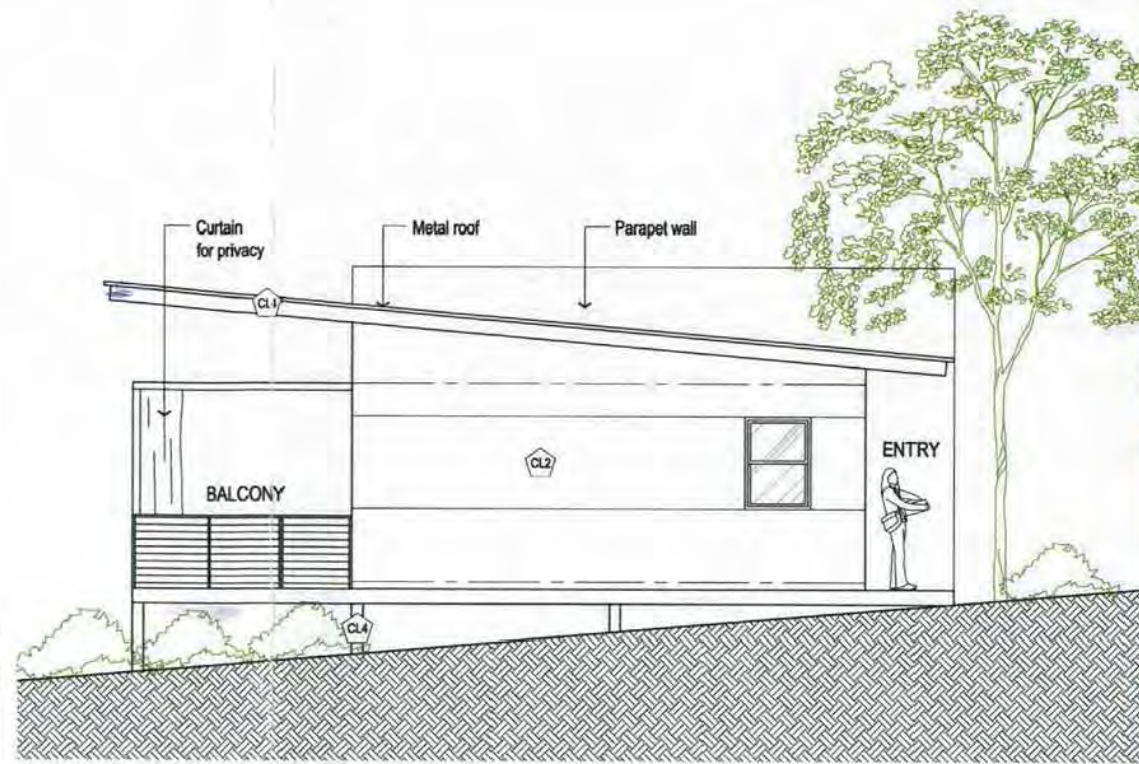
1. Scope of works noted in this drawing.
2. All drawings to be read in conjunction with service consultants drawings and specifications.
3. All building works shall comply with the local authority regulations and all relevant standards.
4. Do not scale from drawing, any discrepancies in the drawings shall be referred to the designer.
5. All dimensions, including setout dimensions shall be verified on site prior fabrication / construction.
6. All new glazing must comply with as 1288-2006.
7. Refer to fire safety schedule for all fire extinguisher, fire blanket and other fire fighting equipment & locations.
8. All fire hazard properties of wall, floor and ceiling linings and air conditioning duc work shall be of non-combustible material.
9. All door hardware and exits doors in path of travel shall be operable in accordance with the building code.
10. Waterproofing method to comply with the building code and australian standards.
11. All new works shall have a minimum fire resistance level as per BCA.
12. For hydraulic / fire / electrical / air condition services refer to respective service's provider's detail.
13. Staircase to comply with building code.







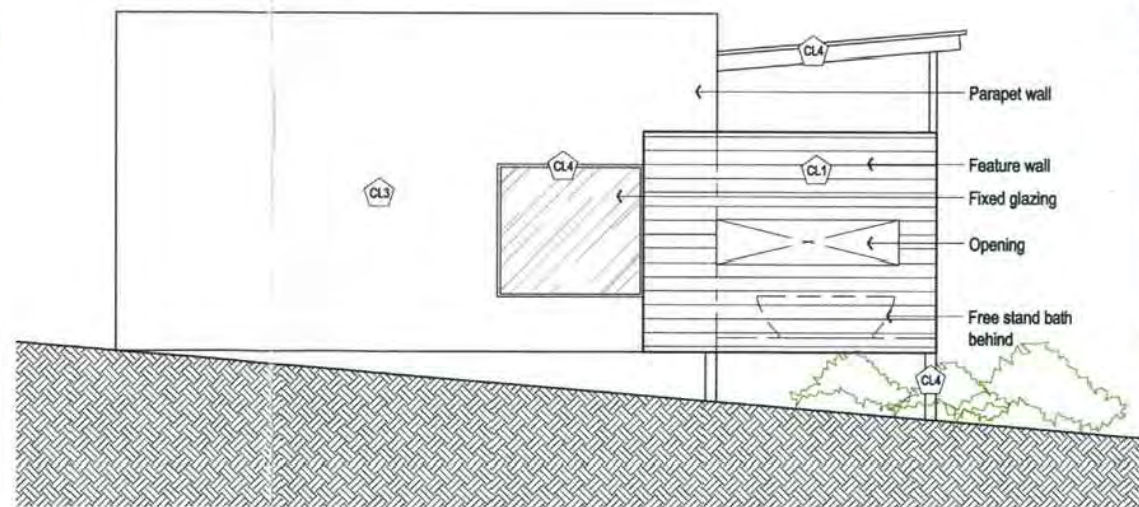
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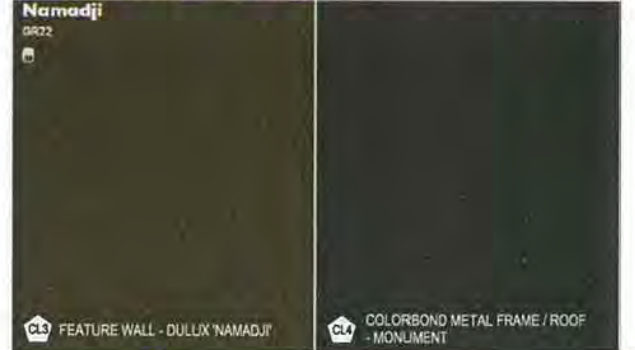
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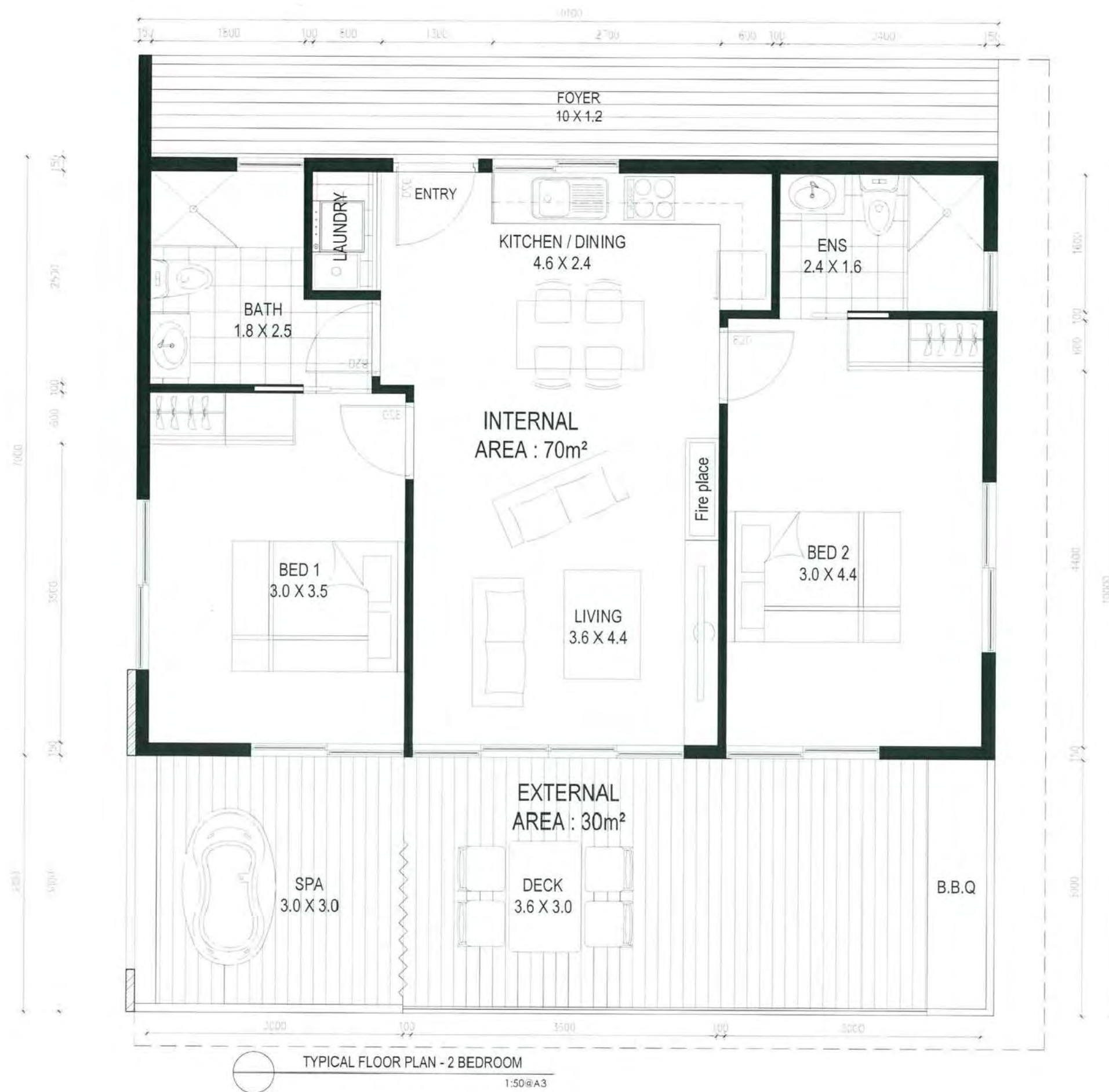
natural concrete color.

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G 180  
B 178

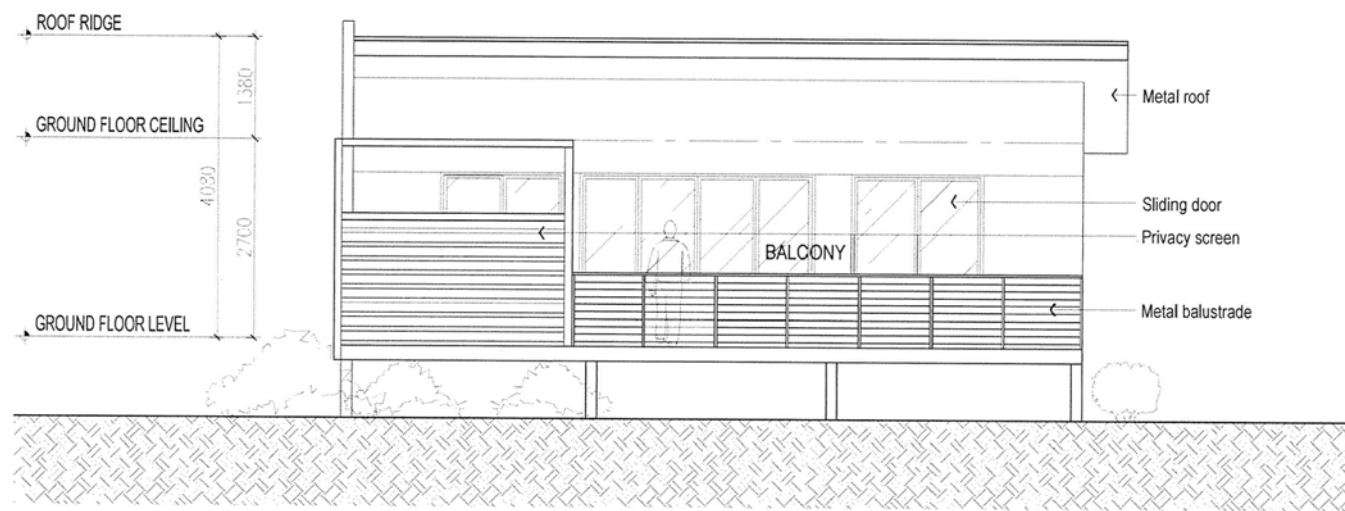
R 67  
G 63  
B 59

<p><b>CUBICSTUDIO</b> ARCHITECT &amp; INTERIOR DESIGN Suite C4, Level 2 Sydney Market Plaza 250-318 Parramatta Road, Homebush West T: (02) 9008 2217 E: Jim@cubicstudio.com.au</p>	<p>General Note:</p> <ol style="list-style-type: none"> <li>Do not scale from the drawings. Use figured dimensions only.</li> <li>Verify all dimensions on site.</li> <li>Existing service locations to be confirmed on site.</li> <li>All landscape details to be referred to landscape plans.</li> <li>All rights reserved. This work is copyright and cannot be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopying) without the written permission of Cubicstudio.</li> <li>Any license, express or implied to use this document for any purpose whatsoever is restricted to the terms of the agreement or implied agreement between Cubicstudio and instructing party.</li> </ol>	<table border="1"> <thead> <tr> <th>Rev</th> <th>Date</th> <th>Amendment</th> </tr> </thead> <tbody> <tr> <td>-</td> <td>15 Feb 2016</td> <td>Typical floor layout</td> </tr> <tr> <td>-</td> <td>18 Apr 2016</td> <td>Colour Scheme</td> </tr> </tbody> </table>	Rev	Date	Amendment	-	15 Feb 2016	Typical floor layout	-	18 Apr 2016	Colour Scheme	<p>Scale: 1:100 Size: A3 North Point:</p>	<p>Project Address: <b>78 Geilston Bay Road, HOBART, TASMANIA</b></p> <p>Client Name: <b>RESSEN</b> Project No: <b>2016-171</b></p>	<p>Drawing Title: <b>ELEVATIONS</b></p> <table border="1"> <thead> <tr> <th>Drawn By:</th> <th>Checked By:</th> <th>Date:</th> <th>Drawing No.</th> </tr> </thead> <tbody> <tr> <td><b>B.Lee</b></td> <td><b>Jimmy Jeong</b></td> <td><b>18.04.2016</b></td> <td><b>C-01</b></td> </tr> </tbody> </table>	Drawn By:	Checked By:	Date:	Drawing No.	<b>B.Lee</b>	<b>Jimmy Jeong</b>	<b>18.04.2016</b>	<b>C-01</b>
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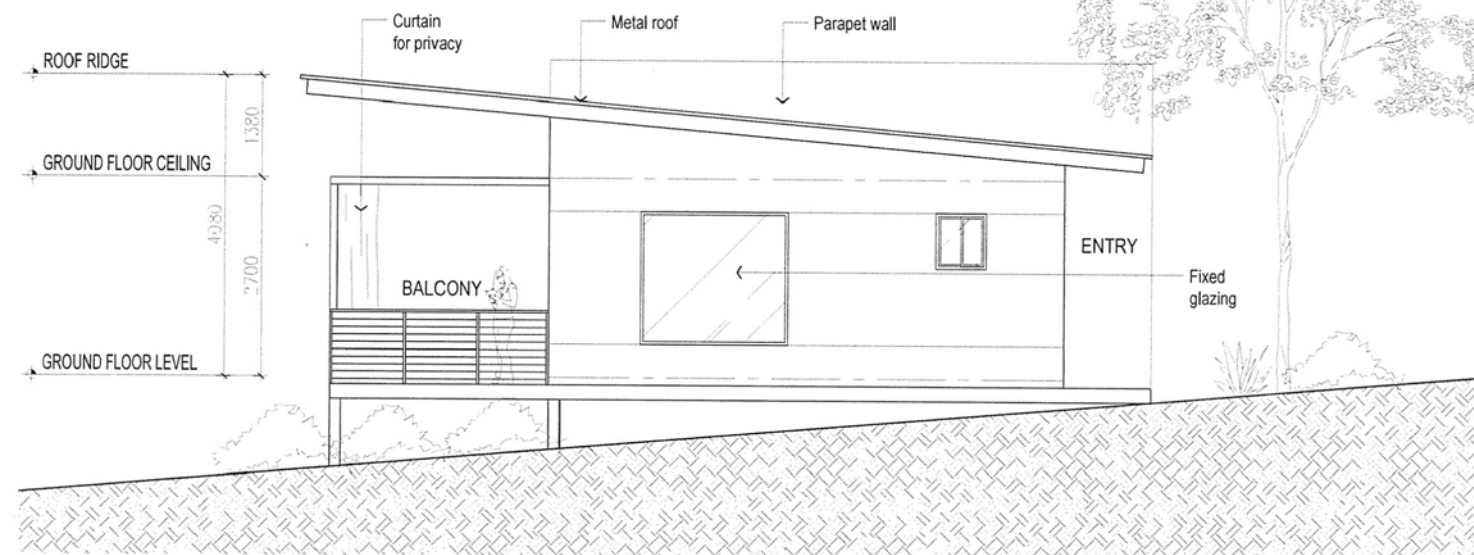




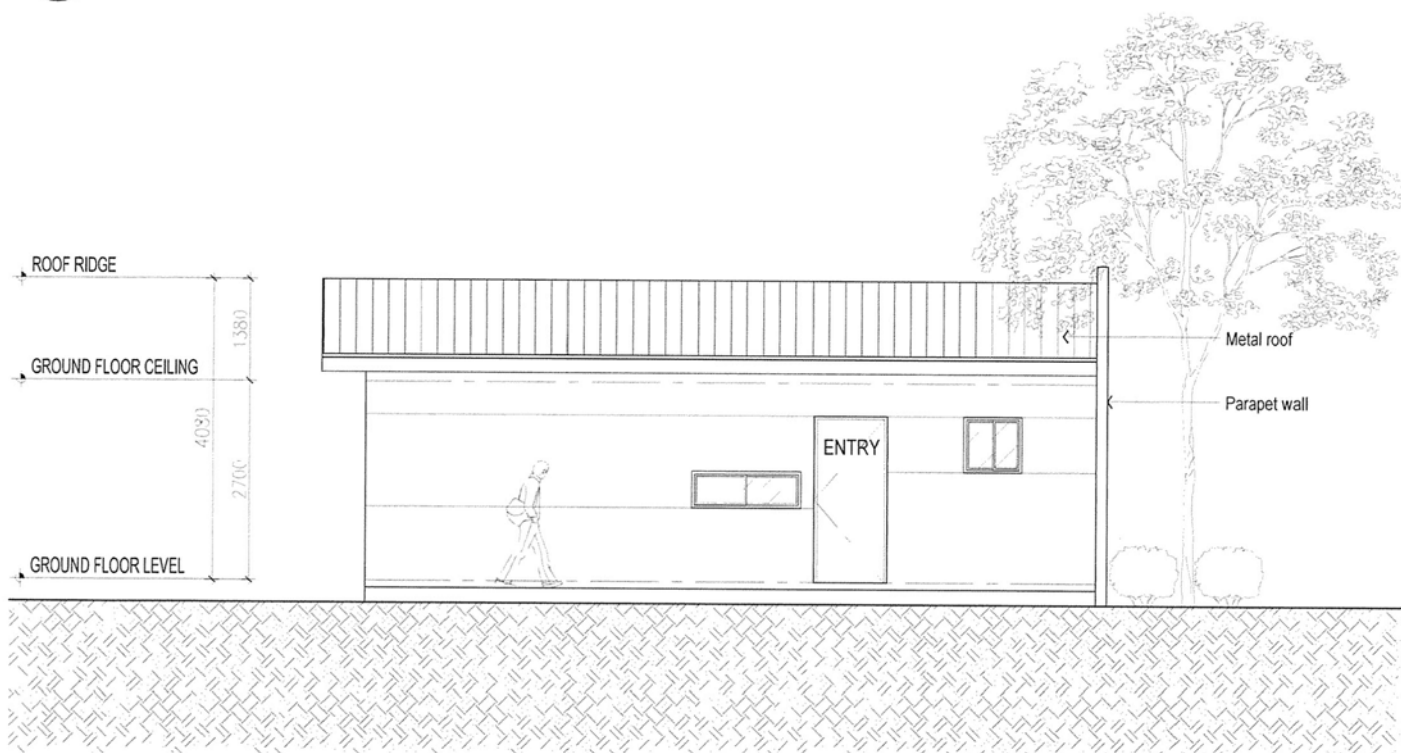




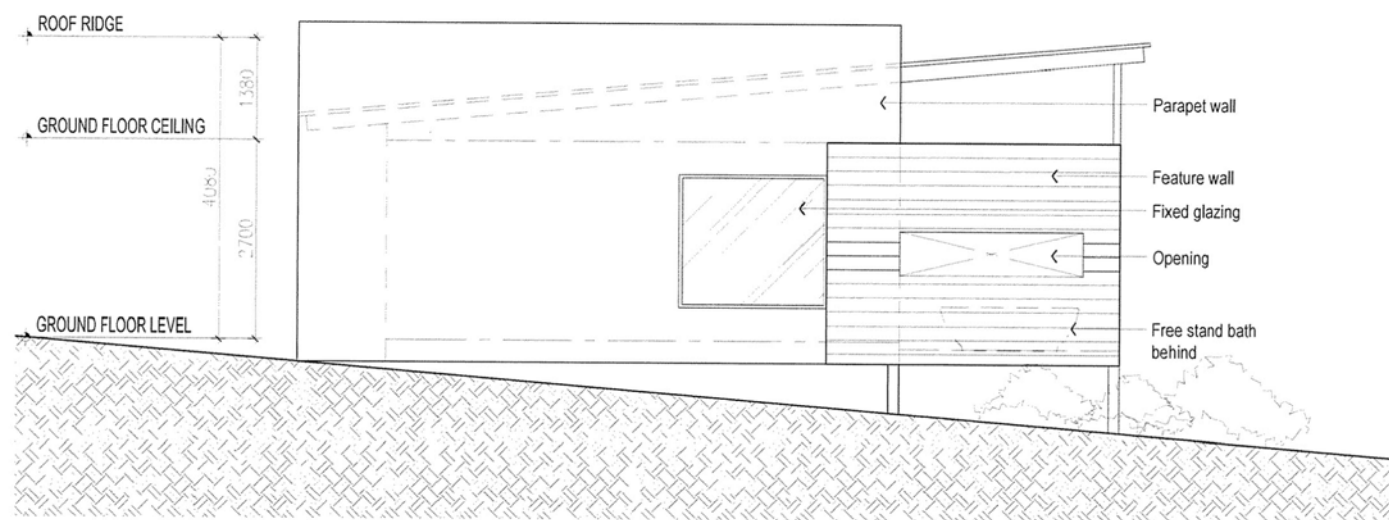
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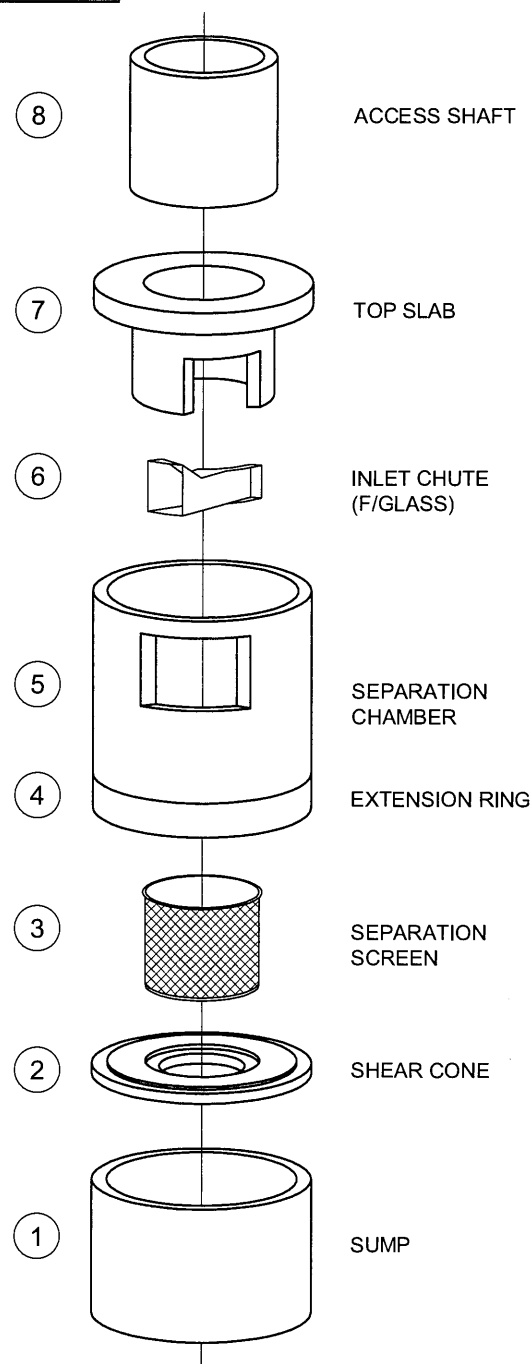


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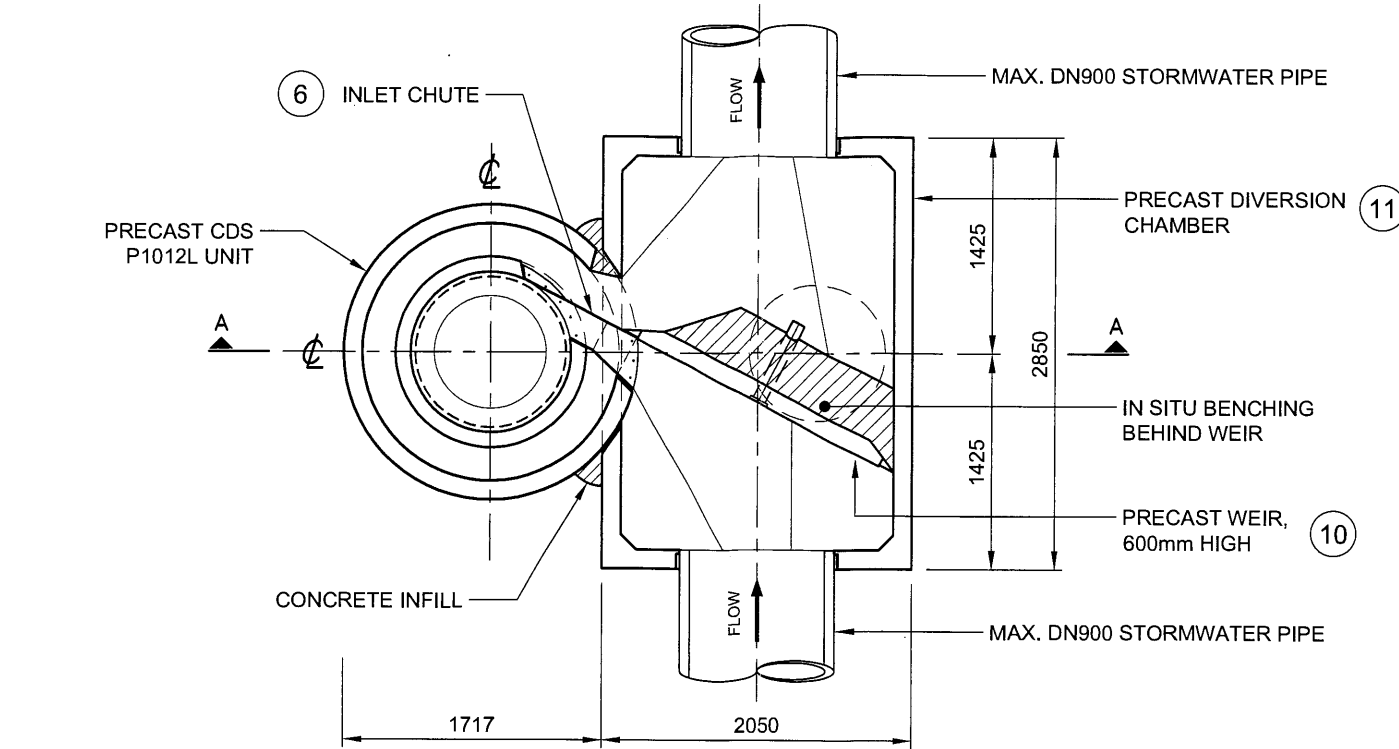
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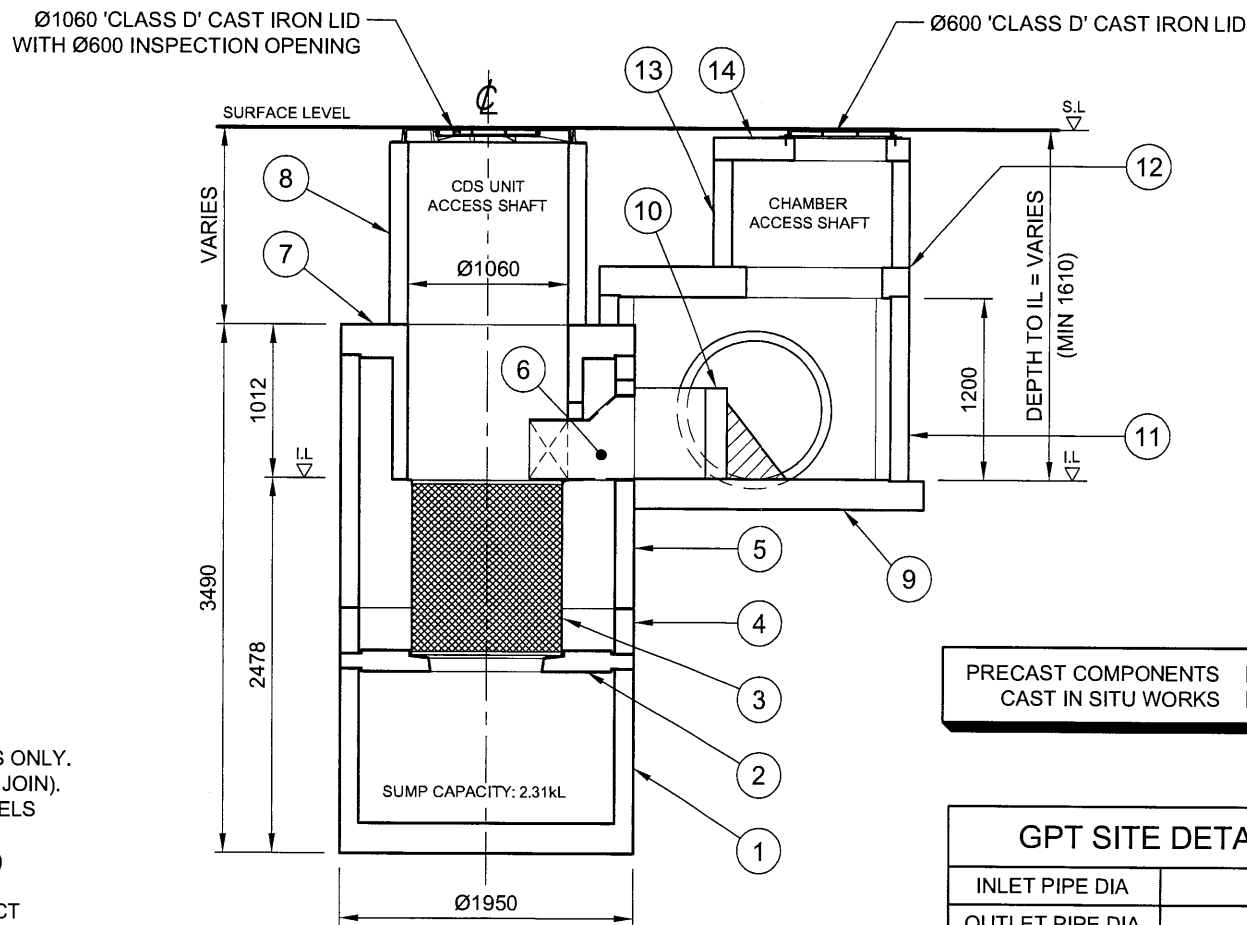
CDS UNIT ASSEMBLY

NOTES:

1. DIMENSIONS SHOWN ARE FOR CONCRETE COMPONENTS ONLY. SEALANTS BETWEEN COMPONENTS (APPROX 10mm PER JOIN).
2. PRECAST RISER SHAFTS MAY NOT MATCH SURFACE LEVELS AND CAST INSITU FINISHING MAY BE REQUIRED.
3. INSITU CONCRETE DESIGN BY CLIENT, U.N.O (40mpa MIN.)
4. ALL LEVELS TO BE CONFIRMED PRIOR TO INSTALLATION.
5. GPT SHALL BE INSTALLED IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND/OR AS.3725-2007, AND ROCLA PRODUCT INSTALLATION GUIDES.



HORIZONTAL LAYOUT

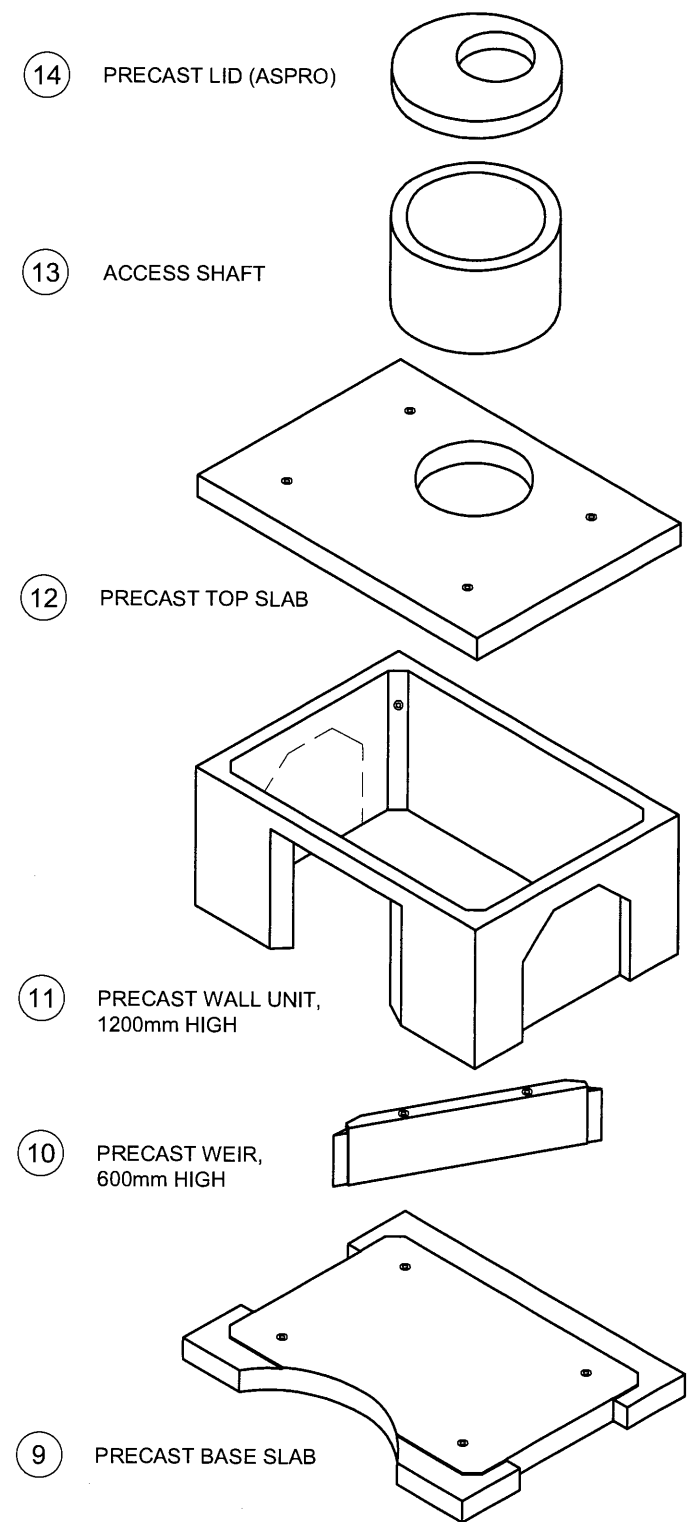


VERTICAL SECTION A

PRECAST COMPONENTS  
CAST IN SITU WORKS

GPT SITE DETAILS

INLET PIPE DIA	
OUTLET PIPE DIA	
D.T.I (OUTLET)	



DIVERSION CHAMBER ASSEMBLY

DRAWING APPROVAL		
I/WE HAVE REVIEWED ALL DRAWINGS AND ARE SATISFIED THAT ALL INFORMATION SHOWN IS CORRECT		
NAME OF PERSON AUTHORISED BY CUSTOMER	SIGNATURE	DATE

E					
D					
C					
B	DRC	DRC	SDB	ISSUED FOR INFORMATION	15.06.09
A	SB	LH	PW	ISSUED FOR INFORMATION	28.06.07
RV	DRN	CKD	APR	DESCRIPTION	DATE

CONFIDENTIAL  
(NOT TO BE DISCLOSED TO ANY OTHER PERSON WITHOUT PERMISSION FROM ROCLA PTY LIMITED. UNAUTHORISED DISCLOSURE MAY RESULT IN PROSECUTION)

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ROCLA CDS  
P1012L GPT  
1800W x 1200H CHAMBER  
GENERAL ARRANGEMENT

RWQ No.	SALES
JOB No.	
SHEET	1 OF 1
SCALE	DO NOT SCALE
D	205348

**78 Geilston Bay Road, Geilston Bay**



***Photo 1: The center of the development site looking north-west.***



**Kylie Waldron**

**To:** Kylie Waldron  
**Subject:** PCAB comments D-2016/284 - 78 Geilston Bay Road, Geilston Bay Visitor Accommodation

**From:** Lond-Caulk, Clare (DPIPWE) [mailto:Clare.Lond-Caulk@dpipwe.tas.gov.au]  
**Sent:** Wednesday, 12 July 2017 11:46 AM  
**To:** Kylie Waldron  
**Cc:** Barlow, Holly (DPIPWE)  
**Subject:** PCAB comments D-2016/284 - 78 Geilston Bay Road, Geilston Bay Visitor Accommodation

Att: Bruce Gibbs

Thank you for the request for advice dated 26 June 2017 and the opportunity to provide feedback on the above proposal. The Policy and Conservation Advice Branch (PCAB) has assessed the information provided including the Development Application and the Flora and Fauna Habitat Assessment and has the following comments.

**Threatened Flora**

The flora and fauna survey recorded two flora species listed as threatened under the *Threatened Species Protection Act 1995* (TSPA); tall wallaby grass (*Rytidosperma indutum*) and Risdon peppermint (*Eucalyptus risdonii*). PCAB supports the exclusion of all the Risdon peppermint trees on the property from the proposed development zone.

The building plans indicate that there is tall wallaby grass located within the building footprint which will be impacted by the works. PCAB advises that a permit will be required to take tall wallaby grass for the development. It should be noted that the processing of permit applications may take up to 4 weeks. Information on applying for a permit, including application forms, can be found on the DPIPWE website at:

<http://dpipwe.tas.gov.au/conservation/development-planning-conservation-assessment/survey-guidelines-for-development-assessments>

**Threatened Fauna**

The property is near to the Meehan Range, core habitat for the swift parrot (*Lathamus discolor*), listed as endangered under the TSPA and critically endangered under the *Environment Protection and Biodiversity Conservation Act 1999* (EPBCA). In addition there is a blue gum (*Eucalyptus globulus*) community on the property which is potential swift parrot nesting and/or foraging habitat. Any tree in this area, which is 70 cm diameter-at-breast-height (d.b.h.) or above, has the capacity to bear hollows large enough to provide nest habitat for a swift parrot. Any nesting habitat within 10km of foraging habitat may be used for breeding.

The development proposal includes the removal of four blue gum (*Eucalyptus globulus*) trees from the building footprint and also indicates a number of blue gum trees will remain in and around the building footprint which may attract swift parrots. PCAB recommends that clearing of this vegetation type should be avoided during swift parrot breeding season (September to January) if the species is breeding in the area. Information on breeding locations is made available each year on the Threatened Species Link (<http://www.threatenedspecieslink.tas.gov.au/>). The final version of this information tends to arrive around mid-October.

As the presence of blue gums on the property substantially raises the collision risk for swift parrots, PCAB recommends the proponent incorporates design measures into the building design to reduce the potential for bird strike. For general information and advice on building structures which minimise risk of collisions (e.g. wire-mesh fences or windows) - see [Guidelines and recommendations for parrot-safe building design](#). For comprehensive advice on avoiding collisions with glass - see [An end to birds dying at windows](#).

**Threatened Native Vegetation**



Part of the property is mapped as *Eucalyptus risdonii* forest and woodland (DRI) and *Eucalyptus globulus* dry forest and woodland (DGL) which are listed threatened native vegetation communities under the *Nature Conservation Act 2002*. Threatened native vegetation communities can be cleared with Council approval, however consideration should be given to the extent of the community in the area and the overall impact each clearance will have before permitting clearance. PCAB is satisfied that the impact to the threatened native vegetation communities from the proposed works will be minimal.

If you have any questions please contact Holly Barlow (tel: 6165 4306)

Regards

Clare Lond-Caulk

A/Section Head - Conservation Assessment Section

Policy and Conservation Advice Branch (PCAB), DPIPW

Tel: (03) 616 54416, Email: [Clare.Lond-Caulk@dpiw.tas.gov.au](mailto:Clare.Lond-Caulk@dpiw.tas.gov.au)

**11.4 CUSTOMER SERVICE****11.4.1 COMMUNITY SUPPORT GRANTS**

(File No 09-17-05A)

**EXECUTIVE SUMMARY****PURPOSE**

To consider the Community Grants Assessment Panel's recommendations for the allocation of financial assistance in respect of the September 2017 round of Community Support Grants.

**RELATION TO EXISTING POLICY/PLANS**

- Community Grants Policy; and
- Social Plans including Youth Plan; Cultural Arts Plan; Positive Ageing Plan; Access Plan; Health and Wellbeing Plan; Cultural History Plan; Community Participation Policy; Clarence Events Plan and Community Safety Plan.

**LEGISLATIVE REQUIREMENTS**

Nil.

**CONSULTATION**

Nil.

**FINANCIAL IMPLICATIONS**

There is an annual budget for the Community Grants Program including the bi-annual Community Support Grants.

**RECOMMENDATION:**

That Council approves financial grants to community groups and organisations, as detailed in the schedule attached to the Associated Report, amounting to \$18,490.

---

**ASSOCIATED REPORT****1. BACKGROUND**

- 1.1.** A funding round for bi-annual Community Support Grants closed on 15 September 2017 and 20 applications were received (refer to attachment for more detail).
- 1.2.** The Community Grants Assessment Panel reviewed all applications and has recommended 14 projects be full funded and partially funded for varying amounts.

## **2. REPORT IN DETAIL**

- 2.1.** The Community Support Grants program was advertised in Council's Rates News and the Eastern Shore Sun and on Council's website. An email was sent to all non-profit groups listed in the Community Directory.
- 2.2.** Applications for this round of the Community Support Grants closed on 15 March 2017 and a total of 20 applications were received for funding totalling \$28,911. Of those, 10 applications were recommended for full funding, 4 applications for partial funding and 6 were not supported. This amounts to funding of \$18,490 and within the budget allocated.
- 2.3.** Fourteen of the applications received have been recommended to Council for approval.
- 2.4.** Ten applications were recommended for full funding:
- **Lindisfarne RSL Sub Branch** – Life Support/Defibrillator Training (\$1,500). The funds requested to be used for St Johns Ambulance Service to conduct a training course.
  - **Risdon Vale Neighbourhood Centre** – Volunteers First-Aid Training (\$1,500). The funds requested will be used for First Aid Tasmania to conduct a training course.
  - **Dragons Abreast** – Safety on the Water (\$1,495). The funds requested will be put towards the purchase of buoyancy vests and marine radios.
  - **Lions Club of Clarence Inc.** – AV Installation at Howrah Community Centre (\$1,500). The funds requested will be used to purchase a projector and equipment installation.
  - **Lindisfarne Cricket Club** – Girls Cricket Growth and Promotion (\$1,000). The funds requested will be put towards the purchase of new equipment.

- **Eastern Shore Croquet Club** – Purchase 2 sets of “Quadway” Hoops and Dibber (\$1,150). The funds requested will be put towards the purchase of the “Quadway” hoops and Dibber. This application is recommended on the condition that the club is successful in receiving additional funding as stated in their budget submitted.
- **Bellerive Historical Society** – Tourism Brochure for Bellerive (\$1,500). The funding requested will be put towards the brochure printing costs. This application is recommended on the condition that the brochure is professionally designed and Council’s History Officer verifies the information on the proof prior to final printing.
- **The Rotary Club of Howrah** – Buddy Benches for 5 Eastern Shore Primary Schools (\$1,500). The funds requested will be put towards the purchase of the supplies needed to construct the benches.
- **Richmond Fellowship Tasmania Rokeby** – Community Garden Upgrade for Wellbeing (\$1,500). The funds requested will be put towards the purchase of gardening equipment and materials.
- **Iron Plot Community Garden** – Iron Plot Community Garden Pizza Oven (\$1,500). The funds requested will be put towards the purchase of the pizza oven.

**2.5.** Four applications were recommended for partial funding:

- **Clarence Sea Scouts** – Life Jackets for Life Skills  
The Clarence Sea Scouts requested \$1,500 to purchase life jackets. There was no contribution towards the project from the Sea Scouts on their budget submitted. The Grants Assessment Panel agreed to recommend partial funding of \$1,200 toward the project.
- **Cambridge Volunteer Fire Brigade** – UHF Radios  
The Cambridge Volunteer Fire Brigade requested \$1,500 to purchase UHF radios. The grant assessment panel discussed and agreed to the benefit of having the radios but did not see it as a higher priority against the other applicants. The panel agreed to make a recommendation to contribute part funding towards the purchase of \$1,200.00.

- **Lindisfarne Anglican Church** – Playgroup

The Lindisfarne Anglican Church requested \$1,500 to purchase toys and equipment to set up the Playgroup. The grants assessment panel considered the funds requested excessive and have recommended to part contribution towards the project for \$750.

- **Lauderdale Volunteer Fire Brigade** – UHF Radio Communications Project

The Lauderdale Volunteer Fire Brigade requested \$1,494 to purchase UHF radios. The grant assessment panel discussed and agreed to the benefit of having the radios but did not see it as a higher priority against the other applicants. The panel agreed to make a recommendation to contribute part funding towards the purchase of \$1,200.00.

**2.6.** Six applications were not supported:

- **Motor Yacht Club of Tasmania** – Defibrillator Purchase for ML Egeria

The Motor Yacht Club of Tasmania requested \$1,500 to put toward the purchase of a defibrillator for the launch ML Egeria. While supportive of the need for defibrillators to be available throughout the community the grant assessment panel felt that as the ML Egeria is still used in its traditional role as the Governor's Launch, this purchase should not be within the realm of Council to fund. The charters are not exclusive to Clarence residents therefore the panel could not determine the benefit to the Clarence community.

- **Beltana Bowls Club** – Re-development of Communal Gardens

The Beltana Bowls Club requested \$1,267 to purchase garden supplies to upgrade the surrounding gardens at the club. Whilst the panel was supportive of club members volunteering time to enhance the entrance area, there were questions raised about the lease area and what gardens were earmarked. As Council is currently undertaking consultations for the Anzac Park Masterplan the panel agreed that this project should be deferred for consideration until the outcomes of the Masterplan are determined.

- **Multiple Sclerosis Ltd** – Eastern Shore MS Peer Support Wellness Program  
Multiple Sclerosis Ltd requested \$1,500 to be used to commission professionally qualified presenters to speak and work with participants. While the project meets the criteria and the grants assessment panel could see the benefits of this program, it is very similar to Council's Live Well Live Long program sessions held at the Integrated Care Centre. The Community Planning and Development Officer offered to work with the MS Society to develop a similar program outside of the Community Support Grant program.
- **Sandford Scout Group** – Equipment Trailer Upgrade  
The Sandford Scout Group requested \$1,500 to fabricate or purchase items to improve the use of the scout owned trailer. The grant assessment panel considered this project a low priority against the other applicants as it could see no benefit to the wider community, the only benefit being for the scout group.
- **The Shepherd Centre for Deaf Children** – Therapy on the Go  
The Shepherd Centre for Deaf Children requested \$1,500 to provide to provide Auditory Verbal Therapy sessions @ \$250 per child and Speech and Language Assessments @ \$175 per child. While being supportive of the benefits of the program, the Grants Assessment Panel questioned supporting this application as it considered that funding this program would be supplementing their core business, which is not the domain of Local Government. The Shepherd Centre is a registered NDIS provider and the panel questioned whether this program should be funded through this Federal Government scheme.
- **Clarendon Vale Neighbourhood Centre Inc.** – Living Out Loud  
The Clarendon Vale Neighbourhood Centre requested \$1,500 to pay for the project excursions, catering and professional assistance. Although the proposal does meet the criteria the Grant Assessment Panel agreed that the proposal was somewhat vague and still being developed and therefore not supportive of recommending funding the project at this early stage of its development.

**3. CONSULTATION**

**3.1. Community Consultation**

Nil.

**3.2. State/Local Government Protocol**

Nil.

**3.3. Other**

Nil.

**4. STRATEGIC PLAN/POLICY IMPLICATIONS**

**4.1.** The Community Support Grants aim to support groups for amounts of up to \$1,500 for one-off activities or projects that benefit the Clarence Community.

**4.2.** The Grants Program is a strategic investment tool, assisting the community to meet and respond to Council's priorities and vision as outlined in the Strategic Plan 2016-2026. It enables Council to contribute to the community by:

- supporting local communities to build on existing capacity and progress their health and well-being;
- supporting local communities to sustainably manage and enhance the natural and built environments of the City;
- supporting local communities to work together for a vibrant, prosperous and sustainable city; and
- encouraging engagement and participation in the community.

**4.3.** It operates in the context of other related Council Policies, Plans and activities, for example: Youth Plan; Cultural Arts Plan; Positive Ageing Plan; Cultural History Plan; Access Plan; Health and Wellbeing Plan; Community Participation Policy; Clarence Events Plan and Community Safety Plan.



**5. EXTERNAL IMPACTS**

Nil.

**6. RISK AND LEGAL IMPLICATIONS**

Nil.

**7. FINANCIAL IMPLICATIONS**

**7.1.** The Community Support Grant is a bi-annual grant and a budget of \$35,000 has been approved for the 2017/18 financial year for distribution in the September 2017 and March 2018 rounds. The total amount recommended by the panel for this round is \$18,490.

**7.2.** The September rounds of Community Support Grants generally attracts more applications than the March rounds and the panel believe they have recommended an equitable distribution of funding against the criteria.

**8. ANY OTHER UNIQUE ISSUES**

Nil.

**9. CONCLUSION**

The Community Grants Panel has assessed 20 applications and 14 are recommended to Council for approval for the amounts indicated in the attached schedule.

Attachments: 1. Community Support Grants September 2017 Schedule (9)

Andrew Paul  
**GENERAL MANAGER**

## Community Support Grants – September 2017

### Applications Supported For Consideration

**Applicant:** Lindisfarne RSL Sub-Branch

**Project:** Life Support/ Defibrillator Training

**Funds Requested:** \$1,500.00

**Project Description:** The RSL Branch has recently purchased a defibrillator. Lindisfarne RSL has a number of public activities that their members and the general public attend. Most of the participants are older members of the local Eastern Shore community. With the purchase of the defibrillator, it has become obvious that professional instruction in its operation is required. In addition life support training (CPR) is to be included within the course. The funds requested will be used for St Johns Ambulance Service to conduct the training course.

**Comments:** Meets the criteria. Aligns with Council's Health and Wellbeing Plan. This application is supported by the Grants Assessment Panel as there is a social benefit for the community.

**Recommendation:** The application is supported for the amount of \$1,500.00.

**Applicant:** Risdon Vale Neighbourhood Centre

**Project:** Volunteers First-Aid Training

**Funds Requested:** \$1,500.00

**Project Description:** The Risdon Vale Neighbourhood Centre would like to offer 10 volunteers an opportunity to learn workplace first aid skills. The Centre has up to 71 registered volunteers in any year with a core group of approximately 34 who volunteer daily/weekly. The Centre supports the provision of training opportunities to enhance the skills of the volunteers so they may build on their skills base and hopefully move on to further education, training and employment. The funds requested will be used for First Aid Training Tasmania to conduct the training course

**Comments:** Meets the criteria and aligns with Council's Health and Wellbeing Plan. This application supported by the Grants Assessment Panel as there is a benefit for the Risdon Vale community.

**Recommendation:** This application is supported for the amount of \$1,500.00.

**Applicant:** Dragons Abreast Hobart Tasmania

**Project:** Safety on the Water

**Funds Requested:** \$1,495.00

**Project Description:** The aim of this project is to:

1. Ensure that those in post-operative stages of breast cancer and their support people are provided with adequate safety equipment to ensure they are safe whilst experiencing an active lifestyle on the water. In addition to the current support processes the club needs to equip them with personal floatation vests.
2. To purchase 2 marine VHF radios to be kept on each boat in case of emergency as recommended by Marine and Safety Tasmania.
3. To purchase a Sweep's buoyancy vest which is a particular style of vest. The Sweep is the person who has overall control of the boat and ensures the safety of paddler whilst on the water.

The funds requested will be used to purchase 1 x Sweeps jacket, 2 x marine VHF radios and 8 x buoyancy vests.

**Comments:** Meets the criteria and aligns with Council's Health & Wellbeing Plan and Access Plan. This application is supported by the Grants Assessment Panel.

**Recommendation:** This application is supported for the amount of \$1,495.00.

**Applicant:** Lions Club of Clarence Inc.

**Project:** AV Installation at Howrah Community Centre

**Funds Requested:** \$1,500.00

**Project Description:** The Lions Club of Clarence would like to install an overhead projector with associated sound speakers and screen in the Sunshine Room at the Howrah Community Centre. This will provide an audio visual facility for presentations at club meetings and be available to other room users. Such a facility would enhance the Howrah Community Centre by being able to offer its use to other potential users. The funds requested will be used to purchase a projector and equipment will be installed by qualified tradesmen.

**Comments:** Meets the criteria. Aligns with the Council's Health & Wellbeing Plan and Positive Ageing Plan. This application is supported by the Grant Assessment Panel.

**Recommendation:** This application is supported for the amount of \$1,500.00.

**Applicant:** Clarence Sea Scouts

**Project:** Life Jackets for Life Skills

**Funds Requested:** \$1,500.00

**Project Description:** Clarence Sea Scouts due to rapidly increasing numbers (currently 72) urgently require the purchase of life jackets in various sizes before the upcoming water season. These are to be used across all age groups (joey scouts, cubs and scouts) for sailing and kayaking activities. A recent audit indicated the scout group own 20 life jackets less than 5 years old and not enough in the smaller size range. The funds requested are to be used to purchase 30 life jackets to build to capacity to cater for young people through outdoor fun and adventure.

**Comments:** Meets the criteria. Aligns with Council's Health and Wellbeing Plan. There is no mention of a contribution from the scouts towards the project in the budget submission; therefore this application is only partially supported by the Grants Assessment Panel to the value of \$1,200.00.

**Recommendation:** This application is supported for the partial amount of \$1,200.00.

**Applicant:** Lindisfame Cricket Club

**Project:** Girls Cricket Growth and Promotion

**Funds Requested:** \$1,000.00

**Project Description:** Lindisfarne Cricket Club currently does not have an U14's or U17's Girls team and the club is engaging with schools, Lindisfarne Junior Football Club and Cricket Tasmania to recruit and support an U14 and U17 Girls team. The club's major challenge is having cricket equipment for girls who want to try out the sport without making a large financial outlay. Whilst the club has been able to fund some equipment and other donations, they do not have enough equipment or the right equipment to assist in the development of girl's cricket. By having equipment the girls can train and play with it is more likely they will give cricket a go and stick with the sport. Buying equipment to trial a sport is a large outlay for parents and this is seen as a block to taking up the sport. The funds requested will be used to purchase cricket balls, bats, pads, gloves and helmets.

**Comments:** Meets the criteria. Aligns with Council's Health and Wellbeing Plan and draft Youth Plan. This application supported by the Grants Assessment Panel as it encourages participation of girls in sport.

**Recommendation:** This application is supported for the amount of \$1,000.00.

**Applicant:** Cambridge Volunteer Fire Brigade

**Project:** UHF Radios

**Funds Requested:** \$1,500.00

**Project Description:** The brigade wishes to purchase UHF hand held radios for members to use in emergency situations. The Tasmania Fire Service (TFS) provides Brigades with VHF radios to communicate between fire trucks but UHF radios enable brigade members to communicate with each other. The TFS does not see UHF radios as essential equipment yet they do support and encourage brigades to obtain their own funding source to acquire UHF radios. The current UHF radios are at the end of their useful life and need replacing in preparation for the coming fire season. The funds requested are to put towards the purchase of the UHF radios.

**Comments:** Meets the criteria. The grant assessment panel discussed and agreed to the benefit of having the radios but did not see it as a high priority. The panel agreed to make a recommendation to contribute part funding towards the purchase of \$1,200.00.

**Recommendation:** This application is supported for the partial amount of \$1,200.00.

**Applicant:** Eastern Shore Croquet Club

**Project:** Purchase 2 Sets of 'Quadway' Hoops & Dibber

**Funds Requested:** \$1,150.00

**Project Description:** The Club would like to purchase 2 sets of hoops to equip the 2 lawns. The 'Quadway' hoops are an improved technology and are increasingly used by croquet clubs across Australia and New Zealand. They are approved for use by the World Croquet Federation and this will ensure the club will continue to be able to host major State and National competitions. The dibber is a device that allows for the preparation of the correct size hole in the lawn for accurate setting of the hoops making hoop setting a less physically demanding process. The club wished to provide its members with the best equipment allowing them to compete on an equal basis with croquet players in Australia and believe it is important in attracting new members.

**Comments:** Aligns with Council's Health and Wellbeing Plan and Positive Ageing Plan as it will increase the health and wellbeing and social outcomes of the Clarence community. A quote for the equipment has been provided. This application is supported by the Grant Assessment Panel on the condition that the Club is successful in receiving the additional funding required for the project from Sport & Rec as stated in their budget submitted.

**Recommendation:** This application is conditionally supported for the amount of \$1,150.00.

**Applicant:** Lindisfame Anglican Church

**Project:** Playgroup

**Funds Requested:** \$1,500.00

**Project Description:** The church realise there is a great need to connect parents with young children to each other and to older people. The church hall is a space to host a playgroup that will enable parents to connect and participate. Building social connections through the playgroup will help promote greater mental health and wellbeing amongst parents in the community who may otherwise be isolated. The funds requested will be used to purchase equipment and toys.

**Comments:** Meets the criteria and aligns with Council's Health and Wellbeing Plan. The grants assessment panel considered the funds requested excessive and have recommended to part contribution towards the project for \$750.

**Recommendation:** This application is supported for the partial amount of \$750.00.

**Applicant:** Bellerive Historical Society Inc.

**Project:** Tourism Brochure for Bellerive

**Funds Requested:** \$1,500.00

**Project Description:** The project is to produce a tourism brochure for Bellerive Village designed to give local history, places of interest in the area with background details of the many heritage sites in the area. This brochure will be printed for Bellerive Historical Society (BHS) and supplied to visitors arriving on the ferries and by various stores in the village. The funds requested will be used for the printing costs of the brochures.

**Comments:** Meets the criteria and aligns with Council's Cultural History Plan and Positive Ageing Plan. This application is supported by the Grant Assessment Panel on the condition that the brochure is professionally designed and Council's History Officer verifies the information on the proof prior to final printing.

**Recommendation:** This application is conditionally supported for the amount of \$1,500.00.

**Applicant:** The Rotary Club of Howrah

**Project:** Buddy Benches for 5 Eastern Shore Primary Schools

**Funds Requested:** \$1,495.00

**Project Description:** The club intends to install Buddy Benches at five Eastern Shore Primary Schools – John Paul II, Rokeby Primary, Lauderdale Primary, South Arm Primary and Clarendon Vale Primary schools. A buddy bench is a special place within a school playground where a child can go when they want someone to talk to or play with. The Rotary Club will partner with the Clarendon Vale Community Shed to build the benches and assist to install the seats. The funds requested will be used to purchase the supplies needed to construct the benches.

**Comments:** Meets the criteria and aligns with Council's Health and Wellbeing Plan and Positive Ageing Plan. This application is supported by the Grant Assessment Panel as it will increase the health and wellbeing and social outcomes of both younger and older members of the Clarence community.

**Recommendation:** This application is supported for the amount of \$1,495.00.

**Applicant:** Richmond Fellowship Tasmania Rokeby

**Project:** Community Garden Upgrade for Wellbeing

**Funds Requested:** \$1,500.00

**Project Description:** The proposed project is a substantial upgrade to the outdoors communal area at the Richmond Fellowship Tasmania Rokeby (RFT). The project will create a community garden which will serve as a relaxing and engaging area for residents to come together, reduce isolation and improve social ties. The residents will be able to be involved and express their creativity by participating in the project. They will learn new skills, how to plan and work together as a team and improve emotional, mental and physical wellbeing and lead to improved health outcomes for our residents. The communal outdoor area is a safe space for residents to socialise with each other and where they are able to engage in community activities such as BBQs and art classes. The funds requested will be used to purchase gardening equipment and materials.

**Comments:** Meets the criteria and aligns with Council's Health and Wellbeing Plan and Access Plan. This application is support by the Grant Assessment Panel as it will increase the mental health and wellbeing and social outcomes for residents and the Clarence community.

**Recommendation:** This application is supported for the amount of \$1,500.00.

**Applicant:** Iron Plot Community Garden

**Project:** Iron Plot Community Garden Pizza Oven

**Funds Requested:** \$1,500.00

**Project Description:** With the installation of a pizza oven, the Iron Plot Community Garden can do garden to plate in a few easy steps. It will provide a focal point for the Garden and other activities based at the Centre – from gardening to cooking workshops, community group meetings and a general social meeting point. It will also offer an extra dimension and activity options for the general and themed community markets. It may also inspire the planting of a wider range of potential ingredients for pizza and other dishes cooked in wood fired ovens. The funds requested will put towards the purchase of the pizza oven.

**Comments:** Meets the criteria. Aligns with Council's Health and Wellbeing Plan, Positive Ageing Plan and Access Plan. A quote has been provided for the pizza oven requested. This application is supported by the Grant Assessment Panel as it will increase the health and wellbeing and social outcomes of the South Arm community.

**Recommendation:** This application is supported for the amount of \$1,500.00.



<b>Applicant:</b>	<b>Lauderdale Volunteer Fire Brigade</b>
<b>Project:</b>	<b>UHF Radio Communications Project</b>
<b>Funds Requested:</b>	<b>\$1,494.00</b>
<p><b>Project Description:</b> The Lauderdale Volunteer Fire Brigade aim to upgrade and replace their current UHF radios by purchasing 7 new Uniden UH820s-2TP UHF radios prior to the upcoming bush fire season. The upgrading of the radios will increase safety for both brigade firefighters and the local communities they serve. The Volunteer fire brigade also attend road accident and medical emergencies and it is vital for them to have the equipment to provide clear communication between the brigade and any other resources attending.</p> <p><b>Comments:</b> Meets the criteria. The grant assessment panel discussed and agreed to the benefit of having the radios but did not see it as a high priority. The panel agreed to make a recommendation to contribute part funding towards the purchase.</p> <p><b>Recommendation:</b> This application is supported for the partial amount of \$1,200.00.</p>	
<b>14 Applications Supported</b>	<b>Total \$18,490.00</b>

<b>Community Support Grants – September 2017</b>	
<b>Applications Not Supported For Consideration</b>	
<b>Applicant:</b>	<b>Motor Yacht Club of Tasmania Inc.</b>
<b>Project:</b>	<b>Acquisition of Defibrillator for ML Egeria</b>
<b>Funds Requested:</b>	<b>\$1,500.00</b>
<p><b>Project Description:</b> The ML Egeria is still used for its traditional role as the Governor's Launch and is also made available to charter by any community group or organisation. Many of these charters consist of groups of elderly citizens who because of their age, could be subject to sudden illnesses and attacks. To enable to crew of the vessel to assist in the event of a cardiac attack during a cruise, it is felt that the vessel should have on board a defibrillator together with crew members trained in its use.</p> <p><b>Comments:</b> While supportive of the need for defibrillators to be available throughout the community the grant assessment panel felt that as the ML Egeria is still used in its traditional role as the Governor's Launch this purchase should not be the realm of Council to fund. The charters are not exclusive to Clarence residents therefore the panel could not determine the benefit to the Clarence community.</p> <p><b>Recommendation:</b> This application is not supported by the Grants Assessment Panel.</p>	

<b>Applicant:</b>	<b>Beltana Bowls Club</b>
<b>Project:</b>	<b>Re-development of Communal Gardens</b>
<b>Funds Requested:</b>	<b>\$1,267.00</b>
<p><b>Project Description:</b> To improve the presentation of the entrance and surrounding gardens so other clubs who visit appreciate a new entrance and tidy gardens to enjoy. The club members are happy to help as they are aware of the need for an inviting and welcoming area to the whole complex. The funds requested are to purchase plants, pine bark, soil, sleepers and rocks.</p> <p><b>Comments:</b> Whilst the panel was supportive of club members volunteering time to enhance the entrance area, there were questions raised about the lease area and what gardens were earmarked. As the Council is currently undertaking consultations for the Anzac Park Masterplan the panel agreed that this project should be deferred for consideration until the outcomes of the Masterplan are determined.</p> <p><b>Recommendation:</b> This application is not supported by the Grants Assessment Panel.</p>	
<b>Applicant:</b>	<b>Multiple Sclerosis Ltd</b>
<b>Project:</b>	<b>Eastern Shore MS Peer Support Wellness Program</b>
<b>Funds Requested:</b>	<b>\$1,500.00</b>
<p><b>Project Description:</b> The Eastern Shore MS Peer Support Group is based in Clarence and meets monthly. They are keen to introduce guest presenters who are health professional to the group in order to provide people living with multiple sclerosis and those that care for them with relevant and valuable information about managing their symptoms and attract more members living with multiple sclerosis from the local region. The funds requested will be used to commission professionally qualified presenters to speak and work with participants.</p> <p><b>Comments:</b> Although it meets the criteria and aligns with Council's Health and Wellbeing Plan, Positive Ageing Plan and Access Plan, the grants assessment panel could see the benefits of this program however it is very similar to the Council's Live Well Live Long program sessions held at the Integrated Care Centre. The Community Planning and Development Officer is willing to work with the MS Society to develop a similar program outside of the Community Support Grant program.</p> <p><b>Recommendation:</b> This application is not supported by the Grants Assessment Panel.</p>	
<b>Applicant:</b>	<b>Sandford Scout Group</b>
<b>Project:</b>	<b>Equipment Trailer Upgrade</b>
<b>Funds Requested:</b>	<b>\$1,500.00</b>
<p><b>Project Description:</b> The project will provide for three items to be fabricated and/or purchased and installed to improve the trailer owned by the Sandford Scouts:</p> <ol style="list-style-type: none"> <li>1. A storage box attached to the front of the trailer to improve towing performance and to store wet items</li> <li>2. An insert to divide and support items carried in the trailer, protect smaller items and make items easier to access.</li> <li>3. A spare wheel bracket to remove the heavy spare wheel form the main storage compartment to provide additional space.</li> </ol>	

The funds requested will be used toward the cost of the trailer modifications.

**Comments:** The grant assessment panel considered this project a low priority as it could see no benefit to the wider community, the only benefit being for the scout group.

**Recommendation:** This application is not supported by the Grants Assessment Panel.

**Applicant:** The Shepherd Centre

**Project:** Therapy on the Go

**Funds Requested:** \$1,500.00

**Project Description:** 'Therapy on the Go' is a comprehensive early intervention program for children with hearing loss to develop speech and language. The program includes tele-intervention via video conferencing and home visits. The families will also have access to the online learning portal TSC 'Connect' with a wealth source of information, forums and educational resources. The project will take place in the Council area and via teleintervention. A small team of clinicians will be travelling to Clarence to provide face to face therapy and assessment to the children. During these visits the clinicians will liaise with the local community organisations and schools to promote the Centre's work and what could be done to support a child with hearing disability. The long term aim of the project is to improve the quality of life, decrease the burden on children who are deaf speakers and for children to attend mainstream school with the same opportunities as any other children. The funding requested is to provide Auditory Verbal Therapy sessions @ \$250 per child and Speech and Language Assessments @ \$175 per child.

**Comments:** Does not meet the criteria. While being supportive of the benefits of the program, the Grants Assessment Panel questioned supporting this application as it considered that funding this program would be supplementing their core business which is not the domain of Local Government. The Shepherd Centre is a registered NDIS provider and the panel questioned whether this program should be funded through the Federal Government scheme.

**Recommendation:** This application is not supported by the Grants Assessment Panel.

**Applicant:** Clarendon Vale Neighbourhood Centre

**Project:** Living Out Loud

**Funds Requested:** \$1,500.00

**Project Description:** The aim of this project is to enhance relationships between the older members of the community and its younger generation in order to foster a more cohesive attitude within the community than the one that currently exists. It is envisaged that this will be achieved through community held events involving a wide cross section of the population with a strong focus on developing respect between the older and younger generation.

Professional assistance will be sought through recognised agencies with respect to conducting workshops on responsible parenting and targeting the behavioural patterns and practices of the more problem youth members. Requests for support will be sourced from these professional agencies on methods of identification of problem behavioural trends across the community and suggested solution to them when necessary.

The Centre will work with local schools, church groups, youth organisations and professional agencies to accomplish this goal. On completion the program hopes to see a positive move towards building self-esteem and interpersonal skills both within and outside the family environment.

The program will be run from the CVNC with external excursions being organised for physical and social activities including rock climbing, gym sessions, swimming, picnics and BBQs. A proposed program of activities is currently under construction but no commitment to external agencies for physical activities can be organised until funding is available. The funds requested are to go towards excursion, catering and professional assistance costs.

**Comments:** Although the proposal does meet the criteria the Grant Assessment Panel agreed that the proposal was somewhat vague and still being developed and therefore not supportive of recommending funding the project at this early stage of its development.

**Recommendation:** This application is not supported by the Grants Assessment Panel.

**6 Applications Not Supported**

**Total \$8,767.00**

## Community Support Grants – September 2017

### Funding Summary

2017-2018 budget allocation for Community Support Grants (September 2017 & March 2018 rounds)	\$35,000.00
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14 Applications are supported at a total of \$18,490.00	\$18,490.00
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Total funds allocated for September 2017 (if recommendations are approved)	<b>\$18,490.00</b>
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Balance available for March 2018	<b>\$16,510.00</b>
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**11.5 ASSET MANAGEMENT****11.5.1 CANOPUS-CENTAURI BUSHLAND RESERVE ACTIVITY PLAN 2017-2021**  
(File No)**EXECUTIVE SUMMARY****PURPOSE**

To consider the adoption of the Canopus-Centauri Bushland Reserve Activity Plan 2017-2021 following community consultation.

**RELATION TO EXISTING POLICY/PLANS**

Council's Strategic Plan 2016-2026 and Community Participation Policy are relevant.

**LEGISLATIVE REQUIREMENTS**

Nil.

**CONSULTATION**

Consultation with the community was undertaken in accordance with Council's Community Participation Policy.

**FINANCIAL IMPLICATIONS**

The adoption of the Canopus-Centauri Bushland Reserve Activity Plan 2017-2021 has no direct financial impact. The implementation of the Canopus-Centauri Bushland Reserve Activity Plan 2017-2021 is planned to be staged over a number of financial years, subject to Council approval of future Annual Plans.

**RECOMMENDATION:**

- A. Immediately above Recommendation 11, Page 13, add the following to the text: "*Specific attention should be given to maintenance of planted trees at the top of the Reserve*".
- B. Amend the numeral denotation for Recommendation 12 to Recommendation 12A.
- C. Add new Recommendation 12B, Page 14, "*Distribute 'Responsible Cat Ownership' brochures to Mt Rumney residents*".
- D. Amend Table 2, Page 24, and change the priority of Recommendations 18 and 21 from Priority 2 to Priority 1.
- E. That Council adopts the Canopus-Centauri Bushland Reserve Activity Plan 2017-2021, including the recommended amendments in B and D, and additions in A and C.

**CANOPUS-CENTAURI BUSHLAND RESERVE ACTIVITY PLAN 2017-2021  
/contd...**

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**ASSOCIATED REPORT****1. BACKGROUND**

- 1.1.** Council provided funding in the 2016/2017 Annual Plan for the development of the Canopus-Centauri Bushland Reserve Activity Plan 2017-2021 (Plan).
- 1.2.** Tasflora was engaged to develop the Plan which involved initial consultation with local community members and key stakeholder groups with an on-site “walk and talk” event, held on Sunday, 27 November 2016 providing an opportunity for input into the development of the draft Plan. Closing date for the submissions was 12 December 2016.
- 1.3.** Issues identified from the initial key stakeholder, “walk and talk” session and the 8 written submissions were:
- general agreement that minimal changes should be made to the Reserve;
  - habitat preservation is important;
  - 52 Grahams Road should be recognised as a Council Reserve and not private property, although minimise the development of the 20m right-of-way;
  - Council should mow grass and fix the fences at 52 Grahams Road;
  - need to improve walking track surface from entrance CR1 down the hill;
  - preference for dogs to be kept on lead, and dog infrastructure could be considered;
  - support for creating a walking track circuit encompassing 20 Canopus Road and 52 Grahams Road; and
  - continue to permit horse walking through the Reserve.



## **2. REPORT IN DETAIL**

**2.1.** The Reserve Activity Plan relates to 3 separate reserves, namely:

1. Canopus-Centauri Bushland Reserve located at 20 Canopus Road;
2. Reuse pipeline reserve (mostly associated with Clarence Recycled Water Scheme) which runs parallel to the Tasman Highway between Alliance Drive and Grahams Road; and
3. 52 Grahams Road being 1.8ha of rural land.

**2.2.** Aldermen were provided with a copy of the draft Plan as part of the Weekly Briefing Report distributed on 31 March 2017. The Briefing Report outlined the following consultation process:

- advertisement in the Eastern Shore Sun newspaper, April 2017, inviting comment on the Draft Canopus-Centauri Bushland Activity Plan 2017-2021;
- distribution to local residents and stakeholders of the Canopus-Centauri Bushland Reserve Report Card which reviews the key attributes of the Reserve and presents a summary of the major recommendations in the plan;
- place on Council's website the draft Canopus-Centauri Bushland Reserve Activity Plan 2017-2021, inviting people to complete the feedback form; and
- display the draft Plan in the Council Office foyer inviting people to complete the feedback form and drop it in the box.

Consultation closed Wednesday, 15 May 2017.

**2.3.** There were 9 written responses received at the conclusion of the public consultation resulting in 2 recommended amendments and 2 additions to the draft Canopus-Centauri Bushland Reserve Activity Plan 2017-2021.

Issue/Comment from Responses	Response/Action
1. The growth in thistles following the burn off last year is a concern, as is the infestations of blackberry and Spanish heath. The Landcare group has been working on dealing with weeds but needs help and support.	Section 6.2 identifies these weeds and recommends that consideration should be given to engaging a contractor to undertake the initial sweep to remove all weeds encountered. <b>No new action recommended.</b>
2. There needs to be a requirement that if Council burns off, they return in (say) 6 months and remove any opportunistic weeds that grew due to the fire.	Action 7 of the Reserve's bushfire management plan recommends that follow up weeding be undertaken following fires. <b>No new action recommended.</b>
3. Maintenance of planted trees at the top end of the Reserve is required.	Section 7.2 states that these plantings need to be maintained as per Class 3 fire trail standards as outlined in MP1 of Bushfire Management Strategy - Best Management Practice Guidelines. Additional commentary could be added to state that general on-going maintenance of these plants should be undertaken. <b>Addition:</b> Add the following commentary immediately above Recommendation R11 in 7.2 on Page 13. <i>"Specific attention should be given to maintenance of planted trees at the top end of the Reserve"</i> .
4. Maintain wildlife corridor and habitat for the swift parrot and rare vegetation.	No change recommended. These issues are addressed in Section 4.5 and Section 8. <b>No new action recommended.</b>
5. Many wallabies are killed on the roads adjacent to the reserve....[need] motorists' warning signs perhaps.	Section 8 could include a recommendation to install wildlife warning signs along Canopus Road. <b>No new action recommended.</b>
6. I do not think the plan has captured residents' concerns about feral cats sufficiently. The reference seems to be very much in passing and a motherhood statement.	Cat management, including Mt Rumney residents' concerns, is currently discussed more broadly in Section 8. Consistent with other RAPs developed, a recommendation could be included regarding distribution of a responsible cat management brochure to Mt Rumney residents. <b>Add</b> in Section 8; Page 14, a new Recommendation 12B, <i>"Distribute 'Responsible Cat Ownership' brochures to Mt Rumney residents"</i> . <b>Amendment:</b> Amend the numeral notation for Recommendation 12 to 12 A

Issue/Comment from Responses	Response/Action
7. [The Reserve] could be an ideal location for a pilot cat control exercise.	Refer response to Issue 6.
8. Work to reduce cat predation in the area.	Refer response to Issue 6.
9. Maintain track surfaces and facilitate a circuit walk with signage, but not trail bikes.	These issues are addressed in Section 11 <b>No new action recommended.</b>
10. Put in a MTB track to link the Acton area with the Meehan Range MTB tracks.	The reuse pipeline already serves as a MTB track linking Acton to the MTB Park via Belbins Road. <b>No new action recommended.</b>
11. Little maintenance has been undertaken, particularly to the constructed path which is now mostly overgrown.	Track maintenance is addressed in Section 11. <b>No new action recommended.</b>
12. Promotion of the walkway is recommended.	New signage is proposed in Section 11. <b>No new action recommended.</b>
13. I am concerned that R18 and R21 are not Priority 1, as I believe the reserve's walking tracks are in very poor condition and urgently need upgrading. The pipeline track is no longer traversable.	R18 and R21 are currently Priority 2 recommendations (ie medium term - to be undertaken in the next 1-3 years). Changing their priority to Priority 1 (short term – to be undertaken in the next 6-12 months) addresses poor condition of popular track. <b>Amendment:</b> In Table 2; Page 24, R18 and R21 changed from Priority 2 to Priority 1.
14. The proposals for directional and interpretative signage should be high on the priority list.	Directional signage is included within R18 – refer response to Issue 14 above. R23 and R24 relate to interpretation signage and are currently a Priority 2 recommendation, which is a realistic from operational view point. <b>No new action recommended.</b>
15. Council should acquire the 31.7ha parcel of vacant land at number 40 Canopus Road and adhere it to the existing reserve.	However, this issue should be noted by Council. <b>No new action recommended.</b>
16. Management in relation to fire threat is important.	A bushfire management plan already exists for the Reserve. <b>No new action recommended.</b>

Issue/Comment from Responses	Response/Action
17. There are many fallen trees and together with other dead limbs/branches makes the area very volatile to fire risk.	A bushfire management plan already exists for the Reserve. <b>No new action recommended.</b>
18. Any possibilities to link the reserve with other reserves or walkways that may arise in the future should be taken advantage of. We would appreciate a walking link between Mt Rumney Road and Grahams Road for example.	No change recommended. However, this issue should be noted by Council. <b>No new action recommended.</b>

**2.4.** The Plan sets out actions to address the issues raised as part of the consultation as well as the statutory and environmental management responsibilities Council has as a landowner. The main themes addressed in the Plan are:

- site values – natural, cultural and recreational;
- Aboriginal and historic heritage interpretation;
- landscape setting and connectivity;
- natural regeneration, revegetation and weed management;
- vegetation and fauna management and monitoring;
- Reserve entrances;
- walking tracks maintenance and future linkages;
- infrastructure including restoration of historic Sorell to Bellerive Railway Bridge;
- community input into Reserve management;
- monitoring and evaluation; and
- implementation plan.

**2.5.** The main objectives of the Canopus-Centauri Bushland Reserve Activity Plan 2017-2021 are to:

- ensure the Reserve is sustainably managed to preserve and enhance its natural, cultural and social values;
- identify priority management activities to be undertaken within the Reserve by Council, community groups and/or volunteers as resources become available during the period 2017-2021; and

- encourage community involvement through raising awareness of the Reserve's values and encourage participation in activities to minimise threats to these values.

**2.6.** As a result of the review and evaluation of public comments, there are 4 amendments to the draft Canopus-Centauri Reserve Activity Plan being recommended.

### **3. CONSULTATION**

#### **3.1. Community Consultation**

Consultation with the community was in accordance with Council's Community Participation Policy.

#### **3.2. State/Local Government Protocol**

Nil.

#### **3.3. Other**

Nil.

### **4. STRATEGIC PLAN/POLICY IMPLICATIONS**

**4.1.** Council's Strategic Plan 2016-2026 under the Strategy - An Environmentally Responsible City has the following Strategy: *"Clarence is a city that values its natural environment and seeks to protect, manage, and enhance its natural assets for the long term environmental, social and economic benefit of the community"*.

**4.2.** Council's Strategic Plan 2016-2026 under the Strategy - An Environmentally Responsible City has the following Strategy: *"Develop activity plans for all natural reserve areas in accordance with Council open space strategies and work with bushcare, landcare, coastcare and other volunteer groups to implement plans and initiatives"*.

### **5. EXTERNAL IMPACTS**

Nil.

**6. RISK AND LEGAL IMPLICATIONS**

Nil.

**7. FINANCIAL IMPLICATIONS**

The adoption of the Canopus-Centauri Bushland Reserve Activity Plan 2017-2021 has no direct financial impact. The implementation of the Canopus-Centauri Bushland Reserve Activity Plan 2017-2021 is planned to be staged over a number of financial years, subject to Council approval of future Annual Plans.

**8. ANY OTHER UNIQUE ISSUES**

Nil.

**9. CONCLUSION**

The Canopus-Centauri Bushland Reserve Activity Plan 2017-2021 provides guidance and direction for activities undertaken within the Reserve by Council, community groups and volunteers and the broader community.

Attachments: 1. Canopus-Centauri Bushland Reserve Activity Plan 2017-2021 (44)

Ross Graham

**GROUP MANAGER ENGINEERING SERVICES**





# DRAFT

## Reserve Activity Plan

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### 2017 - 2021

## CANOPUS-CENTAURI BUSHLAND RESERVE

ADVICE PREPARED BY  
TASFLORA FOR  
CLARENCE CITY COUNCIL  
MARCH 2017



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*Weed Control and Native Vegetation Specialists*

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## 1 BACKGROUND

The Canopus-Centauri Bushland Reserve is an 11 hectare area of bushland, pipeline reserve and rural land located in the suburb of Mt Rumney on Hobart's eastern shore. The Reserve is owned and managed by Clarence City Council (Council). It is valued by locals for its natural setting and recreational opportunities, and it provides an attractive setting for locals to traverse Mt Rumney's natural bushland environment away from road verges and traffic.

Two bushfire management plans have been previously prepared for part of the Reserve,<sup>1,2</sup> and the Reserve is encompassed by a broader Mt Rumney and Mt Canopus vegetation management plan.<sup>3</sup> However no specific overarching management plan has previously been prepared for the Reserve. In this context, Tasflora has been engaged by Clarence City Council (Council) to develop a five year Reserve Activity Plan for on ground management activities within the Reserve, including the development of an implementation plan identifying immediate and ongoing management priorities to be undertaken during the period 2017-2021.

Council's *Clarence Bushland and Coastal Strategy* summarises plans and strategies relevant to reserves within the Clarence municipality. A key recommendation derived from the Strategy was to develop and implement reserve activity plans for all bushland and coastal reserves managed by Council. Currently Council has developed and partially implemented 20 RAPs and will be finalising three new reserve activity plans in 2016-17, including this plan. The development of reserve activity plans is a key component of Council's 'Climate Change Adaptation Pathway' and provides a strategic approach to strengthening the resilience to the impacts of climate change of Council's natural reserves through protecting and improving the condition of their natural values.

The recommendations contained within this *Canopus-Centauri Bushland Reserve Activity Plan 2017-2021* are intended to provide guidance for on ground activities that can be implemented by Council, community groups and/or volunteers. It is acknowledged that it may not be possible to undertake all recommended activities due to resource constraints; rather the intent of this plan is to provide a guide to management concepts and outcomes that could be achieved if sufficient funding can be obtained.

## 2 OBJECTIVES

The objectives of the *Canopus-Centauri Bushland Reserve Activity Plan 2017-2021* are to:

- ensure the Reserve is sustainably managed to preserve and enhance its

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<sup>1</sup> AVK Environmental Management (2011). *Canopus-Centauri Bushfire Management Plan*. Unpublished report for Clarence City Council.

<sup>2</sup> AVK Environmental Management (2015). *Draft Canopus-Centauri Bushfire Management Plan*. Unpublished report for Clarence City Council.

<sup>3</sup> *Mt Rumney and Mt Canopus Vegetation Management Plan 2013-2018*. Unpublished report for the Mt Rumney Landcare Group Inc..



- natural, cultural and social values;
- identify priority management activities to be undertaken within the Reserve by Council, community groups and/or volunteers as resources become available during the period 2017-2021; and
- encourage community engagement through raising awareness of the Reserves' values and encourage participation in activities to minimise threats to these values.

### 3 SITE DESCRIPTION

The area covered by the *Canopus-Centauri Bushland Reserve Activity Plan 2017-2021* is illustrated in Figure 1. It includes the following Reserves which are owned and managed by Council.

- 20 Canopus Road - approximately 6.5 ha of bushland reserve between the Tasman Highway and Centauri Road, and 2.6 ha of pipeline reserve (mostly associated with the Clarence Recycled Water Scheme) which runs parallel to the Tasman Highway between 20 Alliance Drive and Grahams Road.
- 52 Grahams Road – approximately 1.8 ha of predominantly rural land.



**Figure 1:** Area covered by the *Canopus-Centauri Bushland Reserve Activity Plan 2017-2021* (base map sourced from the LIST).



The Reserve is zoned as Open Space under the Clarence Interim Planning Scheme 2015.<sup>4</sup>

## 4 SITE VALUES

### 4.1 Native flora

Two native vegetation communities are present at 20 Canopus Road, as described in the Reserve's bushfire management plan. *Eucalyptus ovata* forest and woodland (TASVEG code DOV) occupies the eastern strip of the Reserve (refer Figure 2), with *Eucalyptus amygdalina* forest and woodland on mudstone (DAM) occurring along the pipeline reserve section running adjacent to the Tasman Highway. A small area of *Eucalyptus globulus* dry forest and woodland (DGL) occurs at 52 Grahams Road. A full description of each of the communities occurring within the Reserve is provided at Appendix 1.



**Figure 2:** Typical *Eucalyptus ovata* forest and woodland community at 20 Canopus Road.

Both the DOV and DGL communities are listed as threatened native vegetation communities under the *Nature Conservation Act 2002*. A vegetation condition assessment of the DOV community was undertaken in March 2017 and is provided at Appendix 2.

Several threatened flora species listed under the Tasmanian *Threatened Species Protection Act 1995* and/or the Commonwealth *Environment Protection and Biodiversity Conservation Act 1999* have been previously recorded within the bushland section of 20 Canopus Road. A summary of these is provided at Appendix 1.

<sup>4</sup> <http://www.iplan.tas.gov.au/pages/plan/book.aspx?exhibit=claiops>

## 4.2 Native fauna

The Reserve contains suitable habitat for a range of native wildlife (mammals, birds, reptiles, amphibians and invertebrates), including:

- mature or dead eucalypt trees with hollows, which provide potential den and nest sites for possums, bats and hollow-nesting bird species, including the endangered swift parrot (*Lathamus discolor*);
- mature, flowering eucalypt trees that provide a foraging source for possums and birds, including *Eucalyptus ovata* (black gum) trees which are a foraging source for the swift parrot;
- open grassy woodland which provides a foraging source for small mammals, including the threatened eastern barred bandicoot (*Perameles gunnii*);
- shrubs and other understorey species that provide nesting, shelter and a foraging source for birds and small mammals;
- fallen timber and leaf litter, which provide shelter and foraging habitat for small birds, reptiles and invertebrates; and
- freshwater ponds which provide habitat for frogs and invertebrates.

As noted above, the Reserve contains potential foraging and/or nesting habitat for two threatened fauna species: the swift parrot and the eastern barred bandicoot, with the latter species being observed in the Reserve in November 2016 (Paul Grey, NRM Facilitator for Sorell Council, pers. comm. November 2016). Further information on these species is provided at Appendix 1.

A bat survey was undertaken in the Reserve in November 2016. Four of Tasmania's eight micro bat species were recorded, including the little forest bat (*Vespadelus vulturnus*), the large forest bat (*Vespadelus darlingtoni*), the eastern false pipistrelle (*Falsistrellus tasmaniensis*) and Gould's wattled bat (*Chalinolobus gouldii*).

A bird survey was undertaken in the Reserve by BirdLife Tasmania in February 2017. Twelve native bird species were recorded during a half hour period, as summarised in Appendix 3.

## 4.3 Cultural heritage

### 4.3.1 Aboriginal heritage

The municipality of Clarence, including the Mt Rumney area, was previously occupied by the Mumirimina band of the Oyster Bay tribe.<sup>5</sup> There are no known Aboriginal heritage sites within the Reserve.

Under the Tasmanian *Aboriginal Relics Act 1975* (the Aboriginal Relics Act), it is an offence to 'destroy, damage, disfigure, conceal, uncover, expose, excavate or otherwise interfere with a relic' unless a permit has been granted. It is therefore

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<sup>5</sup> Alexander, A. (2003). *The eastern shore: a history of Clarence*. Clarence City Council, Rosny Park.

important to ensure that no Aboriginal artefacts or other cultural material are exposed or disturbed without a permit during Reserve management activities. In the event that an Aboriginal artefact is inadvertently uncovered, an Unanticipated Discovery Plan should be implemented immediately (refer Appendix 4) and the items reported to Aboriginal Heritage Tasmania for advice.

#### **4.3.2 Historic heritage**

The Grahams Road end of the pipeline reserve section of 20 Canopus Road contains the remnants of a stone bridge (refer Figure 3) which is likely to have been constructed for the former Bellerive-Sorell railway line which operated between 1892 and 1926.



**Figure 3:** Historic stone bridge at 20 Canopus Road.

#### **4.4 Recreational values**

The Reserve is utilised by locals and visitors for walking, dog exercise, cycling and horse exercise. Community feedback indicated a preference for retaining the area as available for horse exercise.

#### **4.5 Landscape setting and connectivity**

The Reserve provides an attractive setting for locals to traverse Mt Rumney's natural bushland environment away from road verges and traffic. It also forms an important wildlife corridor outside of private property. Connectivity between areas of bushland provides an important ecological link for flora and fauna to enable gene flow between populations and to allow animals to move across the landscape for foraging, nesting and breeding. The Reserve is connected to vegetated private land in the Meehan Range to the south via Mt Canopus and Mt Rumney (refer Figure 3), and indirectly to the Meehan Range Nature Recreation Area across the Tasman Highway to the west.





**Figure 3:** Connectivity between the Canopus-Centauri Bushland Reserve and other bushland areas (base map sourced from the LIST).

Connectivity from a user perspective is currently good, although community consultation has indicated that improvements could be made. The track along the pipeline reserve section of 20 Canopus Road forms part of the Tangara Trail and connects to the south with the Alliance Drive section of the Tangara Trail. While there is a walking track traversing most of 20 Canopus Road, further improvements could be made by creating a walking track circuit via 52 Grahams Road (discussed further in section 11).

Landscape setting and connectivity are important for the long term viability of Clarence's bushland areas as well as ongoing visual amenity and recreational opportunities within the municipality. It is important that these linkages be preserved and strengthened through strategic land use planning.

## 5 STAKEHOLDER CONSULTATION

A public meeting and community 'walk and talk' session was facilitated by Council and Tasflora on 27 November 2016 and attended by 10 local residents, including members of the Mt Rumney Landcare Group. The purpose of the session was to seek input on the values and management issues associated with the Reserve. A feedback form seeking input to the *Canopus-Centauri Bushland Reserve Activity Plan 2017-2021* was also mailed to local residents and relevant stakeholders. One written submission was received during the consultation period. A summary of the issues raised during the consultation process is provided at Appendix 5.

Where possible, all relevant community feedback has been considered in the development of the draft *Canopus-Centauri Bushland Reserve Activity Plan 2017-2021*. However some issues identified during the consultation process are beyond the scope of this plan or pertain to management issues outside the Reserve. These issues have been noted by Council and will be addressed through other processes where feasible.

A Canopus-Centauri Bushland Reserve Activity Plan Report Card has been developed as a key tool in encouraging stakeholder feedback on this draft plan and will be mailed out to residents and other interested stakeholders. The content of the Report Card is provided at Appendix 5.

## 6 WEED MANAGEMENT

### 6.1 Weed species present

Several weed species are found in the Reserve, some of which are classified as declared weeds under the Tasmanian *Weed Management Act 1999* and/or Weeds of National Significance (WONS). Weeds occurring within the DOV community at 20 Canopus Road should be targeted as a priority to prevent their further spread throughout this threatened native vegetation community.

A list of weed species recorded in the bushland area at 20 Canopus Road, including their status and recommended control methods, is provided at Appendix 6. To assist with identification, a picture of each weed species is also provided. The distribution of declared weed species is provided in Appendix 7.

### 6.2 Recommendations for weed control work

Weed control recommendations in this plan primarily focus on the bushland area in the eastern section of 20 Canopus Road where the threatened *Eucalyptus ovata* community occurs.

**Recommendation 1: Priority should be given to controlling weeds occurring in the threatened *Eucalyptus ovata* forest and woodland community at 20 Canopus Road.**

Due to their presently limited distribution, weed control work should initially focus on controlling the declared weeds Spanish heath (*Erica lusitanica*) and vipers bugloss (*Echium vulgare*) to prevent their further spread into the Reserve. This control should be coordinated in conjunction with adjacent landowners whose properties contain these species.

**Recommendation 2: Control Spanish heath and vipers bugloss at 20 Canopus Road as an immediate priority, with communication/coordination with surrounding landholders to be undertaken by Council's Weeds Planning Officer.**

Following control of these priority weeds, a sweep should be undertaken of the bushland area of 20 Canopus Road to remove all declared and environmental woody weeds, including blackberry (*Rubus fruticosus* aggregate), sweet briar (*Rosa rubiginosa*) and hawthorn. Work should commence at the Canopus Road entrance and work in a northerly direction down the valley. Given the dense infestations in places, consideration should be given to engaging a contractor to undertake the initial sweep to remove all weeds encountered. Follow-up maintenance over the following years could then be undertaken by volunteers and/or contractors.

***Recommendation 3: Undertake a sweep of the bushland area of 20 Canopus Road and control all declared and environmental woody weeds encountered.***

A significant number of thistles have germinated throughout the Reserve following a recent planned vegetation burn. While not considered as high a priority as removing woody weeds, their control would be highly desirable to improve the condition of the threatened DOV community.

***Recommendation 4: Control dense infestations of thistles in the bushland area of 20 Canopus Road to facilitate natural regeneration.***

A mature melaleuca tree (*Meleuca* sp.) is growing in close proximity to Reserve entrance CD1. It is recommended that this tree be removed due to the ability of this species to easily spread into bushland areas.

***Recommendation 5: Remove the mature melaleuca tree growing near CD1.*****6.3 Maintenance weed control work**

Weed control activities will not be successful unless a commitment is made to undertaking ongoing follow-up maintenance activities. An annual sweep to remove all new germinants of previously targeted weeds should be undertaken, with ongoing annual follow-up required until the soil seed bank is exhausted. This work could be undertaken by volunteers and/or contractors.

***Recommendation 6: Undertake an annual sweep of the Reserve to remove germinants of declared and environmental weeds.*****6.4 Non-priority weeds**

Broadleaf weeds and exotic grasses are common through the Reserve and are not considered a priority for control except in revegetation areas and where their removal is desirable as part of an ongoing general Reserve maintenance program (eg along track edges) or fuel reduction purposes.

***Recommendation 7: Undertake control of exotic grasses and broadleaf weeds only in revegetation areas and where necessary as part of a general Reserve maintenance program.***

In order to monitor the success of the weed control program, follow-up GPS weed mapping should be undertaken after five years to assess progress and facilitate planning of future weed control activities. As well, GPS mapping by contractors and volunteers as they control weeds should be encouraged, with data to be entered into DPIPWE's Natural Values Atlas or provided to Council to enable its database to be updated.

***Recommendation 8: Undertake GPS mapping of all weeds in the Reserve after five years to monitor progress and inform future weed control priorities.***



## 7 REGENERATION AND REVEGETATION

### 7.1 Regeneration

Natural regeneration should be encouraged within the Reserve as the most cost effective and natural means of restoring its original vegetation in areas where disturbance has occurred. Apart from weed control, management activities in areas of intact native vegetation should be limited to encourage the natural regeneration process.

### 7.2 Revegetation activities

The primary purpose of undertaking new revegetation activities is to preserve and enhance existing areas of remnant native vegetation, provide habitat for native birds and animals, and improve the visual amenity for users of the Reserve.

Large scale revegetation activities are not considered necessary in the Reserve. While large areas of grassland are apparent, natural regeneration is occurring. Small scale supplanting of native plants is only considered necessary if large bare areas are creating following removal of dense infestations of weeds. If undertaken within the DOV community at 20 Canopus Drive, only plants that naturally form part of a DOV community should be planted and, where possible, plants should be grown from the seed or cuttings of plants local to the area to ensure local variants are planted.

***Recommendation 9: Revegetation should only be considered a priority in bare areas that may be created following weed control.***

Some planting of trees has been undertaken near the Canopus Road entrance. The Reserve's bushfire management plan states that these plantings need to be maintained as per class 3 fire trail standards as outlined in MP1 of *Bushfire Management Strategy - Best Management Practice Guidelines*. Any future planting of trees should also be undertaken in accordance with section 3.7 of the Reserve's bushfire management plan (e.g. planting should not be undertaken within two metres of the edge of fire trails).<sup>6</sup>

***Recommendation 10: Any future planting of trees must be undertaken in accordance with section 3.7 of the Reserve's bushfire management plan.***

Revegetation and landscaping activities will not be successful unless a commitment is made to undertake follow-up maintenance activities. In particular, it is important to ensure that sufficient resources are available for ongoing maintenance (eg weeding, watering) before establishing new sites.

***Recommendation 11: New revegetation and landscaping activities should not be committed to unless sufficient resources are available to undertake ongoing regular maintenance of newly planted areas.***

<sup>6</sup> AVK Environmental Management (2015). *Draft Canopus-Centauri Bushfire Management Plan*. Unpublished report for Clarence City Council.

## 8 FAUNA HABITAT MANAGEMENT

As described in section 4.2, the Reserve provides important habitat for a range of wildlife, including mammals, birds, reptiles, amphibians and invertebrates. A variety of canopy layers, dead trees, hollow logs, fallen timber and leaf litter are required to provide important habitat for wildlife, including mammals, birds, reptiles and invertebrates. Leaf litter and dead wood are often viewed as a fire risk in bushland reserves located in urban areas. However, it is important that fauna habitat requirements are considered when planning any future bushfire management activities in the Reserves. The Reserve's current bushfire management plan recognises this.

The drainage line flowing into 20 Canopus Road from the junction of Canopus Road and Grahams Road may provide habitat for aquatic fauna, including frogs and aquatic invertebrates. This flow line is infested with dense blackberry thickets and impeded by debris and vegetation. There is also minor erosion occurring along the flow line. To reduce erosion and improve water quality for aquatic fauna, the drainage line should be cleared of weeds and debris, and two small rock bioremediation retention basins should also be installed.

**Recommendation 12: Clear weeds and debris from the drainage line near GR1 and install two small rock bioremediation retention basins.**

Uncontrolled domestic dogs and cats have the potential to harass or kill native wildlife. The Reserve is currently used for on-lead dog exercise under Council's Dog Management Policy.<sup>7</sup> A recent survey of Mt Rumney residents undertaken by the Mt Rumney Landcare Group found that Mt Rumney/Canopus Hill residents are concerned about cat management issues. Council promotes responsible cat ownership, and will continue to encourage local residents to meet their obligations under the *Cat Management Act 2009* through having their cats microchipped, desexed and under effective control (eg indoors at night).

## 9 VEGETATION AND FAUNA MONITORING

An assessment of the condition of the DOV community within the Reserve was undertaken in March 2017 (refer Appendix 2). Information from regular vegetation condition assessments (VCAs) will enable an evaluation of the impact and effectiveness of management actions on the Reserves' native vegetation. The TASVEG VCA method should be undertaken by trained Council staff or consultants using standard TASVEG VCA forms.<sup>8</sup> Photo points have already been established to provide further information on vegetation condition and annual regeneration growth.

**Recommendation 13: Undertake a follow-up Vegetation Condition Assessment in the Reserve in 2021.**

<sup>7</sup> Clarence City Council (2015). Dog Management Policy. Clarence City Council, Tasmania.

<sup>8</sup> Full details of the TASVEG VCA method can be found at: [http://dpo.tas.gov.au/conservation/flora-of-tasmania/monitoring-and-mapping-tasmanias-vegetation-\(tasveg\)/vegetation-monitoring-in-tasmania](http://dpo.tas.gov.au/conservation/flora-of-tasmania/monitoring-and-mapping-tasmanias-vegetation-(tasveg)/vegetation-monitoring-in-tasmania)

**Recommendation 14: Monitor photo points within the VCA zone annually to facilitate monitoring of vegetation condition.**

The Reserve contains unique habitat for a range of wildlife species, and it is expected that species diversity could increase over time with ongoing appropriate vegetation management practices. As discussed in section 4.2, a fauna survey (using hair traps and bat nets) was undertaken in November 2016 and a bird survey was undertaken in February 2017. Follow-up fauna and bird surveys to identify the species present in the Reserve are recommended to be undertaken at the end of the plan (ie 2021) as a basis for monitoring species diversity over time.<sup>9</sup>

**Recommendation 15: Undertake fauna surveys in 2021 to assess species diversity and further inform on ground management activities.**

An analysis of all completed VCAs, fauna surveys and photo points should be undertaken in 2021 to determine trends and implications for ongoing vegetation management in the Reserves. This should be undertaken in conjunction with a review of the *Canopus-Centauri Reserve Activity Plan 2017-2021* scheduled for 2021 (refer Section 16).

**Recommendation 16: Undertake an analysis of all photo points, VCAs and fauna surveys in 2021 to determine trends and inform future management activities.**

## 10 RESERVE ENTRANCES

The main entrances to the Reserve are illustrated in Figure 4. The main entrances are currently from Canopus Road (CR1) and Centauri Drive (CD1), with parking and access to 20 Canopus Road from the Grahams Road entrance (GR1) possible but not clearly signposted. Key management issues identified for these entrances are summarised in Table 1. Two new, low key entrances to 52 Grahams Road are proposed in conjunction with a new walking track circuit (refer Section 11).

**Recommendation 17: Improve Reserve entrances by installing additional signage and improving accessibility and visual amenity.**

## 11 TRACKS AND TRAILS

Consultation during the development of this plan has indicated that there is a level of community desire for a walking track circuit linking 20 Canopus Road with 52 Grahams Road. This could be achieved through:

- sensitively resurfacing the walking track between CR1 and the Tasman Highway using gravel;
- upgrading the first 200m of the existing track into 20 Canopus Road from Reserve entrance GR1, including the installation of a piped culvert in the small water flow line that crosses the track;

<sup>9</sup> If possible, bird surveys should be undertaken in conjunction with BirdLife Tasmania using standard BirdLife Australia monitoring techniques.



**Figure 4:** Main entrances to the Reserve, including two proposed new entrances GR2 and CR2 (base map sourced from the LIST).

**Table 1:** Recommended management activities to be undertaken at Reserve entrances.

Issue	Description	Recommendation
Signage	There is no clear sign identifying the Reserve name at the Grahams Road entrance to 20 Canopus Drive or at 52 Grahams Road	Install standard Reserve name signs at GR1, GR2 and CR2
	Reserve sign at CR1 is hard to see from the road due to overhanging tree branches	Prune branches overhanging the sign at CR1
Parking	Parking at CR1 and GB2 is limited to the narrow road verge	Assess the demand for more formal car parking at CR1 and GR2 following completion of the proposed new walking track circuit (refer section 11) and, if deemed required, evaluate the best option to create car parking spaces.
Visual amenity	Some entrances would benefit from landscaping activities and/or regular maintenance	Undertake landscaping at CR1 as per concept landscape plan detailed in Appendix 8. Install two panels of split log and rail fencing at GR1 (consistent with the thematic entrance fencing elsewhere along the Tangara Trail)

- delineating and constructing a new walking track through 52 Grahams Road from GR2 to CR2;
- delineating and constructing a new walking track along the Canopus Road roadside verge from CR2 to CR1;
- installing a track network map at Reserve entrances CR1, GR1 and GR2 to promote a walking track circuit encompassing 20 Canopus Road with 52 Grahams Road; and
- installing unobtrusive track direction signage at track junctions.

***Recommendation 18: Assess the feasibility of creating a walking track circuit encompassing 20 Canopus Road and 52 Grahams Road, including improving the condition of existing tracks, creating new walking track linkages and installing track signage.***

The track network through 20 Canopus Road requires maintenance to the standard specified in the Reserve's bushfire management plan. Additionally,

***Recommendation 19: Undertake track management activities as detailed in the Reserve's bushfire management plan.***

## 12 INFRASTRUCTURE

There is currently limited community infrastructure located within the Reserve, and its natural environment would be enhanced through minimising significant additional infrastructure installation. This sentiment was reflected during the community consultation process.

No additional infrastructure is proposed within the next five years, with the exception of limited new signage (as discussed in sections 10, 11 and 14). While dog waste infrastructure was suggested during community consultation, no evidence of dog waste was observed in the Reserve during the development of this plan, and it is considered that funding of regular dog waste collection from this Reserve could be better spent on alternative management activities.

A further review of the infrastructure requirements of the Reserves should be undertaken in 2021.

***Recommendation 20: Undertake a review of the infrastructure requirements of the Reserve in 2021.***

With regard to existing infrastructure, the wooden beams across the top of the historic stone bridge near GR1 are rotten and subject to collapse. While the bridge is not along the alignment of the track, from a risk management perspective these beams require replacement. Due to the potential heritage values associated with the bridge, advice from Council's Historic Heritage Officer should be sought prior to any remediation work of this structure.

***Recommendation 21: Engage with Council's Historic Heritage Officer regarding the restoration of the historic stone bridge near GR1.***



### 13 BUSHFIRE MANAGEMENT

The Reserve is located in a bushfire prone area, as defined by the Clarence Interim Planning Scheme. A five year Bushfire Management Plan encompassing 20 Canopus Road was developed for Council in 2011 and updated in 2015.<sup>10,11</sup> Key recommendations in the plan include no broad scale burning within the next five years and maintaining and repairing fire trails to required standards. The Bushfire Management Plan is scheduled for review in 2021.

### 14 COMMUNITY PARTICIPATION AND AWARENESS

Community participation and awareness has an important role to play in protecting the natural, cultural and recreational values of the Reserve. For example, the Mt Rumney Landcare Group has previously undertaken voluntary revegetation, weed control and fauna monitoring activities at 20 Canopus Drive. Consultation with this Landcare Group revealed a strong appreciation of the support provided by Council and NRM South. With over 30 members, the Group expressed a strong desire to continue engaging and working with Council to care for Mt Rumney's natural values, and indicated that a subgroup of the Mt Rumney Landcare Group could be formed to specifically care for the Canopus-Centauri Bushland Reserve.

***Recommendation 22: Continue to actively support the Mt Rumney Landcare Group Inc.***

Interpretation signs provide an important opportunity to display information on the Reserves' natural values and how to become involved in caring for these. A small interpretation sign is proposed at CR1 with information about the natural values of the Reserve (including the threatened flora and fauna species present), a map of the Reserve's track network and information about the activities of the Mt Rumney Landcare Group and how to become involved. A further interpretation sign regarding the historic stone bridge near GR1 is also proposed.

***Recommendation 23: Install an interpretation sign regarding the Reserve's natural values and Mt Rumney Landcare Group activities at Reserve entrance CR1.***

***Recommendation 24: Install an interpretation sign regarding the historic stone bridge near GR1 in consultation with Council's Historic Heritage Officer.***

Under the Tasmanian *Work Health and Safety Act 2012*, volunteers are considered 'workers' when working for Council on Council owned land. Council therefore has a duty of care to provide a safe workplace for volunteer workers who may undertake management activities within the Reserves.

<sup>10</sup> AVK Environmental Management (2011). *Canopus-Centauri Bushfire Management Plan*. Unpublished report for Clarence City Council.

<sup>11</sup> AVK Environmental Management (2015). *Draft Canopus-Centauri Bushfire Management Plan*. Unpublished report for Clarence City Council.



- All volunteers have rights and responsibilities. Volunteers have the right to a safe work environment, to be treated fairly and with respect, to public liability insurance, to safe equipment, tools and personal protective equipment (PPE), to adequate instruction to perform tasks, to contribute their suggestions and to receive acknowledgement for their contributions. Volunteers also have the right to refuse work if they consider it unsafe.
- Volunteers also have the responsibility to care for the health and safety of others, to respect others, to follow policies, procedures and instructions, and to care for their own health and safety.

With this in mind, all volunteers need to refer to the relevant Council Safe Work Method Statements (SWMSs) before undertaking works in the Reserves, including cut and paste work weed control work, brushcutting and spreading of mulch. These are available from Council's Natural Areas Volunteer Coordinator (Chris Johns, phone 6217 9715 or email [cjohns@ccc.tas.gov.au](mailto:cjohns@ccc.tas.gov.au)). All spot spraying should be undertaken by certified operators (eg Council staff, contractors).

## 15 IMPLEMENTATION PLAN

A map illustrating the location of on ground management activities recommended within the Reserve is provided at Figure 5. This is based on the key recommendations contained within this plan, which are summarised in detail at Appendix 9.

Based on these recommendations, an Implementation Plan with associated performance measures has been developed and is provided at Table 2. It identifies three stages of management activities to be undertaken within the Reserves:

- Priority 1 - immediate (6-12 months) management activities.
- Priority 2 – medium term (1-3 years) management priorities.
- Priority 3 – long term (5 years) management priorities.

The intent of the Implementation Plan is to provide a guide to outcomes that could be achieved within the Reserve by Clarence City Council, contractors and/or volunteer groups within the period 2017-2021 if sufficient resources are available.

The Implementation Plan provides an indication of the level of funding required to achieve these outcomes.<sup>12</sup> While it would be desirable to undertake all the recommended activities, it is acknowledged that this may not be possible due to resource constraints, and implementation will ultimately be guided by what is achievable with resources as they become available. Federal, State and Local Government grants programs may provide an opportunity to obtain resources to implement many of the recommendations contained within this report.

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<sup>12</sup> Funding details are based on an internal Council document which provides a detailed five year cost estimate for all planned activities. This has been developed primarily for Council budgetary processes and potential grant applications. Specific details may be sought by contacting Council's NRM Planner (Phil Watson, phone 6217 9713 or email [pwatson@ccc.tas.gov.au](mailto:pwatson@ccc.tas.gov.au)).



**Figure 5:** Overview of key proposed on ground management activities in the Canopus-Centauri Bushland Reserve (aerial photo from the LIST).

A review of progress against all performance measures should be undertaken annually during the period 2017-2021 to help prioritise available resources.

**Recommendation 25: Review progress against all performance measures identified in the Implementation Plan annually.**

## 16 FUTURE PRIORITIES

A review of the *Canopus-Centauri Bushland Reserve Activity Plan 2017-2021* should be undertaken in 2021. The purpose of this review should be to:

- assess progress towards achieving the objectives of the *Canopus-Centauri Bushland Reserve Activity Plan 2017-2021*;
- assess progress against all performance measures;
- analyse photo point data and all completed flora and fauna assessments to determine trends and implications for ongoing vegetation management; and

- determine ongoing management priorities for the Reserve for the next five years.

***Recommendation 26: Review the Canopus-Centauri Bushland Reserve Activity Plan 2017-2021 in 2021 to assess progress and determine ongoing management priorities for the Reserve.***

**Table 2:** Implementation Plan for undertaking recommended management activities within the Reserve.

Priority	Rec. No.	Action	Seasonal timing	Performance measure	Responsibility	Estimated funding <sup>13</sup>
<b>Weed control</b>						
1	R2	Control Spanish heath and vipers bugloss at 20 Canopus Road with communication/coordination with surrounding landholders to be undertaken by Council's Weeds Planning Officer	Spring – summer for spot spraying; all year round for other techniques	Spanish heath and vipers bugloss eradicated from 20 Canopus Road and adjacent properties	Council or contractor	\$2,000
2,3	R3	Undertake a sweep of the bushland area of 20 Canopus Road and control all declared and environmental woody weeds encountered	Spring – summer for spot spraying; all year round for other techniques	All declared and environmental woody weeds eradicated from 20 Canopus Road	Council or contractor	\$3,000 per annum
2,3	R4	Control dense infestations of thistles in the bushland area of 20 Canopus Road to facilitate natural regeneration	Spring – summer for spot spraying; all year round for other techniques		Council or contractor	
1	R5	Remove the mature melaleuca tree growing near CD1.	N/A	Melaleuca tree near CD1 removed.	Council	N/A
1,2,3	R6	Undertake an annual sweep of the Reserve to remove germinants of declared and environmental weeds.	Spring – summer for spot spraying; all year round for other techniques		Council, contractor and/or volunteer groups	\$2,000 per annum
3	R8	Undertake follow-up GPS mapping of all weeds	Spring - summer	Weed maps and Council database are updated within 5 years	Council, contractor and/or volunteer groups	\$800 (N/A if performed by Council staff)

<sup>13</sup> Funding estimate is based on total costs required to undertake all recommended activities over the period 2017-18 to 2021-22.

Priority	Rec. No.	Action	Seasonal timing	Performance measure	Responsibility	Estimated funding <sup>13</sup>
<b>Fauna habitat management</b>						
2	R12	Clear weeds and debris from the drainage line near GR1 and install two small rock bioremediation retention basins	N/A	Drainage line remediated	Council	
<b>Vegetation and fauna monitoring</b>						
3	R13	Undertake a follow-up Vegetation Condition Assessment in the Reserve in 2021	In season (eg for annuals)	VCA completed in 2021	Council or contractor	\$1,000 (N/A if performed by Council staff)
1,2,3	R14	Monitor photo points within the VCA zone annually to facilitate monitoring of vegetation condition	Spring	Annual photos taken	Contractor	\$700 per annum (N/A if performed by Council staff)
1,3	R15	Undertake fauna surveys in 2021 to assess species diversity and further inform on ground management activities	N/A	Fauna and bird surveys completed 2021	Contractor and/or BirdLife Tasmania and/or University of Tasmania	\$3,000
<b>Reserve entrances</b>						
1	R17	Install Reserve entrance signs at GR1, GR2 and CR2	N/A	Reserve entrance signs installed at GR1, GR2 and CR2	Council	\$1,500
1	R17	Prune branches overhanging the sign at CR1	N/A	Reserve entrance sign at CR1 clearly visible	Council	N/A
3	R17	Assess the demand for more formal car parking at CR1 and GR2 following completion of the proposed new walking track circuit and, if deemed required, evaluate the best option to create car parking spaces	N/A	Car park study completed	Council	N/A

Priority	Rec. No.	Action	Seasonal timing	Performance measure	Responsibility	Estimated funding <sup>13</sup>
2	R17	Undertake landscaping at CR1 as per concept landscape plan detailed in Appendix 8.	N/A	Landscaping completed at CR1	Council or contractor	\$3,000
2	R17	Install two panels of split log and rail fencing at GR1 (consistent with the thematic entrance fencing elsewhere along the Tangara Trail)	N/A	Tangara Trail thematic fencing entrance installed at GR1	Council or contractor	\$1,500
<b>Tracks and trails</b>						
2	R18	Assess the feasibility of creating a walking track circuit encompassing 20 Canopus Road and 52 Grahams Road, including improving the condition of existing tracks, creating new walking track linkages and installing track signage	N/A	Feasibility study completed	Council or contractor	\$3,000
1,2,3	R19	Undertake track management activities as detailed in the Reserve's bushfire management plan	N/A	Fire trails maintained to required standard as detailed in the Reserve's bushfire management plan	Council	N/A
<b>Infrastructure</b>						
3	R20	Review the infrastructure requirements of the Reserve in 2021	N/A	Infrastructure review completed in 2021	Council	N/A
2	R21	Engage with Council's Historic Heritage Officer regarding the restoration of the historic stone bridge near GR1	N/A	Wooden rails on top of stone bridge restored	Council	N/A
<b>Community participation and awareness</b>						
2	R23	Install an interpretation sign regarding the Reserve's natural values and Mt Rumney Landcare Group Inc. activities at Reserve entrance CR1	N/A	Interpretation signage installed	Council, contractor or volunteers	\$1,500
2	R24	Install an interpretation sign regarding the historic stone bridge near GR1 in consultation with Council's Historic Heritage Officer.	N/A	Interpretation signage installed	Council, contractor or volunteers	\$800



Priority	Rec. No.	Action	Seasonal timing	Performance measure	Responsibility	Estimated funding <sup>13</sup>
<b>Implementation plan</b>						
1,2&3	R25	Undertake annual review against all performance measures	N/A	Review of all performance measures completed annually	Council	N/A
3	R26	Review the <i>Canopus-Centauri Bushland Reserve Activity Plan 2017-2021</i> in 2021 to assess progress and determine ongoing management priorities for the Reserve	N/A	<i>Canopus-Centauri Bushland Reserve Activity Plan 2017-2021</i> reviewed within five years	Council and/or contractor	\$10,000

## APPENDIX 1: CONSERVATION SIGNIFICANCE OF THE RESERVE'S NATIVE FLORA AND FAUNA

The native vegetation communities occurring within the Canopus-Centauri Bushland Reserve are summarised in Table A1.1. Of these, *Eucalyptus ovata* forest and woodland and *Eucalypt globulus* dry forest and woodland are listed as threatened native vegetation communities under the Tasmanian *Nature Conservation Act 2002*.

**Table A1.1:** Conservation status of native vegetation communities occurring within the Reserve.

Community name	TASVEG code	Description	Conservation status
<i>Eucalyptus globulus</i> dry forest and woodland	DGL	Dry sclerophyll community dominated by <i>E. globulus</i> . The ground layer is dominated by grasses. Small patch of this community at 52 Grahams Road.	Threatened
<i>Eucalyptus ovata</i> forest and woodland	DOV	<i>E. ovata</i> woodland with a grassy/sedgy understorey, with sedges becoming more dominant closer to the drainage line. Occurs in the eastern section of 20 Canopus Road.	Threatened
<i>Eucalyptus amygdalina</i> forest on mudstone	DAM	Community dominated by <i>E. amygdalina</i> (black peppermint) with a grassy understorey. Occurs in the western section of 20 Canopus Road along the pipeline reserve.	Not threatened

Four flora species listed under the Tasmanian *Threatened Species Protection Act 1995* (the TSP Act) and/or the Commonwealth *Environment Protection and Biodiversity Conservation Act 1999* (the EPBC Act) have been previously recorded within the Reserve at 20 Canopus Drive.<sup>14</sup> These include:

- *Carex tasmanica* (curly sedge), which is listed as vulnerable under the EPBC Act; and
- *Haloragis heterophylla* (variable raspwort), *Juncus amabilis* (gentle rush) and *Rytidosperma indutum* (tall wallaby grass), which are all listed as rare under the TSP Act.

The Reserve contains potential habitat for the endangered swift parrot (*Lathamus discolor*), and the eastern barred bandicoot (*Perameles gunnii*) was recorded in

<sup>14</sup> AVK Environmental Management (2015). *Draft Canopus-Centauri Bushfire Management Plan*. Unpublished report for Clarence City Council.

the Reserve in November 2016 (Paul Grey, NRM Facilitator for Sorell Council, pers. comm. November 2016). The conservation status and habitat of these species is summarised in Table A1.2.

**Table A1.2:** Fauna species of conservation significance for which suitable habitat exists within the Reserve.

<b>Fauna species</b>	<b>Common name</b>	<b>Conservation status<sup>15</sup></b>	<b>Habitat / Comments</b>
<i>Lathamus discolor</i>	swift parrot	Endangered ENDANGERED	Nesting habitat is hollows in mature eucalypts with stem diameter >70cm at breast height. Forages in mature <i>Eucalyptus globulus</i> and <i>E. ovata</i> trees. Potential nesting and foraging habitat exists within the Reserve.
<i>Perameles gunnii</i>	eastern barred bandicoot	VULNERABLE	Inhabits grassy woodlands, native grasslands and mosaics of pasture and shrubby ground cover. Potential nesting and foraging habitat exists within the Reserve.

<sup>15</sup> Lower case = TSP Act; UPPER CASE = EPBC Act

## APPENDIX 2: VEGETATION CONDITION ASSESSMENT OF THE RESERVE

### VEGETATION CONDITION ASSESSMENT SUMMARY REPORT CANOPUS-CENTAURI BUSHLAND RESERVE

#### SITE DETAILS

Location: **Canopus Centauri** Zone no.: **Zone 1**

Monitoring Point: Easting: 534767 mE Northing: 5256543 mN

Date of assessment: 3 Mar. 2017 Assessor(s): Kerri Spicer

Vegetation type: ***Eucalyptus ovata* forest and woodland (DOV) – woodland variant**

#### VEGETATION CONDITION ASSESSMENT SUMMARY

[taken from the field-collected data on the Vegetation Condition Assessment form – see scanned field sheets]

Element	Component (possible score)	Score 2015	% of habitat component remaining from "benchmark" condition based on current habitat condition scores
Site condition	Large trees (10)	2	
	Tree canopy cover (5)	5	
	Lack of weeds (15)	6	
	Understorey (25)	15	
	Recruitment (10)	10	
	Organic litter (5)	5	
	Logs (5)	0	
Sub-total Site Condition (75)		43	
Landscape context	Patch size (10)	8	
	Neighbourhood (10)	3	
	Distance to core area (5)	4	
Sub-total Landscape Context (25)		15	
TOTAL (100)		58	

The Canopus-Centauri bushland reserve is a long, narrow reserve that follows a drainage line but adjoins a larger forested area to the west ensuring a reasonable landscape context score for this reserve (15/25). The VCA Zone was undertaken in the northern section, at its widest location, which represents the best vegetation condition within the Canopus-Centauri bushland reserve (Figure 1). A greater weed cover from exotic grasses is present in the southern section of the reserve along with a lower eucalypt canopy cover, due a lower density of eucalypts, which would result in a slightly lower VCA score for the southern section of the reserve.

Weed cover, a lack of coarse woody debris and the younger age structure of the *Eucalyptus ovata* woodland (DOV) in the north of the reserve are the predominant reasons for the reduction in the vegetation condition score (58/100). The woodland consists mostly of small regrowth trees but does contain the odd larger tree (3/ha vs benchmark 15/ha) that provide important habitat values. A reasonable quantity of weeds are present (20% weed cover), reflecting the disturbance history of this site. The weed cover consists predominantly of exotic grasses and herbs, although small patches of the more high threat woody weeds *Rubus* spp. (blackberry) and *Rosa rubiginosa* (sweet

briar) are present. Very little coarse woody debris was present (log length 2 m in 0.1 ha vs benchmark 40 m).

This *E. ovata* woodland has a grassy/sedgy understorey with sedges becoming more dominant closer to the drainage line. The VCA benchmark for DOV assumes a shrubby understorey and doesn't account for the great variation in understorey that can occur within this vegetation community. The reduction in the understorey score (15/25) is mostly a reflection of this factor - a reasonable understorey diversity is present and, despite the prevalence of exotic grasses, a good cover of native grasses exists. Good eucalypt regeneration was present, a real asset for a small reserve that has had a significant disturbance history. Evidence of small patch burns was present at the time of this assessment.

The main issue for maintaining the condition of this forest will be ensuring the weed cover is contained and doesn't increase. Otherwise, the condition of this woodland will improve as it matures.



Figure 1. Canopus-Centauri Bushland Reserve and VCA Zone location



**PHOTO-POINT**

Easting: 534767 mE Northing: 5256543 mN

Images taken at eye-level and angled upwards (approx. 45°) at cardinal compass points of north, east, south and west.

**NORTH**



**EAST**



**SOUTH**





WEST



### APPENDIX 3: BIRD SURVEY OF THE RESERVE

#### CANOPUS-CENTAURI RESERVE – BIRD SURVEY

**Observer: Denis Abbott**

From the bottom, or highway end of the gully, past two dams to the paddock lined with *Pinus radiata*, nor far from Canopus Road.

Date: 16<sup>th</sup> February, 2017, 10.45-11.20

Birds seen/heard:

Dusky Robin  
Eastern Rosella  
European Goldfinch  
Forest Raven  
Green rosella  
Grey Butcherbird  
Kookaburra  
Noisy Miner – most numerous  
Spotted Pardalote  
Superb Fairy Wren  
Yellow-throated Honeyeater  
Yellow-rumped Thornbill – a flock

**APPENDIX 4: UNANTICIPATED DISCOVERY PLAN**

## Unanticipated Discovery Plan

For proponents and consultants dealing with Aboriginal Heritage in Tasmania

This paper provides a Plan that should be followed when dealing with unanticipated discoveries of Aboriginal Cultural Heritage such as sites and objects. The plan provides guidance to project personnel so that they may meet their obligations with respect to Aboriginal heritage in accordance with the *Aboriginal Relics Act 1975* and the *Coroners Act 1995*.

The Unanticipated Discovery Plan is in two sections. The first section primarily explains mitigation strategies that should be employed when any Aboriginal Cultural Heritage sites or items are discovered excluding skeletal remains (burials), while the second process deals specifically with skeletal remains (burials).

### Discovery of Cultural Heritage Items

Step 1: Any person who believes they have uncovered Aboriginal Cultural Heritage material should notify all employees or contractors that are working in the immediate area that all earth disturbance works must cease immediately.

Step 2: A temporary 'no-go' or buffer zone of at least 10m x 10m should be implemented to protect the suspected Aboriginal Cultural Heritage site or relics. No unauthorised entry or works will be allowed within this 'no-go' zone until the suspected Aboriginal Cultural Heritage relics have been assessed by a recognised Aboriginal Heritage Officer or Archaeologist.

Step 3: Aboriginal Heritage Tasmania (AHT) in Hobart (ph 6233 6613) needs to be notified and consulted as soon as possible and informed of the discovery. AHT will then provide further advice in accordance with the *Aboriginal Relics Act 1975*.

### Discovery of Skeletal Material


Step 1: Call the Police immediately. Under no circumstances should the suspected skeletal remains be touched or disturbed. The area must now be considered a crime scene. It is a criminal offence to interfere with a crime scene.

Step 2: Any person who believes they have uncovered skeletal material should notify all employees or contractors that are working in the immediate area that all earth disturbance works must cease immediately.

Step 3: A temporary 'no-go' or buffer zone of at least 50m x 50m should be implemented to protect the suspected skeletal remains. No unauthorised entry or works will be allowed within this 'no-go' zone until the suspected skeletal remains have been assessed by the Police and/or Coroner.

Step 4: Should the skeletal remains be determined to be of Aboriginal origin, the Coroner will contact the Tasmanian Aboriginal Land and Sea Council (TALSC) to arrange for repatriation of the remains, as per the *Coroners Act 1995*.

Aboriginal Heritage Tasmania  
Department of Primary Industries, Parks, Water and Environment



**Tasmania**  
Exploring the possibilities

## Unanticipated Discovery Plan

**Guide to the most common sites of Aboriginal Significance****Stone Artefact Scatters**

Stone artefacts are the tangible evidence found in regard to past Aboriginal lifeways. Stone artefacts indicate areas that were used by Aboriginal People, either for camping, hunting or other activities such as the manufacture of stone tools. Archaeologists can also determine the duration a site may have been occupied, the amount of times that the site may have been occupied, and the number of people that the area may have supported at any given time.

Some stone artefacts are the result of Aboriginal People fracturing or 'flaking' fine-grained rocks to produce sharp cutting or scraping implements. These were then used, for example, for cutting up animals and then scraping the hides. Volcanic rocks such as basalt were flaked and then ground down to form axes for a number of chopping and cutting tasks. The results of such activities can be seen in the archaeological record (i.e. scatters) in the form of modified stones such as cores, retouched flakes, hammerstones and flaked pieces. From these scatters, by understanding site density and frequency patterns, inferences can be made in relation to past Aboriginal lifeways.

**Shell Middens**

Shell middens by definition are prehistoric refuse pits. They are the leftover waste of resources exploited which formed the basis of Aboriginal diet. Midden sites can range in size from large mounds to small scatters of shell. Middens usually also contain as well as shell, the remains of animals exploited for food as well as artefacts of stone, bone and shell. These sites are usually found near waterways and coastal areas.

**Rockshelters**

Rockshelters can either be shelters which contain archaeological deposits from living floors, or art rock shelters which formed the basis of Aboriginal diet. Midden sites can range in size from large mounds to small scatters of shell. Middens usually also contain as well as shell, the remains of animals exploited for food as well as artefacts of stone, bone and shell. These sites are usually found near waterways and coastal areas.

**Quarries or Stone Procurement Sites**

Quarry sites occur where outliers of suitable tool-making stone appear. A quarry can be generally recognised by evidence of human manipulation and extraction of suitable material and the debris left by the processing of the suitable material. Some quarries can cover vast areas with extremely high amounts of lithic discard. Ochre or pigment was also quarried.

**Burials**

Burials can occur anywhere, though they are generally found close to areas where there was a high population concentration. Burials can occur where there are soft sediments such as sand hills, they can be found in caves and rockshelters and sometimes they can be associated with hollow trees.

## APPENDIX 5: SUMMARY OF STAKEHOLDER CONSULTATION

During November-December 2016, identified stakeholders were invited to provide comments relevant to the development of the *Canopus-Centauri Bushland Reserve Activity Plan 2017-2021*.

A public meeting and community 'walk and talk' session was facilitated by Council and Tasflora on 27 November 2016 and attended by 10 local residents, including members of the Mount Rumney Landcare Group. The purpose of the session was to seek input on the values and management issues associated with the Reserve.

Key issues raised during the walk and talk included:

- general agreement that minimal changes should be made to the Reserve;
- habitat preservation is important;
- 52 Grahams Road should be recognised as a Council Reserve and not private property, although minimise the development of the 20 meter right of way;
- Council should mow grass and fix the fences at 52 Grahams Road;
- need to improve walking track surface from CR1 down the hill;
- preference for dogs to be kept on lead, and dog infrastructure could be considered;
- support for creating a walking track circuit encompassing 20 Canopus Road and 52 Grahams Road; and
- continue to permit horse walking through the Reserve.

A feedback form seeking input to the *Canopus-Centauri Bushland Reserve Activity Plan 2017-2021* was also mailed to local residents and relevant stakeholders. A written response was received from one stakeholder, as summarised in Table A3.1.

**Table A3.1:** Summary of written responses received during initial stakeholder consultation on the *Canopus-Centauri Bushland Reserve Activity Plan 2017-2021*.

Management issue	Response
Continue serrated tussock control along the pipeline route	Weed control recommendations in this plan primarily focus on the bushland area in the eastern section of 20 Canopus Road where the threatened <i>Eucalyptus ovata</i> community occurs. Serrated tussock along the pipeline route will continue to be monitored and controlled under the Mt Rumney Vegetation Management Plan 2013-18.
Increase rabbit eradication program at	Not considered a priority due to the number of neighbouring private properties with likely existing rabbit populations that cannot be simultaneously eradicated.

Management issue	Response
20 Canopus Road as they are in plague proportions	
Increase gravel pathways to prevent erosion	Upgrading the track network through 20 Canopus Road is addressed in section 11.


Where possible, all relevant community feedback has been considered in the development of the draft *Canopus-Centauri Bushland Reserve Activity Plan 2017-2021*. However some issues identified during the consultation process are beyond the scope of this plan or pertain to management issues outside the Reserves. These issues have been noted by Council and will be addressed through other processes where feasible.

A Canopus-Centauri Bushland Reserve Activity Plan Report Card has been developed as a key tool in encouraging stakeholder feedback on this draft plan and will be mailed out to residents and other interested stakeholders. The content of the Report Card is provided overleaf.



**THE DRAFT CANOPUS-CENTAURI BUSHLAND RESERVE ACTIVITY PLAN RECOMMENDS:**

- >> Investigating a walking track circuit linking 20 Canopus Drive with 52 Grahams Road
- >> Improving existing track surfaces at 20 Canopus Drive
- >> Installing track signage at appropriate locations
- >> Undertaking weed control activities
- >> Periodic monitoring of birds, bats and vegetation conditions
- >> Assisting natural regeneration following recent bushfire in reserve
- >> Actively supporting the Mt. Rumney Landcare Group
- >> Improving awareness of habitat values of the remnant bushland reserves




*"I think the Reserves are great because of their environment and freshwater ponds."*

Local resident

**CANOPUS-CENTAURI BUSHLAND RESERVE**

**REPORT CARD**



**STAY WITH US...**


Council invites your comments on the draft Plan. The Plan will guide the community and Council as we work together to improve the management of the Reserves. You can find the draft plan at [www.ccc.tas.gov.au/consultation](http://www.ccc.tas.gov.au/consultation)


**USE THE ONLINE FORM OR CONTACT**

BY 15th MAY 2017


Corinna Woolford | 0427 902 970  
tasflora@bigpond.com

Phil Watson 6245 8619  
pwatson@ccc.tas.gov.au





*Black gum woodland in the reserve*



*Green parrot*

Your Community and Council working together to care for our Reserves

*In the spring of 2016, Clarence City Council asked the community about the Canopus-Centauri Bushland Reserve ...these are the results.*




	EVALUATION			DESCRIPTION	COMMUNITY COMMENTS
	OUTSTANDING	VERY GOOD	PASS		
				<b>CANOPUS-CENTAURI BUSHLAND RESERVE</b>	
LOCATION				11 Hectares of bushland, grassy pipeline reserve and open pasture nestled on north-eastern side of Mt Rumney.	<i>Create a walking track circuit via 52 Grahams Road</i>
CULTURAL HERITAGE				Originally occupied by the Mumirimina clan of Oyster Bay Nation.	
VEGETATION				Consists of rare black gum woodland rare plants including the curly sedge.	
ANIMALS AND BIRDS				Home to wildlife and birds. Forms an important wildlife corridor outside of private property.	
LANDSCAPE				Attractive setting for locals to traverse Mt Rumney's natural bushland environment away from road verges and traffic.	<i>Natural setting valued by locals</i>
ACCESS AND USAGE				Popular with locals for walking, dog exercise, cycling and horse exercise.	<i>Improve track surfaces</i>
THREATS				Weed infestations, cat predation, wildfire, trail bikes and littering.	<i>Continue weed control efforts</i>





Stay with us on the journey of caring for the Canopus-Centauri Bushland Reserve. Your comments are highly valued! Go to <http://www.ccc.tas.gov.au/consultation> to comment.



## APPENDIX 6: WEED SPECIES AND RECOMMENDED CONTROL TECHNIQUES

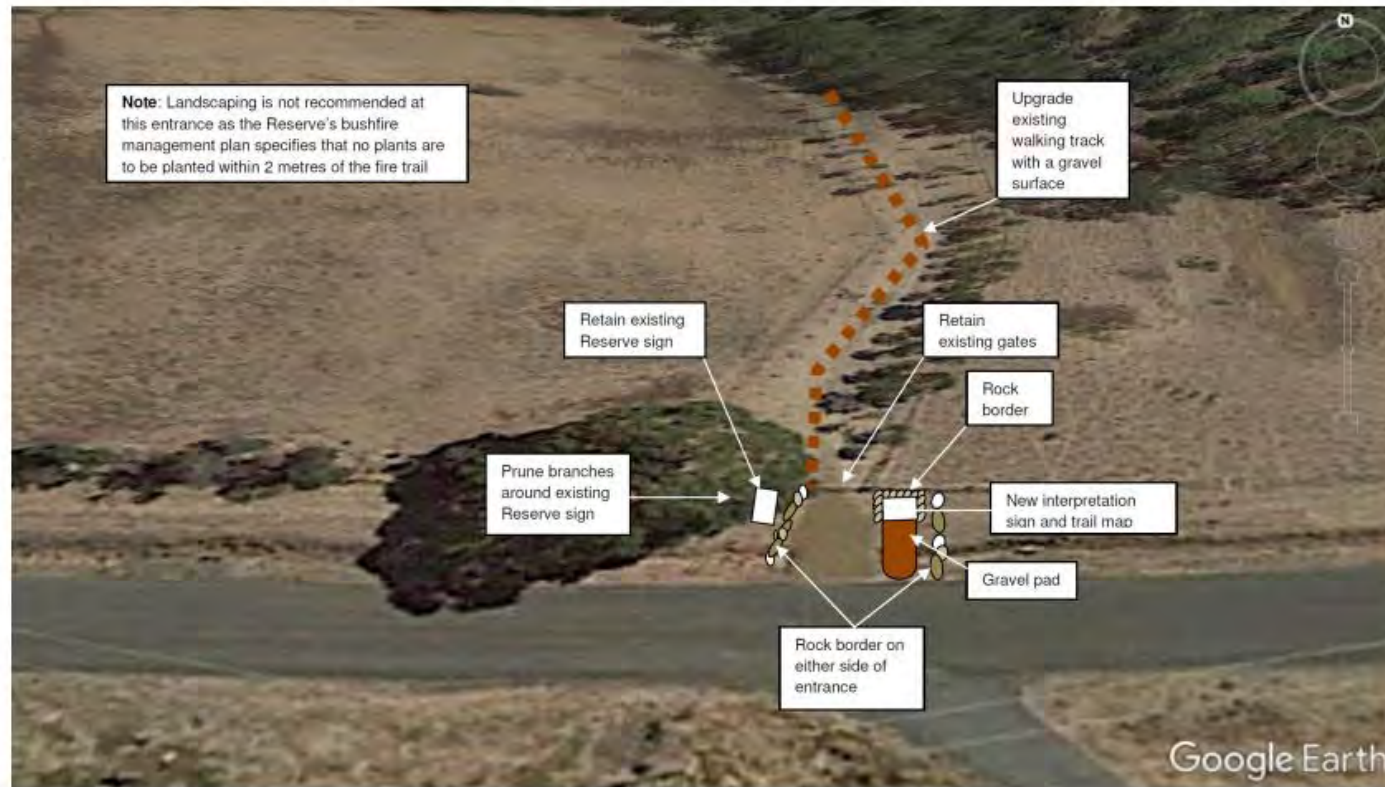
Common name	Species	Status	Picture	Recommended control technique
<u>DECLARED WEEDS</u>				
Blackberry	<i>Rubus fruticosus</i> aggregate	Declared WONS		Large stands - spot spray larger using an appropriate herbicide (as per the DPIPWE Control Guide) in non-fruiting periods Isolated patches - spot spray or cut and paste
Spanish heath	<i>Erica lusitanica</i>	Declared		Hand pull, cut and paste or spot spray using an appropriate herbicide (as per the DPIPWE Control Guide)
Vipers bugloss	<i>Echium vulgare</i>	Declared		Hand dig or spot spray using an appropriate herbicide (as per the DPIPWE Control Guide)  (Image sourced from DPIPWE Control Guide)



Common name	Species	Status	Picture	Recommended control technique
<u>OTHER ENVIRONMENTAL WEEDS</u>				
Hawthorn	<i>Crataegus monogyna</i>			Hand pull seedlings or cut and paste larger plants.
Sweet briar	<i>Rosa rubiginosa</i>			Cut and paste or spot spray

**APPENDIX 7: LOCATION OF DECLARED WEEDS IN THE BUSHLAND SECTION OF 20 CANOPUS ROAD**

## APPENDIX 8: CONCEPT LANDSCAPE PLAN FOR RESERVE ENTRANCE CR1



Note: Base map sourced from Google Earth



## APPENDIX 9: SUMMARY OF ON GROUND MANAGEMENT RECOMMENDATIONS

<b>Weed management</b>	
R1	Priority should be given to controlling weeds occurring in the threatened Eucalyptus ovata forest and woodland community at 20 Canopus Road.
R2	Control Spanish heath and vipers bugloss at 20 Canopus Road as an immediate priority, with communication/coordination with surrounding landholders to be undertaken by Council's Weeds Planning Officer.
R3	Undertake a sweep of the bushland area of 20 Canopus Road and control all declared and environmental woody weeds encountered.
R4	Control dense infestations of thistles in the bushland area of 20 Canopus Road to facilitate natural regeneration.
R5	Remove the mature melaleuca tree growing near CD1.
R6	Undertake an annual sweep of the Reserve to remove germinants of declared and environmental weeds.
R7	Undertake control of exotic grasses and broadleaf weeds only in revegetation areas and where necessary as part of a general Reserve maintenance program.
R8	Undertake GPS mapping of all weeds in the Reserve after five years to monitor progress and inform future weed control priorities.
<b>Regeneration and revegetation</b>	
R9	Revegetation should only be considered a priority in bare areas that may be created following weed control.
R10	Any future planting of trees must be undertaken in accordance with section 3.7 of the Reserve's bushfire management plan.
R11	New revegetation and landscaping activities should not be committed to unless sufficient resources are available to undertake ongoing regular maintenance of newly planted areas.
<b>Fauna habitat management</b>	
R12	Clear weeds and debris from the drainage line near GR1 and install two small rock bioremediation retention basins.
<b>Vegetation and fauna monitoring</b>	
R13	Undertake a follow-up Vegetation Condition Assessment in the Reserve in 2021.
R14	Monitor photo points within the VCA zone annually to facilitate monitoring of vegetation condition.
R15	Undertake fauna surveys in 2021 to assess species diversity and further inform on ground management activities.
R16	Undertake an analysis of all photo points, VCAs and fauna surveys in 2021 to determine trends and inform future management activities.
<b>Reserve Entrances</b>	
R17	Improve Reserve entrances by installing additional signage and improving accessibility.
<b>Tracks and trails</b>	

R18	Assess the feasibility of creating a walking track circuit encompassing 20 Canopus Road and 52 Grahams Road, including improving the condition of existing tracks, creating new walking track linkages and installing track signage.
R19	Undertake track management activities as detailed in the Reserve's bushfire management plan.
<b>Infrastructure</b>	
R20	Undertake a review of the infrastructure requirements of the Reserve in 2021.
R21	Engage with Council's Historic Heritage Officer regarding the restoration of the historic stone bridge near GR1.
<b>Community participation and awareness</b>	
R22	Continue to actively support the Mt Rumney Landcare Group Inc.
R23	Install an interpretation sign regarding the Reserve's natural values and Mt Rumney Landcare Group Inc. activities at Reserve entrance CR1.
R24	Install an interpretation sign regarding the historic stone bridge near GR1 in consultation with Council's Historic Heritage Officer.
<b>Implementation Plan</b>	
R25	Review progress against all performance measures identified in the Implementation Plan annually.
R26	Review the <i>Canopus-Centauri Bushland Reserve Activity Plan 2017-2021</i> in 2021 to assess progress and determine ongoing management priorities for the Reserve.

**11.5.2 SEVEN MILE BEACH SPORT AND ACTIVE RECREATION PRECINCT –  
REVISED MASTER PLAN**  
(File No)**EXECUTIVE SUMMARY****PURPOSE**

To consider the adoption of the revised Seven Mile Beach Sport and Active Recreation Precinct Master Plan following community consultation.

**RELATION TO EXISTING POLICY/PLANS**

Council's Strategic Plan 2016 – 2026 and Community Participation are relevant

**LEGISLATIVE REQUIREMENTS**

Nil.

**CONSULTATION**

Local residents of Seven Mile Beach were written to and provided with the revised Seven Mile Beach Sport and Active Recreation Precinct Master Plan, for their comment. In addition to the mail out, information was available on Council's website, display in Council's foyer and a public display of the revised plan held Saturday, 30 September at Ramada Resort, Seven Mile Beach.

**FINANCIAL IMPLICATIONS**

The implementation of the final Seven Mile Beach Sport and Active Recreation Precinct Master Plan is planned to be staged over a number of financial years, subject to Council approval of future Annual Plans.

**RECOMMENDATION:**

- A. Following community consultation, amend the revised Seven Mile Beach Sport and Active Recreation Precinct Master Plan to include a stormwater catchment pond and associated dual fenced off-lead dog area surrounding the pond.
- B. That Council adopts the revised Seven Mile Beach Sport and Active Recreation Precinct Master Plan as the final Seven Mile Beach Sport and Active Recreation Precinct Master Plan including the recommended amendment in "A".
- C. That Council authorise the General Manager to write to the residents of Seven Mile Beach and key stakeholders of Council's decision.
- D. That Council authorises the General Manager to make application for Development Approval based on the final Seven Mile Beach Sport and Active Recreation Precinct Master Plan.

**SEVEN MILE BEACH SPORT AND ACTIVE RECREATION PRECINCT –  
REVISED MASTER PLAN /contd...**

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**ASSOCIATED REPORT****1. BACKGROUND**

- 1.1.** Over recent years Council has experienced pressure to provide additional sporting facilities to meet demand. The State Government offered this parcel of land to Council to examine the opportunities to facilitate additional sporting facilities for the City.
- 1.2.** In 2014, Council engaged Inspiring Place to undertake consultation with the local residents of Seven Mile Beach and key sporting stakeholders to consider recreation opportunities for the parcel. Following extensive consultation a draft master plan for the parcel was formulated for Council's consideration.
- 1.3.** The draft Master Plan was presented at Council's Workshop held on Monday, 30 June 2014, seeking direction in relation to options for the development of 74 Surf Road, Seven Mile Beach. Council agreed to conduct further consultation on "Option B" which proposed an extension into the adjoining Crown Land for the regional multi-use sporting facilities and local amenities located on Council land with space allowed for any possible Royal Hobart Golf Course extension.
- 1.4.** Following consultation, the Seven Mile Beach Sport and Active Recreation Precinct Master Plan was adopted by Council at its Meeting held on Monday, 10 November 2014.

Council's decision was:

- "A. That Council adopts the Seven Mile Beach Sport and Active Recreation Precinct Master Plan based on the Master Plan as set out in Attachment 2; and*
- B. That Council actively seek external funding to assist with the development of the Seven Mile Beach Sport and Active Recreation Precinct Master Plan".*

- 1.5.** The initial estimated cost to develop the land for a sporting precinct is approximately \$14 million. Council is endeavouring to obtain external funding via the Commonwealth Government Building Better Regions Fund in early 2018. The requirements for this application are extensive and Council has sought the assistance of external consultants experienced in obtaining high level funding from similar funding programs.
- 1.6.** In May 2017, Council engaged @Leisure Planners to review the existing master plan, prepare and lodge Development Application and to make application to the 2018 Building Better Regions Fund. Review of the master plan by the consultant recommended amendments to the plan to improve functionality of the precinct.
- 1.7.** The proposed amendments included:
- main AFL oval moved from eastern side to central location;
  - original AFL replaced with multi-purpose sports fields;
  - sport pavilion located to allow for future development of indoor sports facilities; and
  - inclusion of outdoor netball/tennis courts.
- 1.8.** Council, at its Meeting of 4 September 2017 resolved to undertake community consultation on the revised master plan for the Seven Mile Beach Sports and Active Recreation Precinct.

## **2. REPORT IN DETAIL**

- 2.1.** The period of consultation encouraged feedback in relation to the revised master plan for the Seven Mile Beach Sport and Active Recreation Precinct Master Plan:
- 514 letters were mailed to the residents of Seven Mile Beach;
  - 63 (12.25%) submissions were received by Council; and
  - 27 members of the public attended the public display at Seven Mile Beach.

It was noted by Council officers that several attendees did not or chose not to, sign the attendance sheet.

**2.2.** From the responses received the majority of people are in favour of the revised Master Plan. The broad breakdown of the responses are:

- |                            |    |         |
|----------------------------|----|---------|
| • Supportive               | 30 | (46.7%) |
| • Supportive with concerns | 15 | (23.8%) |
| • Not supportive           | 18 | (28.5%) |

Those respondents who are “supportive with concerns” support the revised Master Plan in general and have requested that Council consider issues that they have identified as being important to them. Therefore the amount of support for the revised Master Plan is 45 (70.5%) with not supportive at 18 (28.5%).

**2.3.** From the submissions received by Council, below is a summary of the main issues for consideration in the final Master Plan:

- impact of development on the water table;
- increase in noise from the removal of pines;
- impact of lights from the sports grounds;
- traffic through the village and Woodhurst Road; and
- loss of off-lead dog walking.

**2.4.** From the submissions received by Council, new requests for the precinct master plan for consideration in the final Master Plan were:

- a swimming pool;
- indoor fitness centre/gym;
- a skate park;
- a pump track; and
- café/coffee shop.



- 2.5.** Respondents raised concern that the removal of the pine trees required for this development and the need for irrigation for the ovals would impact the water table and potentially cause issues similar to that experienced in 2009. A requirement of the development will be to capture and contain the stormwater on the property. Therefore it is proposed to include, in the final Master Plan, a stormwater catchment pond which will capture the stormwater from the ovals, car park and buildings which will then be available to recycle as irrigation.
- 2.6.** A further concern raised by respondents is the potential increase in noise resulting from the removal of the pine trees and emanating from both the sports grounds and Hobart Airport. The Master Plan includes a landscape buffer of 20-30m width along the property boundaries to buffer against noise. The Planning Permit resulting from the Development Application will include noise level requirements for the use of a public address system at the sports grounds, but it will not regulate any crowd noise from spectators. In relation to noise impacting Seven Mile Beach residents from Hobart Airport, this is outside of Council's responsibilities.
- 2.7.** Concern has been raised about the impact of the lighting systems for the sports grounds on local residences. The lighting design will be undertaken in accordance with Australian Standards for spillage. The distance from the closest proposed light tower to the nearest dwelling exceeds 300m and Council currently has compliant light towers on sports grounds that are within 20m of properties. Also the maintenance of the landscape buffer along the perimeter of the property will mitigate light concerns.
- 2.8.** A common concern amongst respondents was the potential impact of increased traffic through Seven Mile Beach heading to the sports precinct. It is acknowledged that those people intending to travel to the sports precinct and who live south of Seven Mile Beach are likely to travel through Seven Mile Beach. The main entry/exit to the sports precinct is from Grueber Road and it is expected that the majority of traffic will access via this location.

A further concern is the location of the “Community Precinct” at the end of Woodhurst Road, with increased traffic along this road for people accessing the community precinct. It is expected that the majority of people accessing the community precinct will be local residents of the area.

- 2.9.** A significant number of respondents are concerned at the loss of off-lead dog walking opportunities across the property. There have been numerous requests for Council to consider a dedicated off-lead dog area as part of the final Master Plan, stating the example at Dru Point, Margate. It is possible to include an off-lead dog area similar in design to the example at Dru Point by providing a dual fence around the perimeter of the stormwater pond and providing dog play activities/obstacles within this space.
- 2.10.** The suggestion to include a 50m indoor swimming pool and associated fitness centre/gym is outside the scope of this project and would be more aligned with private investment opportunities.
- 2.11.** Included in the responses was the suggestion of a skate park in the sports precinct. An old steel skate ramp was removed from behind the shop some years ago because of safety concerns. Due to the limited surveillance offered to this site from the village and the inconsistent presence of users, a skate park located within the precinct would potentially create a management problem.
- 2.12.** A pump track has been suggested from the responses and it is considered possible to include a small facility within the area designated as the Community Precinct. It will be important to ensure effective surveillance of the pump track is obtained before inclusion in a future stage of this development.
- 2.13.** Contained in the responses is the suggestion of a café/coffee shop as part of the development. A canteen is proposed to be included in the ground floor of the “Sports Pavilion”. This facility will only be open during events and not as a commercial operation.

- 2.14.** The “Community Precinct” is noted as “possible future stage if feasible” on the draft Master Plan. Comment at Council’s Workshop held on Monday, 9 October 2017 indicated that this component of the Master Plan is required but the final location/orientation be reviewed prior to construction.

### **3. CONSULTATION**

#### **3.1. Community Consultation**

In accordance with Council’s Community Participation Policy, the period of consultation was open for 3 weeks, from Monday, 18 September 2017 to Friday, 6 October 2017.

Local residents of Seven Mile Beach were written to and provided with the revised Seven Mile Beach Sport and Active Recreation Precinct Master Plan, for their comment. In addition to the mail out, information was available on Council’s website, display in Council’s foyer and a public display of the revised plan held on Saturday, 30 September at Ramada Resort, Seven Mile Beach.

#### **3.2. State/Local Government Protocol**

Nil.

#### **3.3. Other**

Consultation has occurred with State Sporting Organisations to inform the revised Seven Mile Beach Sport and Active Recreation Master Plan in preparation for the community consultation.

### **4. STRATEGIC PLAN/POLICY IMPLICATIONS**

Adoption of the revised Seven Mile Beach Sport and Active Recreation Master Plan aligns with Council Strategic Plan 2016 – 2026, being:

- “• *A regional approach to the planning of major sporting facilities.*
- *Planning for and providing new sporting and recreation facilities to meet community demand”.*

**5. EXTERNAL IMPACTS**

Nil.

**6. RISK AND LEGAL IMPLICATIONS**

Implementation of the Master Plan will require consideration of the impacts of rising sea level and Council's Interim Planning Scheme 2015 requirements.

**7. FINANCIAL IMPLICATIONS**

**7.1.** An amount of \$600,000 is allocated in the 2017/18 Capital Works Programme to prepare development application, undertake detailed design and prepare a submission for the Australian Government's Building Better Regions Fund.

**7.2.** It is proposed that the development of the Master Plan be staged over a number of financial years, subject to Council approval as part of future Annual Plans regardless of the outcome of the grant application to the Building Better Regions Fund.

**8. ANY OTHER UNIQUE ISSUES**

**8.1.** @Leisure Planners have sought preliminary planning advice regarding the proposal from Council's City Planning Group. Following the review by City Planning, the consultant has received advice that the parcel is zoned for the purpose of Open Space with the development subject to relevant codes under the Clarence Interim Planning Scheme 2015, being:

- Road and Rail Assets;
- Parking and Access;
- Inundation Prone Area;
- On-site Wastewater Management;
- Public Art; and
- Airport Buffer.

- 8.2.** In readiness to lodge a Development Applicant, @Leisure Planners are required to provide acceptable development solutions to comply with the relevant codes, which has been expressed by the community through consultation.

Examples:

- how to manage traffic and parking on-site;
- how to manage wastewater/irrigation;
- how to undertake development in a flood prone area; and
- how to manage sports ground lighting for adjacent properties.

## **9. CONCLUSION**

- 9.1.** As a result of the community consultation the final Seven Mile Beach Sport and Active Recreation Master Plan to include provision for a stormwater catchment pond and a dual fenced dog off-lead area surrounding the pond.
- 9.2.** The land at 74 and 87 Surf Road, Seven Mile Beach is a key parcel of recreational land and as such its future development as envisaged in the final Seven Mile Beach Sport and Active Recreation Master Plan is recommended.
- 9.3.** Following Council's consideration of this report it is recommended that the residents of Seven Mile Beach and key stakeholders be advised of Council's decision.

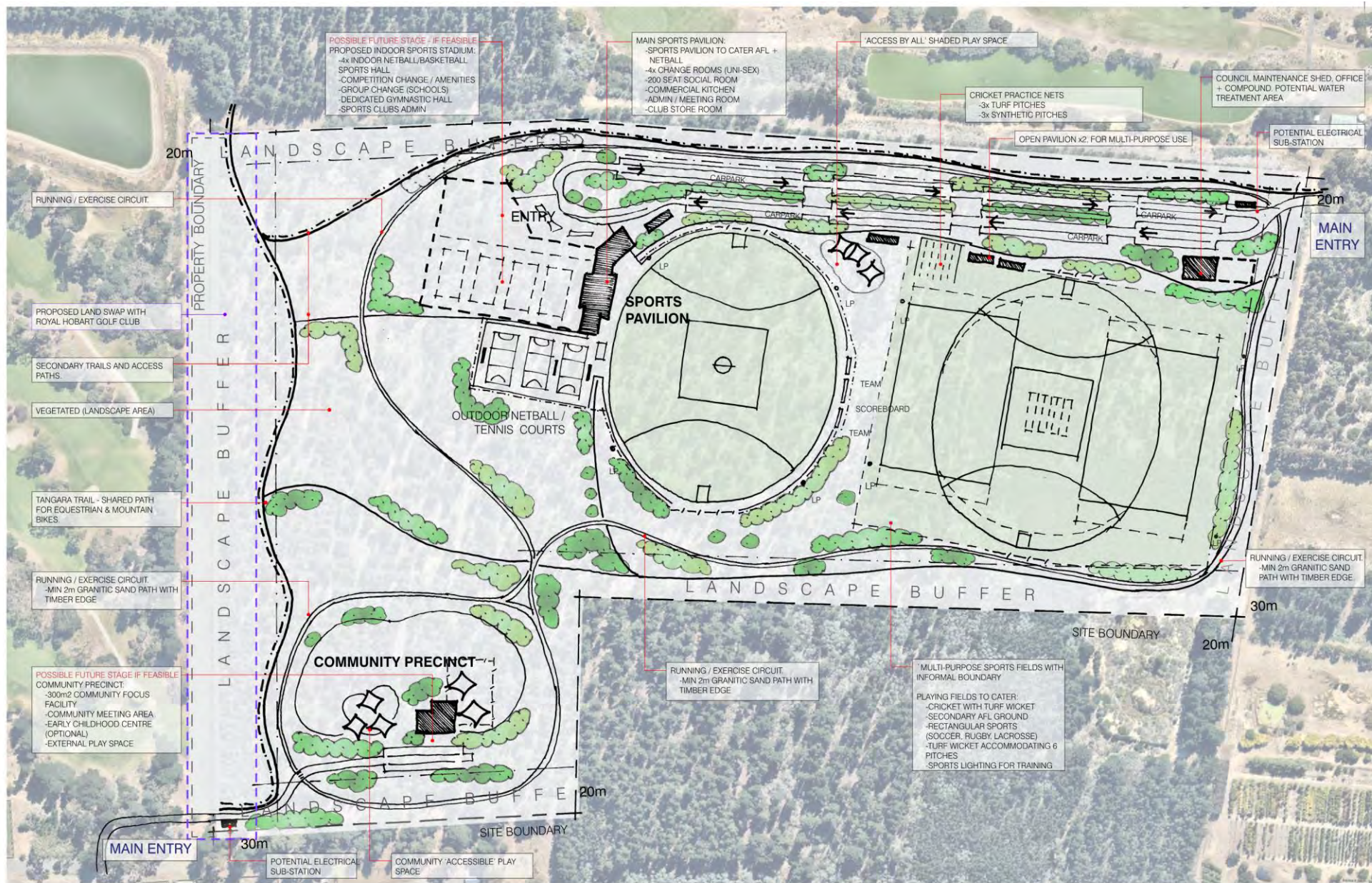
Attachments: 1. Revised Seven Mile Beach Sport and Active Recreation Master Plan (1)

Ross Graham

**GROUP MANAGER ENGINEERING SERVICES**



## ATTACHMENT 1



Revised Precinct Master Plan 2017  
**Clarence City Council, Seven Mile Beach**  
 74 Surf Road, Seven Mile Beach, Tasmania



PRELIMINARY ISSUE

Number: **EJ-170995** Drg No: **SK-01**

Revision: **P3**

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**11.5.3 TENDER T1192-17**  
**ANNUAL HARD WASTE COLLECTION SERVICE**  
(File No T1192-17)**EXECUTIVE SUMMARY****PURPOSE**

To consider options in respect to the provision of the Annual Hard Waste Collection Service scheduled to be undertaken in November 2017, given that no Tenders were received.

**RELATION TO EXISTING POLICY/PLANS**

Council's Strategic Plan 2016-2026, Code for Tenders and Contracts and Procurement Policy are relevant.

**LEGISLATIVE REQUIREMENTS**

Under Regulation 27(i)(i) of the Local Government (General) Regulations 2015, Council may resolve that a satisfactory result would not be achieved by inviting Tenders because of extenuating circumstances.

**CONSULTATION**

The Community has been sent an annual waste collection calendar which includes the dates of the hard waste collection.

The calendar is available for viewing on Council's web site.

Preliminary consultation has been undertaken with potential service providers, JJ Richards, Veolia and Mornington Park Waste Transfer Station.

**FINANCIAL IMPLICATIONS**

Funds have been allocated in the 2017-2018 Annual Plan for the provision of the Annual Hard Waste Collection service.

**RECOMMENDATION:**

That Council resolves:

- A. That a satisfactory result would not be achieved by further inviting Tenders for the provision of the service of hardwaste collection for 2017 for the reason that no Tenders have been received to the invitation for Tenders made through the prescribed public process.
- B. That the fact that no Tenders have been received to the invitation for Tenders made through the prescribed public process be regarded as extenuating circumstances as contemplated by Regulation 27(i)(i) of the Local Government (General) Regulations 2015 meaning that:

- any contract ultimately entered into in respect of the service will be a prescribed contract for the purposes of Section 333A(3) of the Local Government Act 1993, and
  - such contract may be entered into without having been the subject of the prescribed formal public tender process.
- C. That the General Manager be authorised to enter into direct negotiations with Veolia and Mornington Park Waste Transfer Station with a view to securing the best possible outcome for the community, within available funding and to sign on Council's behalf a contract for the undertaking of prescribed services.

**NB: A decision on this Item requires an Absolute Majority of Council**

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## **ASSOCIATED REPORT**

### **1. BACKGROUND**

**1.1.** Council has provided the Annual Hard Waste Collection Service for over 30 years. This service involves the collection of large items that are not suitable for collection in the normal weekly waste collections and includes white goods and electronic waste (E-Waste).

**1.2.** Six hundred and ninety eight tonnes were collected in the November 2016 collection. This was an 11.4% decrease from the 788 tonnes collected in 2015 and it is estimated the quantity collected in 2017 would be somewhere between these 2 figures.

### **2. REPORT IN DETAIL**

**2.1.** Invitations for Tenders were advertised in "The Mercury" on Wednesday, 13 September 2017, Saturday, 16 September 2017 and Saturday, 23 September 2017 and on Council's Web Site.

**2.2.** The Tender sought submissions for the provision of the roadside collection of the hard waste material as placed out by residents and includes delivery of this material to the Mornington Park Waste Transfer Station. The disposal fees associated with this collection are invoiced directly to Council by the Mornington Park Waste Transfer Station and are not subject to the Hard Waste Collection Tender.

- 2.3.** No Tenders were received in response to the calling for Tenders.
- 2.4.** As no Tenders have been received Council is at liberty to step outside the public Tender process that would otherwise apply in cases of procurements where the ultimate contract price may exceed the prescribed threshold limit of \$250,000.00.
- 2.5.** Under Regulation 27(i)(i) of the Local Government (General) Regulations 2015 the prescribed public Tender process does not apply to a contract for goods and services if a Council resolves, by absolute majority, and states the reasons for the decision, that a satisfactory result would not be achieved by inviting Tenders because of extenuating circumstances.
- 2.6.** It is submitted that the fact that no Tenders were received allows Council to draw the conclusion that there is no point in further pursuing the formal Tender process and that commercial negotiations can be entered into directly with one or more potential and suitable service providers.

### **3. CONSULTATION**

#### **3.1. Community Consultation**

The Community has been sent an annual waste collection calendar which includes the dates of the hard waste collection.

#### **3.2. State/Local Government Protocol**

Nil.

#### **3.3. Other**

Preliminary Consultation has been undertaken with potential service providers, JJ Richards, Veolia and Mornington Park Waste Transfer Station.

JJ Richards have advised that they are not in a position to assist with the 2017 Hard Waste Collection Service.

Veolia and Mornington Park Waste Transfer Station have however, indicated that they may be prepared to assist.

**4. STRATEGIC PLAN/POLICY IMPLICATIONS**

Under the Strategic Plan 2016-2026, Goal 4 - An Environmentally Responsible City, Council has the following Strategy to: *“Develop and implement local and regional waste management strategies and services in relation to household, commercial and trade waste, recycling and green waste, and the promotion of waste reduction initiatives to the community and industry”.*

**5. EXTERNAL IMPACTS**

Nil.

**6. RISK AND LEGAL IMPLICATIONS**

Nil.

**7. FINANCIAL IMPLICATIONS**

The adopted 2017-2018 Annual Plan has allocated funding of \$202,000 for the Annual Hard Waste Collection Service.

**8. ANY OTHER UNIQUE ISSUES**

**8.1.** The 2016 Annual Hard Waste Collection Service experienced a decrease in hard waste placed out by the community compared to the previous year.

**8.2.** The 2017 Tender document included details of the items that would not be acceptable for collection. These have increased from previous years to now include glass, roofing iron and all building rubble as it was considered that these posed a higher risk to the collection contractor for possible personal injury to handling employees.

- 8.3.** It is considered that the collection of these items is outside the original intent of this domestic collection service.

**9. CONCLUSION**

As no Tenders were received through the prescribed public process, it is recommended that Council resolves that a satisfactory result would not be achieved by further inviting Tenders and that the General Manager be authorised to negotiate directly with potential and suitable service providers.

Attachments: Nil

Ross Graham  
**GROUP MANAGER ENGINEERING SERVICES**

**11.6 FINANCIAL MANAGEMENT**

Nil Items.



<b>11.7 GOVERNANCE</b>
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Nil Items.

**12. ALDERMEN'S QUESTION TIME**

An Alderman may ask a question with or without notice at Council Meetings. No debate is permitted on any questions or answers.

**12.1 QUESTIONS ON NOTICE**

(Seven days before an ordinary Meeting, an Alderman may give written notice to the General Manager of a question in respect of which the Alderman seeks an answer at the meeting).

Nil.

**12.2 ANSWERS TO QUESTIONS ON NOTICE**

Nil.

**12.3 ANSWERS TO PREVIOUS QUESTIONS TAKEN ON NOTICE**

Nil.

**12.4 QUESTIONS WITHOUT NOTICE**

An Alderman may ask a Question without Notice of the Chairman or another Alderman or the General Manager. Note: the Chairman may refuse to accept a Question without Notice if it does not relate to the activities of the Council. A person who is asked a Question without Notice may decline to answer the question.

Questions without notice and their answers will not be recorded in the minutes.

The Chairman may refuse to accept a question if it does not relate to Council's activities.

The Chairman may require a question without notice to be put in writing. The Chairman, an Alderman or the General Manager may decline to answer a question without notice.

**13. CLOSED MEETING**

Regulation 15 of the Local Government (Meetings Procedures) Regulations 2015 provides that Council may consider certain sensitive matters in Closed Meeting.

The following matters have been listed in the Closed Meeting section of the Council Agenda in accordance with Regulation 15 of the Local Government (Meeting Procedures) Regulations 2015.

13.1 APPLICATIONS FOR LEAVE OF ABSENCE

13.2 JOINT AUTHORITY MATTER

13.3 TENDER T1191-17 ANNUAL RESEAL PROGRAM 2017/2018

These reports have been listed in the Closed Meeting section of the Council agenda in accordance with Regulation 15 of the Local Government (Meeting Procedures) Regulation 2015 as the detail covered in the report relates to:

- contracts and tenders for the supply of goods and services;
- information of a personal and confidential nature or information provided to the council on the condition it is kept confidential;
- applications by Aldermen for a Leave of Absence.

**Note: The decision to move into Closed Meeting requires an absolute majority of Council.**

**The content of reports and details of the Council decisions in respect to items listed in “Closed Meeting” are to be kept “confidential” and are not to be communicated, reproduced or published unless authorised by the Council.**

**PROCEDURAL MOTION**

“That the Meeting be closed to the public to consider Regulation 15 matters, and that members of the public be required to leave the meeting room”.